

410 MASS AVE : RESIDENCES

410 MASSACHUSETTS AVENUE, BOSTON, MASSACHUSETTS

THE SAVOY

HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

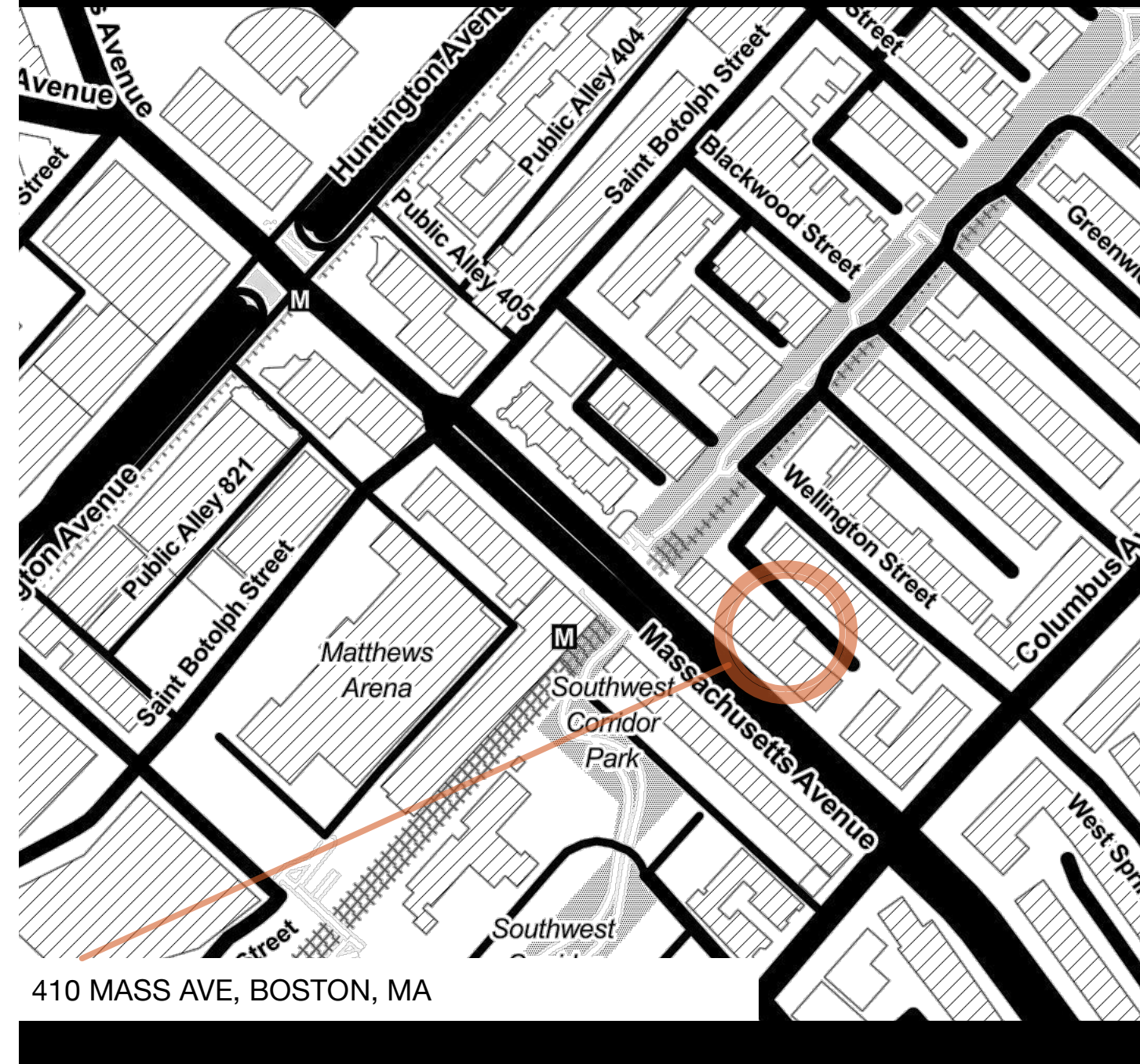
issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARK STAFF
	04.10.23	REV #5 LANDMARKS

ARCHITECTURAL ABBREVIATIONS

A AND	E EXISTING	L L	S S
AB ANCHOR BOLT	EC ELECTRIC CABINET	LAV LAVATORY	SCHED SCHEDULE
ACFL ACCESS FLOOR	EIP EXTERIOR INSULATION AND FINISH SYSTEM	LAV F LAVATORY FOUNDATION	SD SHOWER DRAIN
ACUS ACOUSTIC	EJT EXPANSION JOINT	LCD LINEAR CEILING DIFFUSER	SDISP SMOKE DAMPER
ACT ACOUSTIC CEILING TILE	EJL ELEVATION	LF LINE FIGURED	SDISP SOAP DISPENSER
AD AREA DRAIN	ELEC ELECTRICAL	LIN LINE MARK	SECT SECTION
ADD ADDENDUM	ELEV ELEVATOR	LKR LOCKER	SECT SECTION
ADDL ADDITIONAL	EMERG EMERGENCY	LLH LONG LEG HORIZONTAL	SF STOREFRONT
ADJ ADJUSTABLE	ENCL ENCLOSURE	LLV LONG LEG VERTICAL	SF SQUARE FEET
ADJ ADJACENT	ENTR ENTRANCE	LMC LINEAR METAL COATING	SF SHOWER
ADMIN ADMINISTRATION	EP ELECTRICAL PANEL	LOC LOCATE-ION	SHD SHOWER HEAD
AFF ABOVE FINISHED FLOOR	EQ EQUAL	LPT LOW POINT	SHT SHEET
AHU AIR HANDLING UNIT	EQUIP EQUIPMENT	LS LAWN SPRINKLING	SHTG SHEATHING
ALT ALTERNATE	ES END SECTION	LTS LIGHT	SIM SIMILAR
ALIM ALUMINUM	EWIC ELECTRIC WATER COOLER	LTV LIGHTING	SL SEALER
ANUN ANNUNCIATOR	EWA EXHAUST AIR	LVR LOUVER	SLANT SEALANT
AP ACCESS PANEL	EWC EXHAUST/ED-ION	LWC LINER WOOD CEILING	SLV SLEEVE
APC ARCHITECTURAL PRECAST CONCRETE	EXH EXHAUST HOOD		SLM SURFACE MOUNTED
APROX APPROXIMATE	EXIST EXISTING		SNC SANITARY NAPKIN CABINET
ARCH ARCHITECTURAL	EXP EXPANSION		SND SANITARY NAPKIN DISPOSER
AUTO AUTOMATIC	EXT EXTERIOR		SO STRAIGHT
AWT ACOUSTIC WALL TREATMENT			SO SPECIFICATIONS
			SQ SINGLE PLY ROOF
			SQ SQUARE
			SQ YD SQUARE YARD
			SR SERVICE RECEPTOR
			SS STAINLESS STEEL
			ST STONE
			ST STREET
			STC SOUND TRANSMISSION CLASS
			STD STANDARD
			STL STEEL
			STL STONE
			STNL STONE LEDGE
			STOR STORAGE
			STRUC STRUCTURAL
			SUPV SUPERVISOR
			SUSP SUSPENDED
			SW STEEL WINDOW
			SW SWITCH
			SWD SOFTWOOD
			SYM SYMMETRICAL
BA BUILDING ACCESSORY	FA FIRE ALARM	M M	T T
BB BULLETIN BOARD	FB FIRE BRACKET	MAN MANUAL	TAN TANGENT
BC BRICK COURSES	FD FLOOR DRAIN	MATL MATERIAL	TBD TACKBOARD
BD BOARD	FDN FOUNDATION	MAX MAXIMUM	TBD TO BE DETERMINED
BFE BOTTOM OF FOOTING ELEVATION	FDP FIRE DEPARTMENT VALVE	MBD MARKER BOARD	TC TIME CLOCK
BG BUMPER GUARD	FE FIRE EXTINGUISHER	MC MEDICINE CABINET	TCAB TOILET CABINET
BIT BITUMINOUS	FES FIRE EXTINGUISHER CABINET	MEU MECHANICAL UNIT	TDISP TISSUE DISPENSER
BKT BRACKET	FG FOAM GASKET SEAL	MECH MECHANICAL	TDR TRENCH DRAIN
BLDG BUILDING	FH FIRE HOSE	MEMB MEMBRANE	TEL TELEPHONE
BLKG BLOCKING	FHH FULL HEIGHT PARTITION	MEZ MEZZANINE	TEMP TEMPERATURE
BLT BORROWED LIGHT	FHV FIRE HOSE VALVE	MFR MANUFACTURER	TEMP TEMPERED
BLW BELOW	FIN FINISH-ED	MI MIDDLE	TER TERRAZZO
BM BEAM	FIXT FIXTURE	MIN MINIMUM	TG TONGUE & GROOVE
BO BY OWNER	FL FLOOR	MIR MIRROR	TH THRESHOLD
BOF BY OWNER FUTURE	FL FLOOR LINE	MISC MISCELLANEOUS	TPG TEMPERED PLATE GLASS
BOT BOTTOM	FLASH FLASHING	MO MINIMUM	TPH TOILET PAPER HOLDER
BR BRICK	FLX FLEXIBLE	MPC METAL PAN CEILING	TR TREAD
BRG BEARING	FLG FLANGE	MO MONOLITHIC	TRANS TRANSFORMER
BRL BRICK LEDGE	FLR FLOOR	MPC METAL PAN CEILING	TS TUBE SECTION
BSMT BASEMENT	FLUR FLUORESCENT FLUOR	MPU MULTI-PURPOSE UNIT	TV TELEVISION
BTWN BETWEEN	FR FIRE PROOFING	MTD MULLION	TYP TYPICAL
BUR BUILT-UP ROOFING	FRMG FRAMING		
	FRM FLOOR SINK		
	FRTG FOOTING		
	FS FINISH		
	FT FOOTING		
	FTG FOOTING		
	FUR FURRING		
	FURR FUTURE		
	FUTR FUTURE		
	GA GAUGE		
	GAL GALLON/S		
	GALV GALVANIZED		
	GB GRAB BAR		
	GB GRADE BEAM		
	GC GENERAL CONTRACTOR		
	GEN GENERAL		
	GEN GENERATOR		
	GL GLASS		
	GMU GLASS MASONRY UNIT		
	GR GRADE		
	GWB GYPSUM WALL BOARD		
	GYP GYPSUM		
	GYP SHT GYPSUM SHEATHING		
	H HIGH/HEIGHT		
	HB HOSE BIBB		
	HD HAND DRYER		
	HDQP HANDICAP		
	HDR HEADER		
	HDW HARDWARE		
	HM HOLLOW METAL		
	HORZ HORIZONTAL		
	HPT HIGH POINT		
	HTR HANDRAIL		
	HT HEIGHT		
	HTR HEATER		
	HVAC HEATING, VENTILATION, AND AIR CONDITIONING		
	HW HOT WATER		
	HWD HARDWOOD		
	IC INTERCOM		
	ID INSIDE DIAMETER		
	IN INCH-S		
	INSUL INSULATION		
	INT INTERIOR		
	ISO ISOLATION		
	J JAN		
	JB JANITOR		
	JCT JUNCTION BOX		
	JT JOINT		
	K KO		
	KO KNOCK OUT		
	D DEMO		
	DEPR DEPRESSION		
	DEPT DEPARTMENT		
	DET DETAIL		
	DF DRINKING FOUNTAIN		
	DIA DIAMETER		
	DIAG DIAGONAL		
	DIFF DIFFUSER		
	DM DIMENSION		
	DIST DISTANCE		
	DISTR DISTRIBUTE-ION		
	DW DIVISION		
	DP DATA PROCESSING		
	DR DOOR		
	DS DOWNSPOUT		
	DW DUMBWATER		
	DWG DRAWING		
	DWLS DOWELS		

PROJECT LOCATION



PROJECT IMAGE



DRAWING LIST

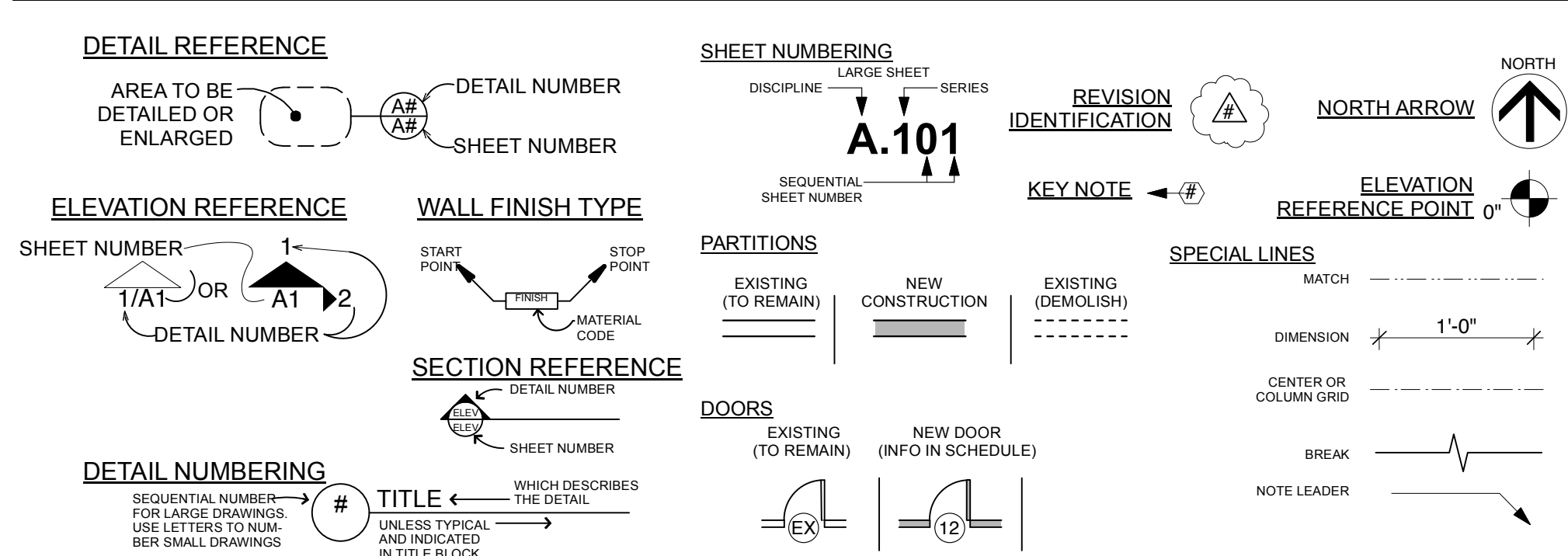
- A.01 COVER PAGE
 - A.02 SITE PHOTOS CONTEXT - 1
 - A.03 SITE PHOTOS CONTEXT - 2
 - A.04 SITE CONDITIONS PHOTOS - 1
 - A.05 SITE CONDITIONS PHOTOS - 2
 - A.06 CONTEXT MAP
 - A.07 SITE BOUNDARY PLAN
 - A.08 HISTORIC CONTEXT & PHOTOS
 - A.09 HISTORIC CONTEXT & PHOTOS
 - A.10 EXTERIOR RENDERING
 - A.11 DESIGN EVOLUTION
 - A.12 OCCUPANCY + EGRESS PLAN
 - A.13 FLOOR PLAN - BASEMENT LEVEL
 - A.14 FLOOR PLAN - 1ST FLOOR (STREET LEVEL)
 - A.15 FLOOR PLAN - 2ND FLOOR
 - A.16 FLOOR PLAN - 3RD FLOOR
 - A.17 FLOOR PLAN - 4TH FLOOR
 - A.18 FLOOR PLAN - 5TH FLOOR
 - A.19 FLOOR PLAN - ROOF LEVEL
 - A.20 FRONT ELEVATION - EXISTING
 - A.21 FRONT ELEVATION - PROPOSED (SITE CONTEXT)
 - A.22 FRONT ELEVATION - PROPOSED
 - A.23 FRONT ELEVATION - LANDMARKS COMM.
 - A.24 FRONT ELEVATION - MATERIAL PALETTE
 - A.25 REAR ELEVATION - PROPOSED
 - A.26 SITE SECTION - PROPOSED
 - A.27 EXTERIOR RENDERINGS - DAYTIME
 - A.28 EXTERIOR RENDERINGS - NIGHT TIME
- APPENDIX: EXISTING CONDITIONS

PROJECT OVERVIEW

Height, Proposed @ Street: 5-Stories	61'-0"
GROSS SF	16,194 +/-
F.A.R.	4.73
UNIT COUNT - RESIDENTIAL	9
RETAIL UNITS	1
PARKING SPACES	5
PARKING SPACES PER UNIT	0.55

	GSF	Retail Unit	Unit A	Unit B	Unit C	TOT
GARAGE	2,797					0
1ST FLOOR	2,873	802	359	439		1,600
2nd FLOOR	2,873		1,193	324	439	1,956
3rd FLOOR	2,605		824	722		1,546
4th FLOOR	2,561		1,825			1,825
5th FLOOR	2,485		1,764			1,764
	16,194					8,691

SYMBOL LEGEND



A.01

OF

scale

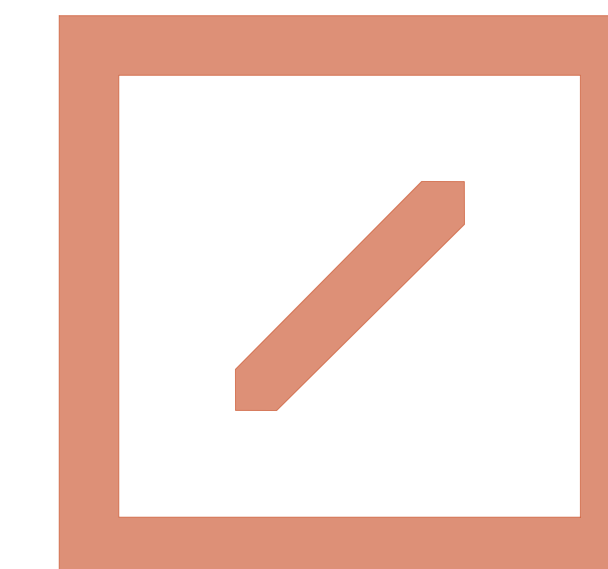


MASSACHUSETTS AVENUE COMPOSITE VIEW



MASSACHUSETTS AVENUE - BLOCK ABUTTERS

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

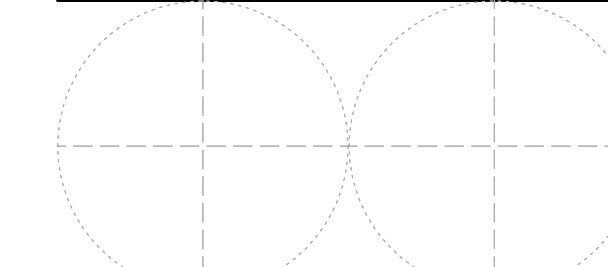
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

MASSACHUSETTS AVE
CONTEXT

DRWN / CHCKD

sheet number

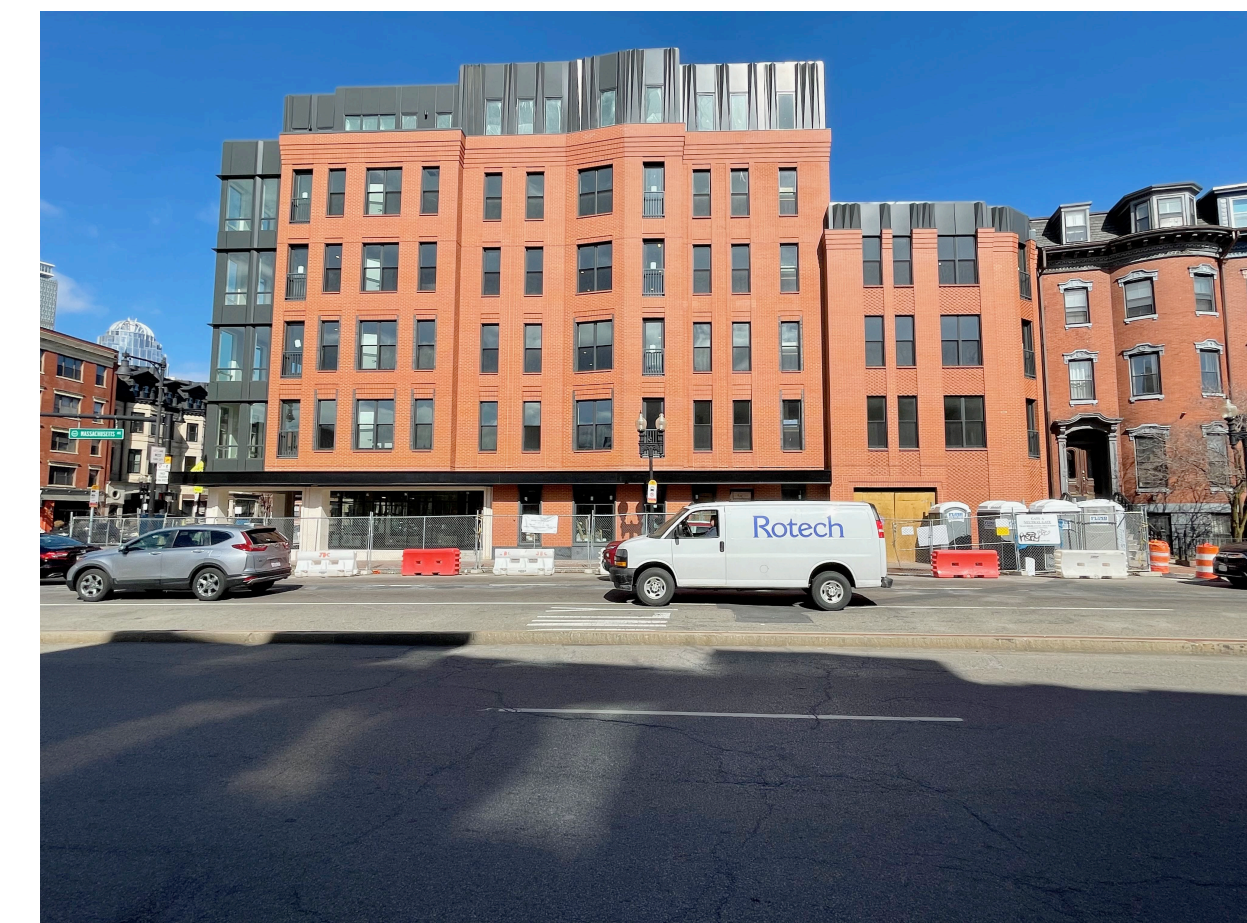
scale

A.02

OF



COLUMBUS AVENUE CONTEXT



MASSACHUSETTS AVENUE CONTEXT



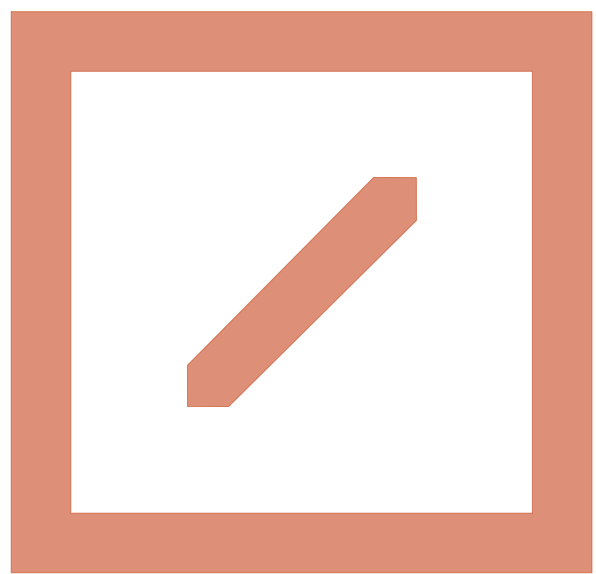
MASSACHUSETTS AVENUE CONTEXT 410 BLOCK SOUTH SIDE



WELLINGTON STREET CURB CURT TO PUBLIC ALLEY



WELLINGTON STREET
REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T. 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

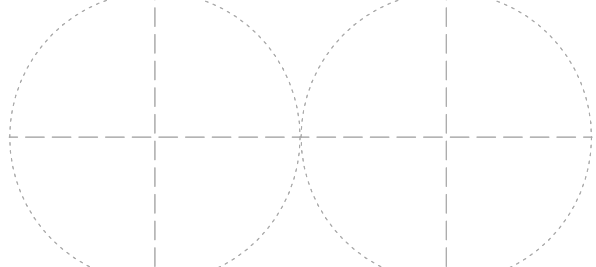
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

MASSACHUSETTS AVE
CONTEXT

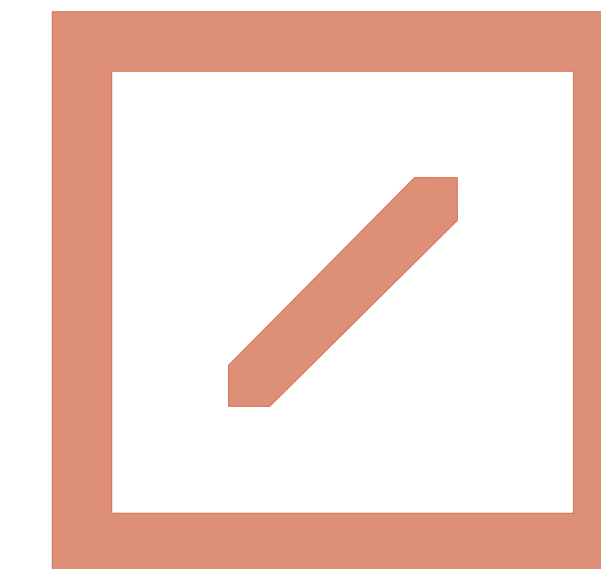
DRWN / CHCKD

sheet number

A.03

OF

scale



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

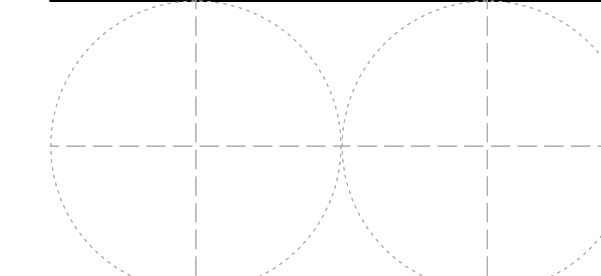
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

SITE CONDITIONS -
MASSACHUSETTS
AVENUE

DRWN / CHCKD

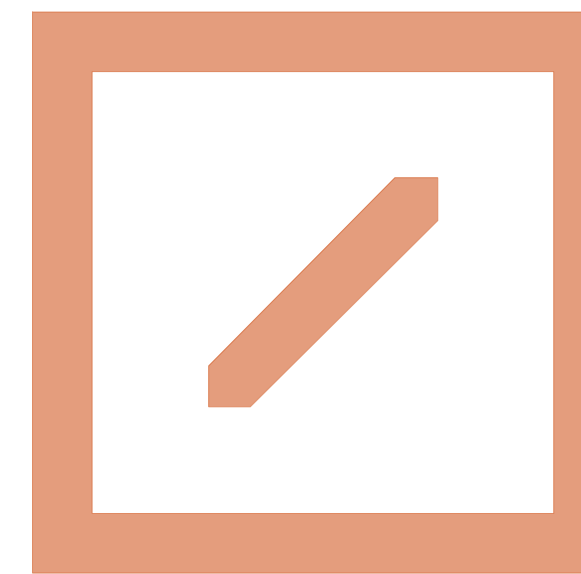
sheet number

A.04

OF

scale

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

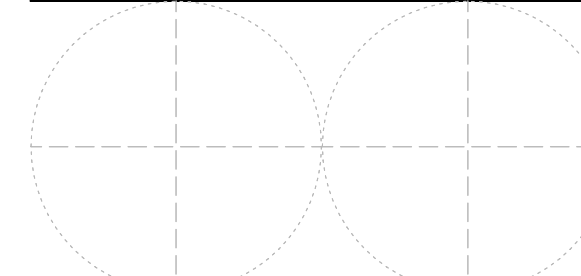
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

SITE CONDITIONS -
PRIVATE ALLEY 505

DRWN / CHCKD

sheet number

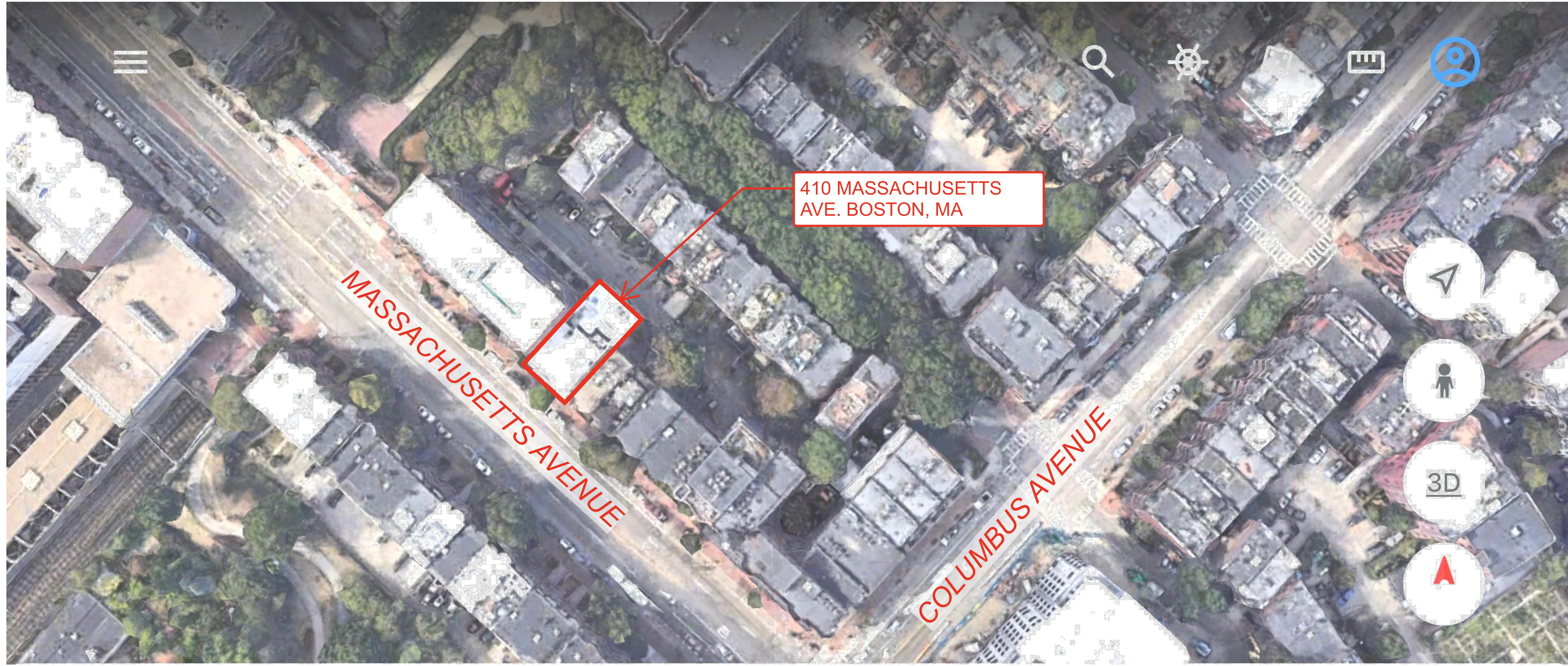
A.05

OF

scale



REV 6 04.27.23



410 MASSACHUSETTS AVE. BOSTON, MA

MASSACHUSETTS AVENUE

COLUMBUS AVENUE

3D

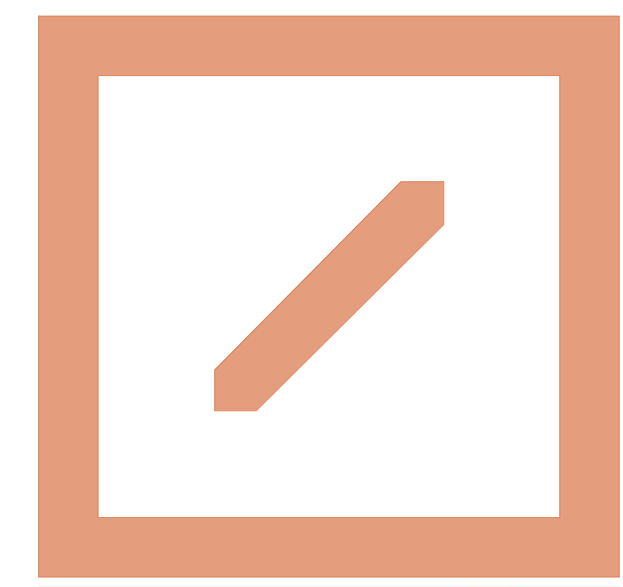


MASSACHUSETTS AVENUE

COLUMBUS AVENUE

2D

INFILL DIAGRAM



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

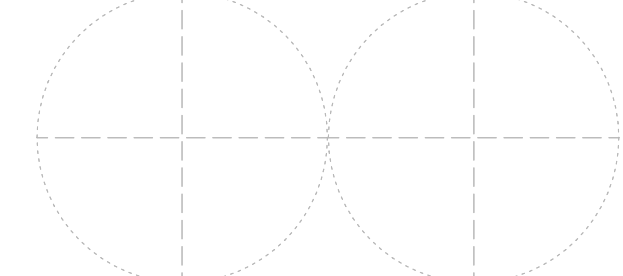
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



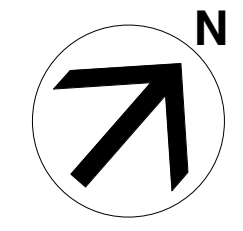
date

04.10.23

phase

DES DEV REV #5

north



sheet title

SITE CONTEXT MAP / AERIALS

DRWN / CHCKD

sheet number

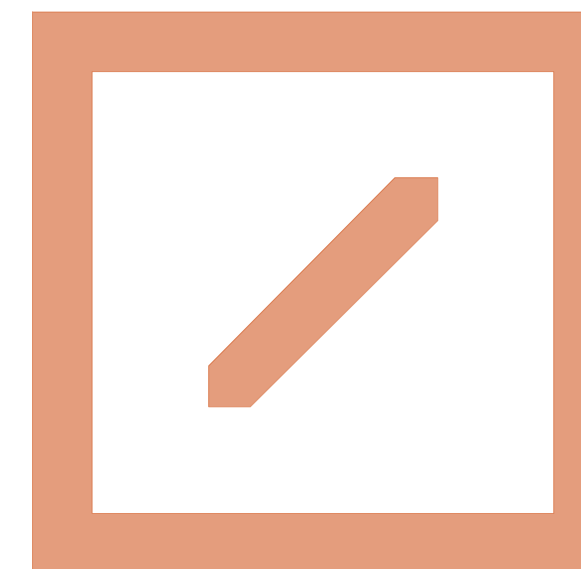
A.06

OF

scale



REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T: 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

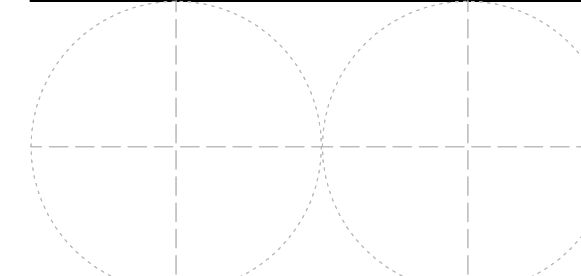
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

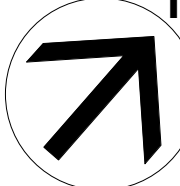
04.10.23

phase

DES DEV REV #5

north

N



sheet title

**BUILDING
PLOT / BOUNDARY PLAN**

DRWN / CHCKD

sheet number

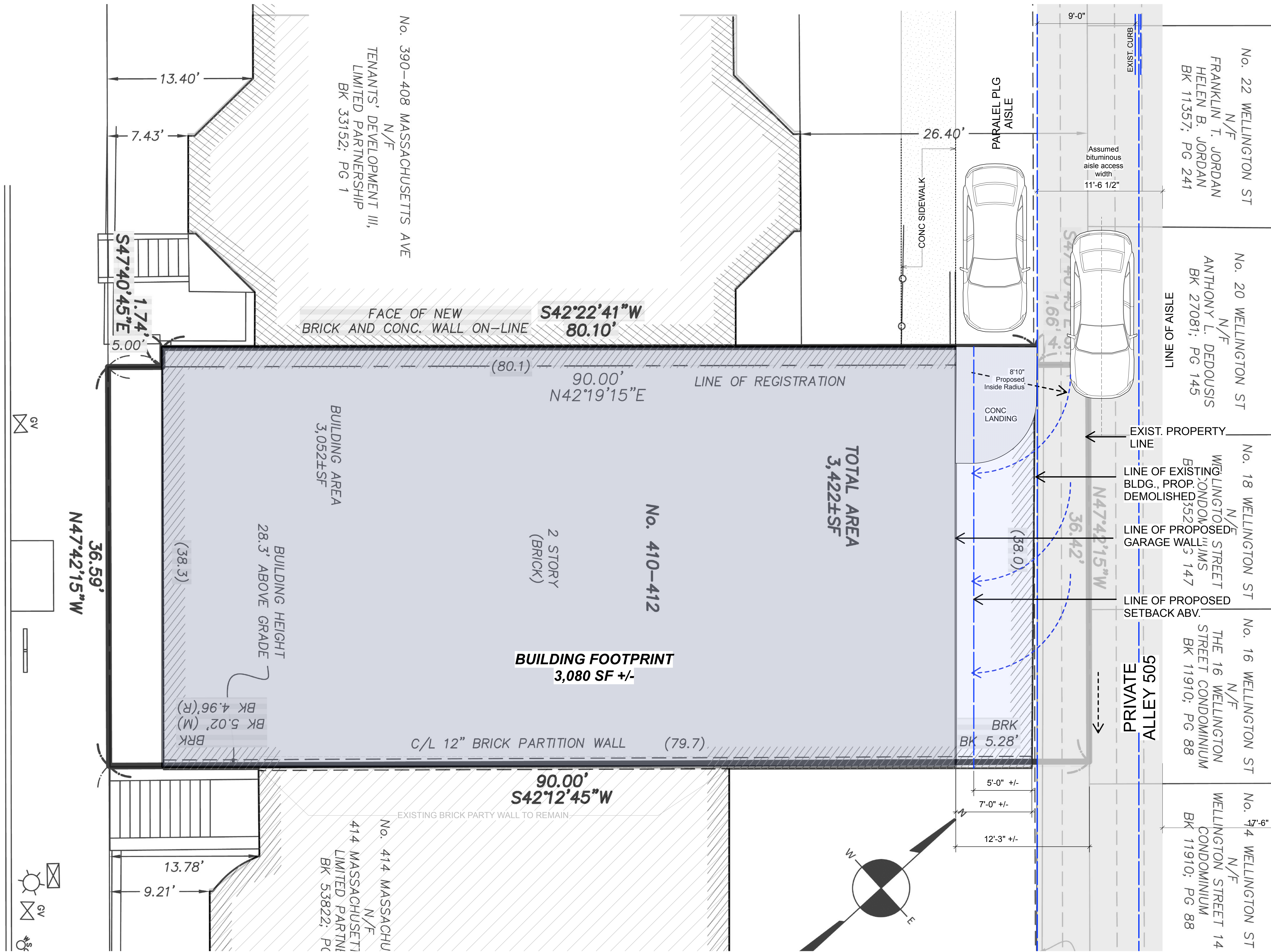
A.07

OF

scale



REV 6 04.27.23



1 PLOT BOUNDARIES
SCALE: 1/4" = 1'-0"

No. 390-408 MASSACHUSETTS AVE
N/F
TENANTS' DEVELOPMENT III,
LIMITED PARTNERSHIP
BK 33152; PG 1

No. 22 WELLINGTON ST
N/F
FRANKLIN T. JORDAN
HELEN B. JORDAN
BK 11357; PG 241

No. 20 WELLINGTON ST
N/F
ANTHONY L. DEDOUSSIS
BK 27081; PG 145
ETISV FO ENIT

No. 18 WELLINGTON ST
N/F
WELLINGTON STREET
CONDOMINIUM
352
STREETS
147

No. 16 WELLINGTON ST
N/F
THE 16 WELLINGTON
STREET CONDOMINIUM
BK 11910; PG 88

No. 14 WELLINGTON ST
N/F
WELLINGTON STREET 14
CONDOMINIUM
BK 11910; PG 88

FACE OF NEW
BRICK AND CONC. WALL ON-LINE
S42°22'41"W
80.10'

(80.1) 90.00'
N42°19'15"E LINE OF REGISTRATION

No. 410-412

BUILDING FOOTPRINT
3,080 SF +/-

C/L 12" BRICK PARTITION WALL (79.7)

90.00'
S42°12'45"W

No. 414 MASSACHU
N/F
414 MASSACHUSETTS
LIMITED PARTN
BK 53822; PG

S47°40'45"E
1.74'

N47°42'15"W
36.59'

13.78'
9.21'

BRK
BK 5.02' (M)
BK 4.96' (R)

BUILDING AREA
3,052 +/- SF

BUILDING HEIGHT
28.3' ABOVE GRADE

TOTAL AREA
3,422 +/- SF

PARALEL PLG
AISLE

CONC SIDEWALK

Assumed bituminous
aisle access
width
11'-6 1/2"

EXIST. PROPERTY
LINE

LINE OF EXISTING
BLDG., PROP.
DEMOLISHED

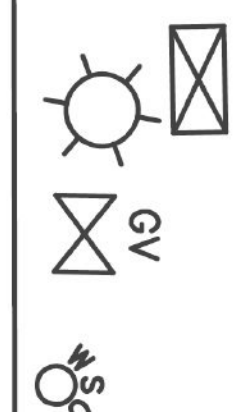
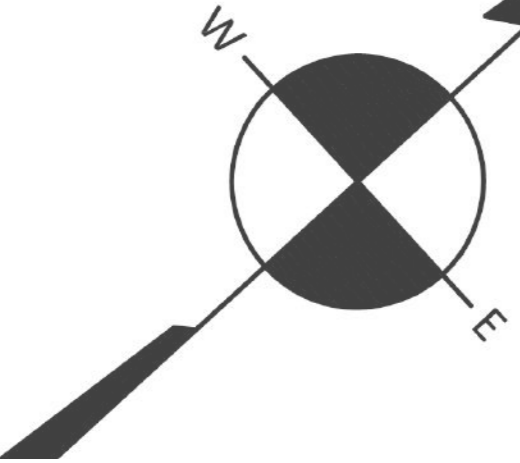
LINE OF PROPOSED
GARAGE WALL

LINE OF PROPOSED
SETBACK ABV.

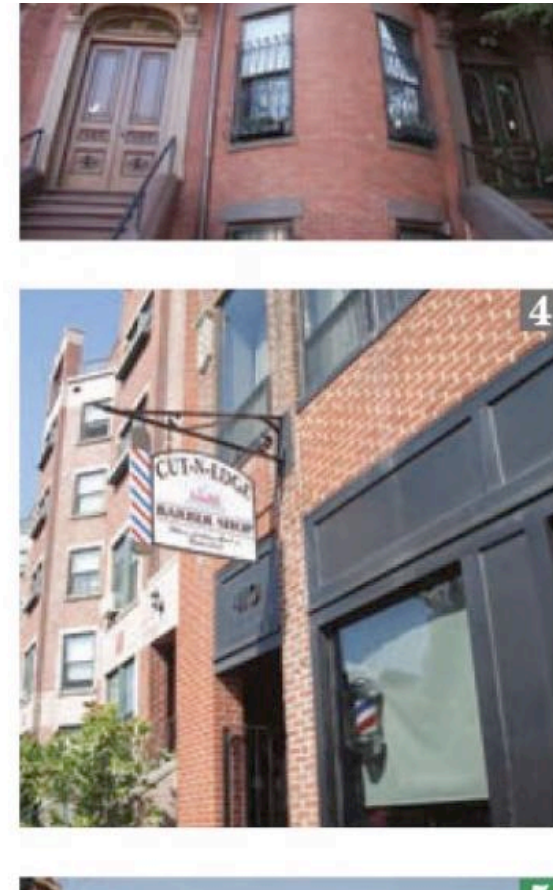
PRIVATE
ALLEY 505

BRK
BK 5.28'

5'-0" +/-
7'-0" +/-
12'-3" +/-



3 In her 1969 autobiography, Coretta Scott King remembered the Western Lunch Box as a restaurant “where black students attending the various institutions of learning often gathered. It specialized in Southern cooking—we would call it soul food now.” Operated by Mrs. Mary C. Jackson, it was on the ground floor of 415–417 Mass. Ave.



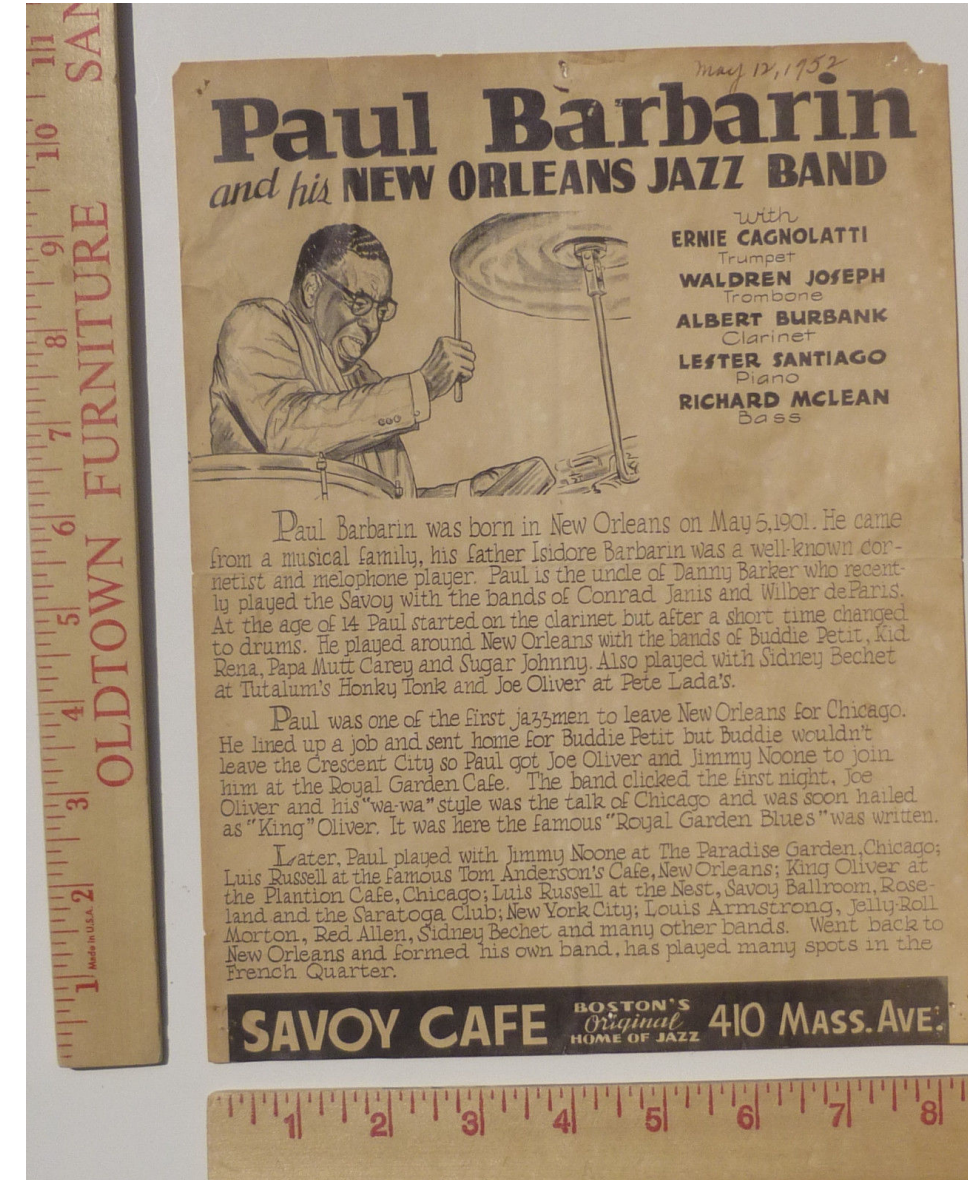
4 Another legendary jazz club was the Savoy Cafe, “Boston’s Original Home of Jazz,” whose building now houses a barber shop at 410 Massachusetts Ave.

**DIVIDED 2ND FL. GLAZING,
LOWER 2ND FL. WINDOW
HEAD, 1ST FLOOR
DECORATIVE WOOD INFILL,
DATE UNKNOWN**



Nat Hentoff and clarinetist Edmond Hall in 1948 at the Savoy Club, Boston, as seen in *The Pleasures of Being Out of Step* (Bob Parent)

Hentoff grew up in Boston, and fell in love with jazz as a child. In the movie, he remembers walking on Washington Street and being struck by listening to a piece of music coming out from a record store system. “I was so excited, I yelled with pleasure, which you didn’t do in Boston in those days. I rushed into the store and, and asked, what was that? That was Artie Shaw’s ‘Nightmare,’” Hentoff said.



**MASONRY /
DECORATIVE LINTEL
HD. HT.,
DEMOLISHED, DATE
UNKNOWN**

**MARQUEE
DEMOLISHED, DATE
UNKNOWN**

**1ST FLOOR RETAIL
RECONFIGURED,
DATE UNKNOWN**

The Savoy



Site of the Savoy, 410 Massachusetts Avenue. All the top acts came here to play.

“My second home, until I left Boston in 1953 to become New York editor of Down Beat, was the Savoy Café on Massachusetts Avenue, a short walk from Symphony Hall and on the edge of the black section of town. Advertised as ‘Boston’s Original Home of Jazz,’ it was a long, narrow room with the bandstand crammed against the center of the wall on the right. Like the other jazz clubs, it was one of the few places in Boston where whites and blacks associated without being overly conscious of it.”

-Nat Hentoff
“The Shape of Jazz that Was.” Boston Magazine

“Those of us who came out onto Massachusetts Avenue from the Savoy Café to find our various ways home occasionally walked in jazz time.”
-Nat Hentoff
Boston Boy

From: Admin SEHS admin@southendhistoricalsociety.org
Subject: Re: 410 Massachusetts Ave., Boston, MA
Date: March 24, 2023 at 2:30 PM
To: Eric Gould ericg@helicondesign.com
Cc: Timothy Chilson tchilson@helicondesign.com, Aoife Troxel atroxel@helicondesign.com, Mars Maloney rmaloney@helicondesign.com, Tyler Walker twalker@helicondesign.com

Hi Eric,
Thank you for reaching out to the South End Historical Society! I have attached the one photo of this address that we have in our 1972 South End Streets Survey. I was unable to locate any other photos that show this address or documentation regarding the building or the Savoy Club in any of our other collections. If you have not already done so, I suggest you reach out to other institutions in the city, like the city archives or Boston Athenaeum.

If you would like to reproduce this image there is a \$30 fee. For that fee you receive a digital copy of the image via email as well as we do not sell physical prints. The image comes at 600 dpi and does not have a watermark (unlike the sample). This fee allows you a one-time reproduction for personal, non-commercial use only (gifts are okay). Any later reproductions may be subject to another fee.

Please let me know if you would like to purchase the image and I will send you our Permission and Use Form to sign and information on how to pay.

Best,
Jason Amos
Executive Director

On Thu, Mar 16, 2023 at 4:31 PM Eric Gould <ericg@helicondesign.com> wrote:
Hello South End Historical Society:

We are working on a proposed alteration and additions at 410 Massachusetts Ave., Boston in the South End.

After our last meeting with the Landmarks Commission, they have requested we contact you to obtain all historical photo documentation you might have on that parcel, as well as any other documentation you might on the Savoy Jazz Club which occupied the building during the 1940s and 50s.

Please let us know best way to make contact and receive material from you.

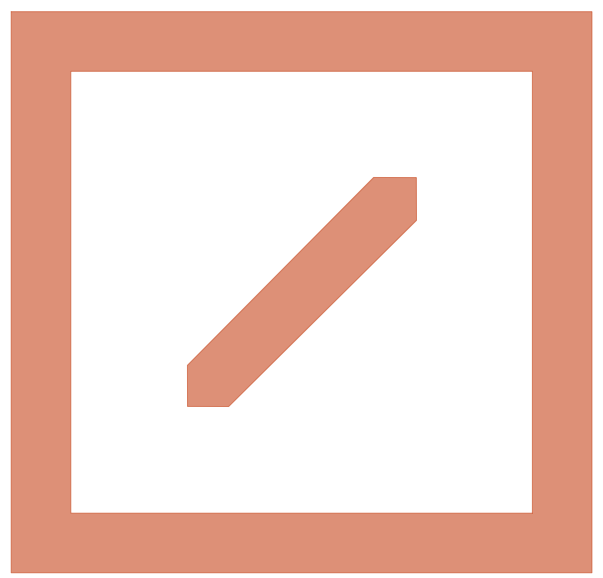
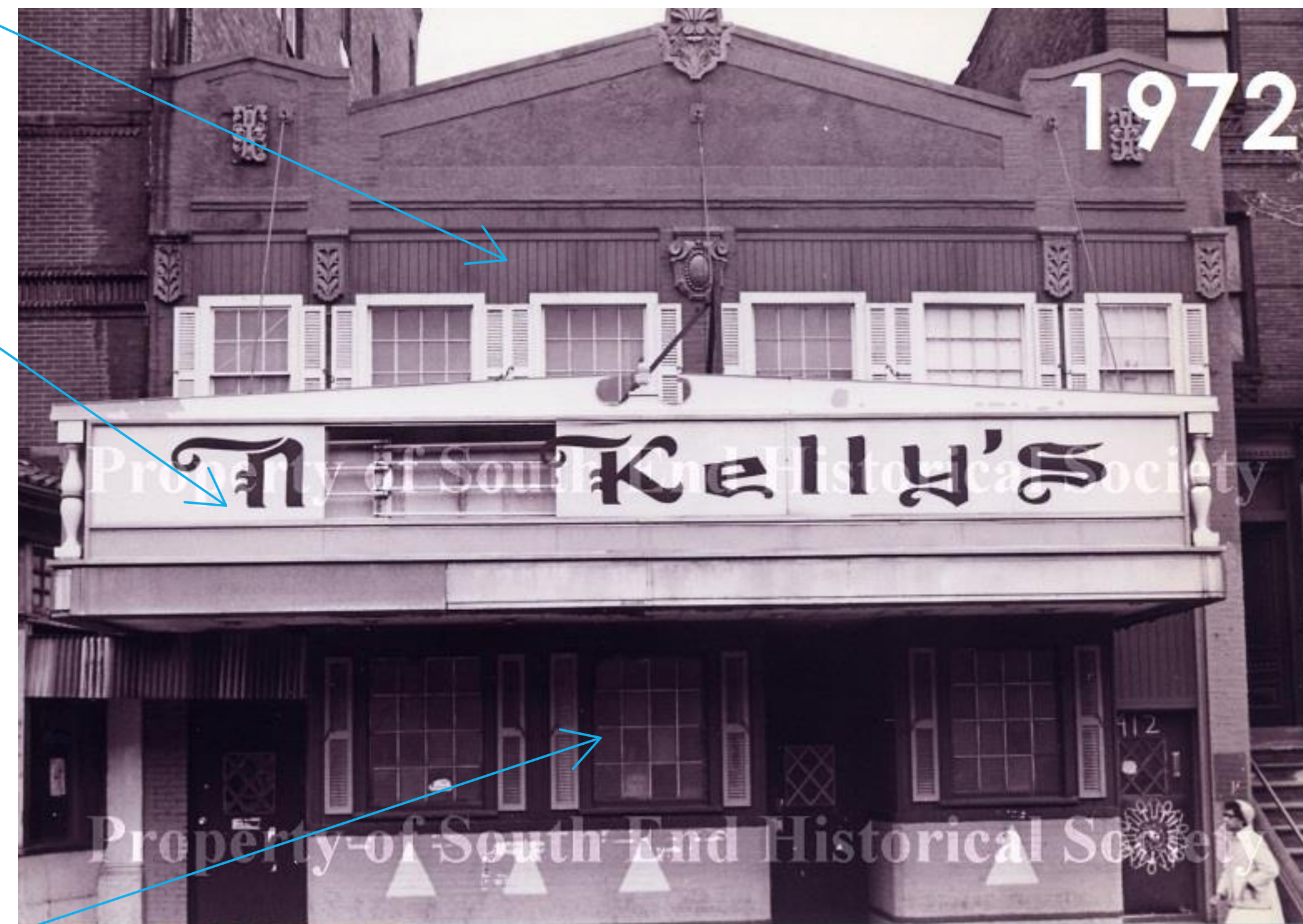
-Eric

Eric Gould, AIA
FA Licensed CT, MA, NJ, RI, VT

HELICON DESIGN GROUP | INC | ARCHITECTS
76 Summer Street, Suite 510
Boston, MA 02110
t: 617.357.4437 x14
www.helicondesign.com

South End Historical Society
532 Massachusetts Avenue
Boston, MA 02118
p: 617-538-4445

Visit our website at www.southendhistoricalsociety.org
Follow us on [Facebook](#), [Twitter](#), and [Instagram](#)



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T: 617-357-4437
INFO@HELICONDESIGN.COM

project
ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client
VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

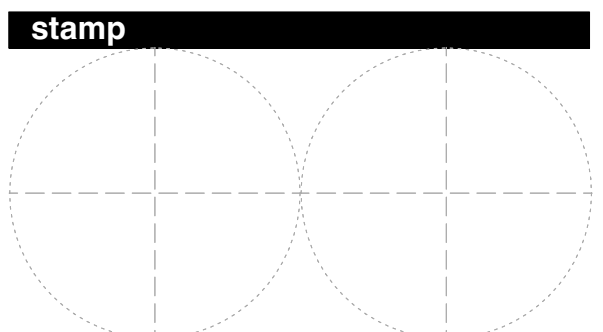
contractor
CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural
STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP
MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.



date 04.10.23

phase DES DEV REV #5

north

sheet title

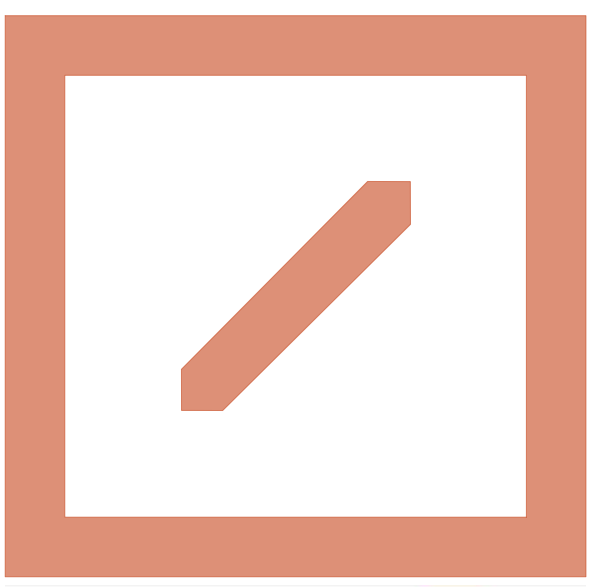
HISTORIC CONTEXT

DRWN / CHCKD
sheet number

A.08

OF
scale

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

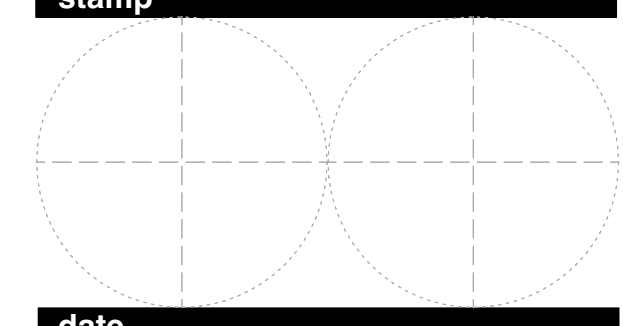
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

HISTORIC CONTEXT

DRWN / CHCKD

sheet number

A.09

OF

scale

MARQUEE LOGO; SAVOY
HARLEM, NYC; DATE
UNKNOWN



NEWSPAPER
ADVERTISEMENTS; DATES



PROPOSED LOGOTYPE 2023

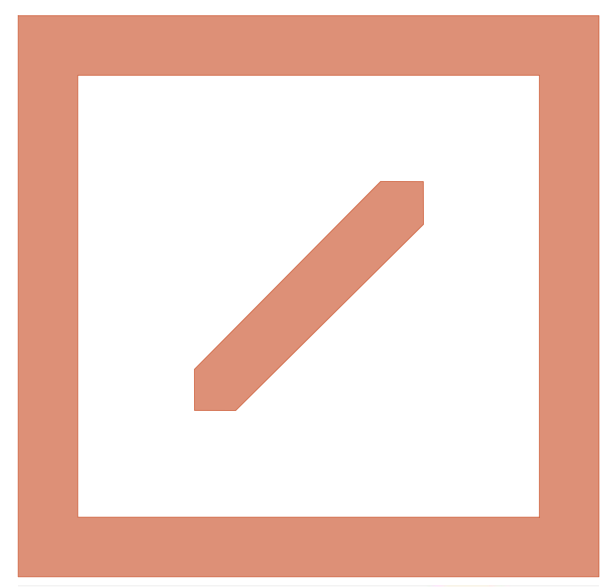


2023 LOGOTYPE > HELVETICA NEUE MEDIUM

REV 6 04.27.23



HELICON 2023



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
 PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

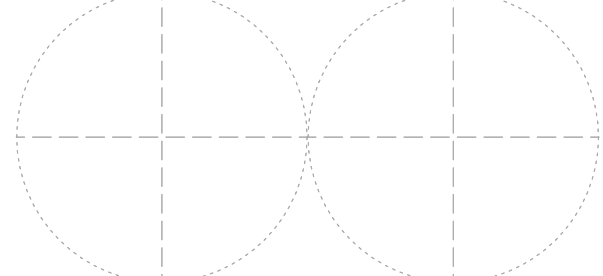
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

RENDERING - DAYTIME

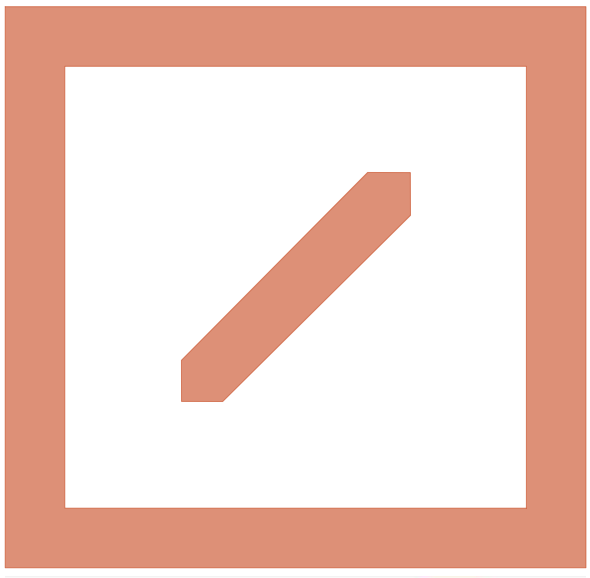
DRWN / CHCKD
 sheet number

A.10

OF

scale AS NOTED

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
 PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

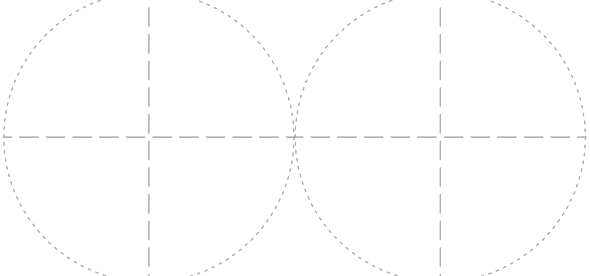
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

DESIGN PROGRESSION -
 ELEVATIONS

DRWN / CHKCD

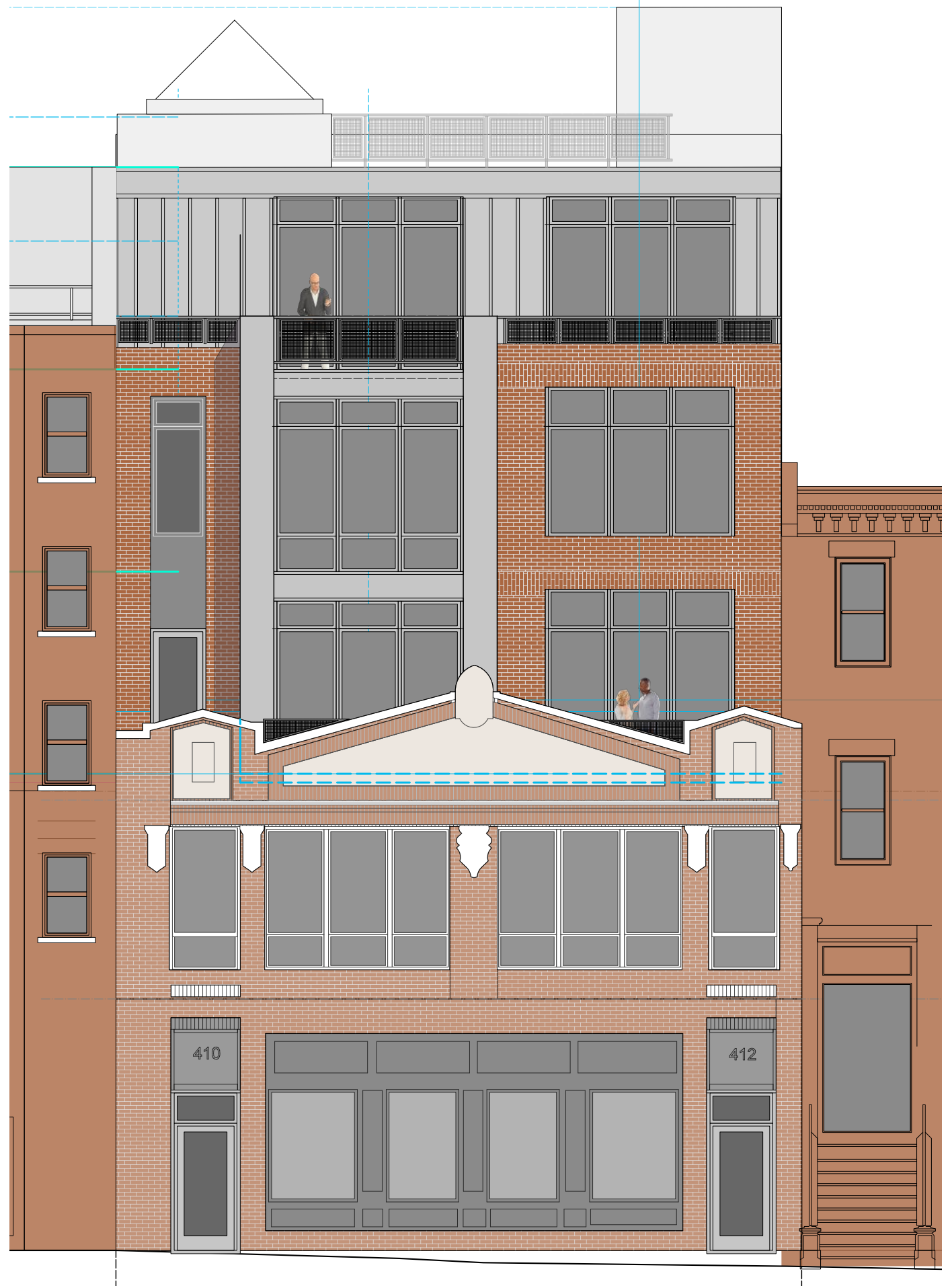
sheet number

A.11

OF

scale

DECEMBER 2021



MAY 2022



FEBRUARY 2023



MARCH 2023



REV 6 04.27.23

EGRESS + OCCUPANCY PLAN LEGEND

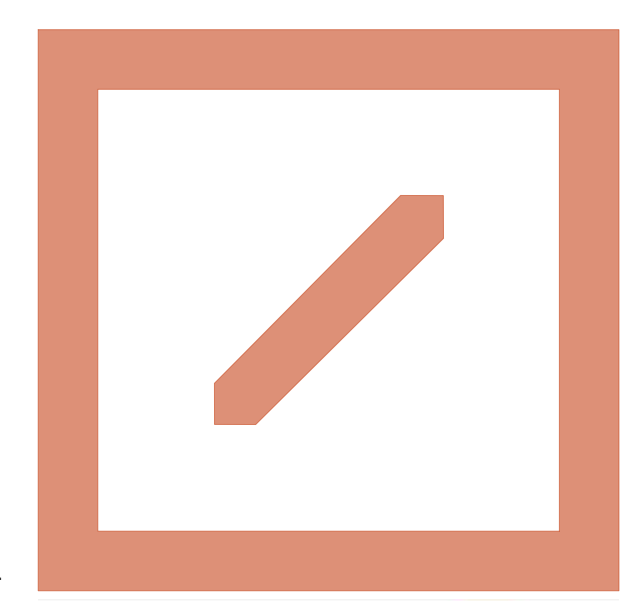
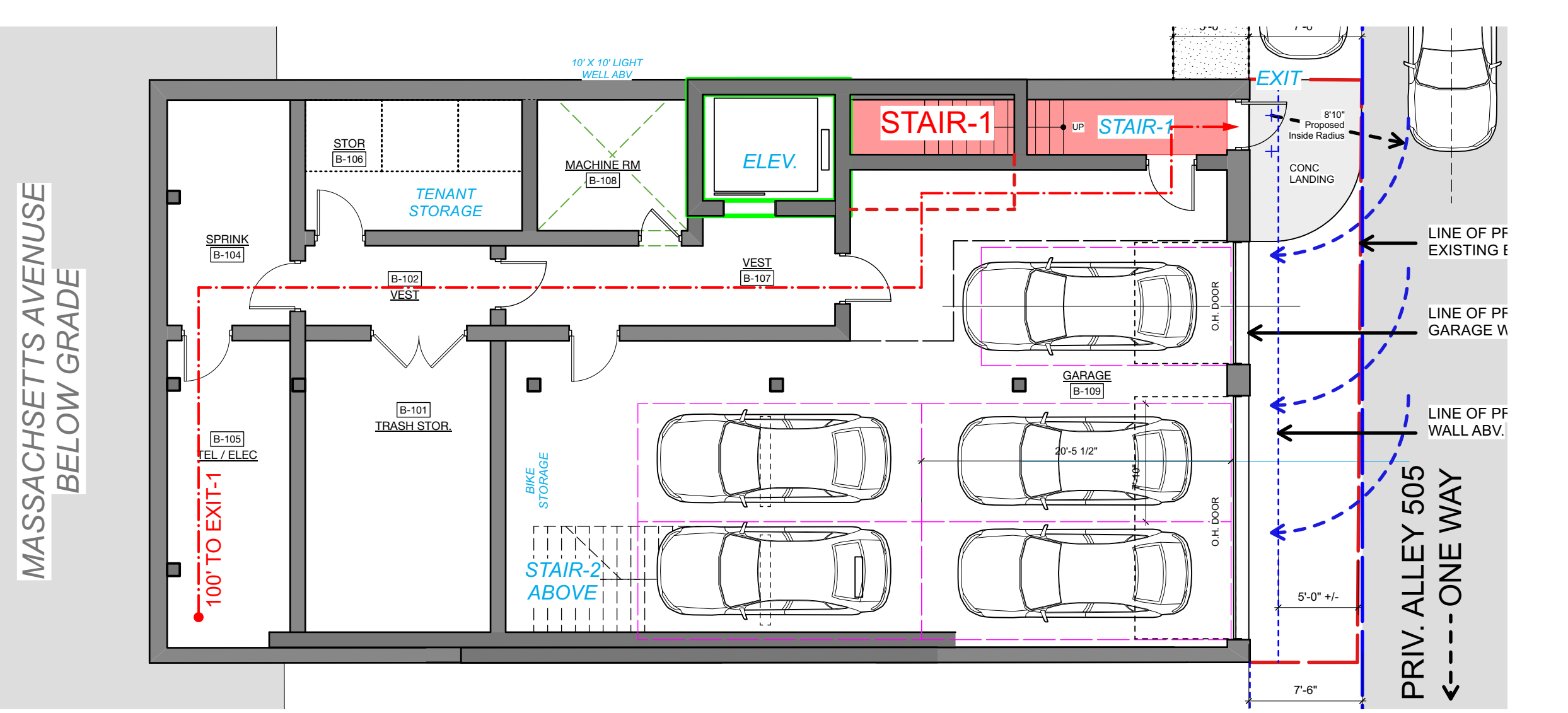
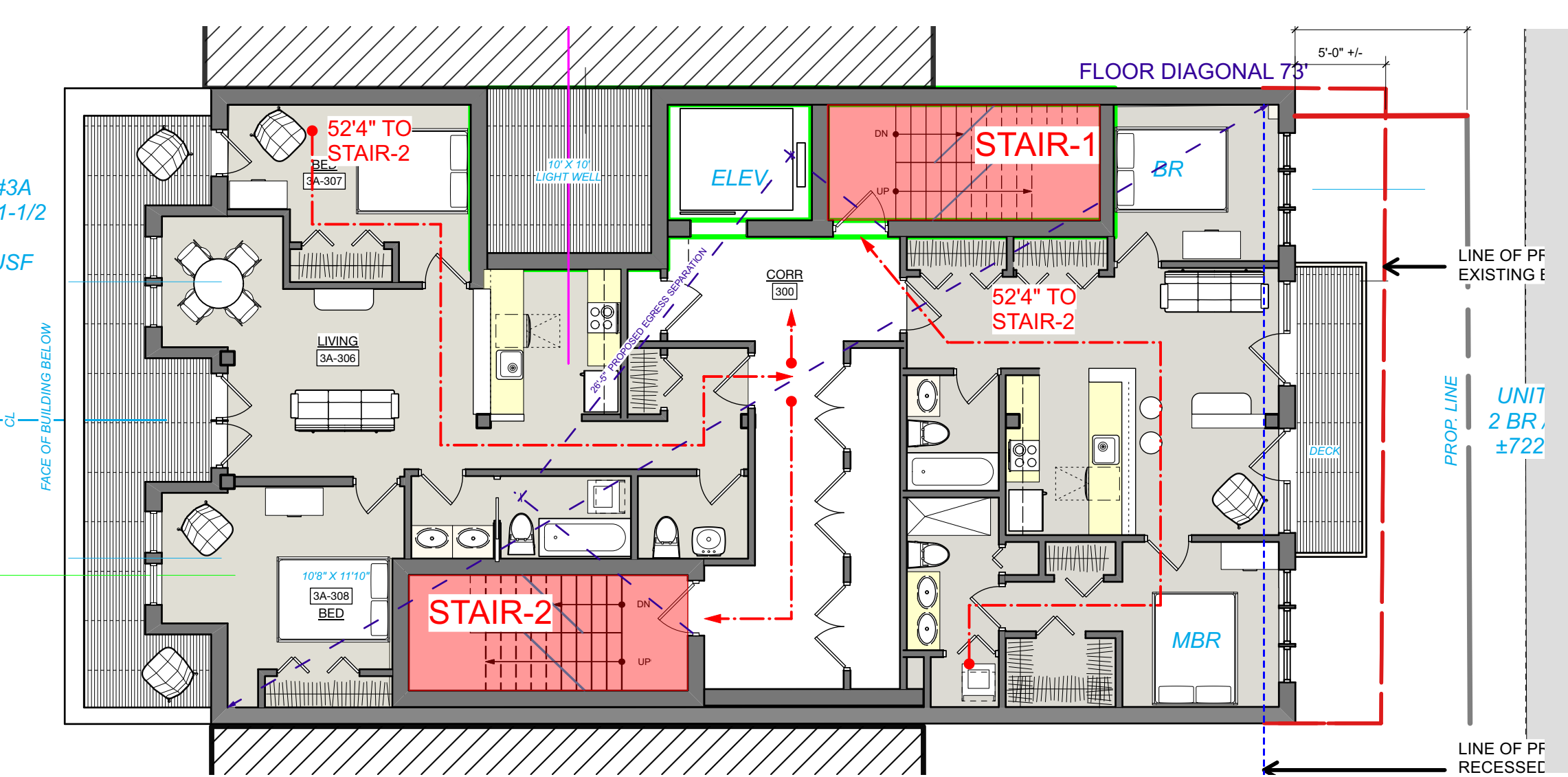
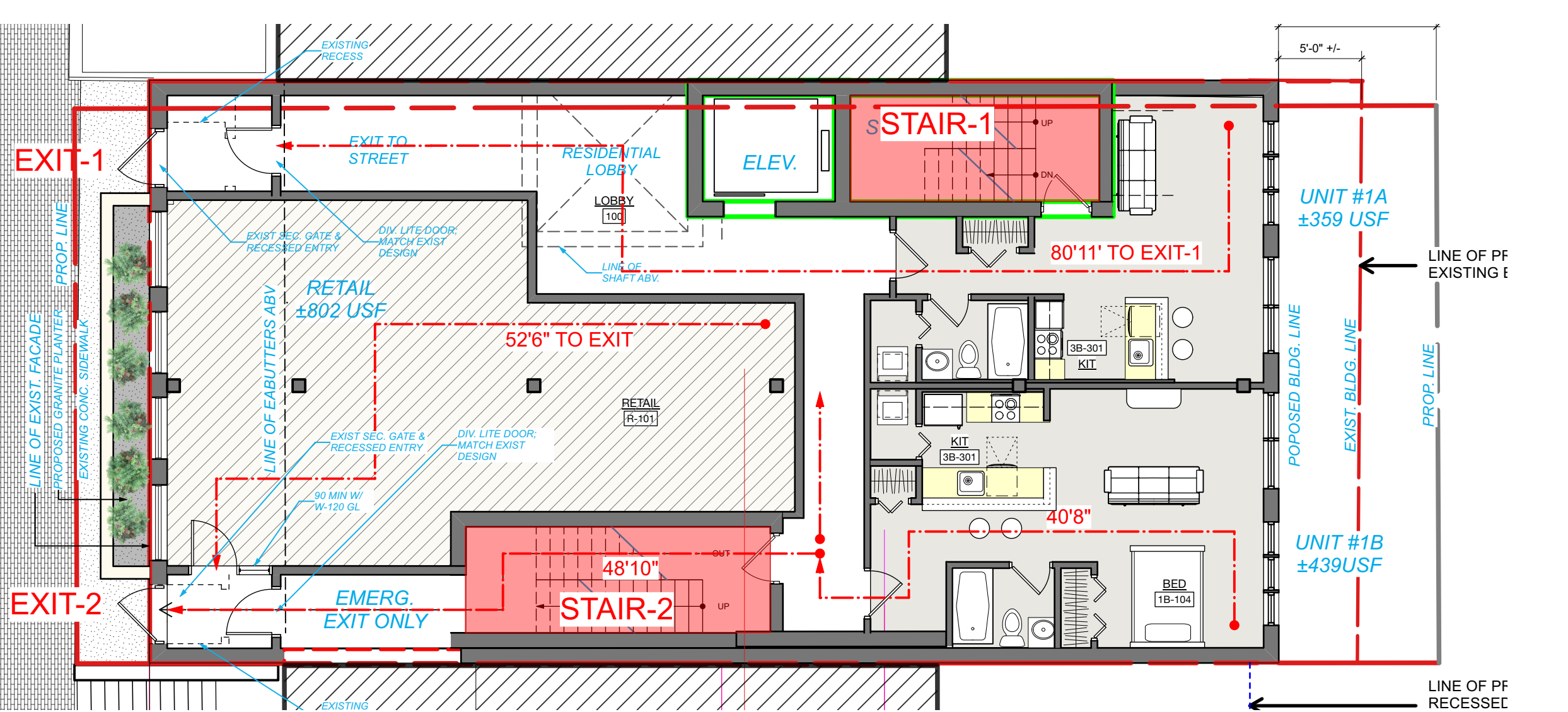
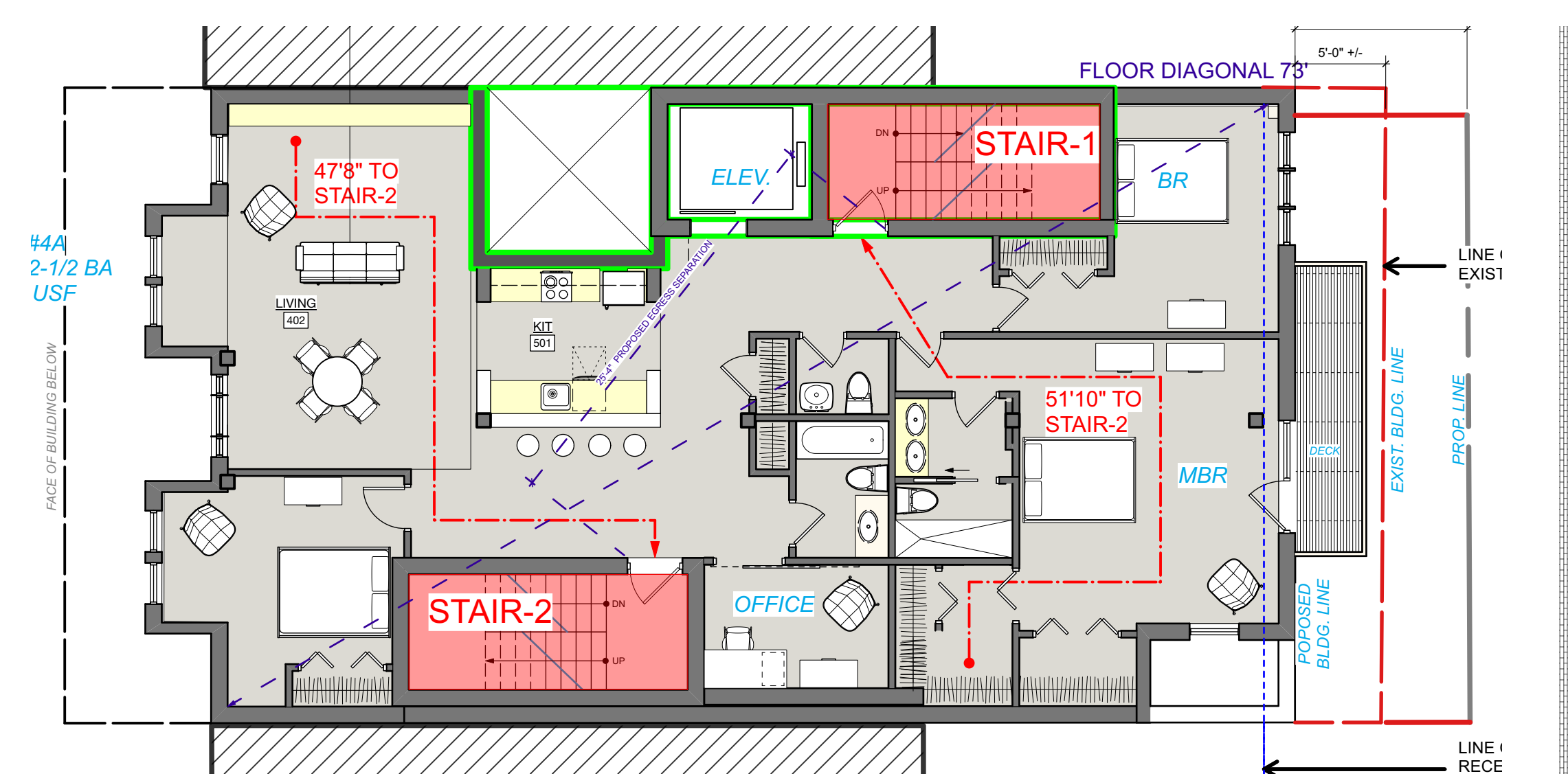
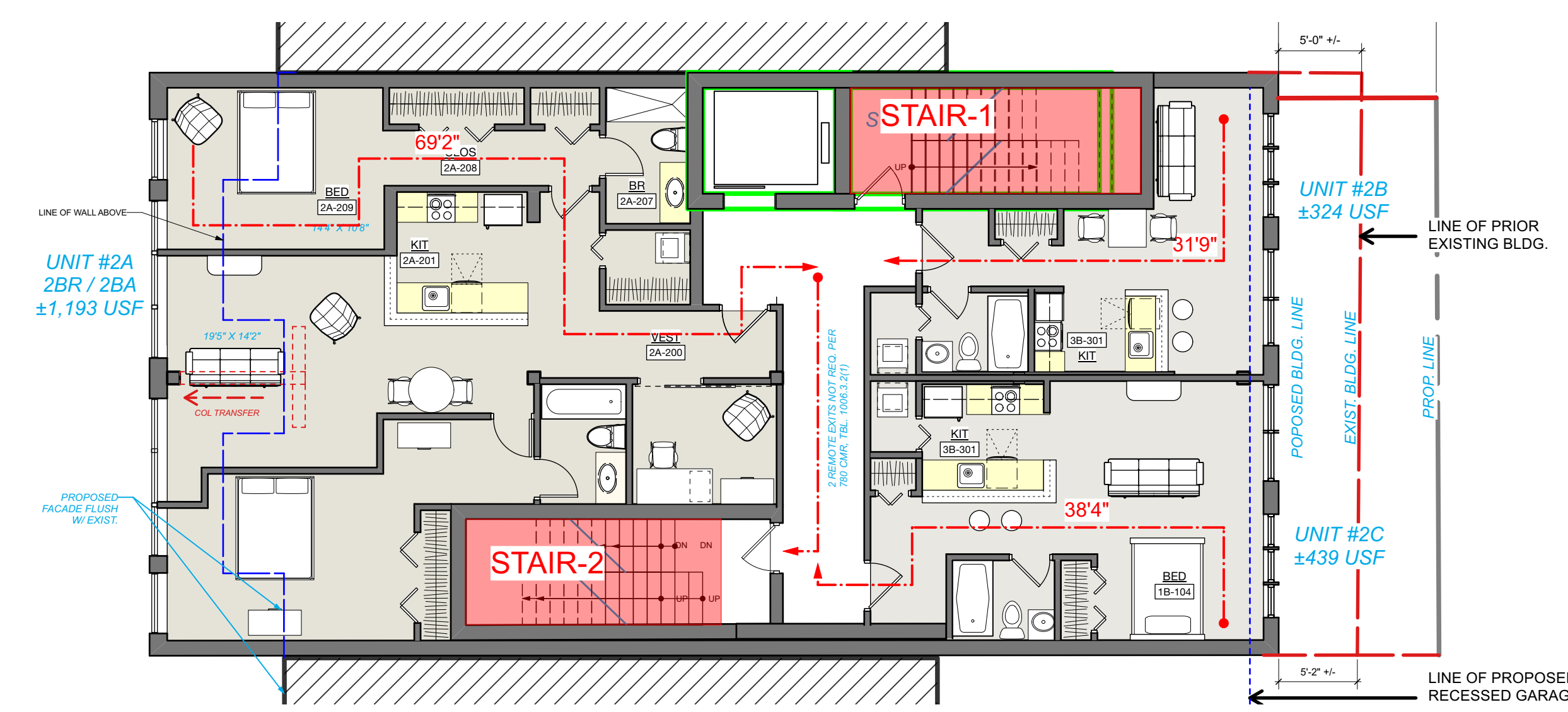
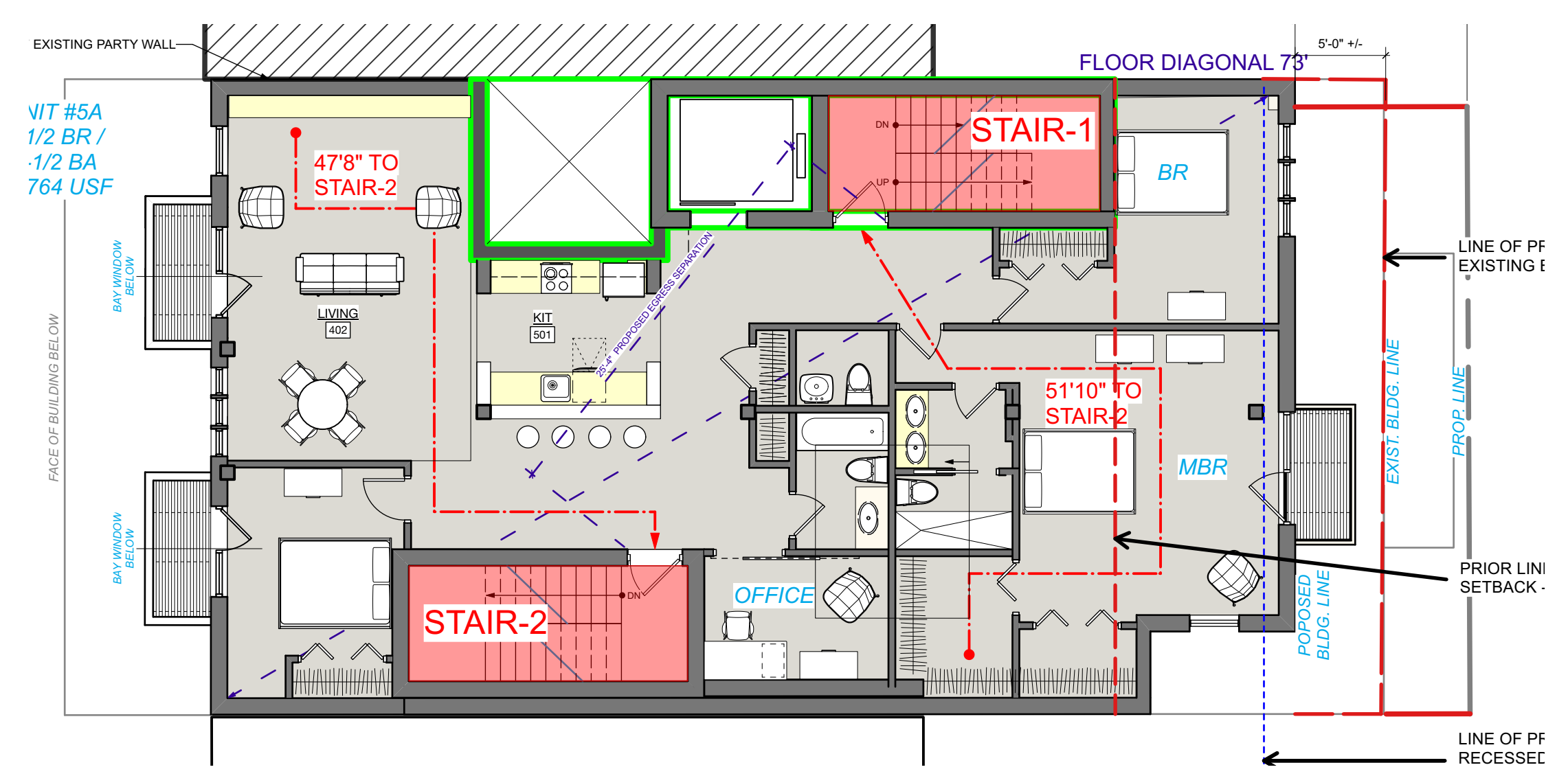
USE GROUP S-2 (PARKING)
 USE GROUP M (RETAIL)
 USE GROUP R2 (RESIDENTIAL)
 EXIT ACCESS TRAVEL DISTANCE (MAX ALLOWED: 250')
 COMMON PATH OF EGRESS TRAVEL (MAX ALLOWED: 125')
 POINT WHERE TWO SEPARATE AND DISTINCT PATHS OF EGRESS TRAVEL TO TWO EXITS ARE AVAILABLE

OCCUPANCY LOAD

FLOOR	USE GROUP	NET AREA (SF)	OCCUPANT LOAD FACTOR	MAX. OCCUPANT LOAD
BASEMENT	S-2	2,801 SF	200 GROSS	14
1ST FLR	M	800 SF	60 GROSS	13
	R2	2,044 SF	200 GROSS	10
2ND FLR	R2	2,875 SF	200 GROSS	14
3RD FLR	R2	2,606 SF	200 GROSS	13
4TH FLR	R2	2,562 SF	200 GROSS	13
5TH FLR	R2	2,488 SF	200 GROSS	12
				89

EGRESS CAPACITY TABLE

NAME	EGRESS ELEMENT	CLEAR WIDTH (IN.)	LOAD FACTOR (IN./PERSON)	CAPACITY
EXIT 1	STAIR	36	0.3	120
	DOOR	32	0.2	160
EXIT 2	STAIR	36	0.3	120
	DOOR	32	0.2	160
TOTAL EGRESS CAPACITY				240



HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project
ADDITIONS AND
PLANNING STUDIES

THE SAVOY
410 MASSACHUSETTS AVE.
BOSTON, MA

client
VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor
CONTRACTOR
ADDRESS
CITY, STATE ZIP

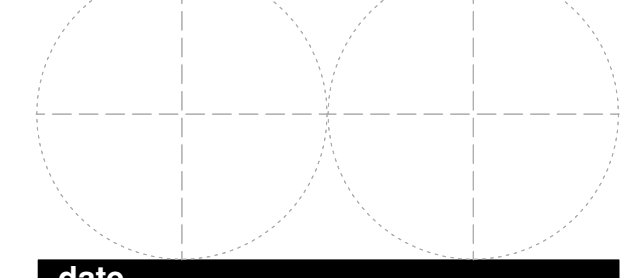
structural
STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP
MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

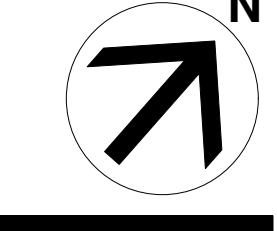
stamp



date
04.10.23

phase
DES DEV REV #5

north



sheet title
EGRESS &
OCCUPANCY PLANS

DRWN / CHCKD
sheet number

REV 6 04.27.23

A.12

OF

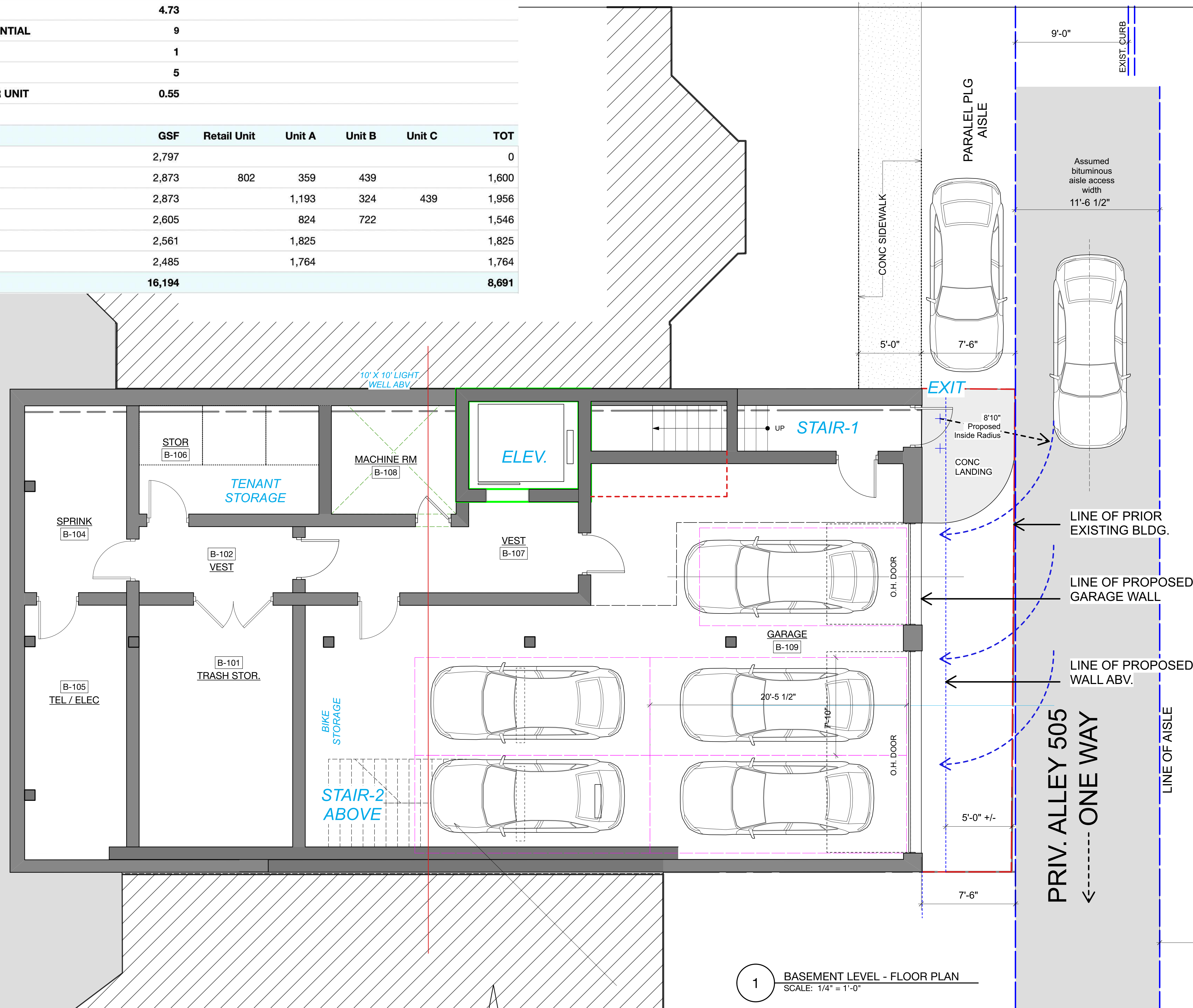
scale
AS NOTED

PROJECT OVERVIEW

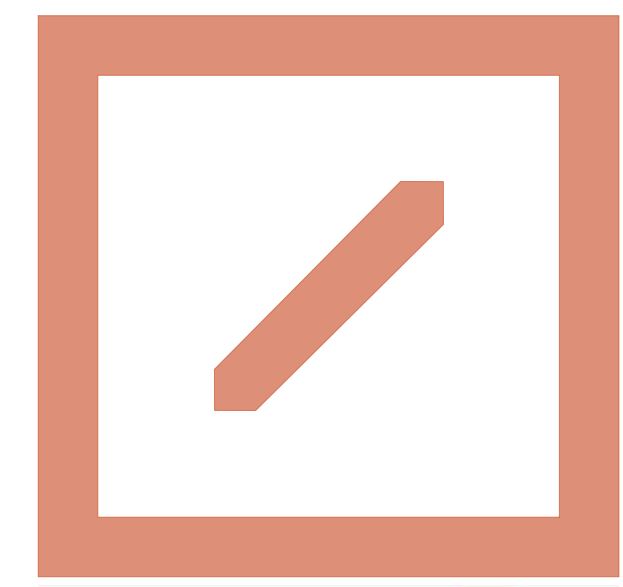
Height, Proposed @ Street: 5-Stories	61'-0"
GROSS SF	16,194 +/-
F.A.R.	4.73
UNIT COUNT - RESIDENTIAL	9
RETAIL UNITS	1
PARKING SPACES	5
PARKING SPACES PER UNIT	0.55

	GSF	Retail Unit	Unit A	Unit B	Unit C	TOT
GARAGE	2,797					0
1ST FLOOR	2,873	802	359	439		1,600
2nd FLOOR	2,873		1,193	324	439	1,956
3rd FLOOR	2,605		824	722		1,546
4th FLOOR	2,561		1,825			1,825
5th FLOOR	2,485		1,764			1,764
	16,194					8,691

MASSACHUSETTS AVENUE
BELOW GRADE



1 BASEMENT LEVEL - FLOOR PLAN
SCALE: 1/4" = 1'-0"



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

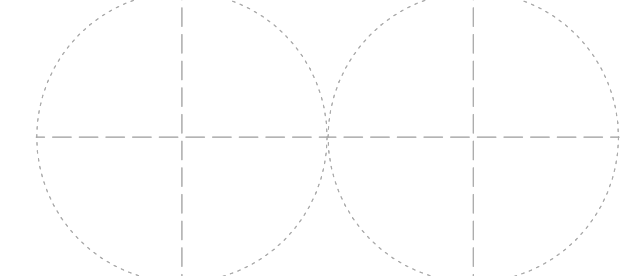
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



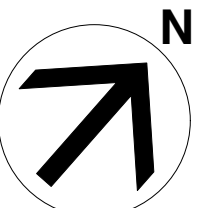
date

04.10.23

phase

DES DEV REV #5

north



sheet title

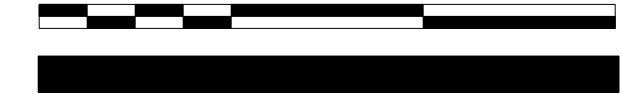
BASEMENT
PROPOSED PLAN

DRWN / CHCKD
sheet number

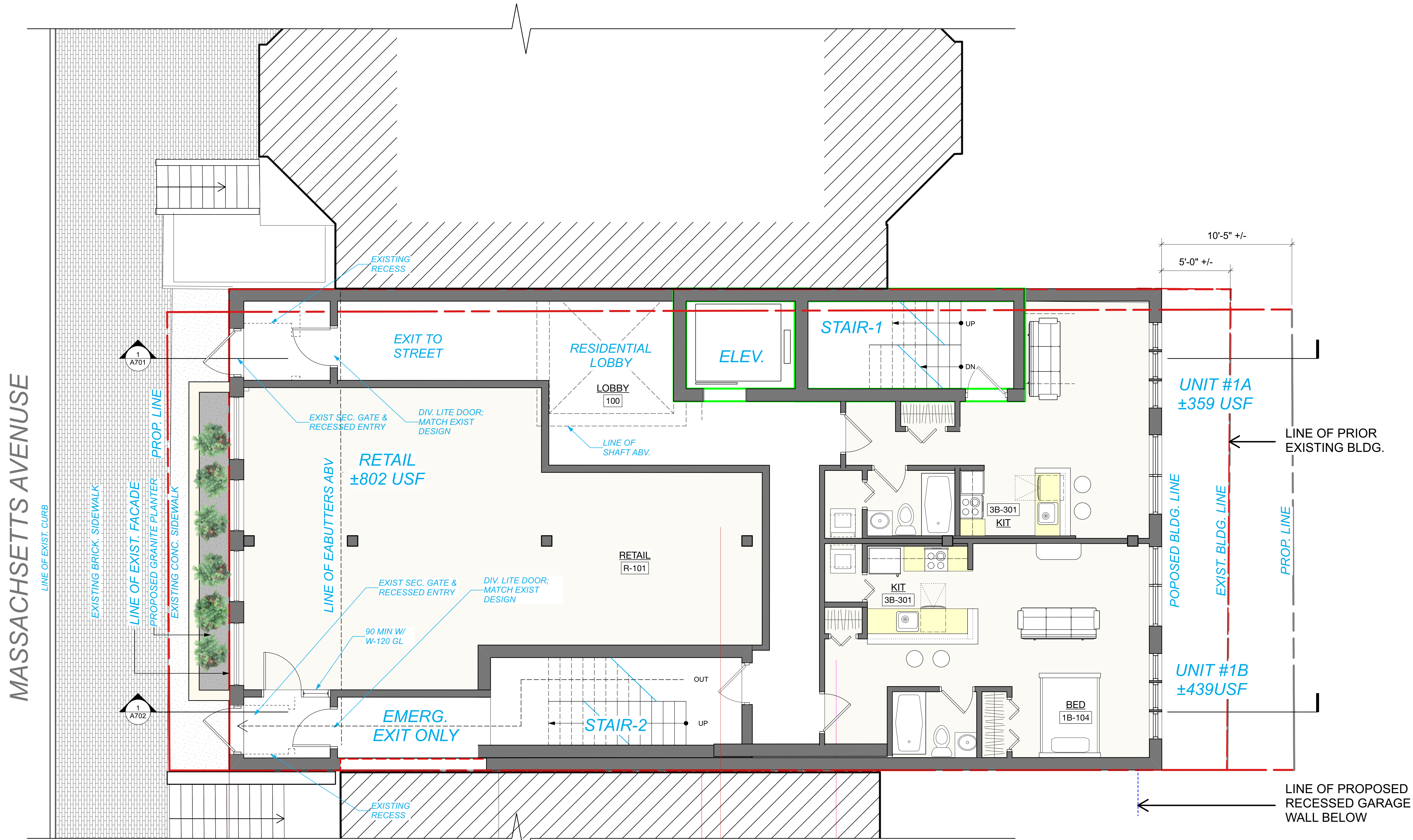
A.13

OF

scale



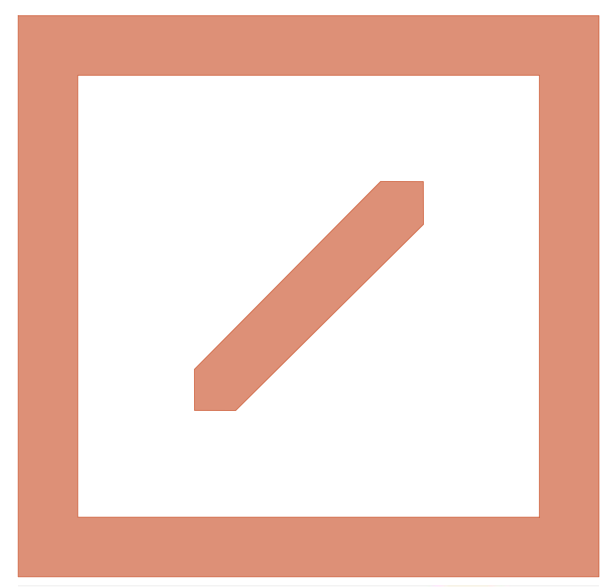
REV 6 04.27.23



MASSACHUSETTS AVENUE

1 FIRST FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project
ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client
VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor
CONTRACTOR
ADDRESS
CITY, STATE ZIP

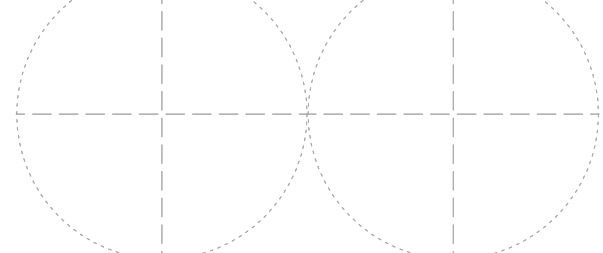
structural
STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

MEP
MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

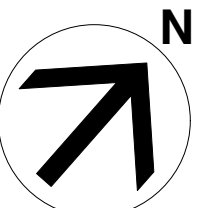
stamp



date 04.10.23

phase DES DEV REV #5

north



sheet title

FIRST FLOOR
PROPOSED PLAN

DRWN / CHCKD
sheet number

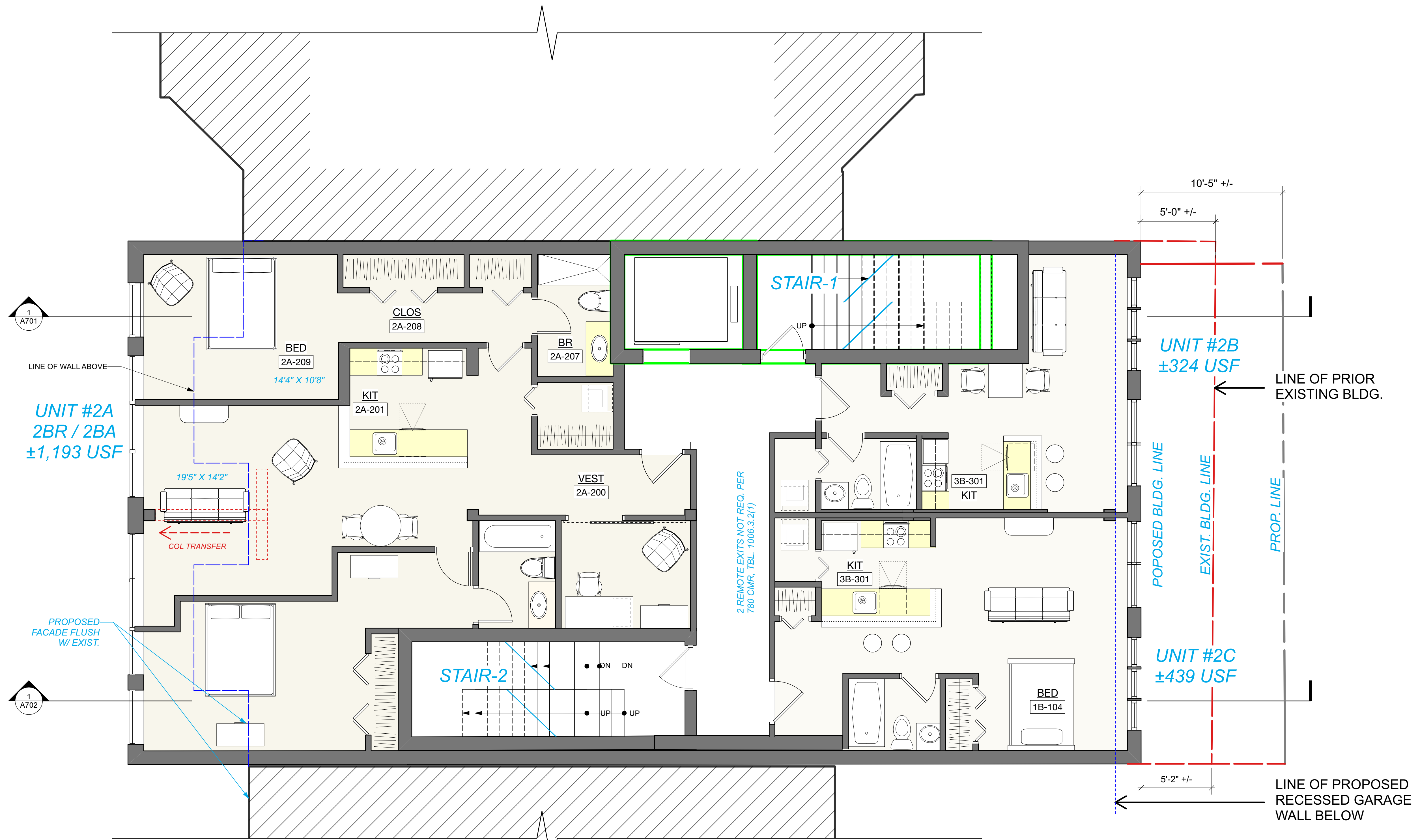
A.14

OF

scale

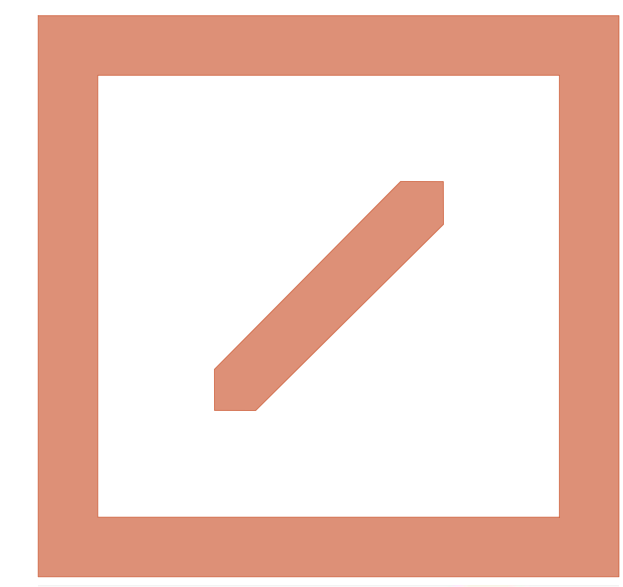


MASSACHUSETTS AVENUE



1 SECOND FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

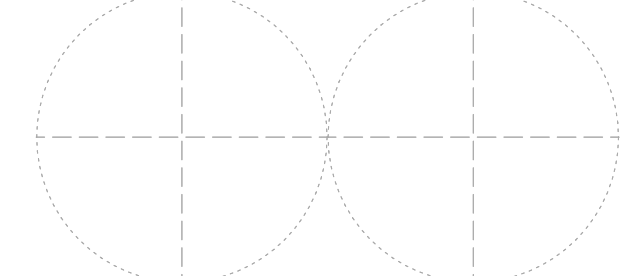
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



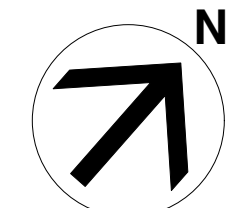
date

04.10.23

phase

DES DEV REV #5

north



sheet title

SECOND FLOOR
PROPOSED PLAN

DRWN / CHKCD

sheet number

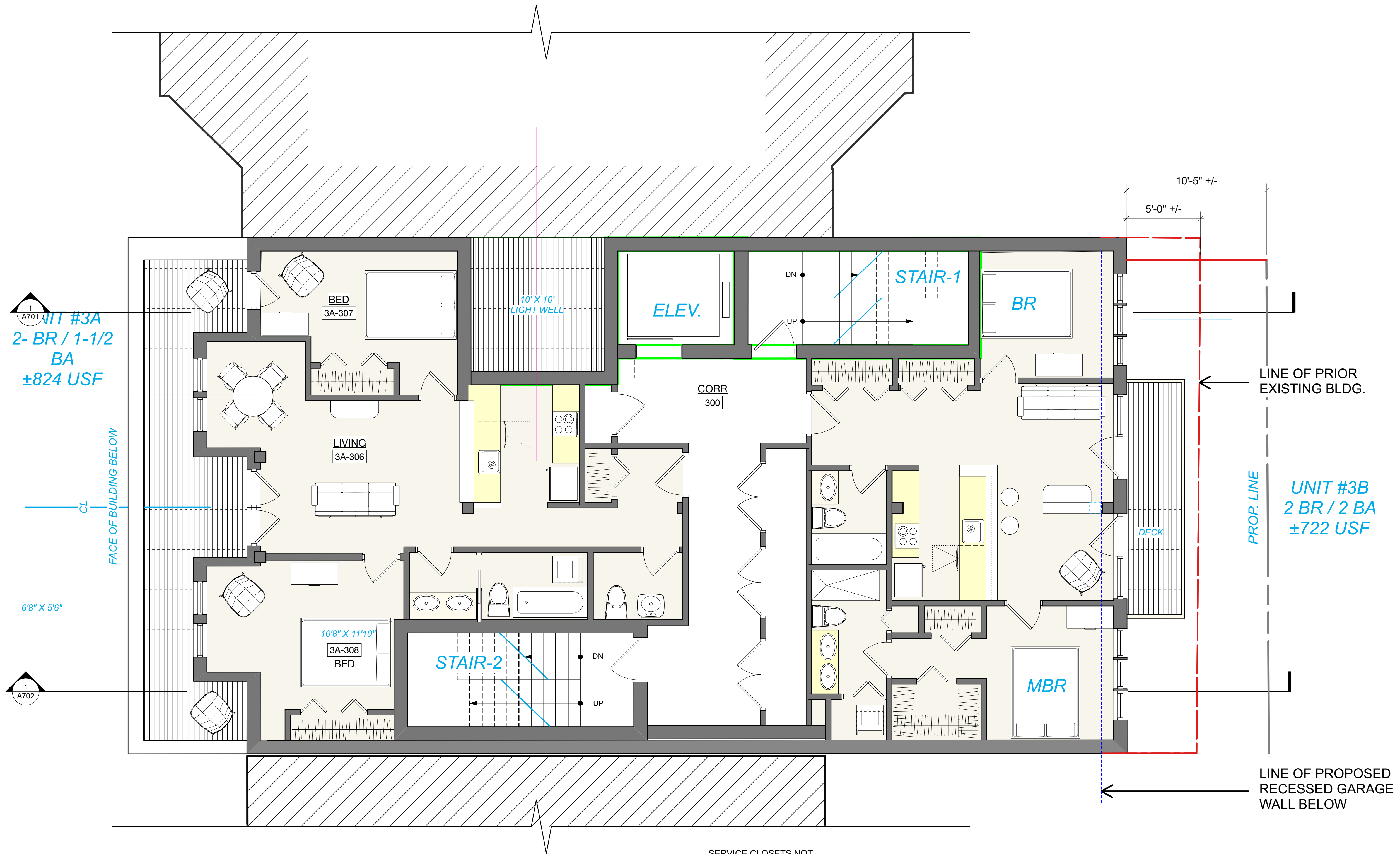
A.15

OF

scale



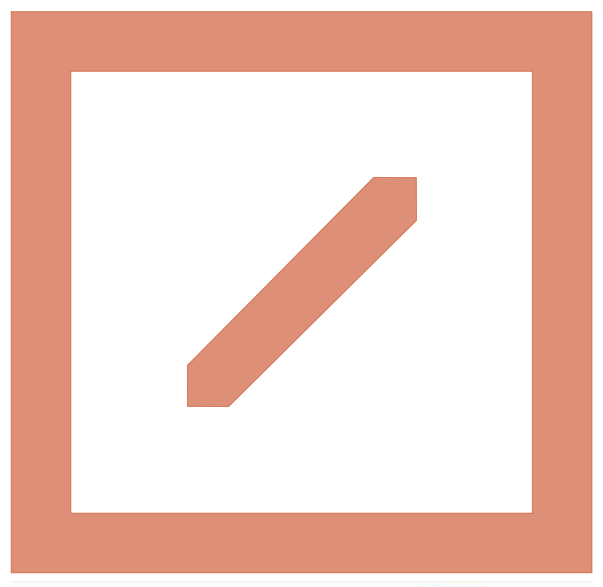
MASSACHUSETTS AVENUE



SERVICE CLOSETS NOT SHOWN ON ALL FLOORS YET

1 THIRD FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T: 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

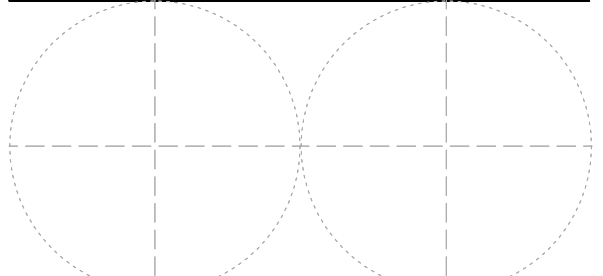
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



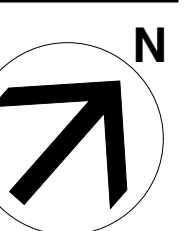
date

04.10.23

phase

DES DEV REV #5

north



sheet title

THIRD FLOOR
PROPOSED PLAN

DRWN / CHCKD

sheet number

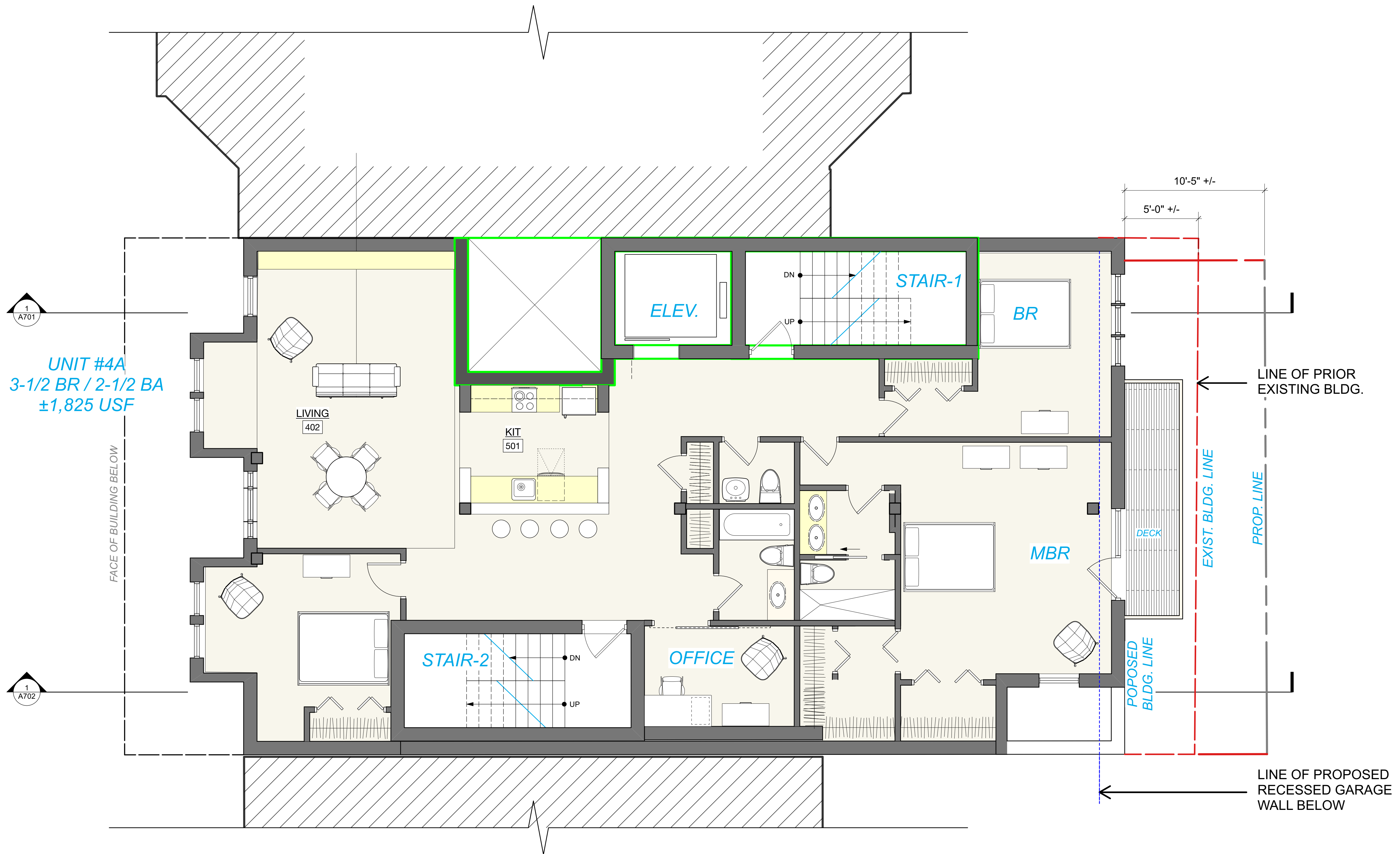
A.16

OF

scale



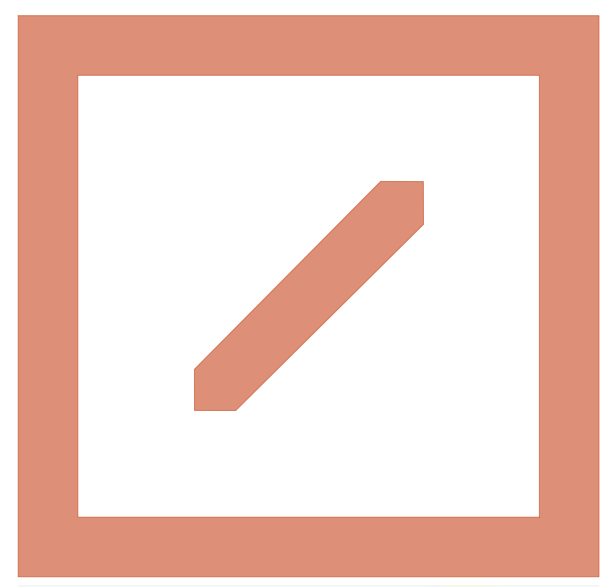
MASSACHUSETTS AVENUE



UNIT #4A
3-1/2 BR / 2-1/2 BA
±1,825 USF

1 FOURTH FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

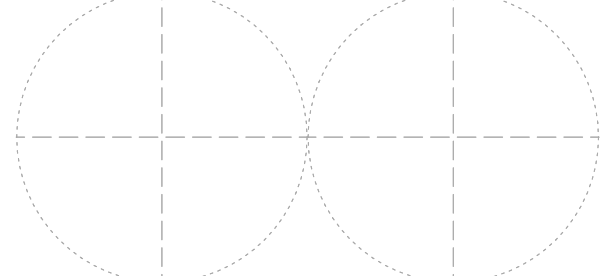
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



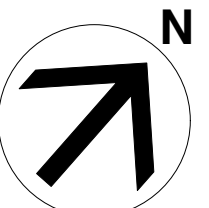
date

04.10.23

phase

DES DEV REV #5

north



sheet title

FOURTH FLOOR
PROPOSED PLAN

DRWN / CHCKD
sheet number

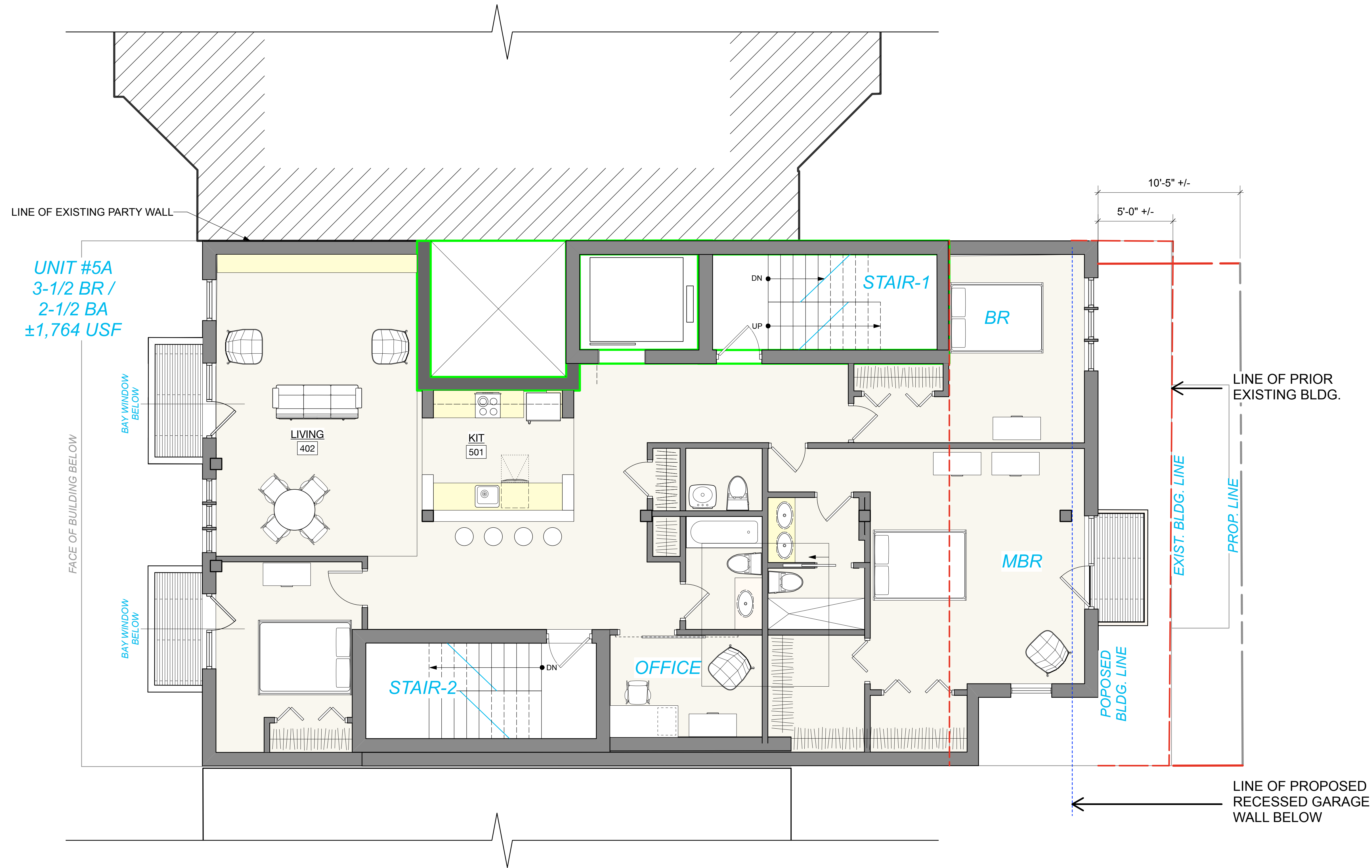
A.17

OF

scale

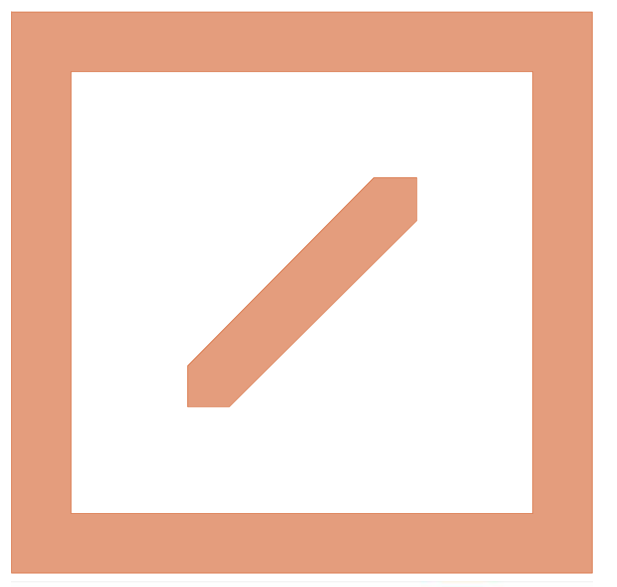


MASSACHUSETTS AVENUE



1 FIFTH FLOOR - FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND
PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

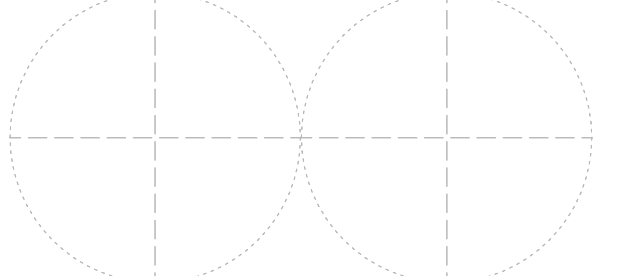
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



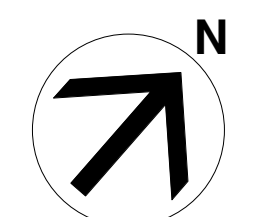
date

04.10.23

phase

DES DEV REV #5

north



sheet title

FIFTH FLOOR
PROPOSED PLAN

DRWN / CHCKD

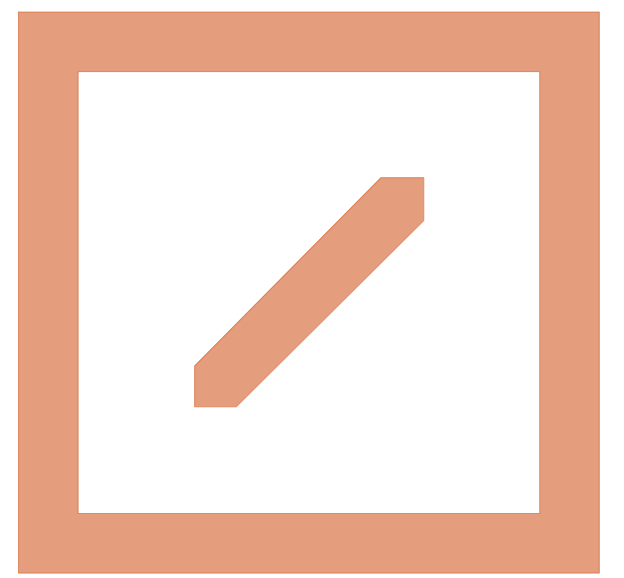
sheet number

A.18

OF

scale

AS NOTED



HELICON

HELICON DESIGN GROUP, INC.
ARCHITECTS
76 SUMMER STREET, SUITE 510
BOSTON, MA 02110

T. 617-357-4437
INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE.
BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

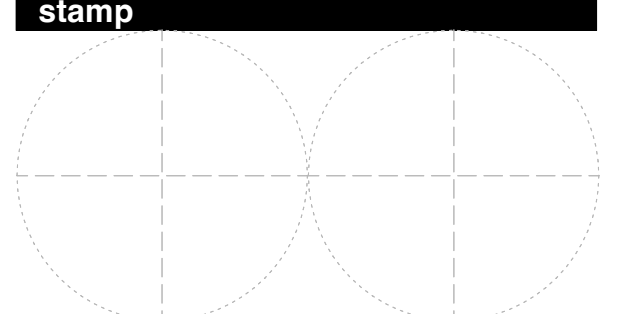
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

PROPOSED
FRONT ELEVATION

DRWN / CHCKD

sheet number

A.21

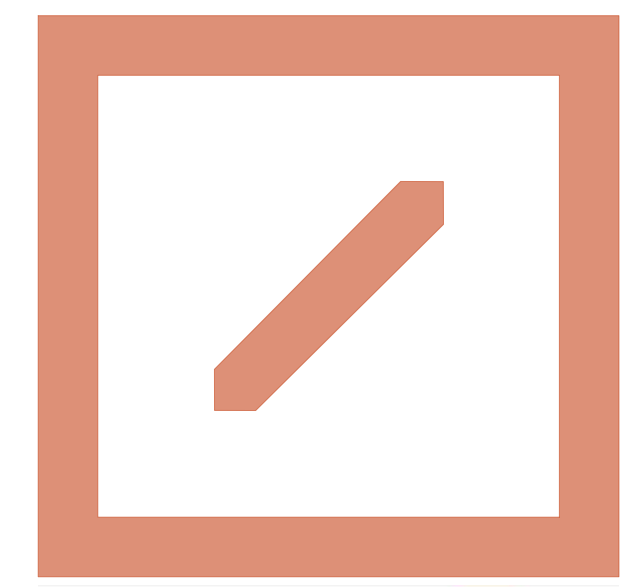
OF

scale

AS NOTED



REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDESIGN.COM

project

ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

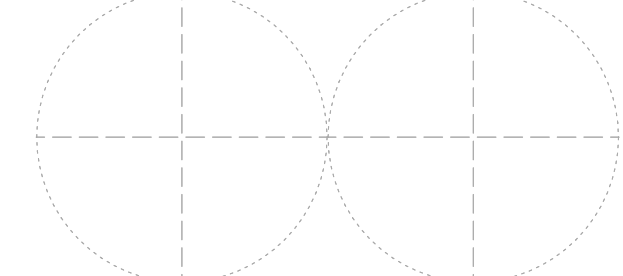
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

PROPOSED FRONT ELEVATION

DRWN / CHCKD

sheet number

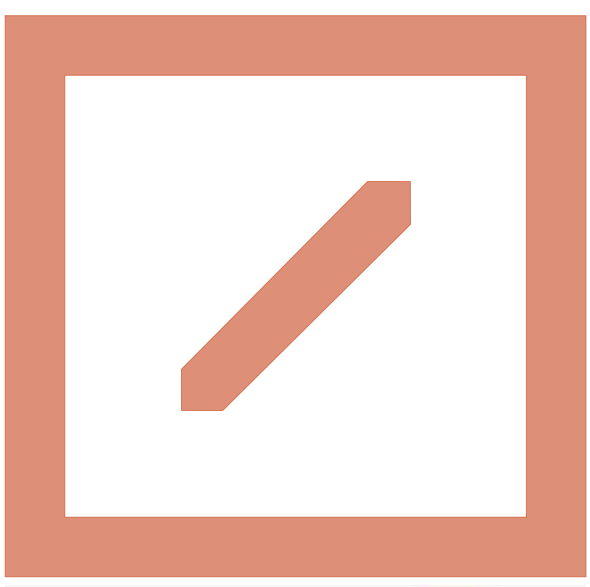
A.22

OF

scale

AS NOTED

REV 6 04.27.23



HELICON
 HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T: 617-357-4437
 INFO@HELICONDESIGN.COM

project
ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client
 VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor
 CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

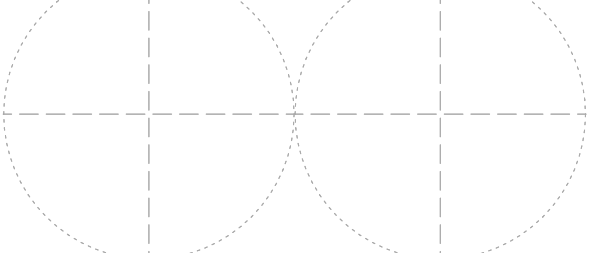
structural
 STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

MEP
 MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date 04.10.23

phase DES DEV REV #5

north

sheet title

FRONT ELEVATION
 LANDMARKS COMM.

DRWN / CHCKD
sheet number

A.23
 OF

scale AS NOTED

SUMMARY COMMENTS
LANDMARKS ADVISORY REVIEW 12/15/22
LANDMARKS STAFF ADVISORY REVIEW 03/08/23

VINCO - Proposed development 410 Massachusetts Ave., Boston, MA
 LANDMARKS REVIEW COMMENTS

BUILDING ELEVATION

- 01 Bay Design: No asymmetrical bay designs. (Refer to abutters bay designs as precedents.)
- 02 Bay Design: Should be proposed as all brick or all metal. No mixing.
- 03 Facade Brick: Facade should be all brick to cornice line.
- 04 Facade Brick Existing: Call out existing as proposed repointed. Include proposed texture, type and tooling of mortar.
- 05 Cornice: Should be a strong conic line relating to South End precedents. with penthouse or "Attic story" above. (Aligning with abutter height to north, 392-400 Massachusetts Ave.)
- 06 Cornice line Reference: Abutter to south, 414 Mass. Ave with articulated brick cornice details; refer to with banding only, no corbeling.
- 07 Window Design: Call out fixed windows at 1st and 2nd floors being replaced with new, and indicate operable areas.
- 08 Window Design: Current proposed "problematic", too many window types. Use double hung window type standard in the South End. New double hung units may be acceptable as metal clad.
- 09 Window Design: Use double hung, ganged together for bay units. Skinnier units could be used here.
- 10 Window Design: Center windows requested to be reconfigured to more standard format.
- 11 Window Design: Propose something other than double-hung windows at the 5th floor attic story.
- 12 Pediment infill: Should remain stucco unless there is historical precedent to apply propose another material.
- 13 Deck Rail: @ 3rd floor proposed deck area — provide standard black picket guard rail behind existing pediment.
- 14 Deck Walk Out, 5th Floor: Small picket guard on top of wall may be acceptable here pending Board's review and comments. Or, proposed simple small glass guard to compliant height.
- 15 Deck Walk Out: Proposed roof elements to be lowered on elevation to merge into the proposed main flat roof line, not above it.
- 16 Street view section: Expand current section to show view line from opposite Mass Ave sidewalk, and show view angle indicating whether stair or elevator head houses will be visible.
- 17 Materials: Call out ALL materials on the elevation, include sample material page.
- 18 Rear Elevation: Include elevator and stair head house on that elevation.

HISTORICAL COMMENTS

- 19 Assemble and present existing historical uses of the building available, including the "Savoy Jazz Club" active during the 1940s and 50s.
- 20 Ask the **South End Historical Society** to contribute any material (including 1972 Survey) they have on the building and the Savoy Jazz Club.

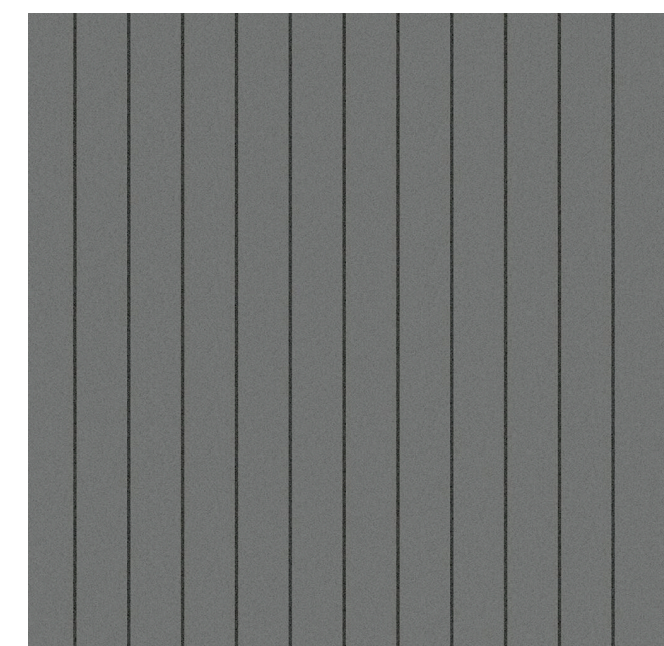
NEXT SCHEDULED DESIGN REVIEWS

- 21 Show progression of earlier submitted designs and updates with Staff and Landmark Commission comments included on the revised elevations.
- 22 With new Rev's show bullet pointed areas keyed to comments you responded to.
- 23 Appendix: Include existing building photos, historical photo section, abutters section and street montages of both sides of the block.
- 24 Make drawings "work for you"... show your most positive elements.
- 25 Review sample submission drawing decks sent by Landmarks to include standards that the Commission is generally looking for to review the design and approve.



ANNOTATED LANDMARK'S COMMISSION AND STAFF ADVISORY REVIEW REVISIONS

REV 6 04.27.23



ALUCOBOND EASYFIX, CLASSIC COLLECTION, DARKENED GRAY. STANDARD PANEL DIMENSIONS: 36"W X 196"L



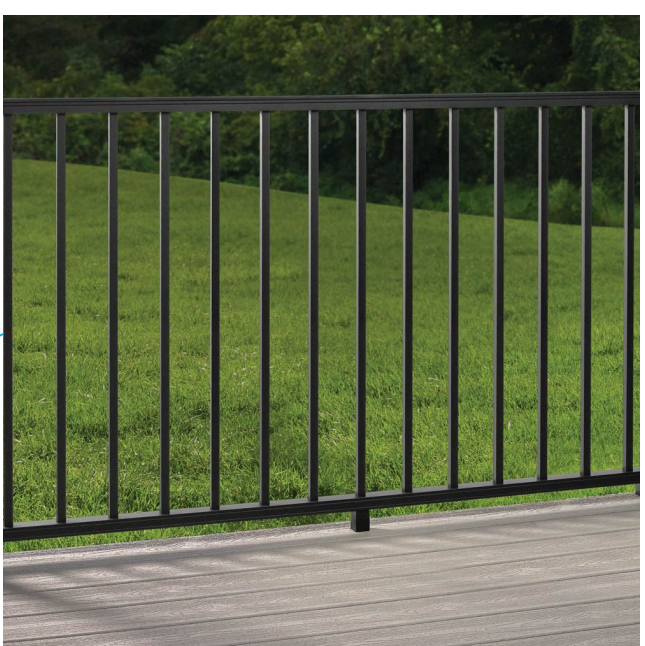
PRECAST ARCHITECTURAL CONCRETE HEADERS, CUSTOM COLOR TO MATCH SOUTH END LIMESTONE.



NOMINAL BRICK, FULL DEPTH, WITH MORTAR TO MATCH STANDARD SOUTH END BRICK PROFILES AND COLORS.



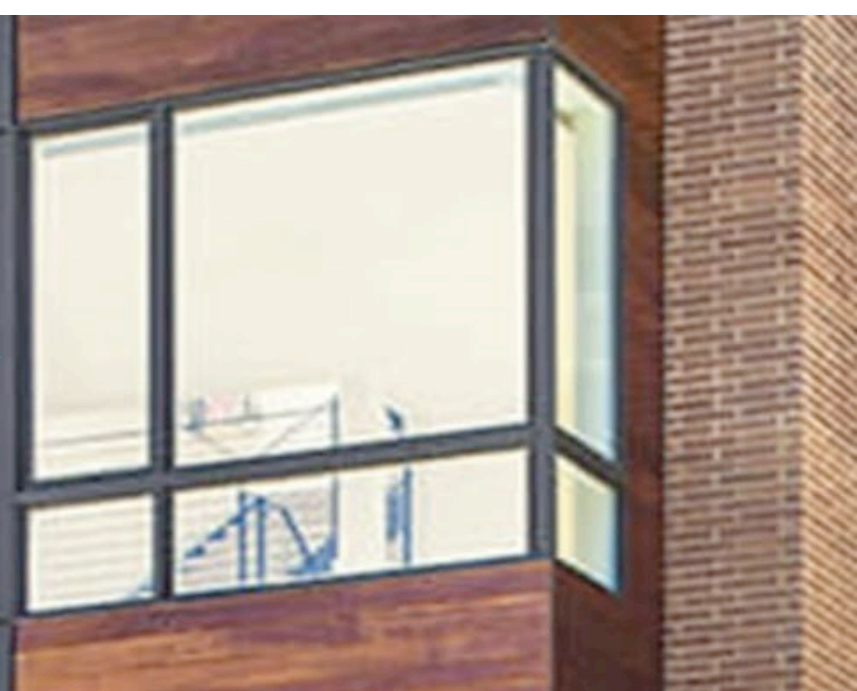
EXISTING CONCRETE ACCENT INLAY MEDALLIONS, CELANED AND REFERBISHED AS REQUIRED.



SMALL PICKET GUARD ON TOP OF WALL.



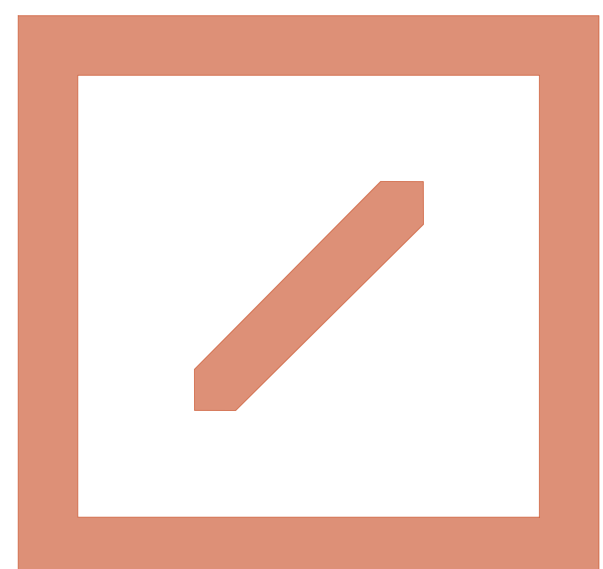
400 SERIES TILT WASH DOUBLE HUNG WINDOW, ANDERSON WINDOWS, METAL CLAD



COMPOSITE TEMPERED DOUBLE-INSULATED COMPOSITE WINDOW ASSEMBLY, METAL CLAD



EXISTING PEDIMENT; STUCCO INFILL TO REMAIN



HELICON

HELICON DESIGN GROUP, INC. ARCHITECTS
76 SUMMER STREET, SUITE 510 BOSTON, MA 02110
T: 617-357-4437
INFO@HELICONDESIGN.COM

project

ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE. BOSTON, MA

client

VINCO PROPERTIES
434 MASSACHUSETTS AVE. BOSTON, MA

contractor

CONTRACTOR
ADDRESS
CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
ADDRESS
CITY, STATE ZIP

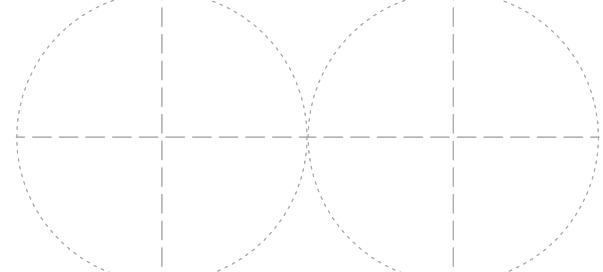
MEP

MEP ENGINEER
ADDRESS
CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

FRONT ELEVATION PALETTE NOTES

DRWN / CHCKD

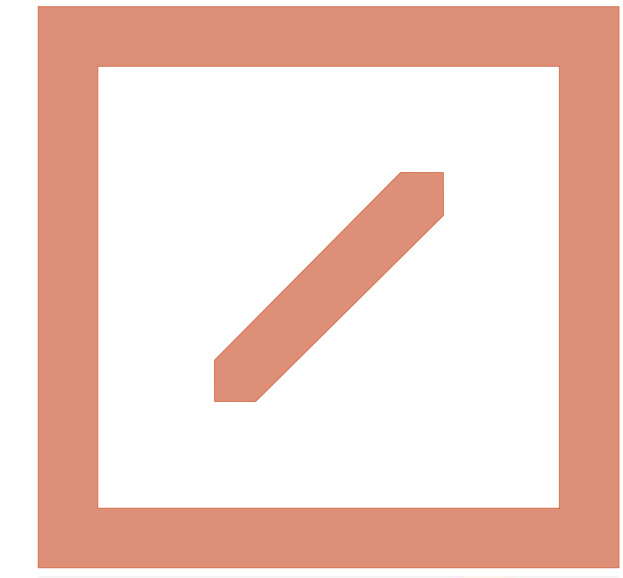
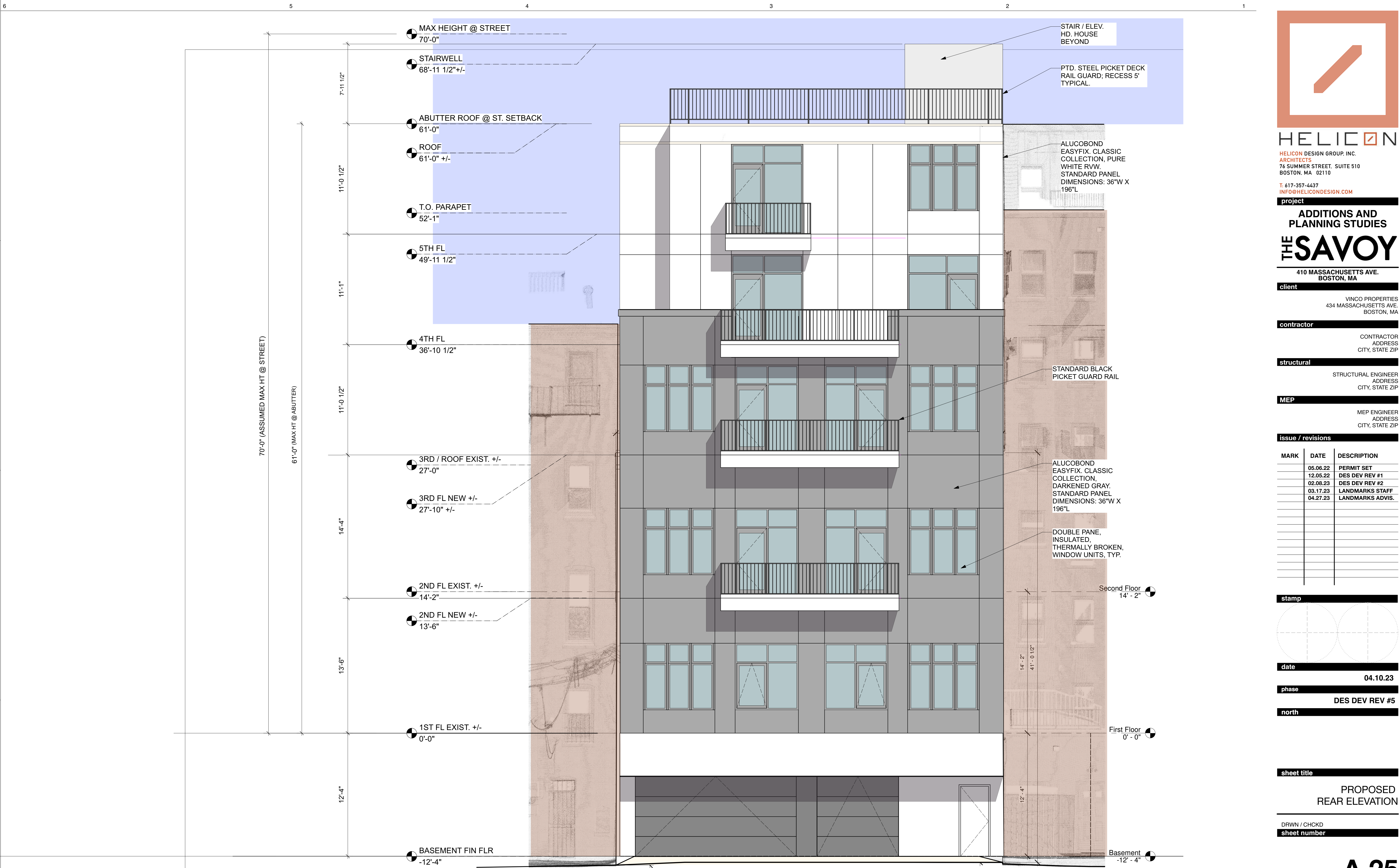
sheet number

A.24

OF

scale

AS NOTED



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDESIGN.COM

project

ADDITIONS AND PLANNING STUDIES

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

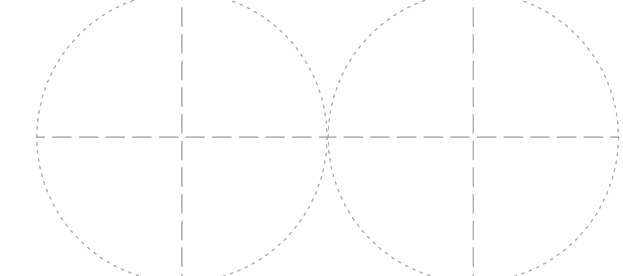
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

PROPOSED
 REAR ELEVATION

DRWN / CHCKD

sheet number

A.25

OF

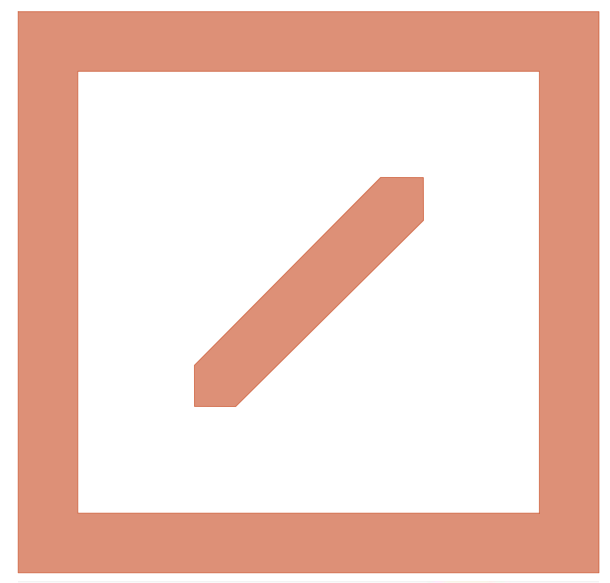
scale

AS NOTED

REV 6 04.27.23



HELICON 2023



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDESIGN.COM

project

**ADDITIONS AND
 PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

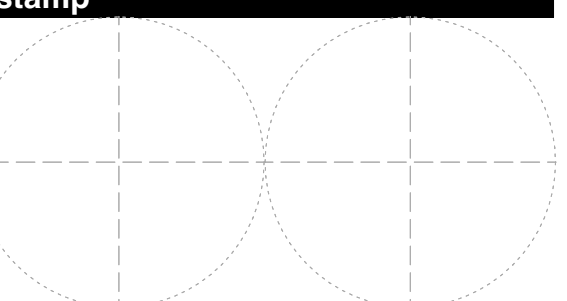
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date 04.10.23

phase DES DEV REV #5

north

sheet title RENDERING - DAYTIME

DRWN / CHCKD

sheet number

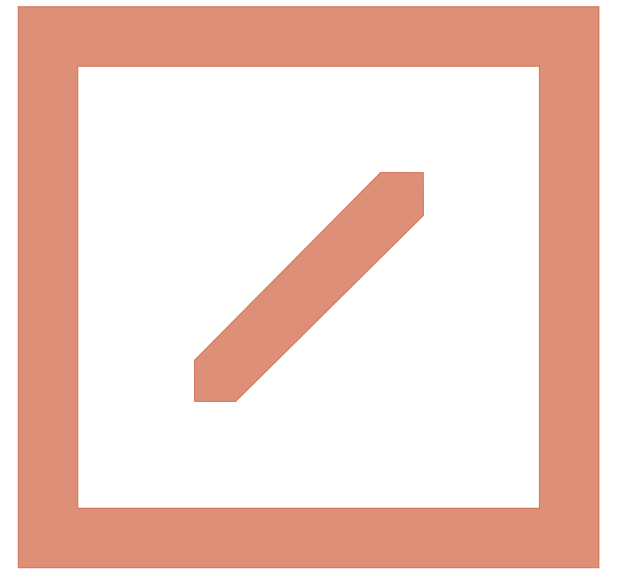
A.27

OF

scale

AS NOTED

REV 6 04.27.23



HELICON

HELICON DESIGN GROUP, INC.
 ARCHITECTS
 76 SUMMER STREET, SUITE 510
 BOSTON, MA 02110
 T. 617-357-4437
 INFO@HELICONDDESIGN.COM

project

**ADDITIONS AND
 PLANNING STUDIES**

THE SAVOY

410 MASSACHUSETTS AVE.
 BOSTON, MA

client

VINCO PROPERTIES
 434 MASSACHUSETTS AVE.
 BOSTON, MA

contractor

CONTRACTOR
 ADDRESS
 CITY, STATE ZIP

structural

STRUCTURAL ENGINEER
 ADDRESS
 CITY, STATE ZIP

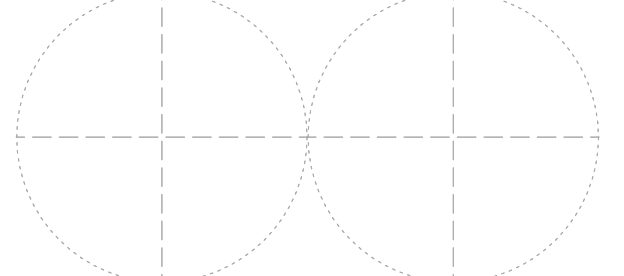
MEP

MEP ENGINEER
 ADDRESS
 CITY, STATE ZIP

issue / revisions

MARK	DATE	DESCRIPTION
	05.06.22	PERMIT SET
	12.05.22	DES DEV REV #1
	02.08.23	DES DEV REV #2
	03.17.23	LANDMARKS STAFF
	04.27.23	LANDMARKS ADVIS.

stamp



date

04.10.23

phase

DES DEV REV #5

north

sheet title

RENDERING - NIGHT

DRWN / CHCKD

sheet number

A.28

OF

scale

AS NOTED

HELICON 2023

REV 6 04.27.23