



# 389 MARLBOROUGH STREET

BOSTON, MASSACHUSETTS

## PROJECT TEAM

### ARCHITECTURE:

MELLOWES & PALADINO  
63 South Street - Suite 280  
Hopkinton, MA 01748

### LANDSCAPE ARCHITECTURE:

DAN GORDON LANDSCAPE ARCHITECTS  
267 Washington Street # 6  
Wellesley, MA 02481

### GENERAL CONTRACTOR:

KVC BUILDERS  
11 Fox Road  
Waltham, MA 02451

### ARCHITECTURAL HISTORIAN:

WILLIAM YOUNG

## DRAWING LIST

### COVER SHEET

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 BOSTON, MASSACHUSETTS

Issuance For:  
 BACK BAY  
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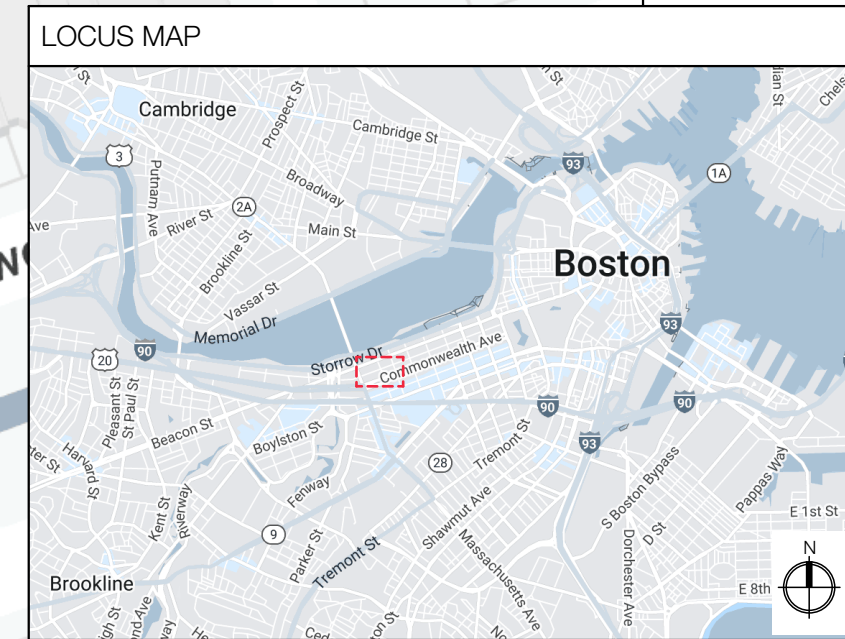
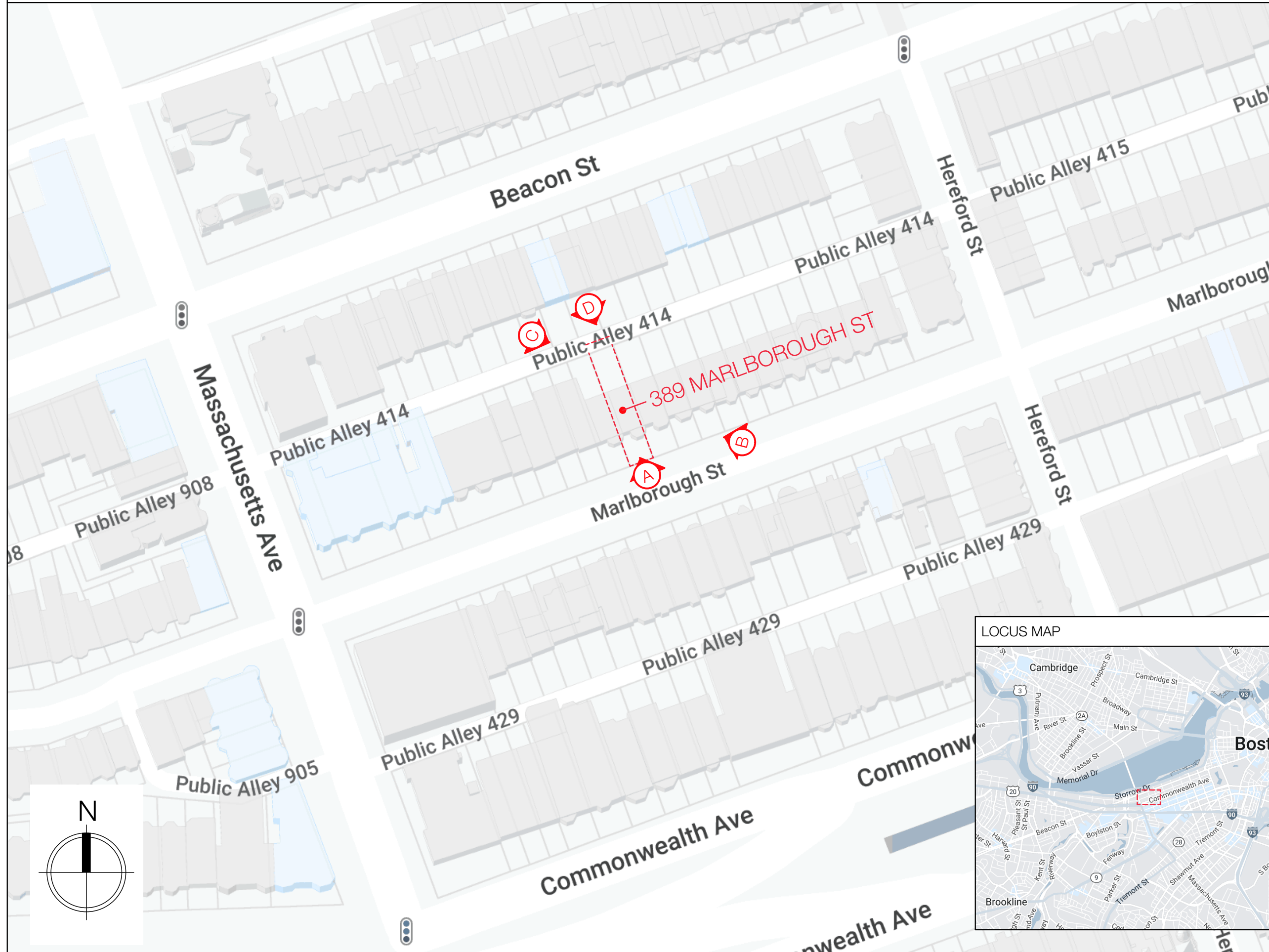
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# LOCATION MAP



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LOCUS MAP

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A  
 Front Facade & Neighboring Context - Looking North From Marlborough Street



B  
 Front Facade & Neighboring Context - Looking Northwest From Marlborough Street

EXISTING SITE PHOTOS	Issuance For: BACK BAY ARCHITECTURAL COMMISSION	RESIDENCE AT 389 MARLBOROUGH STREET	
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C

View of Front Facade & Neighboring Context- Looking South From Public Alley 414



D

Rear Facade & Neighboring Context- Looking Southeast From Public Alley 414

EXISTING SITE PHOTOS

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## 1880-1881

389 Marlborough Street is designed by Architect Obed F. Smith, who practiced in Boston beginning in the 1860s. It was built by Vinal & Dodge (masonry) and G & E Stewart (carpentry) for Contractor George Wheatland, Jr. and was intended for speculative sale.

It is one of six contiguous townhouses - 381-383-385-387-389-391 Marlborough - with the same design in the Queen Anne style.

## 1881 - 1940

The property is sold as a single-family residence and changes ownership several times over the years.

## c. 1940 - 1979

The property is converted to a lodging house with 8 apartments.

## 1963

There is a building permit to construct a 25'-0" shed dormer on the front of the building. This is consistent with the appearance of the recessed penthouse on the front elevation today,.

## 1979

The building is converted from 8 apartments to 2 apartments.

## 1998

There is a major interior renovation of the building, including the terrace and exterior facade of the recessed penthouse on the front elevation.

The wood sheathing is removed and replaced with lead-coated standing seam copper.

The existing 4-lite sliding door system is sized down and replaced with single-lite patio doors and sidelites.

The existing tar and gravel terrace floor is replaced with rubber membrane and cedar decking.

## 2008

The existing double-leaf French doors and their flanking sidelights - all single-light in configuration - are replaced with new wood doors and sidelites in the same configuration. The replacement doors and sidelites are painted a medium-dark gray to correspond with the metal finish of the penthouse elevation.

## 2010

The brickmold at the front windows is replaced.

## 2015

The front facade is cleaned and repointed.

HISTORIC TIMELINE OF  
ALTERATIONS

G-1.4

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HISTORICAL PHOTOGRAPH  
Black-And-White Photograph circa 1942 by Bainbridge Bunting  
*courtesy of the Gleason Partnership & Back Bay Houses*

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FRONT ELEVATION:  
HISTORICAL PHOTO

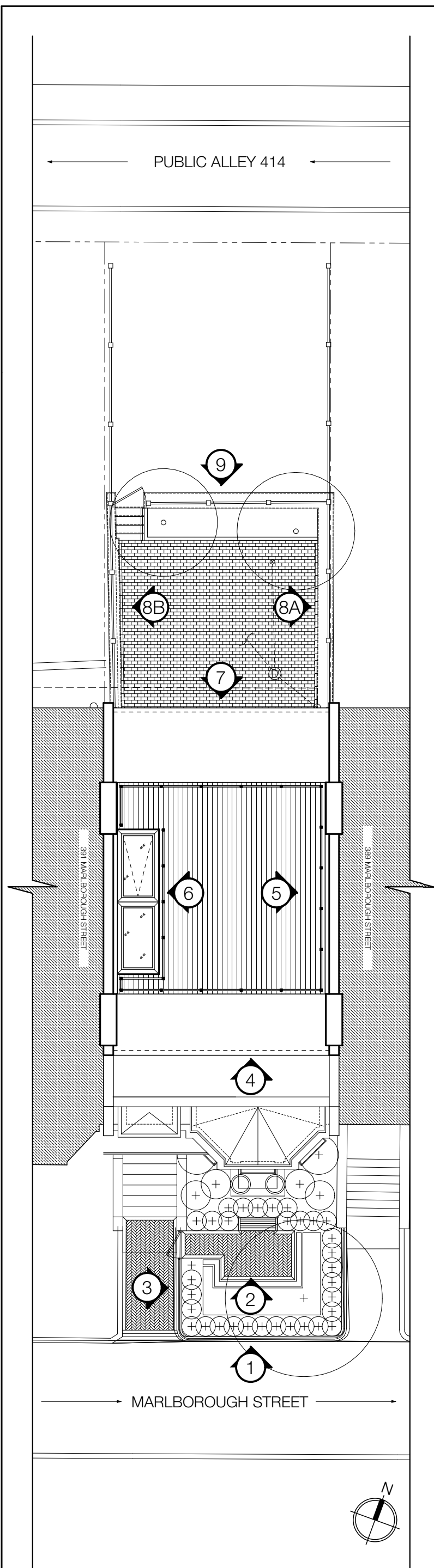
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## SCOPE OF WORK

### 1. FRONT FACADE (MARLBOROUGH STREET)

- Clean and restore brick facade as required.
- Clean and restore decorative stone ornamentation, pediments, sills, and water table.
- Restore existing wood entry doors and transom, and install new entry door hardware.
- Add exterior hanging lantern, centered over entry door.
- Restore existing (non-original) 1-over-1 double-hung wood windows and paint, black.
- Cut back fire balcony above cornice line at 3rd Floor, to terminate just beyond the line of the mansard dormer and does not interrupt the masonry bay.
- Restore mansard-level wood dormer trim and paint, black.

### 2. & 3. FRONT GARDEN & WALKWAY

- Refer to Landscape Drawings for full scope of work.

### 4. PENTHOUSE TERRACE

- Remove metal ladder mounted to East Party Wall (currently used for roof access).
- Repair and restore brick at East & West Party Walls, including brick repair, repointing and new copper flashing.
- Replace existing wood doors & sidelights.
- Install (2) new copper sconces on each side of the doors.
- Install new wood decking.

### 5. ROOF DECK

- Replace all membrane roofing.
- Replace all party wall flashings with zinc-coated copper.
- Repair and restore brick chimneys along East Party Wall, including brick repair and new copper cap flashing.
- Install roof deck, including metal guardrail, between the party walls, and set back to the inside line of the chimney at the front of the building.

### 6. ROOF ACCESS

- Install sloped access enclosure, with operable roof hatch and fixed skylight.

### 7. REAR FACADE (ALLEY)

- Clean and restore brick facade.
- Restore existing wood windows and paint, black.
- Cut back fire balconies at 2nd, 3rd & 4th Floor, to terminate just beyond the first window adjacent to 391 Marlborough Street.
- Install new steel-and-glass doors, to be sized to fit within the left and right extents of the existing window openings, and align with the windows above.

### 8. REAR COURTYARD GARDEN

- Refer to Landscape Drawings for full scope of work.

### 9. PARKING COURT

- Refer to Landscape Drawings for full scope of work.

KEY PLAN: PROPOSED WORK

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FRONT ELEVATION:  
EXISTING CONDITIONS  
(PHOTOS)

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EXISTING NOTE:  
PERVASIVE VINES OBSCURING  
BRICK FACADE & DECORATIVE  
ORNAMENTATION

EXISTING NOTE:  
RUST & METAL DETERIORATION AT  
EXISTING FIRE ESCAPE;  
REQUIRED FOR EGRESS FROM 391  
MARLBOROUGH STREET (MULTIPLE  
UNITS)

EXISTING NOTE:  
NO EXISTING  
EXTERIOR LIGHT SOURCE AT FRONT ENTRANCE  
(REQ'D BY CODE)

EXISTING NOTE:  
DIRT & DEBRIS ON CAST STONE  
DOOR SURROUND

EXISTING NOTE:  
FADING PAINT FINISH, DETERIORATING  
CONDITION & LACK OF WEATHER-SEALING ON  
ORIGINAL WOOD ENTRY DOOR & TRANSOM;  
UNDISTINGUISHED REPLACEMENT BRASS  
HARDWARE

EXISTING NOTE:  
UNDISTINGUISHED  
REPLACEMENT IRON HANDRAIL

EXISTING NOTE:  
SURFACE DIRT & DEBRIS  
ON CAST STONE PEDIMENT

EXISTING NOTE:  
PERVASIVE VINES OBSCURING  
BRICK FACADE & DECORATIVE  
ORNAMENTATION

EXISTING NOTE:  
1-OVER-1, DOUBLE-HUNG WOOD  
WINDOWS, PAINTED WHITE AT  
EXTERIOR SASHES & JAMBS  
(TYPICAL ACROSS FACADE)

EXISTING NOTE:  
EXTENSIVE DRIP MARKS AT  
STONE SILL & WATER TABLE FROM  
DETERIORATING GUTTERS ABOVE

EXISTING NOTE:  
CRUMBLING & PEELING NOVA  
SCOTIA SANDSTONE AT WATER  
TABLE

EXISTING NOTE:  
CONCRETE WINDOW WELL  
WITH DIRT & SCALING



EXISTING NOTE:  
PERVASIVE VINES OBSCURING  
BRICK FACADE & DECORATIVE  
ORNAMENTATION

EXISTING NOTE:  
FADED 2-COURSE PAINTED BAND  
(BLACK) OVER WINDOWS ON  
FLANKING SIDES OF BAY  
(TYPICAL BOTH SIDES)

EXISTING NOTE:  
DIRT & DEBRIS AT STOOP STEPS  
WITH CRACKING & PEELING AT  
CEMENTIOUS COATING

EXISTING NOTE:  
EXTENSIVE DRIP MARKS AT  
STONE LINTELS FROM  
DETERIORATING GUTTERS ABOVE

EXISTING NOTE:  
SINGLE-LITE, DOUBLE-HUNG WOOD  
WINDOWS, PAINTED WHITE AT  
EXTERIOR SASHES & JAMBS  
(TYPICAL ACROSS FACADE)

EXISTING NOTE:  
MANSARD-LEVEL WOOD DORMER  
TRIM PAINTED WHITE & SHOWING  
MINOR SIGNS OF DETERIORATION

EXISTING NOTE:  
RUST & METAL DETERIORATION AT  
EXISTING FIRE ESCAPE, WHICH  
CONNECTS ACROSS DORMER TO  
WINDOW AT FRONT BAY;  
REQUIRED FOR EGRESS FROM  
391 MARLBOROUGH STREET  
(MULTIPLE UNITS)

EXISTING NOTE:  
WARPED & WEATHERED STANDING-  
SEAM ZINC-COATED COPPER  
EXTERIOR WALL FINISH  
(c. 1998 PER ISD RECORDS)

EXISTING NOTE:  
DETERIORATING ONION BULB  
LANTERNS ON EACH SIDE  
OF PENTHOUSE DOORS  
(c. 1998 PER ISD RECORDS)

EXISTING NOTE:  
WEATHERED SINGLE-LITE WOOD  
DOORS & SIDELITES, WITH FADING  
PAINT AT PANELS & TRIM

EXISTING NOTE:  
METAL LADDER TO ROOF  
BOLTED INTO PARTY WALL

EXISTING NOTE:  
ROT & DETERIORATION AT  
EXISTING WOOD DECKING TILES AT  
TERRACE FLOOR



PENTHOUSE TERRACE  
LOOKING EAST



PENTHOUSE TERRACE - PARTY WALL DETAIL  
LOOKING EAST

EXISTING NOTE:  
CRACKING, SETTLING &  
IRREGULARITY OF BRICK INFILL AT  
PARTY WALL

EXISTING NOTE:  
RUST & DETERIORATION AT METAL-  
CLAD CORBEL & PARTY WALL  
EXTENSION

EXISTING NOTE:  
DETERIORATION OF  
METAL PARAPET CAP

EXISTING NOTE:  
RUST & METAL DETERIORATION AT  
EXISTING FIRE ESCAPE;  
REQUIRED FOR EGRESS FROM 391  
MARLBOROUGH STREET (MULTIPLE  
UNITS)



PENTHOUSE TERRACE  
LOOKING EAST



PENTHOUSE TERRACE - PARTY WALL DETAIL  
LOOKING WEST

EXISTING NOTE:  
PAINTED BRICK AT PARTY WALL BETWEEN 389 & 391  
MARLBOROUGH STREET

EXISTING NOTE:  
RUST & DETERIORATION AT METAL-  
CLAD CORBEL & PARTY WALL  
EXTENSION

EXISTING NOTE:  
DETERIORATION OF  
METAL PARAPET CAP



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FRONT ELEVATION:  
NEIGHBORING CONTEXT  
(EXISTING)

PROJECT NO.  
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DATE  
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SCALE  
3/16" = 1'-0"

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FRONT ELEVATION:  
NEIGHBORING CONTEXT  
(PROPOSED)

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VIEW LOOKING EAST ALONG ALLEY



VIEW LOOKING SOUTH AT 387 & 389 MARLBOROUGH



VIEW LOOKING SOUTH TOWARDS REAR OF BUILDING  
INCL. 381-383-385-387-389-391 MARLBOROUGH STREET (REAR FACADES)



VIEW LOOKING WEST ALONG ALLEY



VIEW LOOKING SOUTH AT 389 & 391 MARLBOROUGH



VIEW LOOKING NORTH TO REAR OF BEACON STREET BUILDINGS  
(VIEW ACROSS ALLEY FROM REAR WINDOWS OF 389 MARLBOROUGH)

Issuance For:  
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REAR ELEVATION: ALLEY  
CONTEXT (PHOTOS)

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NOTE: SEE LANDSCAPE DRAWINGS FOR GARDEN & PARKING SCOPE

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REAR ELEVATION: EXISTING  
CONDITIONS (PHOTOS)

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EXISTING NOTE:  
RUST & METAL DETERIORATION AT  
EXISTING FIRE ESCAPES,  
WHICH EXTEND ACROSS MULTIPLE  
WINDOWS AT 2ND, 3RD & 4TH  
FLOORS & ARE  
REQUIRED FOR EGRESS FROM 391  
MARLBOROUGH STREET (MULTIPLE  
UNITS)

EXISTING NOTE:  
REAR DOOR FOR ENTRY  
TO GARDEN-LEVEL APARTMENT  
(TO BE CONSOLIDATED TO SINGLE  
OCCUPANCY)



EXISTING NOTE:  
EXTENTS OF FIRE ESCAPES AT 2ND,  
3RD & 4TH FLOOR

EXISTING NOTE:  
CRACKING ON MASONRY FACADE

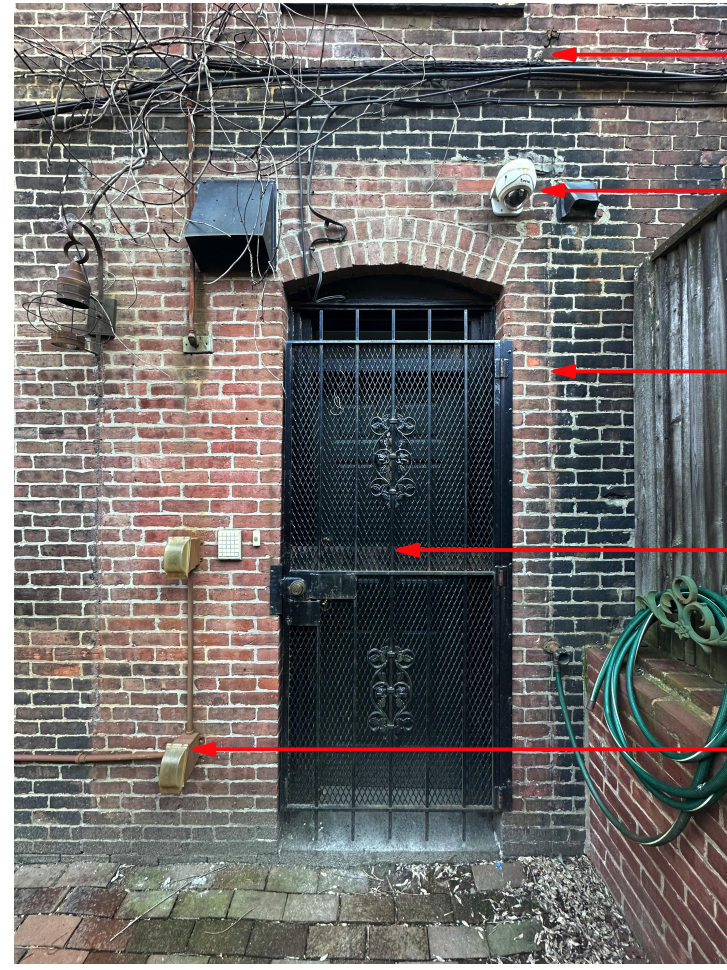
EXISTING NOTE:  
SEGMENTAL ARCH AT DOOR  
LOWER THAN ARCHES AT  
ADJACENT WINDOWS



EXISTING NOTE:  
DOUBLE BRICK SEGMENTAL ARCH AT REAR  
WINDOWS, WHICH ARE 1-OVER-1 DOUBLE-  
HUNG WINDOWS WITH ARCHED INFILL PANEL  
AT HEADER  
(TYPICAL AT ALL REAR WINDOWS)

EXISTING NOTE:  
METAL SECURITY BARS  
CLIPPED TO MASONRY  
OPENING  
(TYPICAL AT REAR GARDEN LEVEL WINDOWS)

EXISTING NOTE:  
CHIPPING & DETERIORATION ON  
STONE LINTELS  
(TYPICAL AT ALL REAR WINDOWS)



EXISTING NOTE:  
WIRES & CONDUIT SPAN ACROSS  
FACADES OF MULTIPLE BUILDINGS

EXISTING NOTE:  
DEFUNCT ELECTRONIC CAMERA  
ABOVE REAR DOOR

EXISTING NOTE:  
DIFFERENTIATION IN BRICK COLOR  
& TEXTURE INDICATES PATCHING  
AND/OR REMOVAL OF PREVIOUSLY  
EXISTING STRUCTURE IN THIS  
LOCATION

EXISTING NOTE:  
DETERIORATING METAL MESH INLAY  
SECURITY SCREEN AT REAR ENTRY  
DOOR

EXISTING NOTE:  
DEFUNCT ELECTRICAL BOXES &  
CONDUIT

NOTE: SEE LANDSCAPE DRAWINGS FOR GARDEN & REAR WALL SCOPE



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REAR ELEVATION:  
NEIGHBORING CONTEXT  
(EXISTING)

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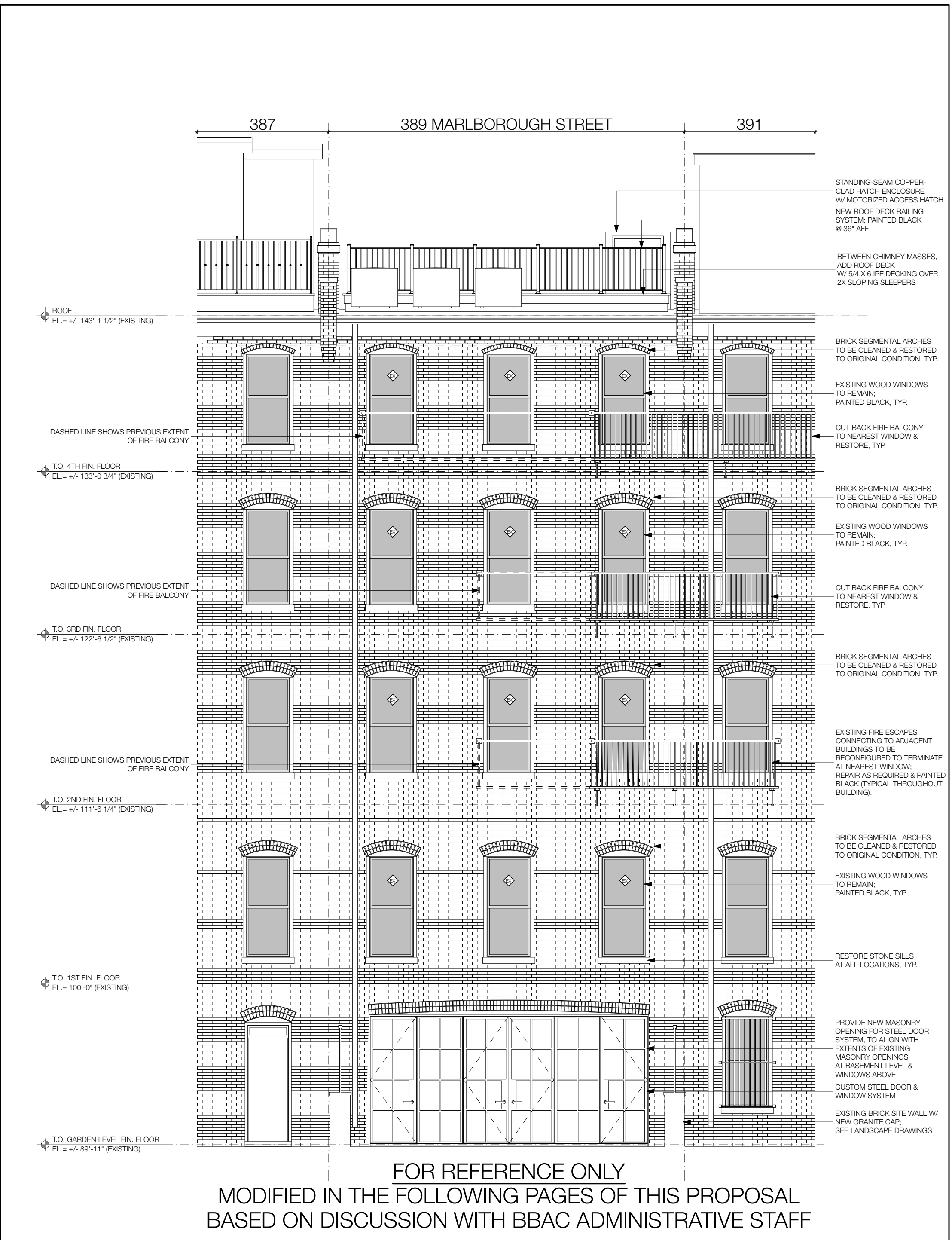
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REAR ELEVATION: PROPOSED  
NEIGHBORING CONTEXT

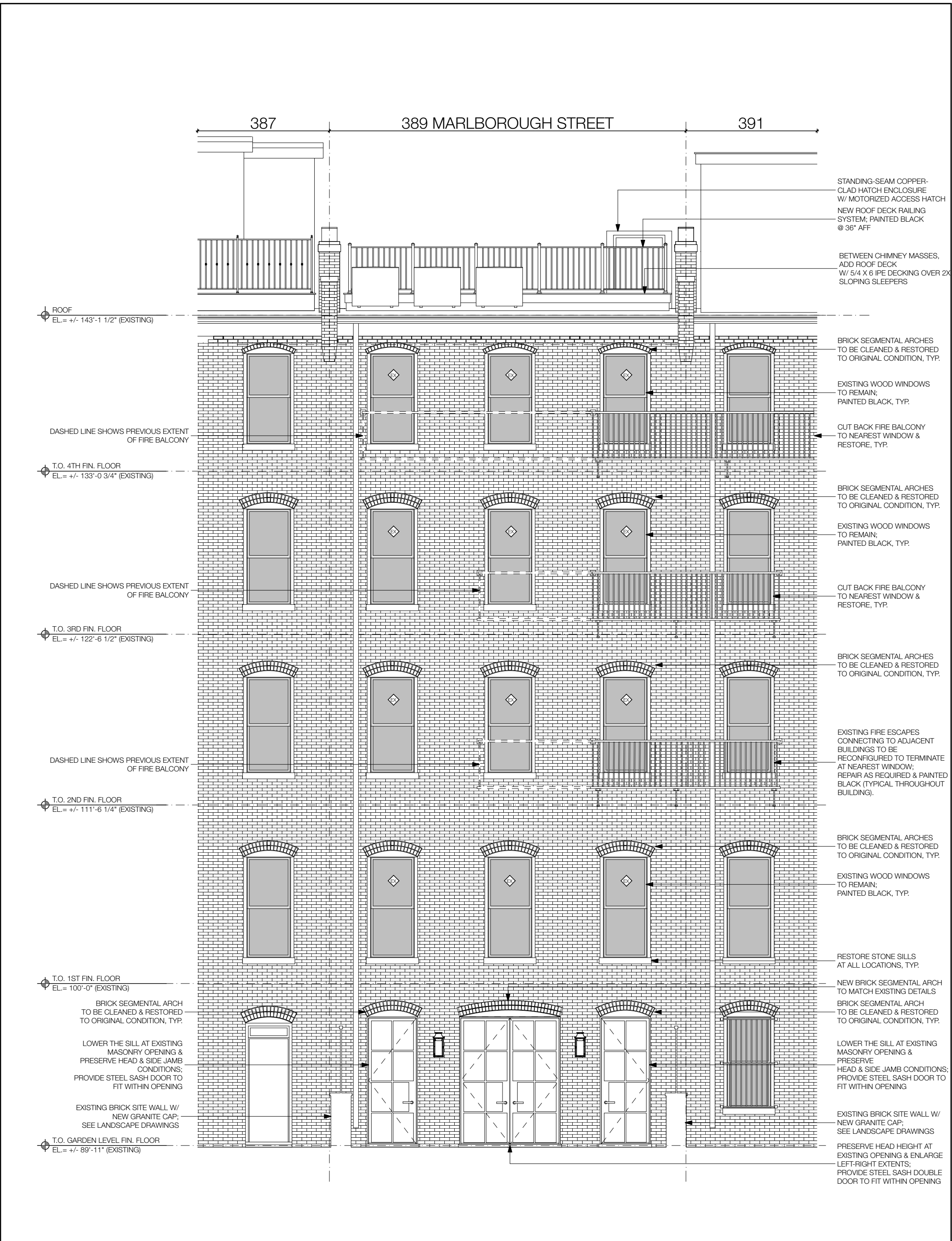
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REAR ELEVATION: ORIGINAL PROPOSAL	Issuance For: BACK BAY ARCHITECTURAL COMMISSION	RESIDENCE AT 389 MARLBOROUGH STREET							
A-3.6	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid black; width: 50%; text-align: center;">3/16" = 1'-0"</td> <td style="width: 50%; text-align: center;">SCALE</td> </tr> <tr> <td style="border-bottom: 1px solid black; text-align: center;">05/23/23</td> <td style="text-align: center;">DATE</td> </tr> <tr> <td style="text-align: center;">5258</td> <td style="text-align: center;">PROJECT NO.</td> </tr> </table>	3/16" = 1'-0"	SCALE	05/23/23	DATE	5258	PROJECT NO.		
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REAR ELEVATION:  
PROPOSED WORK

A-3.7

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EXISTING NOTE:  
DETERIORATION OF  
METAL PARAPET CAP AT PARTY  
WALL

EXISTING NOTE:  
ACRYLIC DOME & CURB AT  
LAYLIGHT (TO BE REMOVED)

ROOF  
LOOKING SOUTH TOWARDS MARLBOROUGH STREET



EXISTING NOTE:  
DETERIORATION OF  
METAL PARAPET CAP AT PARTY  
WALL

ROOF  
LOOKING NORTH TOWARDS PUBLIC ALLEY 414

ROOF: EXISTING  
CONDITIONS (PHOTOS)

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EXISTING NOTE:  
REAR MASONRY CHIMNEY

EXISTING NOTE:  
ROOF STRUCTURE W/ FRONT &  
REAR DECKS AT  
387 MARLBOROUGH (BEYOND)

EXISTING NOTE:  
FRONT MASONRY CHIMNEY

EXISTING NOTE:  
GAS CHIMNEY STACK  
(TO BE REMOVED)

EXISTING NOTE:  
METAL LADDER TO ROOF  
BOLTED INTO PARTY WALL

EXISTING NOTE:  
PITCH LINE

ROOF  
LOOKING EAST TOWARDS 387 MARLBOROUGH STREET



EXISTING NOTE:  
ROOF STRUCTURE WITH  
FRONT DECK AT  
391 MARLBOROUGH (BEYOND)

EXISTING NOTE:  
NEIGHBORING CHIMNEY AT  
391 MARLBOROUGH

EXISTING NOTE:  
EXISTING CONDENSER

ROOF  
LOOKING WEST TOWARDS 391 MARLBOROUGH STREET

ROOF: EXISTING  
CONDITIONS (PHOTOS)

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RESIDENCE AT  
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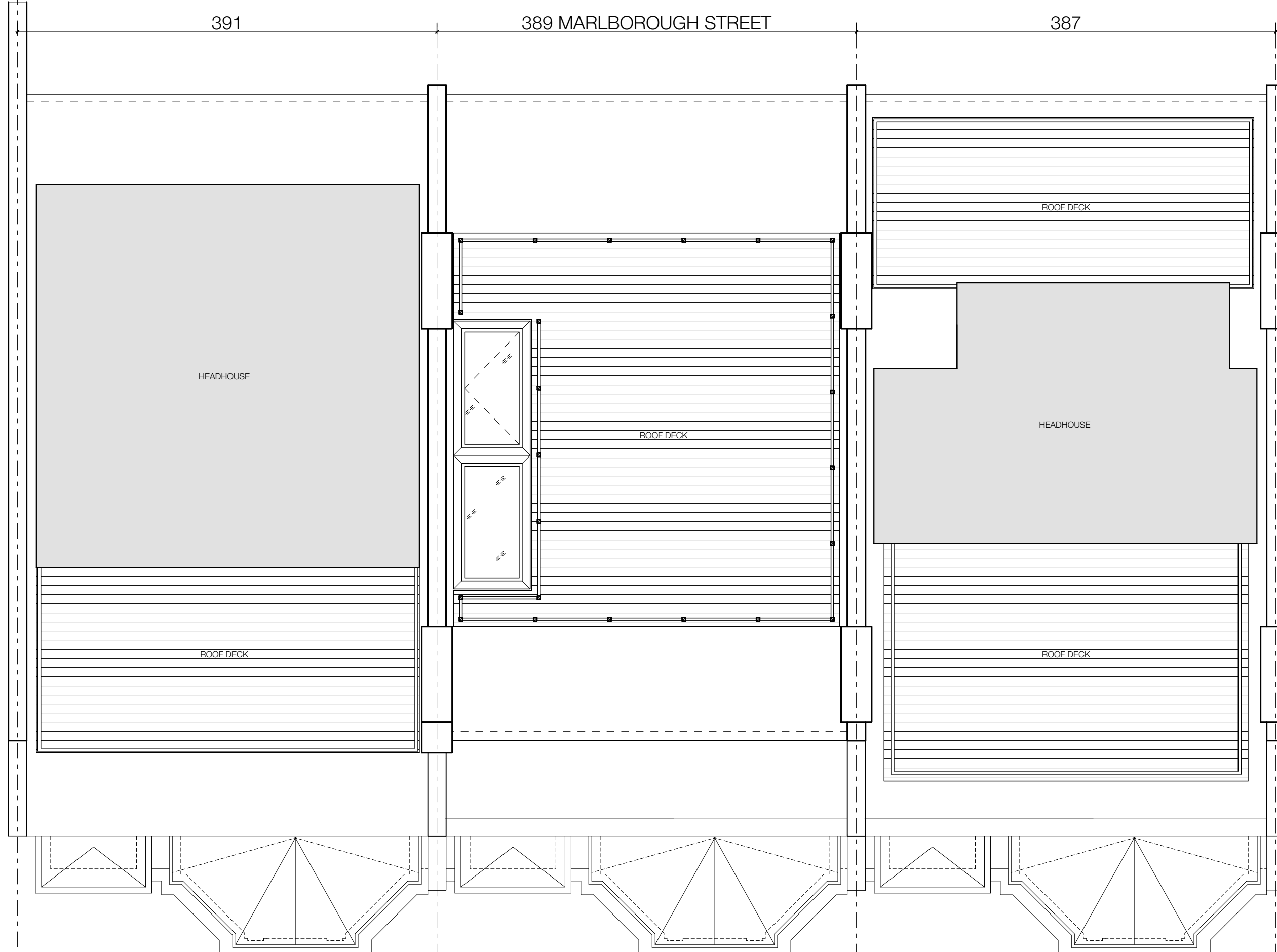
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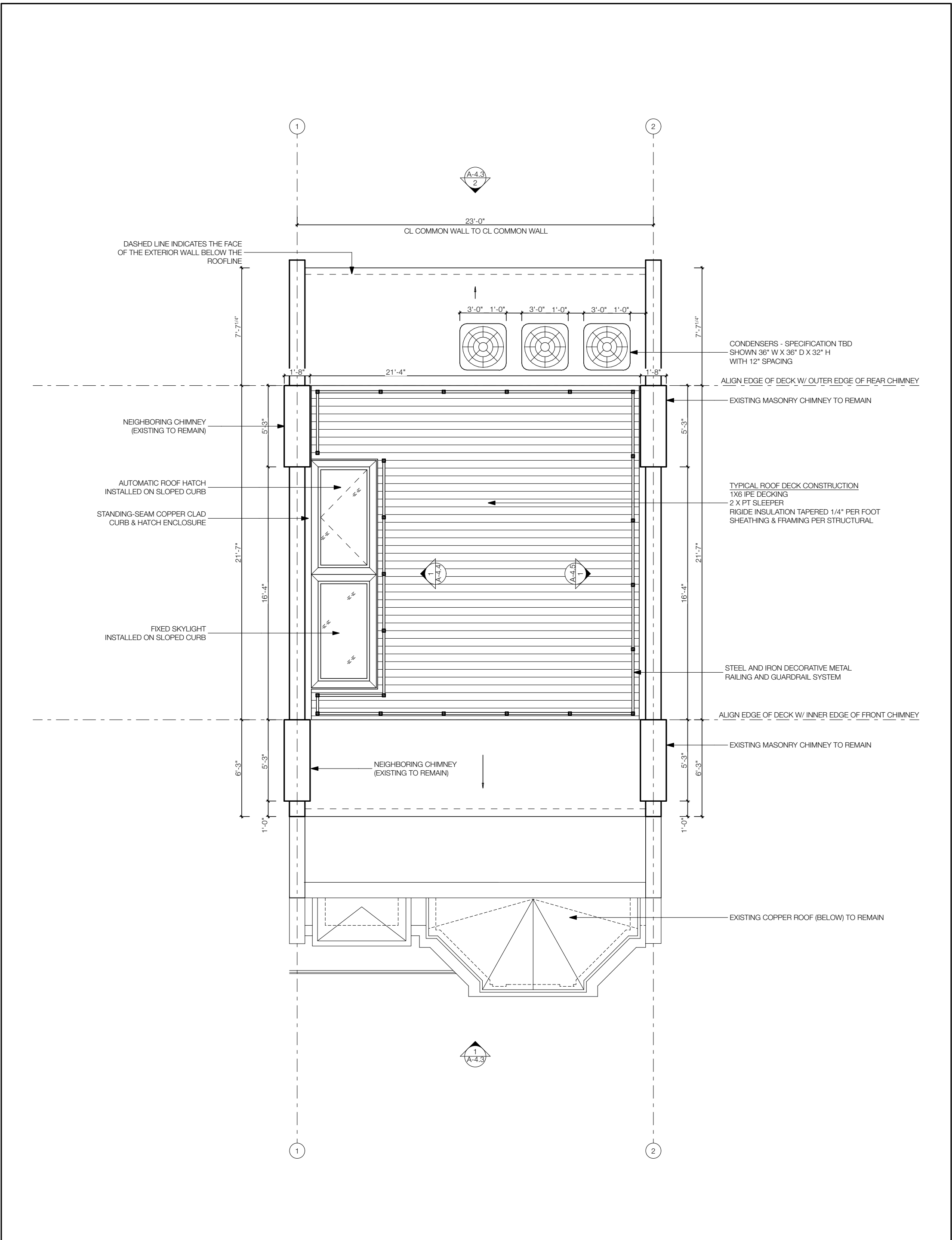
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ROOF: PROPOSED DECK PLAN

**A-4.3**

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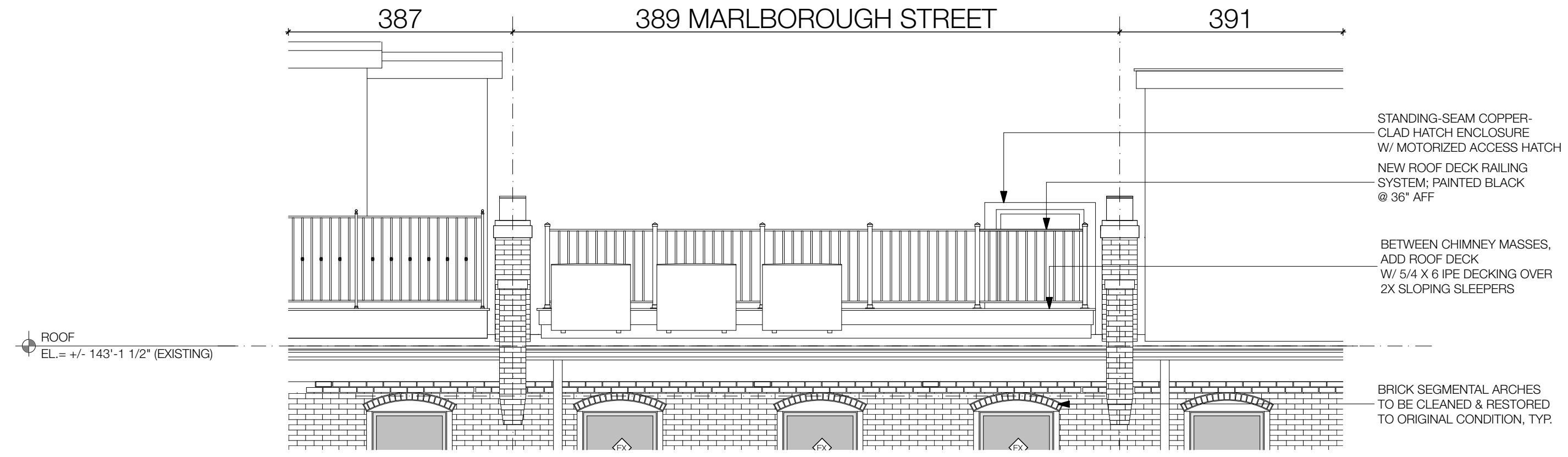
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RESIDENCE AT  
 389 MARLBOROUGH STREET

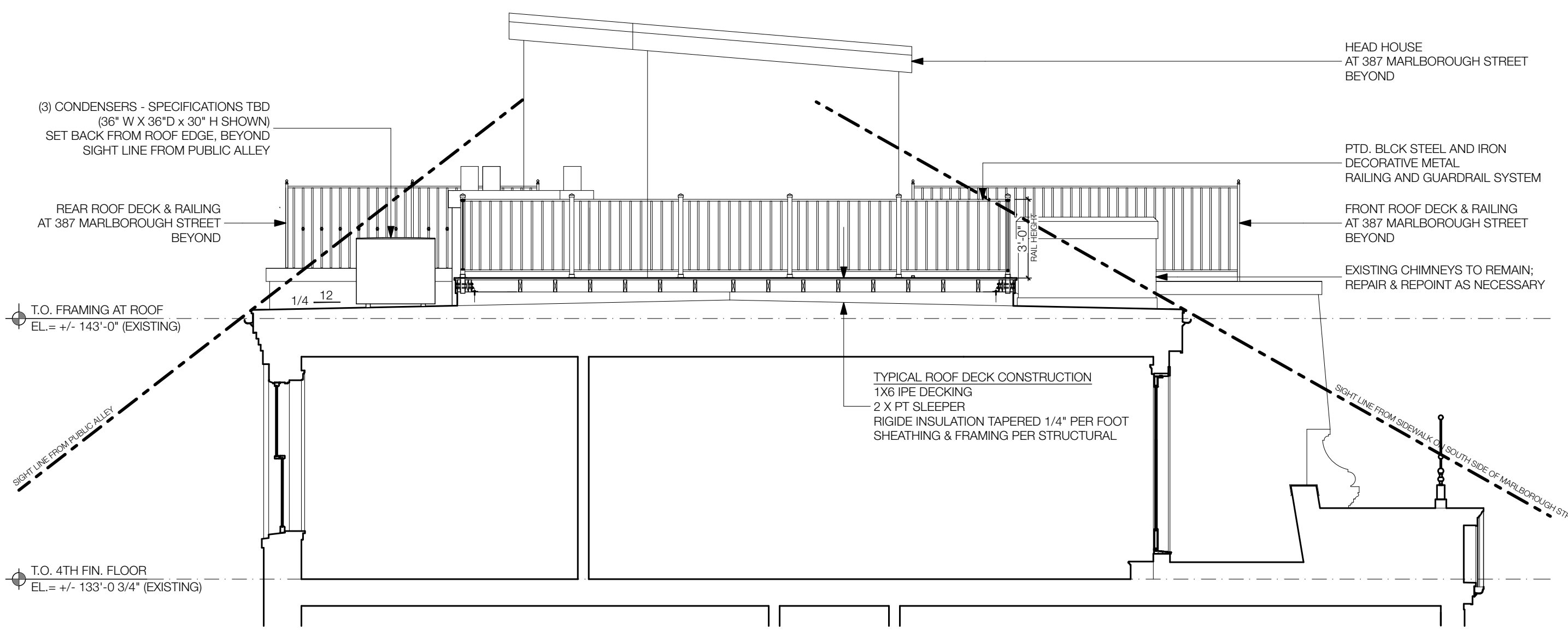




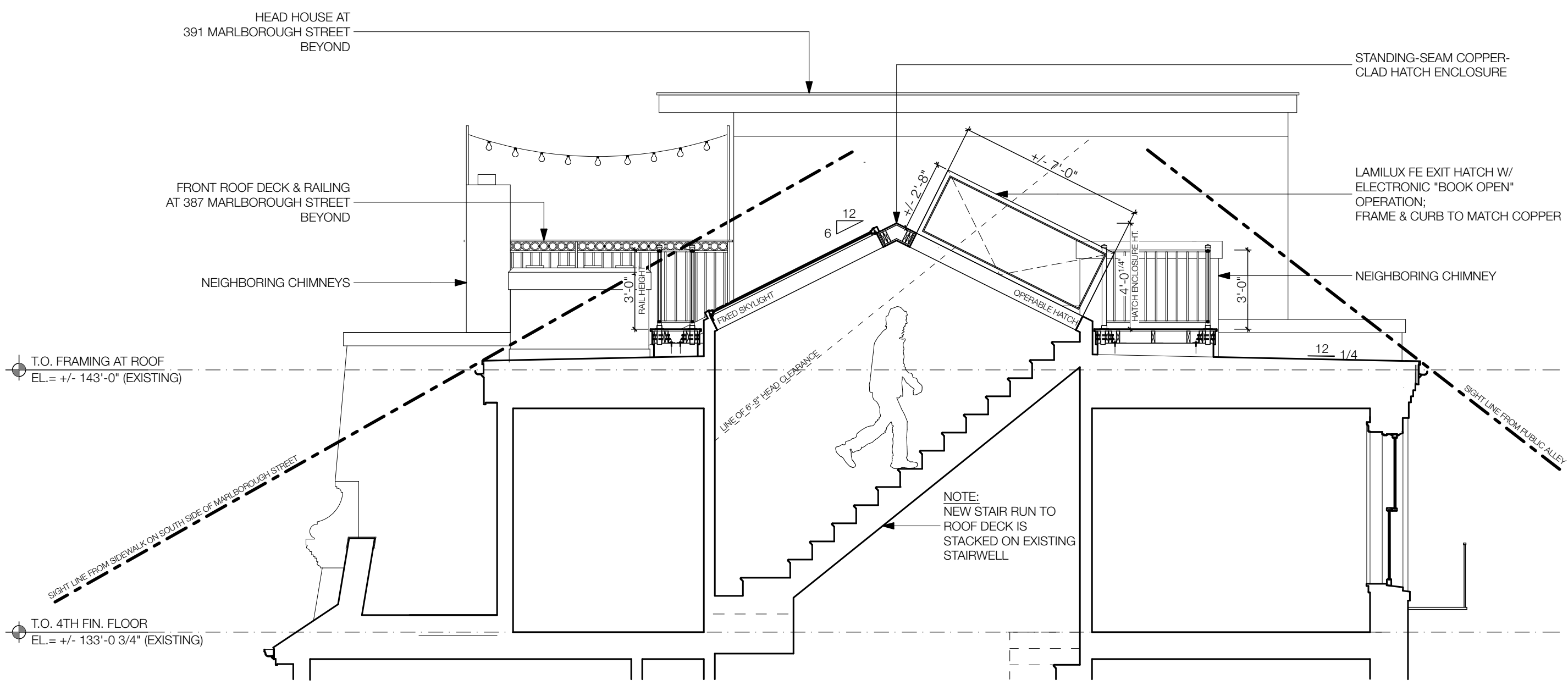
1 PROPOSED ROOF DECK ELEVATION - LOOKING NORTH FROM MARLBOROUGH



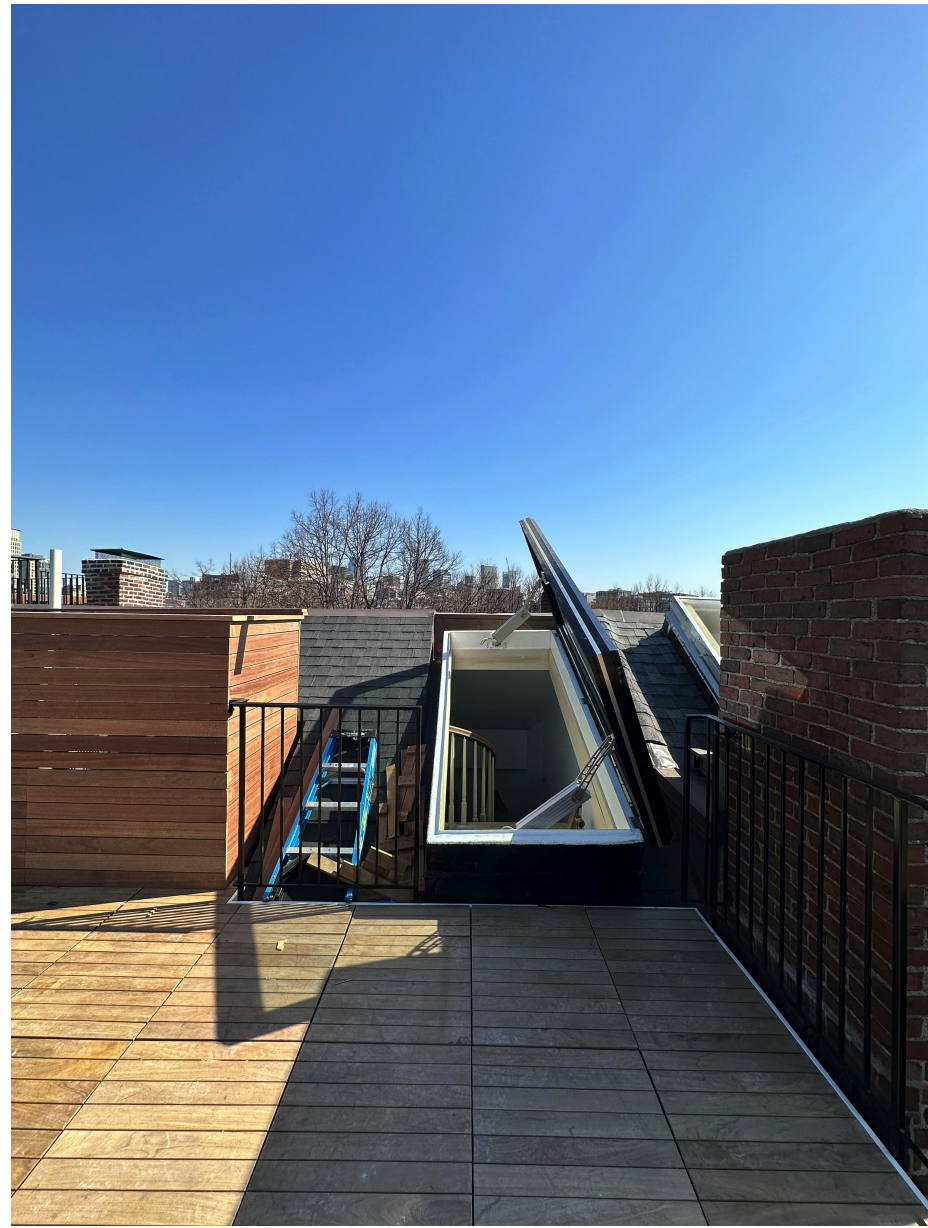
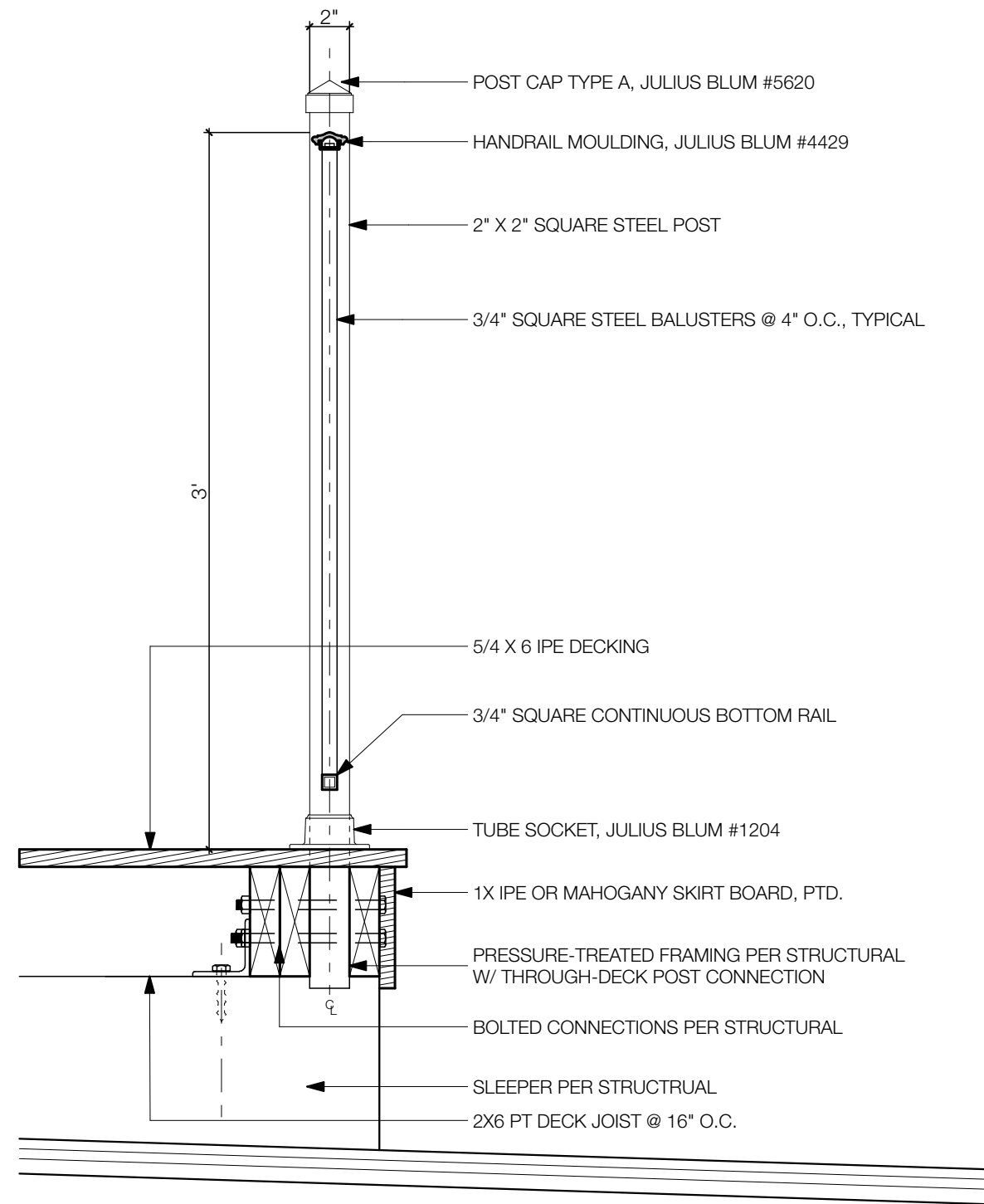
2 PROPOSED ROOF DECK ELEVATION - LOOKING SOUTH FROM ALLEY



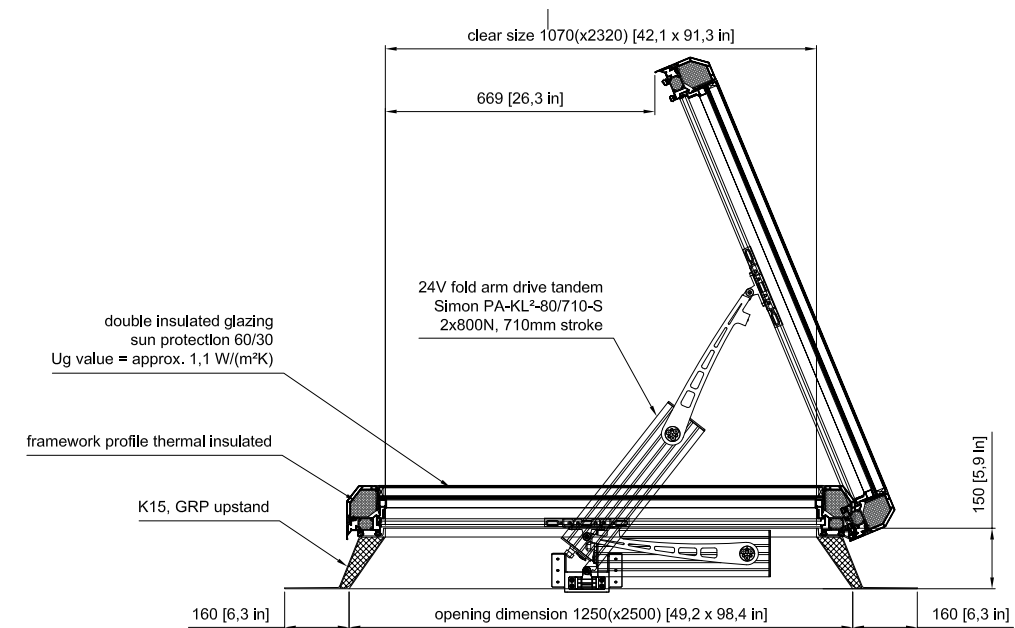
1 PROPOSED ROOF DECK ELEVATION - LOOKING EAST



2 PROPOSED ROOF DECK ELEVATION - LOOKING WEST

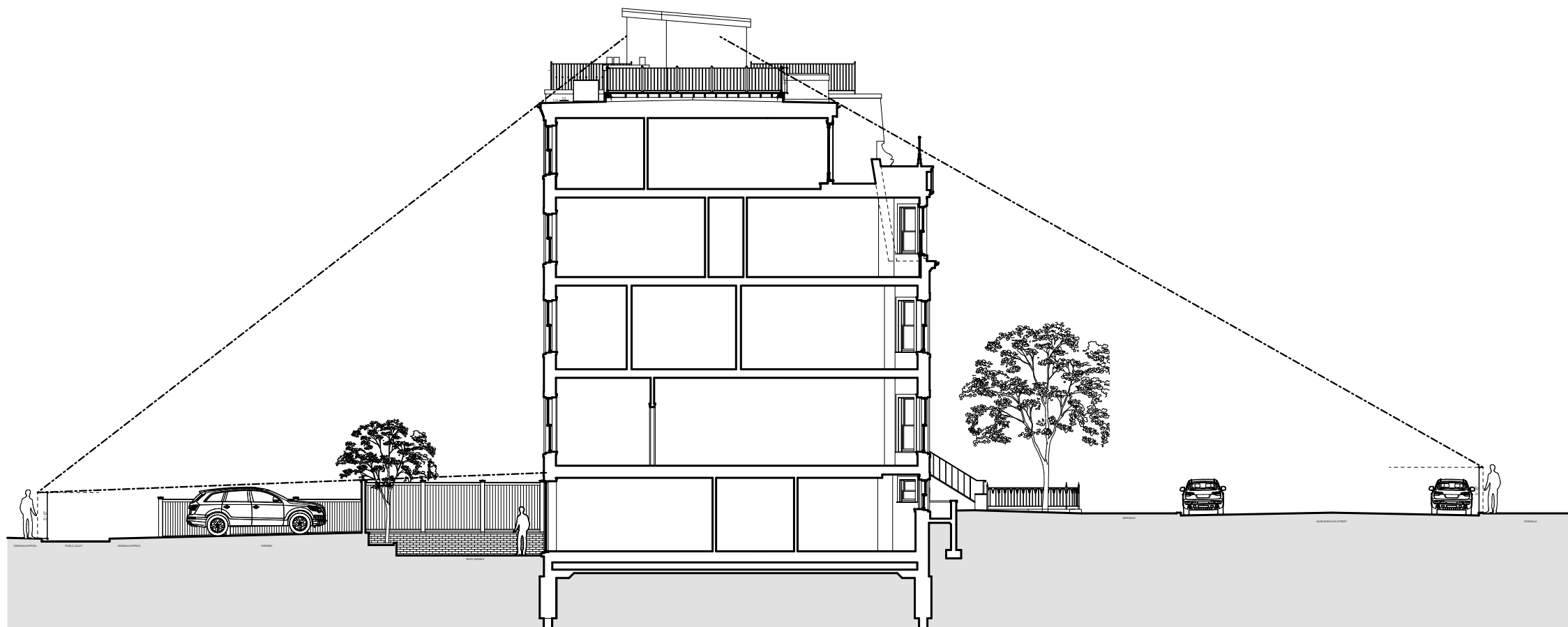
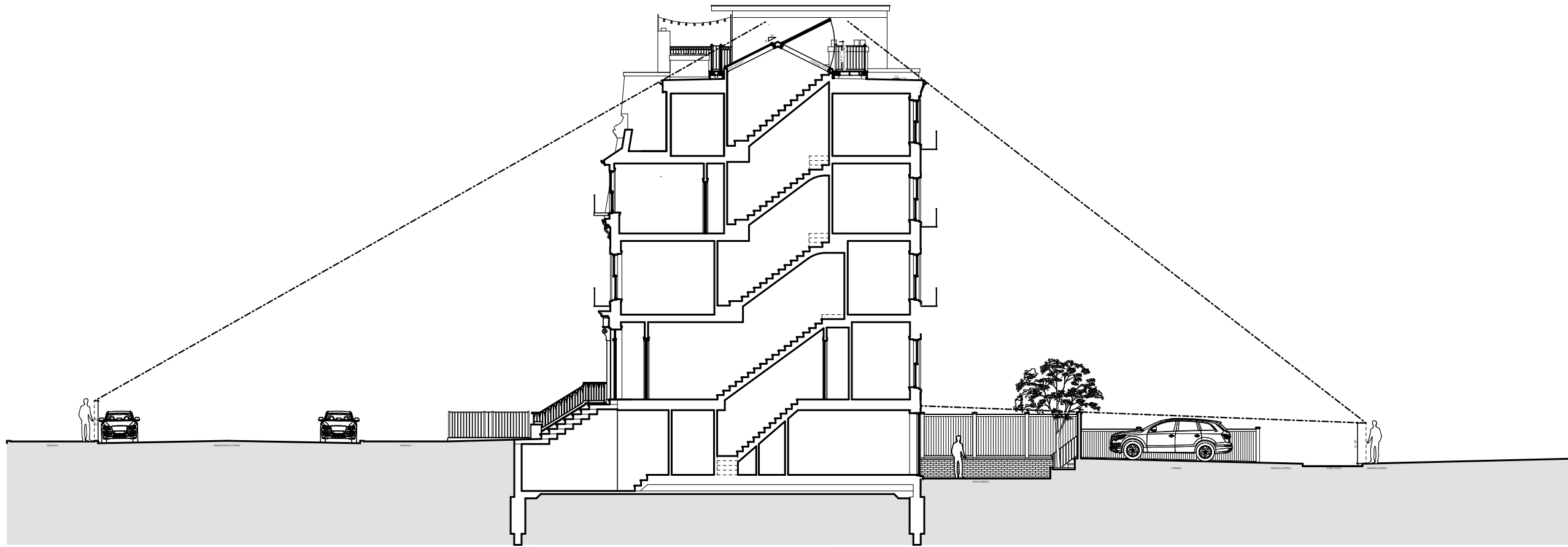


2 ROOF EXIT HATCH  
IN SITU



3 ROOF EXIT HATCH  
SPECIFICATION - N.T.S.

1 ROOF DECK - RAILING DETAIL  
1 1/2" = 1'-0"



Mellows & Paladino Architects

RESIDENCE AT  
389 MARLBOROUGH STREET  
BOSTON, MASSACHUSETTS

Issuance For:  
BACK BAY  
ARCHITECTURAL  
COMMISSION

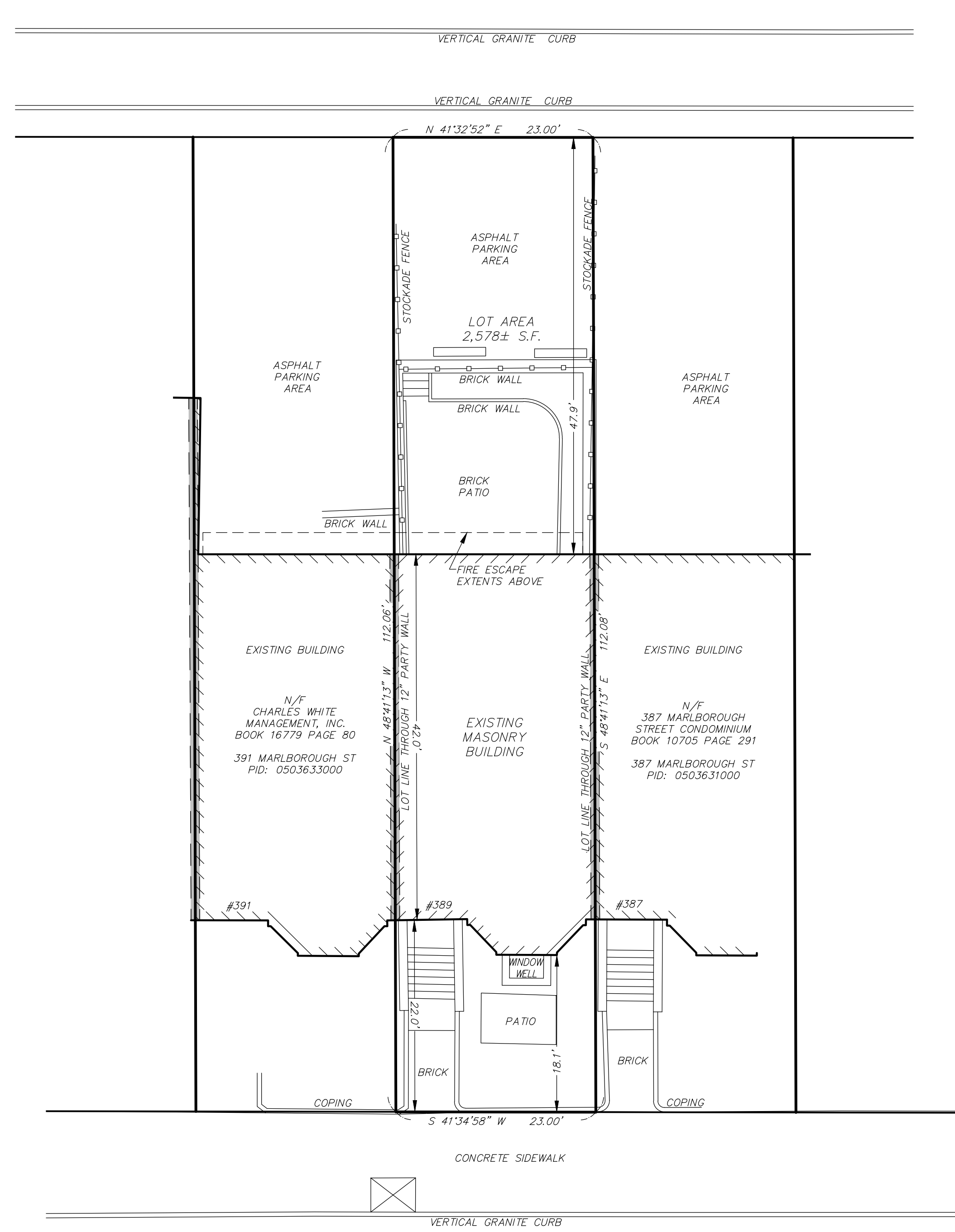
ROOF: BUILDING SECTION &  
SIGHT LINES

PROJECT NO:  
5258  
DATE:  
05/23/23  
SCALE:  
1/16" = 1'-0"

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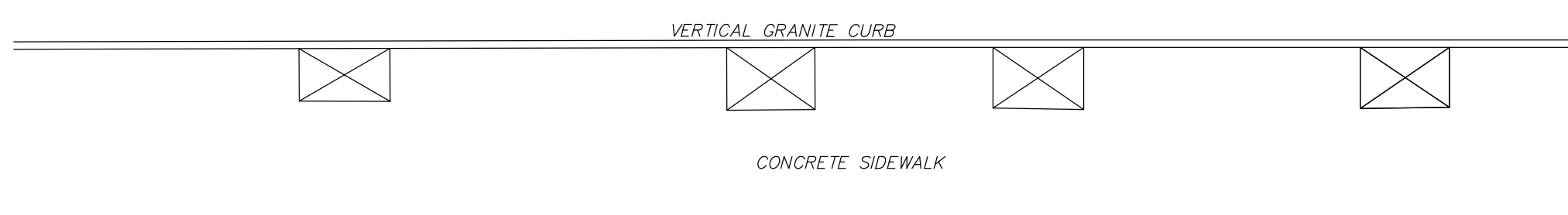
A-4.8

PUBLIC ALLEY 414  
PUBLIC - 60' WIDE

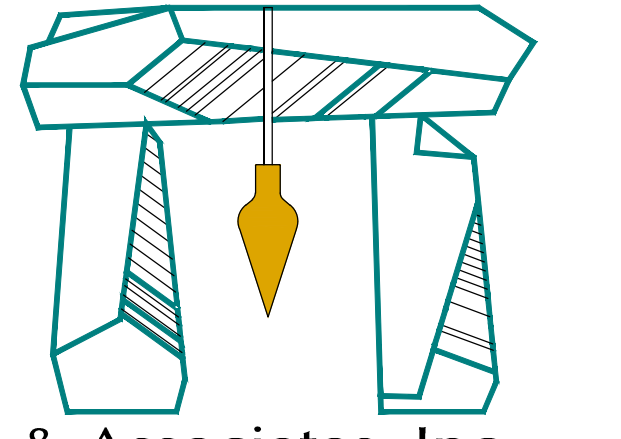


BACK STREET TAKING PLAN  
BOOK 6716, PAGE 39

MARLBOROUGH PUBLIC - 60' WIDE STREET



DeCelle-Burke-Sala



& Associates, Inc.  
1266 Furnace Brook Parkway #401  
Quincy, MA 02169  
617-405-5100 (o) 617-405-5101 (f)  
www.decelle-burke-sala.com



CLAUDIO SALA, PLS DATE

- GENERAL NOTES:
- LOCUS:
  - ASSESSORS ID: 0503632000  
RECORD OWNER: JOSHUA D. SOLOMON & NANCY SOLOMON  
DEED REFERENCE: BOOK 68401 PAGE 269
  - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE DURING JANUARY & FEBRUARY 2023.
  - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
  - DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
  - PARCEL IS LOCATED WITHIN A ZONE X, AS DELINEATED ON FIRM 250250077J, EFFECTIVE 03/16/2016.
  - PARCEL IS ZONED "H-3-65" WITHIN "BOSTON PROPER" DISTRICT PER B.P.D.A. ZONING VIEWER.

PROJECT TITLE & LOCATION:

EXISTING CONDITIONS  
PLOT PLAN  
389 MARLBOROUGH STREET  
BOSTON, MASS.

PREPARED FOR:

DAVID FRISSORA  
KVC BUILDERS  
11 FOX ROAD  
WALTHAM, MA 02451

DATE: FEBRUARY 15, 2023

REVISED:

REVISED:

REVISED:

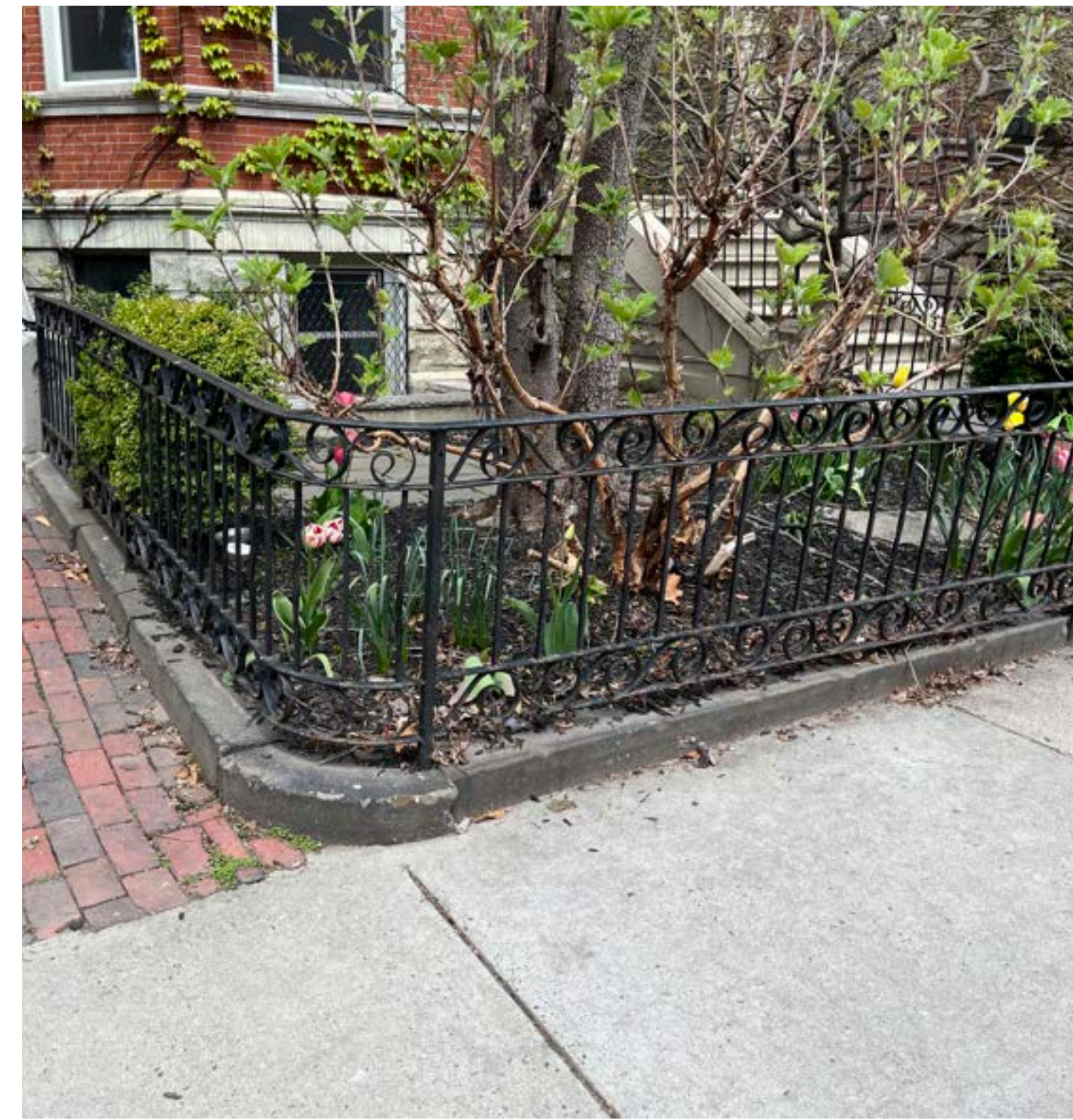
REVISED:

JOB NUMBER: 2022.081 SHEET 1 OF 2

10 5 0 10 20

SCALE: 1" = 10'





DAMAGED CURB

DAMAGED CURB

RUSTED RAILING



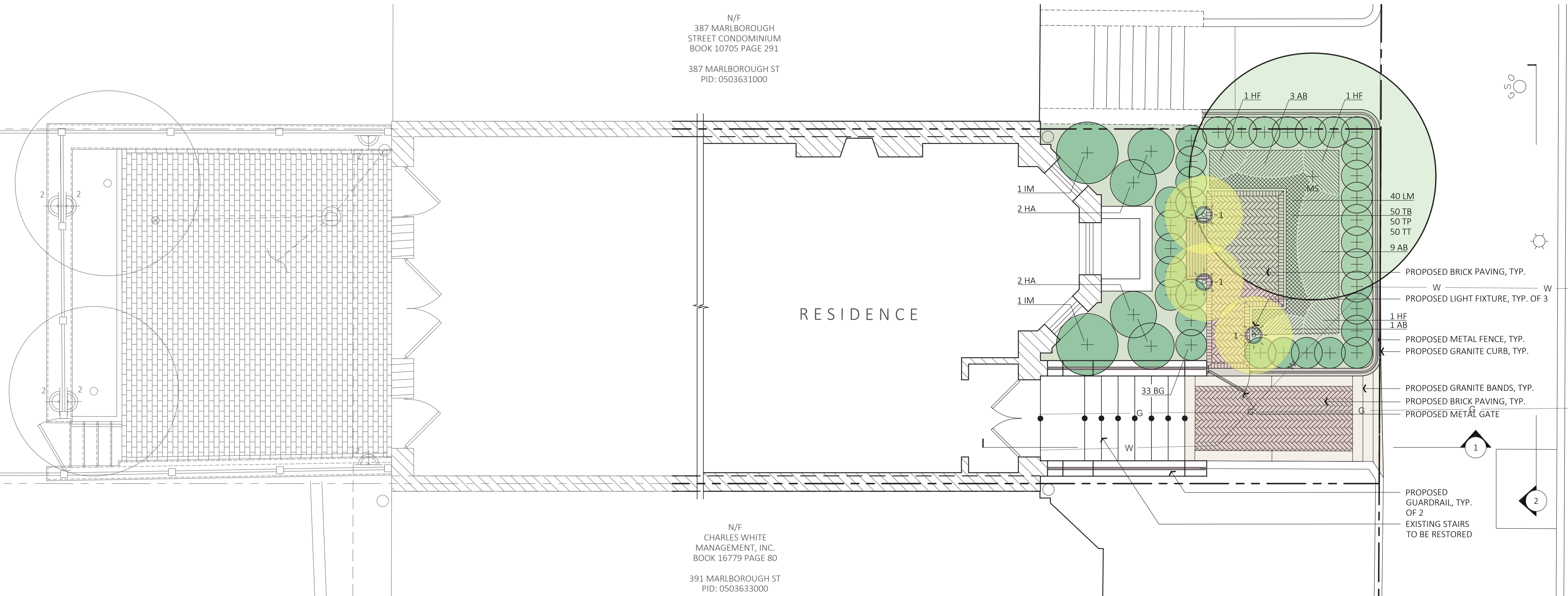
PUBLIC ALLEY 414

MARLBOROUGH STREET

N/F  
387 MARLBOROUGH  
STREET CONDOMINIUM  
BOOK 10705 PAGE 291  
387 MARLBOROUGH ST  
PID: 0503631000

N/F  
CHARLES WHITE  
MANAGEMENT, INC.  
BOOK 16779 PAGE 80  
391 MARLBOROUGH ST  
PID: 0503633000

RESIDENCE



**PLANT LIST**

SYM.	BOTANICAL NAME	COMMON NAME	QTY.	MIN. SIZE	NOTES
<b>TREES</b>					
MS	Magnolia soulangeana	Saucer Magnolia	1	12"-14' ht.	
<b>SHRUBS &amp; VINES</b>					
BG	Buxus 'Green Gem'	Green Gem Boxwood	33	24" ht.	Hedge
HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4	24"-30" spr. 7 gal.	
IM	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	2	4'-5' ht.	
<b>PERENNIALS, GROUNDCOVERS, BULBS &amp; GRASSES</b>					
AB	Astilbe 'Bridal Veil'	Bridal Veil Astilbe	13	1 gallon	18" spacing
HF	Hosta 'Francee'	Francee Hosta	3	1 gallon	
LM	Liriope muscari 'Royal Purple'	Lily Turf	40	3" pot	8" spacing
TB	Tulipa 'Blue Diamond'	Blue Diamond Tulip (purple)	50	Bulb	6" spacing
TP	Tulipa 'Pink Impressions'	Pink Impressions Tulip (pink)	50	Bulb	6" spacing
TT	Tulipa 'Mount Tacoma'	Mount Tacoma Tulip (white)	50	Bulb	6" spacing

**FIXTURE SCHEDULE**

QTY.	SYM.	TYPE	MANUFACTURER, MODEL / PRODUCT #	WATTS	NOTES
3	☼	PATH	HUNZA, TWIG LITE: TG/L-D3-COP-AS-3-SSP	1	



1 SECTION ELEVATION - LOOKING EAST  
SCALE: 1/2" = 1'-0"



2 SECTION ELEVATION - LOOKING NORTH  
SCALE: 1/2" = 1'-0"



SAUCER MAGNOLIA



BLUE DIAMOND TULIP



MOUNT TACOMA TULIP



FRANCEE HOSTA



PINK IMPRESSIONS TULIP



TULIP MIX



BRIDAL VEIL ASTILBE



ANNABELLE HYDRANGEA



BLUE PRINCESS HOLLY



GREEN GEM BOXWOOD



LILY TURF

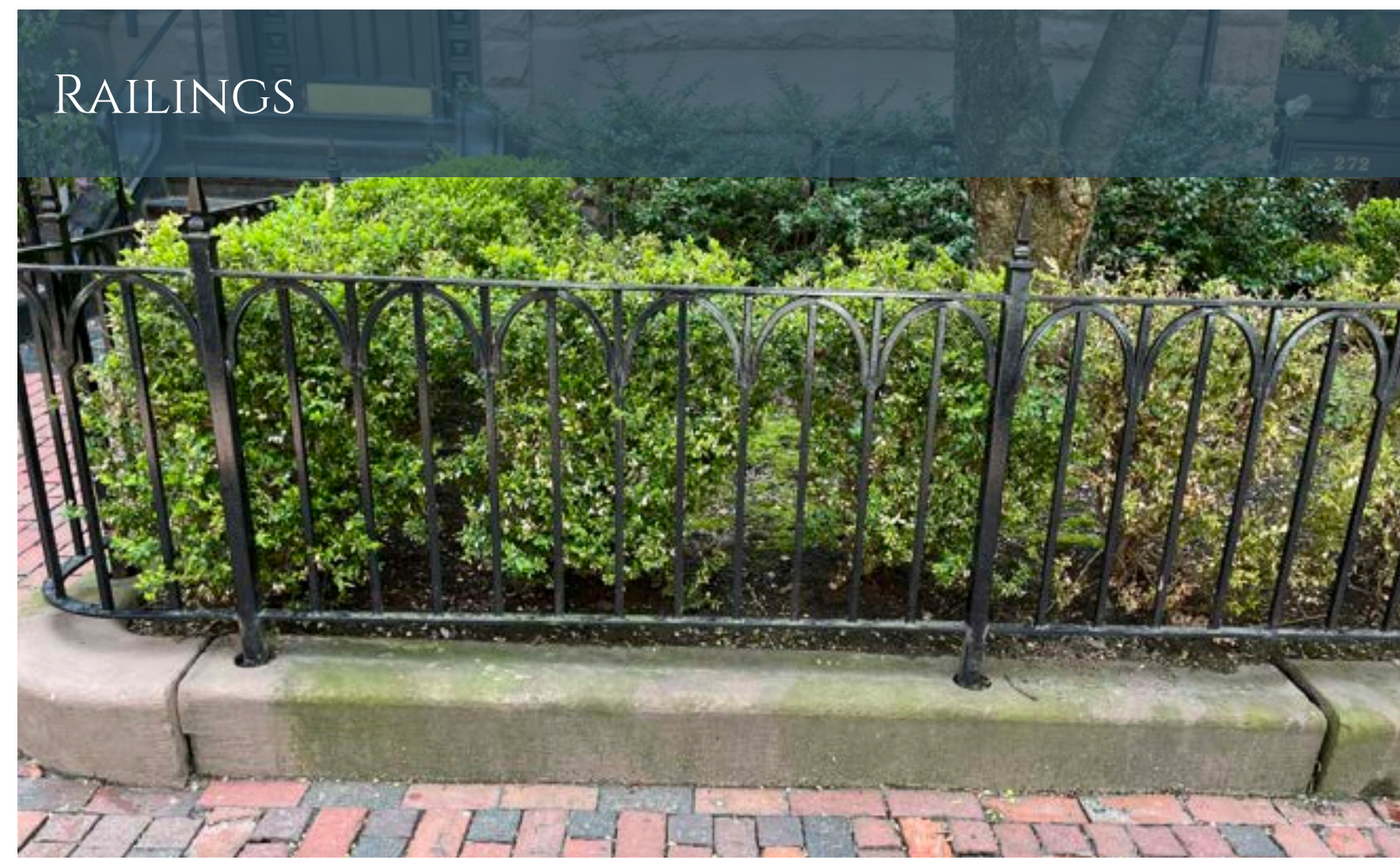


GRANITE CURBING

241 MARLBOROUGH STREET



241 MARLBOROUGH STREET

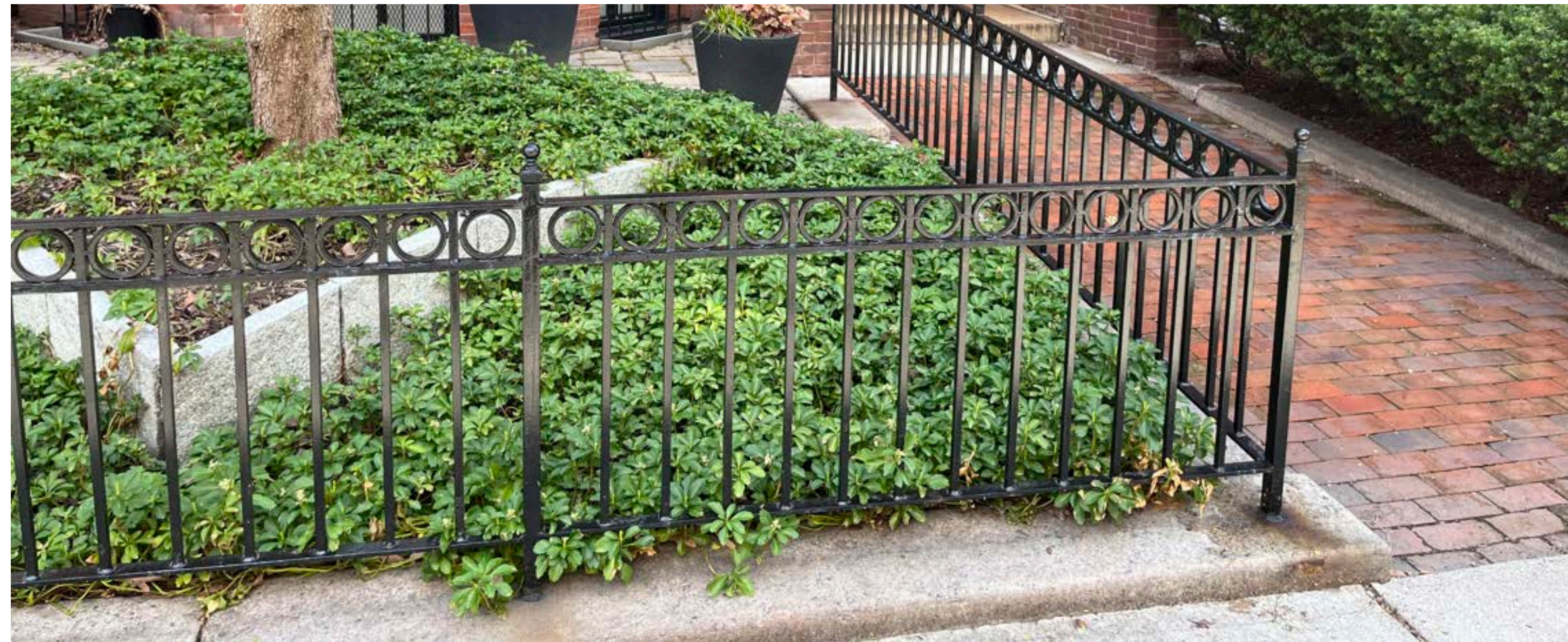


RAILINGS

258 MARLBOROUGH STREET



258 MARLBOROUGH STREET



398 MARLBOROUGH STREET



352 MARLBOROUGH STREET



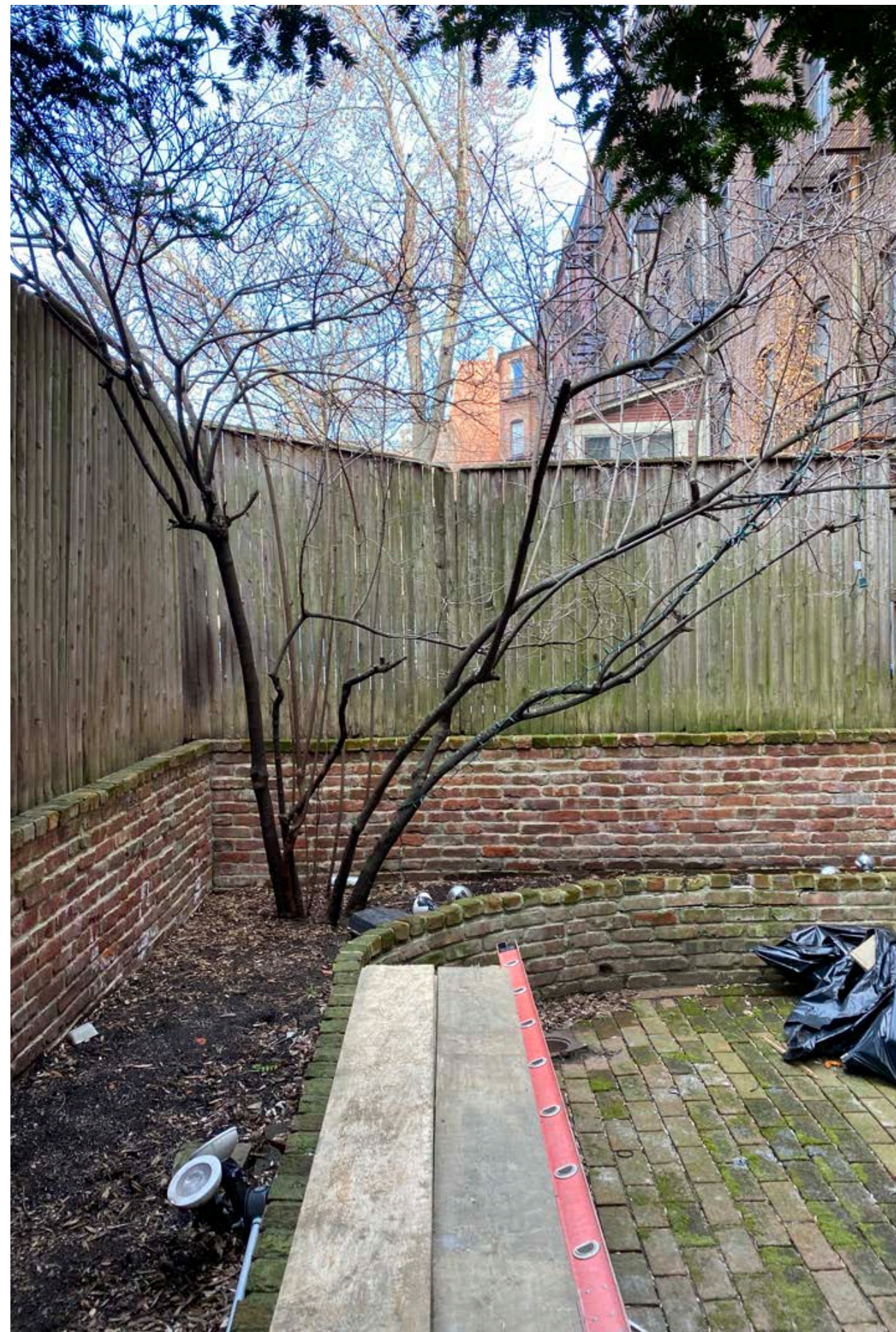
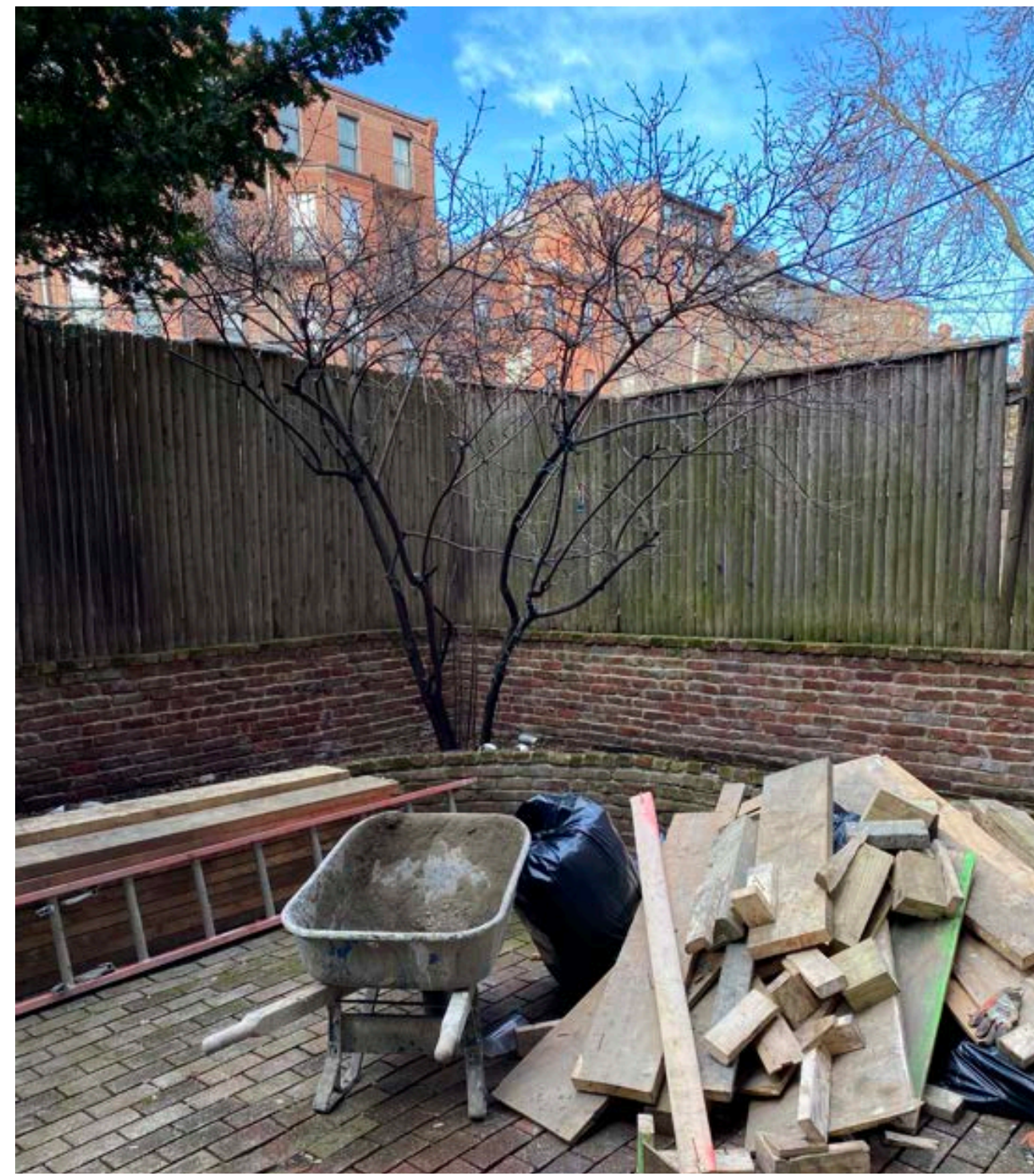
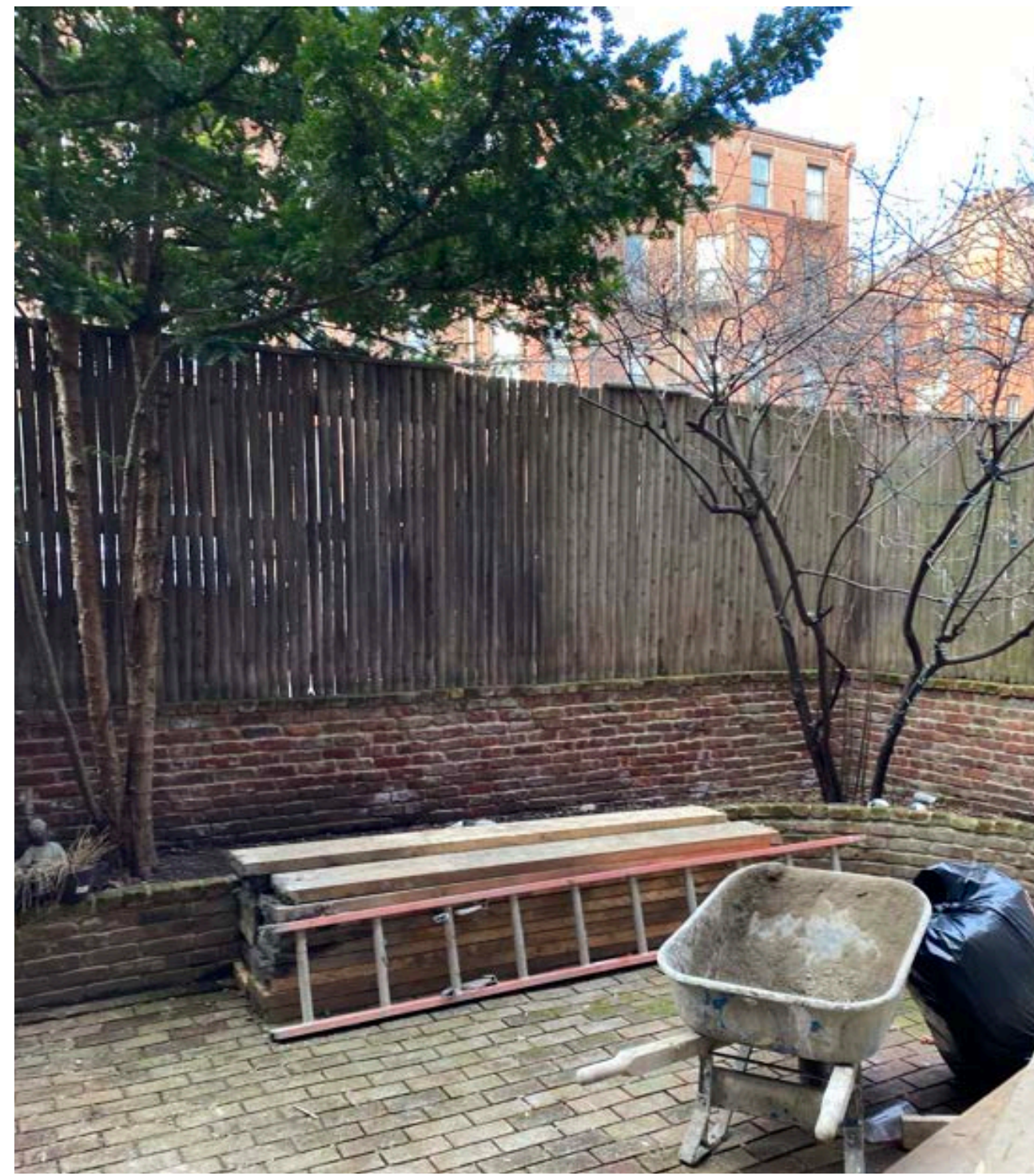
315 DARTMOUTH STREET

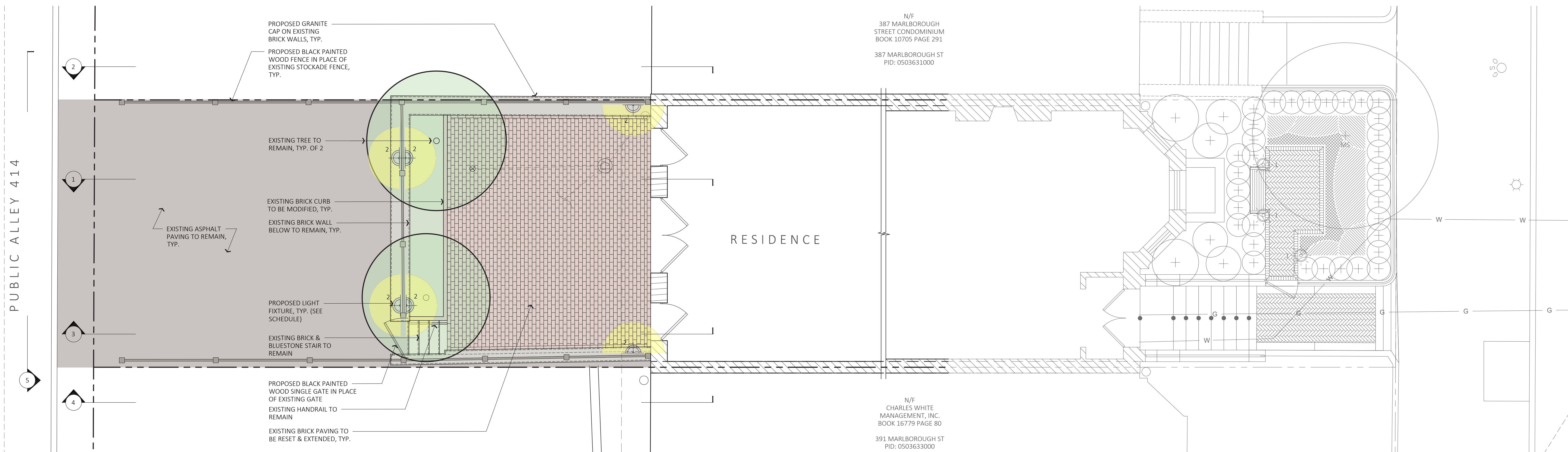


354 MARLBOROUGH STREET

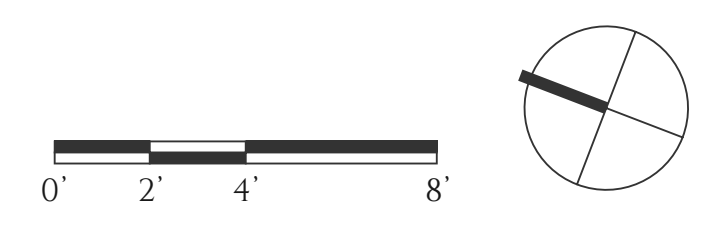


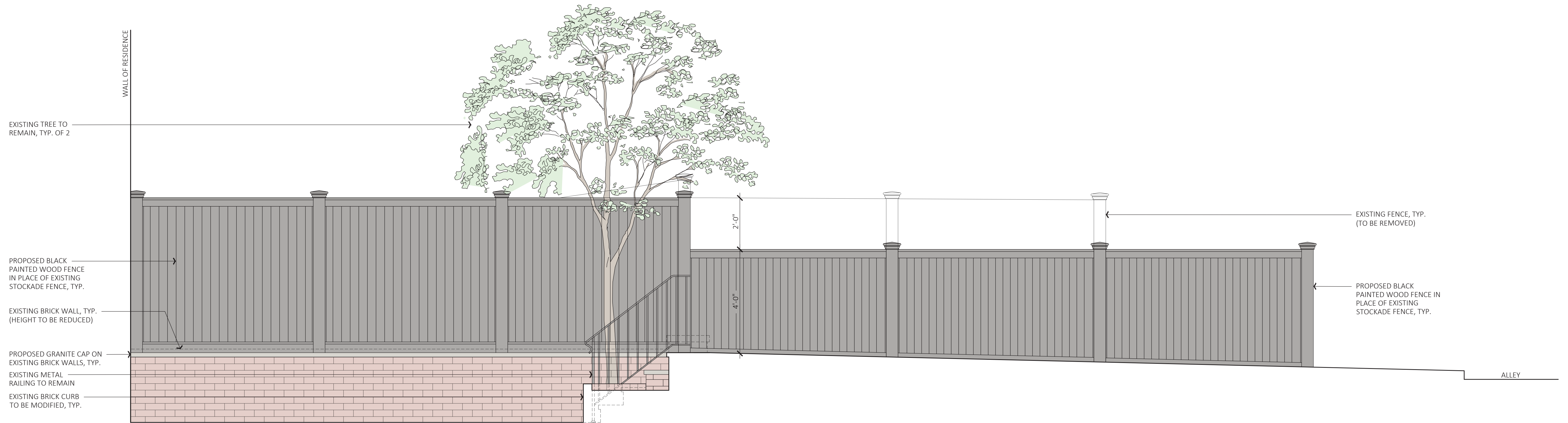
354 MARLBOROUGH STREET





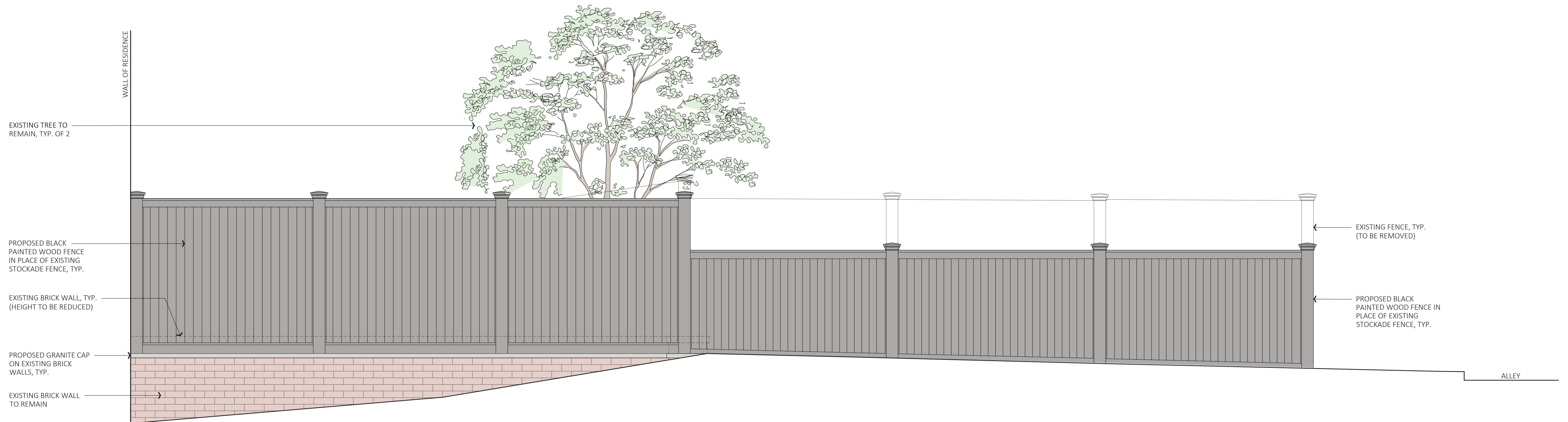
FIXTURE SCHEDULE					
QTY.	SYM.	TYPE	MANUFACTURER, MODEL / PRODUCT #	WATTS	NOTES
6	☼	WALL	BEVOLO GAS & ELECTRIC LIGHTS, WILLIAMSBURG 18" BRACKET MOUNT		DARK FINISH





1 SECTION ELEVATION - LOOKING WEST THROUGH 389 MARLBOROUGH

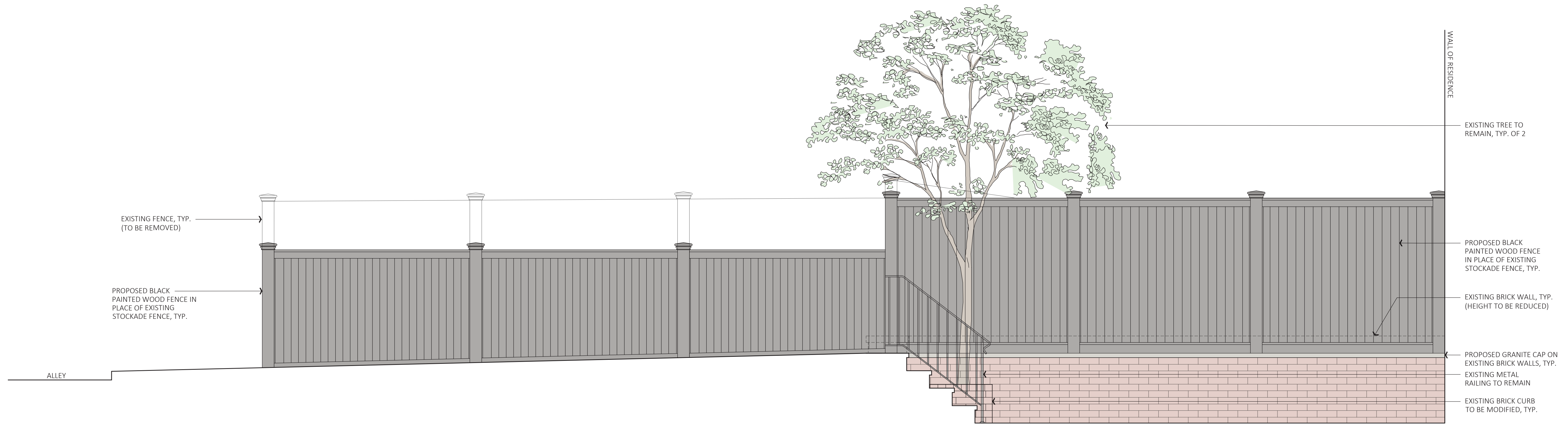
SCALE: 1/2" = 1'-0"



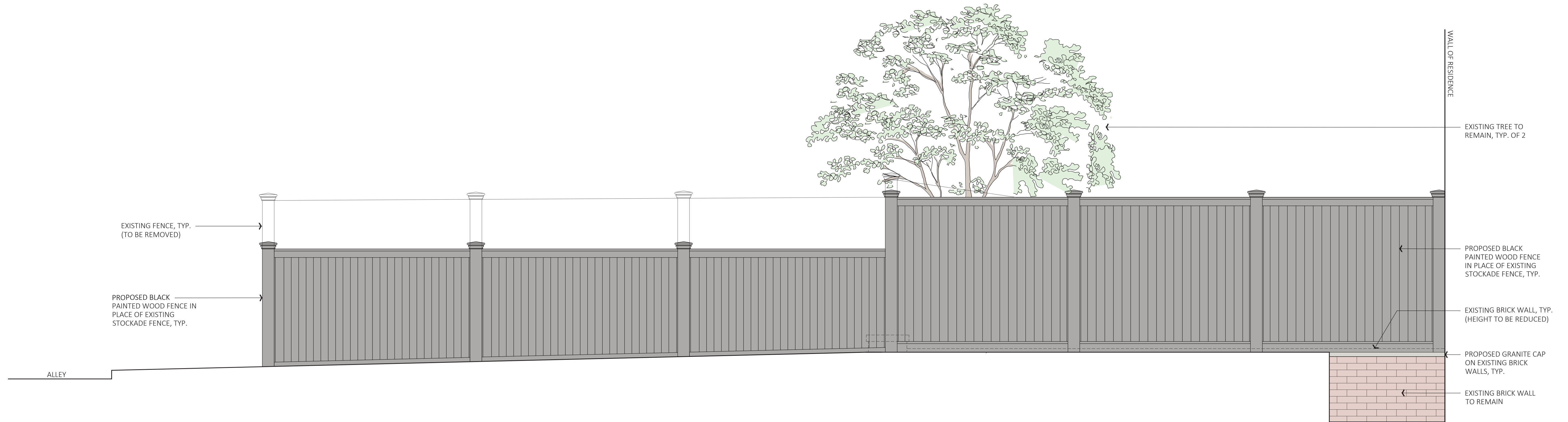
2 SECTION ELEVATION - LOOKING WEST FROM 387 MARLBOROUGH

SCALE: 1/2" = 1'-0"





3 SECTION ELEVATION - LOOKING EAST THROUGH 389 MARLBOROUGH  
SCALE: 1/2" = 1'-0"



4 SECTION ELEVATION - LOOKING EAST FROM 391 MARLBOROUGH  
SCALE: 1/2" = 1'-0"



EXISTING TREE TO  
REMAIN, TYP. OF 2

EXISTING FENCE, TYP.  
(TO BE REMOVED)

PROPOSED BLACK  
PAINTED WOOD FENCE IN  
PLACE OF EXISTING  
STOCKADE FENCE, TYP.

PROPOSED BLACK  
PAINTED WOOD CABINET  
TO HOUSE CAR CHARGER

PROPOSED BLACK  
PAINTED WOOD SINGLE  
GATE IN PLACE OF  
EXISTING GATE

6'-0"

5 SECTION ELEVATION - LOOKING SOUTH FROM PUBLIC ALLEY 414  
SCALE: 1/2" = 1'-0"

HUNZA TWIG LITE



ROCKPORT GRANITE (ALT. 1 CURBS, PAVING, & WALL CAPS)



CHELMSFORD GREY GRANITE (ALT. 2 CURBS, PAVING, & WALL CAPS)



BEVOLO GAS & ELECTRIC LIGHTS, WILLIAMSBURG

