

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
⊕	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJT OR ⊕	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR ∅	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
IN	INCH	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		

SPRINGFIELD STREET RESIDENCES

210 W. Springfield St., Boston, MA 02118

CODE ANALYSIS:

- APPLICABLE CODES:**
BUILDING CODE :
 IBC 2015 (780 CMR)
 IEBC 2015
 IECC 2018
 IFC 2015 (527 CMR)
 8TH EDITION AMENDMENTS
- ZONING DISTRICT - SOUTH END NEIGHBORHOOD**
ZONING SUBDISTRICT - MFR

DIMENSIONAL REQUIREMENTS:

FRONT:	REQ'D	PROPOSED
SIDE:	CONFORMITY	NO CHANGE
REAR:	0'	NO CHANGE
HEIGHT:	20'	NO CHANGE
	70'	NO CHANGE

FAR:	2.0
LOT SIZE:	1,740SF
ALLOWED:	3,480GSF
EXISTING:	3,780GSF
PROPOSED:	4,363GSF
BASEMENT:	730GSF
GARDEN LEVEL:	730GSF
FIRST FLOOR:	743GSF
SECOND FLOOR:	725GSF
THIRD FLOOR:	725GSF
FOURTH FLOOR:	710GSF
TOTAL:	4,363GSF

- CHAPTER 3 - USE GROUP CLASSIFICATION :**
SECTION 310.0 - RESIDENTIAL R2
- CHAPTER 6 - CONSTRUCTION CLASSIFICATION**
TABLE 602 - UNIT SEPERATION - 1HR
SECTION 602.5 - TYPE 5A CONSTRUCTION
- CHAPTER 10 - MEANS OF EGRESS:**
TABLE 1006.3.2(1) - 2ND MEANS OF EGRESS REQUIRED AT
4TH FLOOR (EXISTING TO REMAIN)
SECTION 1030 - EMERGENCY ESCAPE & RESCUE
BEDROOM EGRESS:
1 WINDOW MINIMUM REQUIREMENTS
5.7SF OPERABLE CLEAR AREA,
44" MAX SILL HGT

PERFORMANCE SPECIFICATIONS:

- EXTERIOR WALLS:**
 EXISTING MASONRY
 R21 MIN INSULATION VALUE (CAVITY)
 BASEMENT: R10 CONTINUOUS INSULATION OR
 R13 CAVITY INSULATION
- WINDOWS:**
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .32
 REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
 5.7SF OPERABLE CLEAR AREA,
 44" MAX SILL HGT
- EXTERIOR DOORS:**
 DOUBLE PANE LOW E
 MIN. U-FACTOR: .33
- CEILING/ROOF:**
 R49 MIN INSULATION VALUE
- FOUNDATION:**
 10" MIN 2,500PSI MIN
- STAIRS:**
 COMMON: 7 1/2" MAX RISER
 11" MIN TREAD
 INSIDE DWELLING: 8 1/4" MAX RISER
 10" MIN TREAD
 HANDRAILS:
 34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
 BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED

- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED

- Room name**
- ROOM TAG
 - SHEET #
 - ELEVATION TAG
 - VIEW #
 - VIEW #
 - SECTION TAG
 - SHEET #

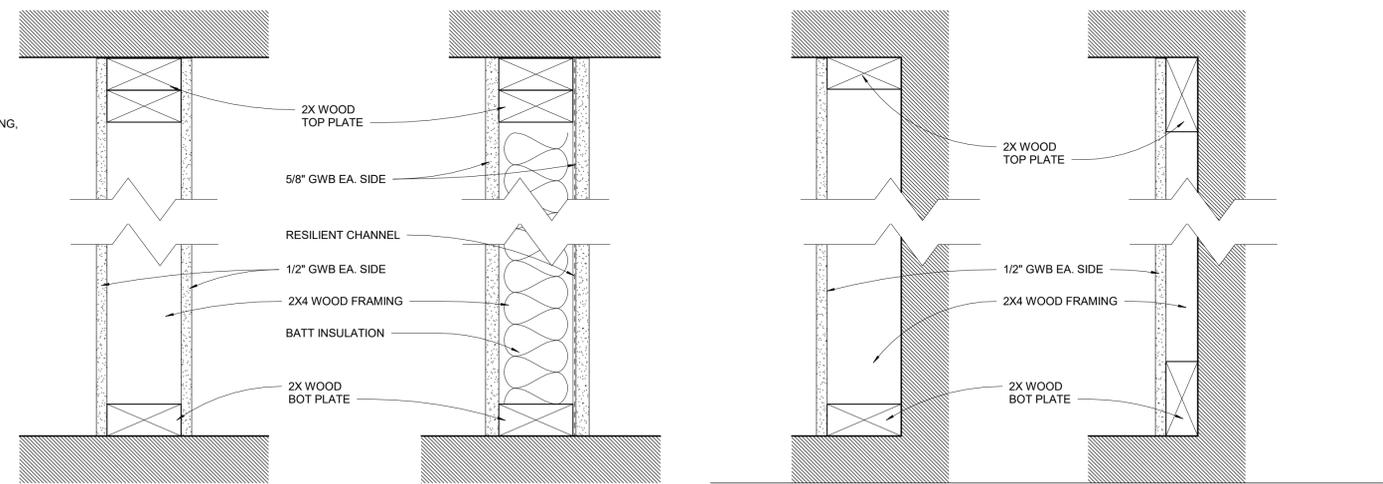
- 1HR RATED PARTITION (UL DESIGN U309)
- HEAT DETECTOR - KIDDE HD135F
- COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO PLANS
A101	DEMO PLANS
S100	FRAMING PLANS
S101	FRAMING PLANS
A102	FLOOR PLANS - BSMT - 2ND FLOORS
A103	FLOOR PLANS - 3RD - ROOF PLANS
A104	EXISTING PLANS - BSMT - 2ND FLOORS
A105	EXISTING PLANS - 3RD & 4TH
A200	EXTERIOR ELEVATIONS
A201	EXISTING ELEVATIONS

GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.



1 WOOD STUD (0HR) 2 WOOD STUD FIRE RATED (1HR, STC 50) 3 4" WOOD STUD FURRED (0HR) 4 2" WOOD STUD FURRED (0HR)

○ PARTITION TYPES
3" = 1'-0"

ARCHITECT
S47|a
 studio47 architects, inc
 517 boston post rd
 suite #30
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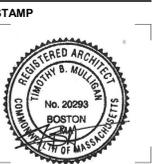
PROJECT:
Springfield Residences
 210 W. Springfield St
 Boston, MA 02118

CLIENT:
River Front Realty
 275 Main St
 Boston, MA 02129

PROJECT TEAM:

REVISIONS:

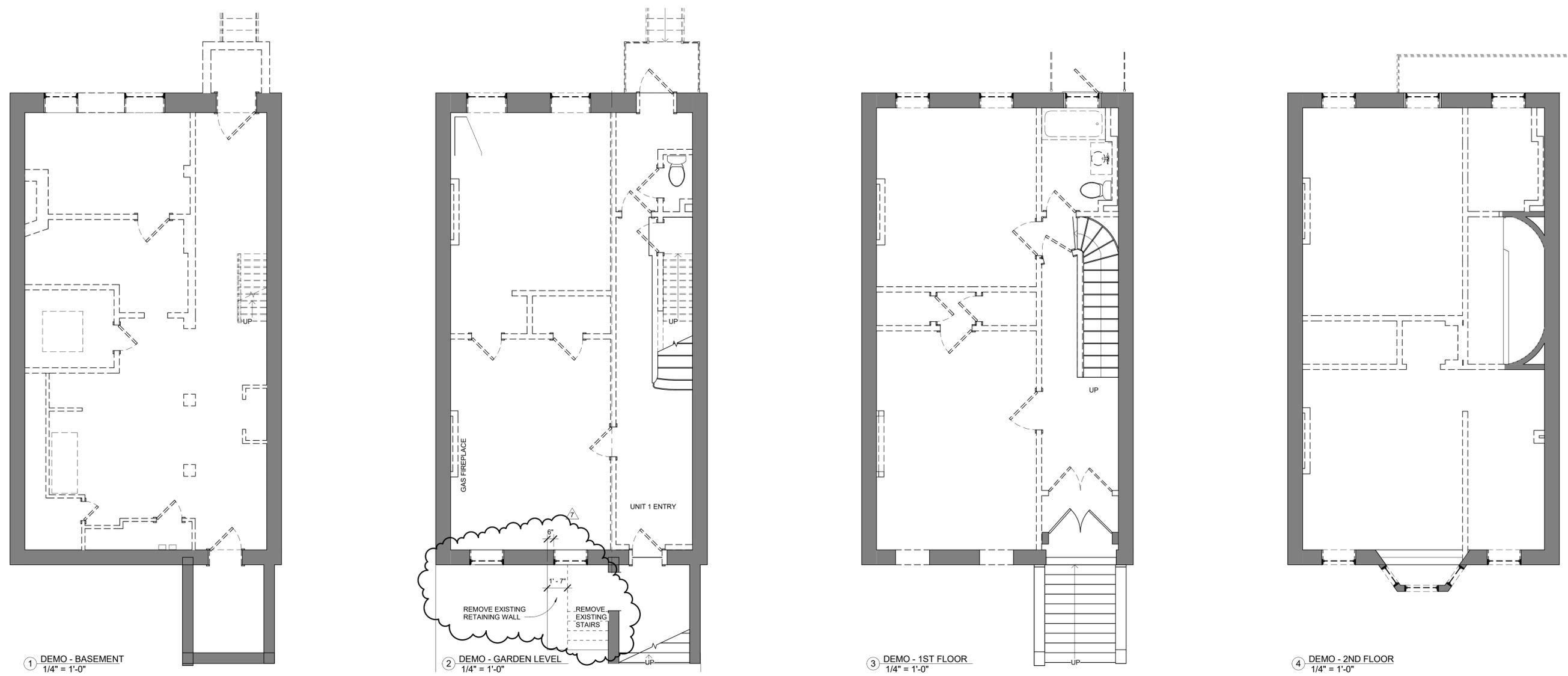
DRAWING TITLE:
TITLE SHEET



May 13, 2022
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 As indicated
 SCALE
 2207.00
 PROJECT #

DRAWING NUMBER:

A000



1 DEMO - BASEMENT
 1/4" = 1'-0"

2 DEMO - GARDEN LEVEL
 1/4" = 1'-0"

3 DEMO - 1ST FLOOR
 1/4" = 1'-0"

4 DEMO - 2ND FLOOR
 1/4" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- SHEET #
ELEVATION TAG
- VIEW #
SECTION TAG
- HD
HEAT DETECTOR - KIDDE HD135F
- SA/CO2
COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
- SA/CO2
COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

- FINISH NOTES:**
- ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
 - ALL EXISTING INTERIOR DOORS TO BE REMOVED AND REPLACED IN KIND.
 - ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED PLUMBING AND FIXTURES.
 - ALL EXISTING ELECTRICAL WIRING AND FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED WIRING AND FIXTURES.



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REVISIONS:

1. ROOF DECK	6.22.22
2. EXTERIOR	7.5.22
3. DECKS	8.3.22
4. DECKS/SLIDER	1.11.23
5. HISTORICAL	2.13.23
7. HISTORICAL	3.24.23

DRAWING TITLE:

FLOOR PLANS - BSMT - 2ND FLOORS

STAMP



May 13, 2022
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2207.00
 PROJECT #

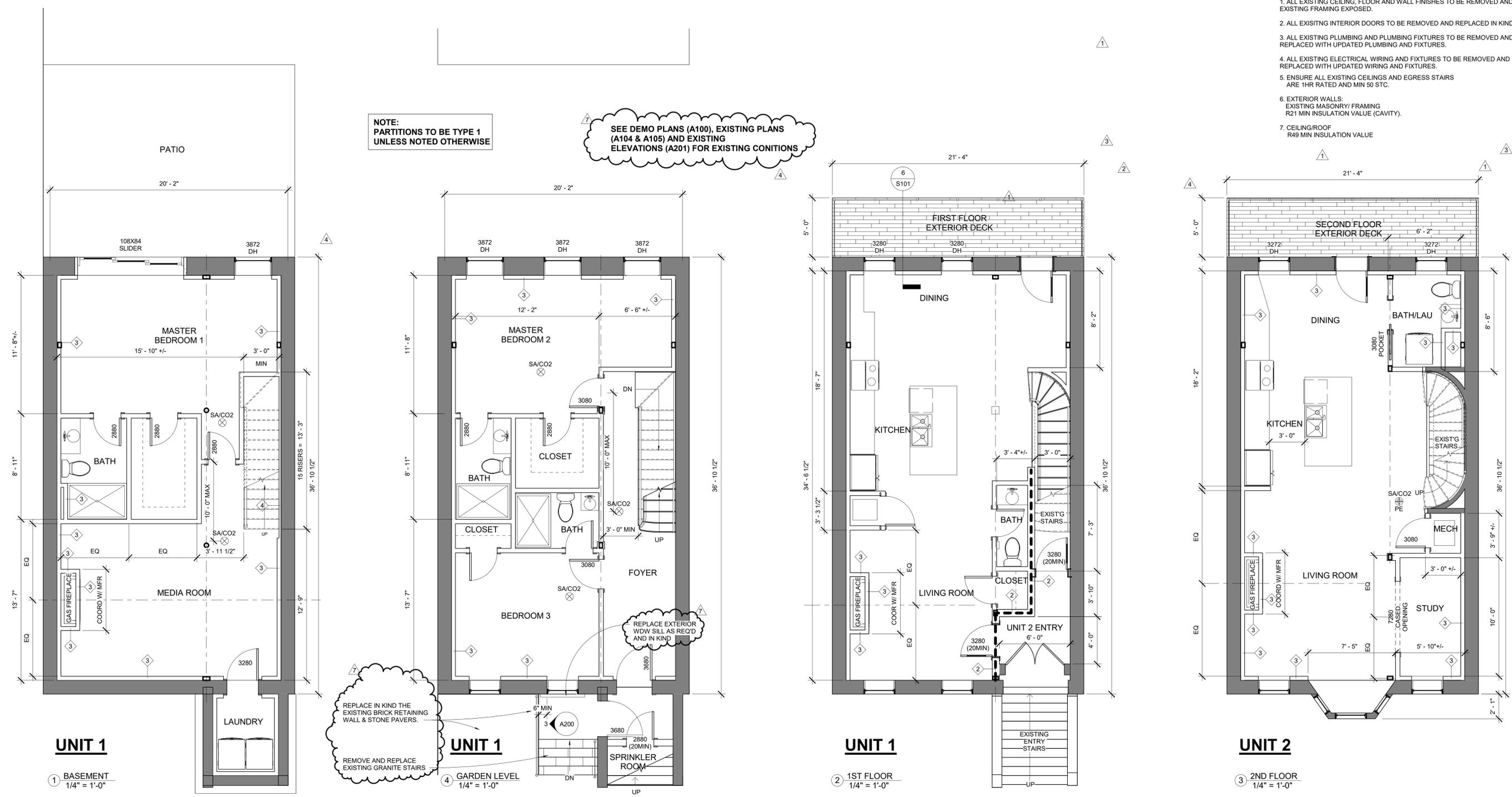
DRAWING NUMBER:

A102

- FINISH NOTES:**
1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
 2. ALL EXISTING INTERIOR DOORS TO BE REMOVED AND REPLACED IN KIND.
 3. ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED PLUMBING AND FIXTURES.
 4. ALL EXISTING ELECTRICAL WIRING AND FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED WIRING AND FIXTURES.
 5. ENSURE ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR RATED AND MIN 50 STC.
 6. EXTERIOR WALLS: EXISTING MASONRY/ FRAMING R21 MIN INSULATION VALUE (CAVITY).
 7. CEILING/ROOF R49 MIN INSULATION VALUE

NOTE:
 PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE

SEE DEMO PLANS (A100), EXISTING PLANS (A104 & A105) AND EXISTING ELEVATIONS (A201) FOR EXISTING CONDITIONS



UNIT 1

1 BASEMENT
 1/4" = 1'-0"

UNIT 1

4 GARDEN LEVEL
 1/4" = 1'-0"

UNIT 1

2 1ST FLOOR
 1/4" = 1'-0"

UNIT 2

3 2ND FLOOR
 1/4" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED

- SHEET #
ELEVATION TAG
- VIEW #
VIEW #
- SECTION TAG
- SHEET #
- HEAT DETECTOR - KIDDE HD135F
- COMBO SMOKE/CO2 DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO2 DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 49 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 18" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: 3 psf Fire Test: UL R1319-05, 11-16-04 UL Design, L514 CK 6512-6, 7, 4-15-05 Sound Test: IIC & Test: 39(67 C & P) CK 6512-6, 4-15-05			

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 49 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 18" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
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ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)



CODE ANALYSIS:

1. APPLICABLE CODES:
 BUILDING CODE :
 IBC 2015 (780 CMR)
 IEBC 2015
 IECC 2018
 IFC 2015 (527 CMR)
 8TH EDITION AMENDMENTS

2. ZONING DISTRICT - SOUTH END NEIGHBORHOOD
 ZONING SUBDISTRICT - MFR

DIMENSIONAL REQUIREMENTS:

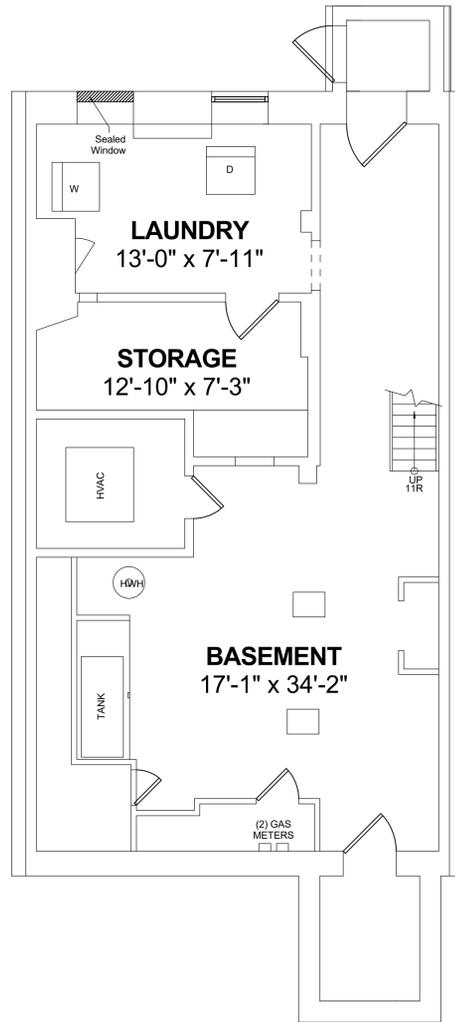
	REQ'D	PROPOSED
FRONT:	CONFORMITY	NO CHANGE
SIDE:	0'	NO CHANGE
REAR:	20'	NO CHANGE
HEIGHT:	70'	NO CHANGE

FAR: 2.0
 LOT SIZE: 1,740SF
 ALLOWED: 3,480GSF
 EXISTING: 3,780GSF
 PROPOSED: NO CHANGE

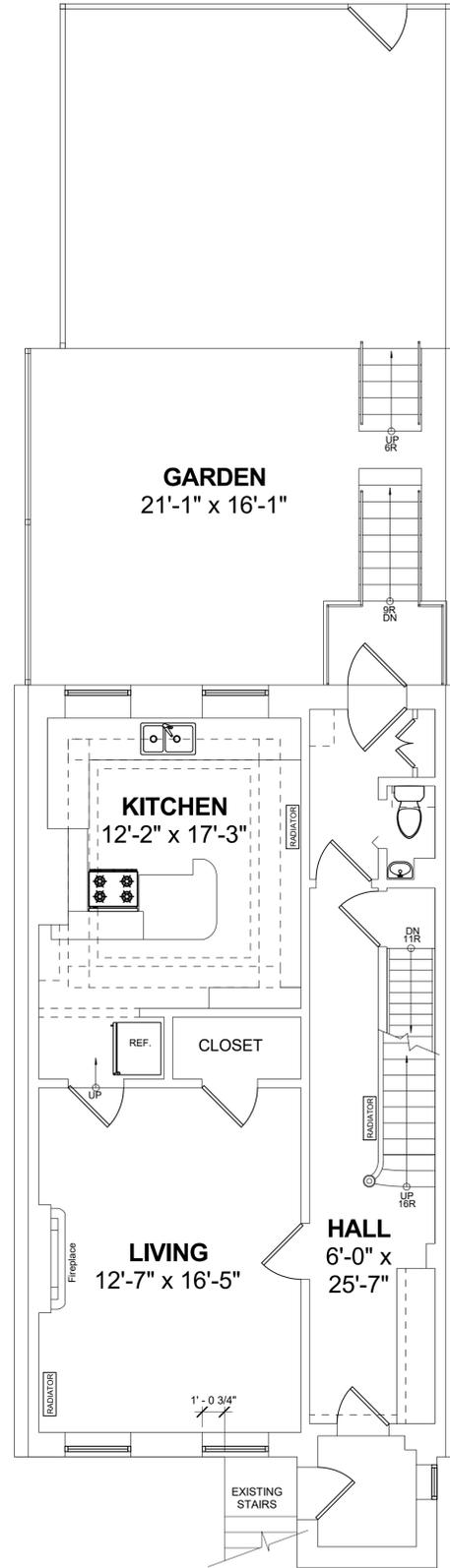
3. CHAPTER 3 - USE GROUP CLASSIFICATION :
 SECTION 310.0 - RESIDENTIAL R2

4. CHAPTER 6 - CONSTRUCTION CLASSIFICATION
 TABLE 602 - UNIT SEPERATION - 1HR
 SECTION 602.5 - TYPE 5A CONSTRUCTION

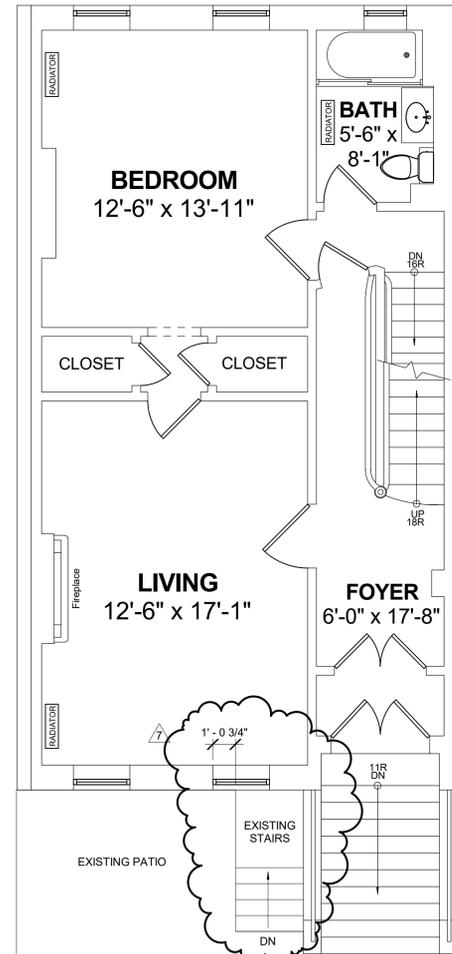
5. CHAPTER 10 - MEANS OF EGRESS:
 TABLE 1006.3.2(1) - 2ND MEANS OF EGRESS REQUIRED AT
 4TH FLOOR (EXISTING TO REMAIN)
 SECTION 1030 - EMERGENCY ESCAPE & RESCUE
BEDROOM EGRESS:
 1 WINDOW MINIMUM REQUIREMENTS
 5.7SF OPERABLE CLEAR AREA,
 44" MAX SILL HGT



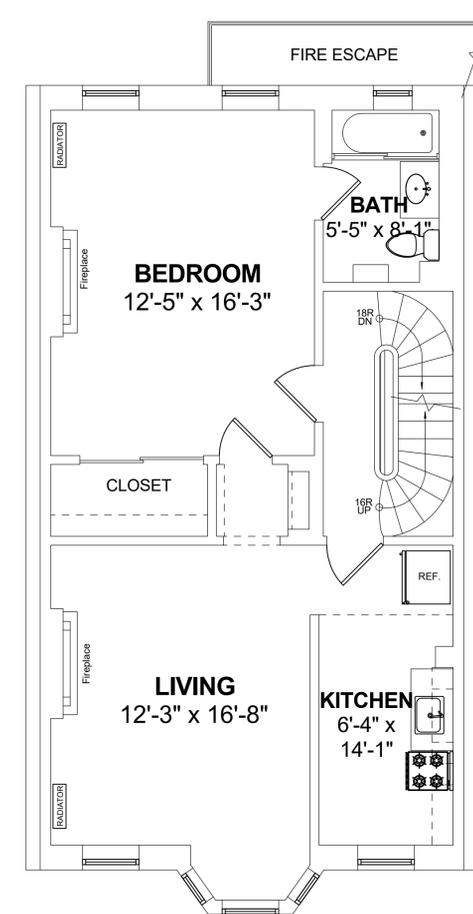
BASEMENT PLAN



GARDEN LEVEL PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 48 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,			
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: 3 pcf		UL R1319-85, 11-16-64	
Fire Test: UL Design, L514		UL Design, L514	
Sound Test: CK 8512-6, 7, 4-15-85		CK 8512-6, 7, 4-15-85	
IC & Test: CK 8512-6, 4-15-85		CK 8512-6, 4-15-85	

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

FINISH NOTES:

- ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
- ALL EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED IN KIND.
- ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED PLUMBING AND FIXTURES.
- ALL EXISTING ELECTRICAL WIRING AND FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED WIRING AND FIXTURES.
- ALL EXISTING DOORS TO BE REMOVED AND REPLACED IN KIND.
- ALL EXISTING EXTERIOR MASONRY VENEER TO REMAIN AND REPAIRED AS REQUIRED.

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 48 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,			
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: 3 pcf		UL R1319-85, 11-16-64	
Fire Test: UL Design, L514		UL Design, L514	
Sound Test: CK 8512-6, 7, 4-15-85		CK 8512-6, 7, 4-15-85	
IC & Test: CK 8512-6, 4-15-85		CK 8512-6, 4-15-85	

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

- ENSURE ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR RATED AND MIN 50 STC.

- EXTERIOR WALLS: EXISTING MASONRY/ FRAMING R21 MIN INSULATION VALUE (CAVITY).
- CEILING/ROOF R49 MIN INSULATION VALUE



FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 48 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,			
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: 3 pcf		UL R1319-85, 11-16-64	
Fire Test: UL Design, L514		UL Design, L514	
Sound Test: CK 8512-6, 7, 4-15-85		CK 8512-6, 7, 4-15-85	
IC & Test: 38(97 C & P)		CK 8512-6, 4-15-85	

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 48 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,			
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: 3 pcf		UL R1319-85, 11-16-64	
Fire Test: UL Design, L514		UL Design, L514	
Sound Test: CK 8512-6, 7, 4-15-85		CK 8512-6, 7, 4-15-85	
IC & Test: 38(97 C & P)		CK 8512-6, 4-15-85	

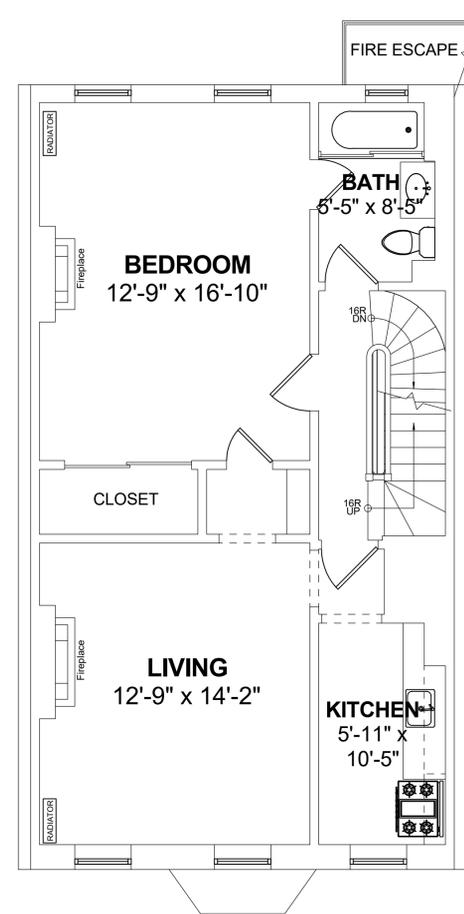
ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

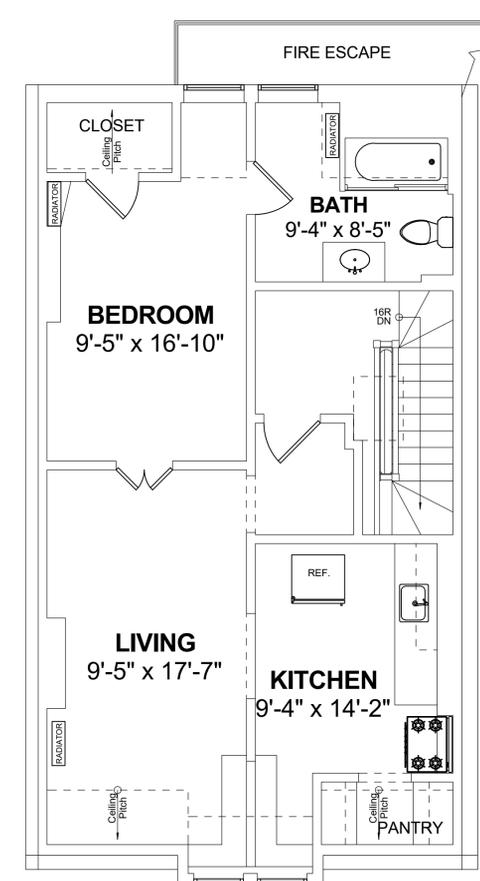
FINISH NOTES:

1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
2. ALL EXISTING DOORS AND WINDOWS TO BE REMOVED AND REPLACED IN KIND.
3. ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED PLUMBING AND FIXTURES.
4. ALL EXISTING ELECTRICAL WIRING AND FIXTURES TO BE REMOVED AND REPLACED WITH UPDATED WIRING AND FIXTURES.
5. ALL EXISTING DOORS TO BE REMOVED AND REPLACED IN KIND.
6. ALL EXISTING EXTERIOR MASONRY VENEER TO REMAIN AND REPAIRED AS REQUIRED.

5. ENSURE ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR RATED AND MIN 50 STC.
6. EXTERIOR WALLS: EXISTING MASONRY/ FRAMING R21 MIN INSULATION VALUE (CAVITY).
7. CEILING/ROOF R49 MIN INSULATION VALUE



THIRD FLOOR PLAN

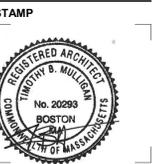


FOURTH FLOOR PLAN

REVISIONS:

1 \ ROOF DECK	6.22.22

DRAWING TITLE:
EXISTING PLANS - 3RD & 4TH



May 13, 2022
DATE OF ISSUE
PERMITTING
DOCUMENT PHASE
1/4" = 1'-0"
SCALE
2207.00
PROJECT #

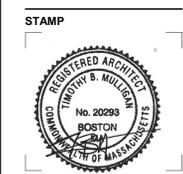
DRAWING NUMBER:

A105

REVISIONS:

1. ROOF DECK	6.22.22
3. DECKS	8.3.22
4. DECKS/SLIDER	1.11.23
5. HISTORICAL	2.13.23
7. HISTORICAL	3.24.23

DRAWING TITLE:
EXTERIOR ELEVATIONS



May 13, 2022
 DATE OF ISSUE
 PERMITTING
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2207.00
 PROJECT #

DRAWING NUMBER:

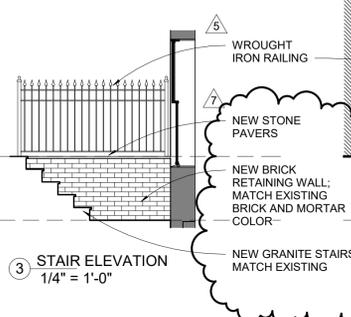
A200



BAY WDW AT 210 W. SPRINGFIELD



BAY WDW AT 194 W. SPRINGFIELD



3 STAIR ELEVATION
 1/4" = 1'-0"

1 FRONT ELEVATION
 1/4" = 1'-0"

2 REAR ELEVATION
 1/4" = 1'-0"

REVISIONS:

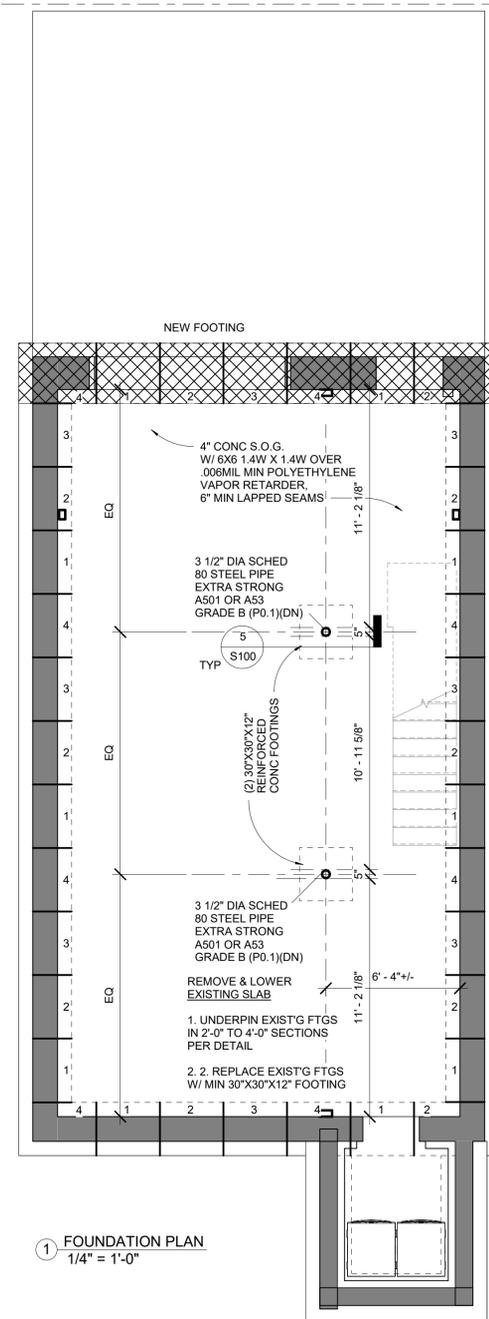
1. ROOF DECK	6.22.22
2. EXTERIOR	7.5.22
3. DECKS	8.3.22
4. DECKS/SLIDER	1.11.23
6. FRAMING	3.13.23

FRAMING PLANS



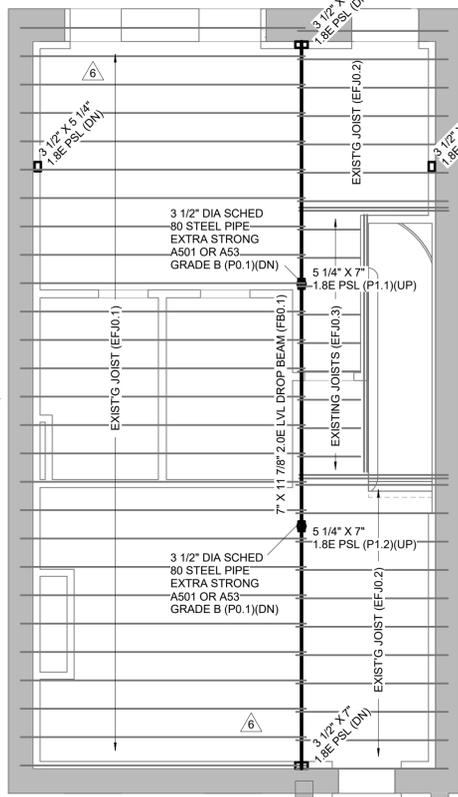
May 13, 2022
 DATE OF ISSUE
 PERMITTING
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 As indicated
 SCALE
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 PROJECT #

S100

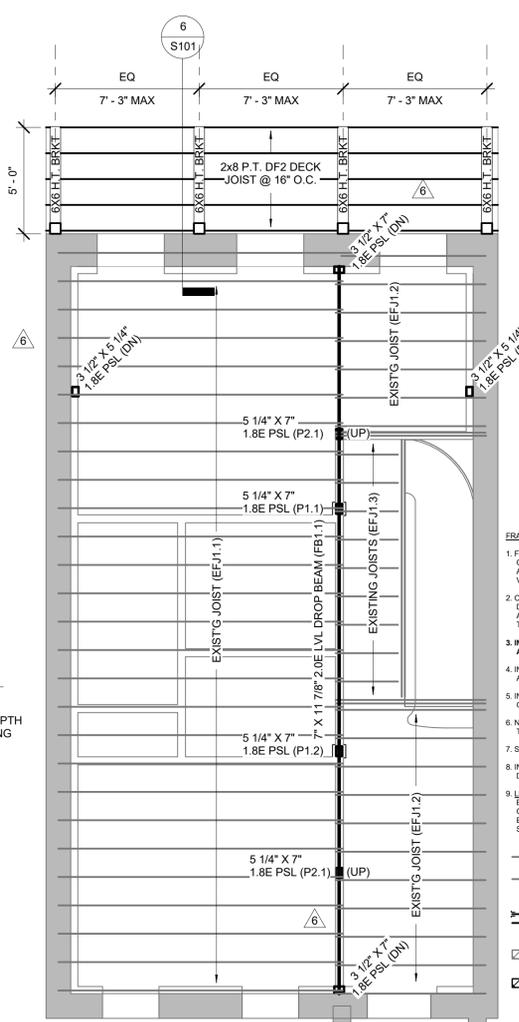


1 FOUNDATION PLAN
 1/4" = 1'-0"

- CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL COMPLY WITH ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 - ALL CONCRETE SHALL COMPLY WITH ACI 301; SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - 3,000 MIN PSI COMPRESSIVE STRENGTH POST 28 DAYS
 - ALL CONCRETE TO BE POURED MONOLITHICALLY. UNO
 - CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION 18 OF IBC 2015 780CMR.
 - STEEL REINFORCING SHALL COMPLY WITH ASTM 615 GRADE 60, U.N.O.

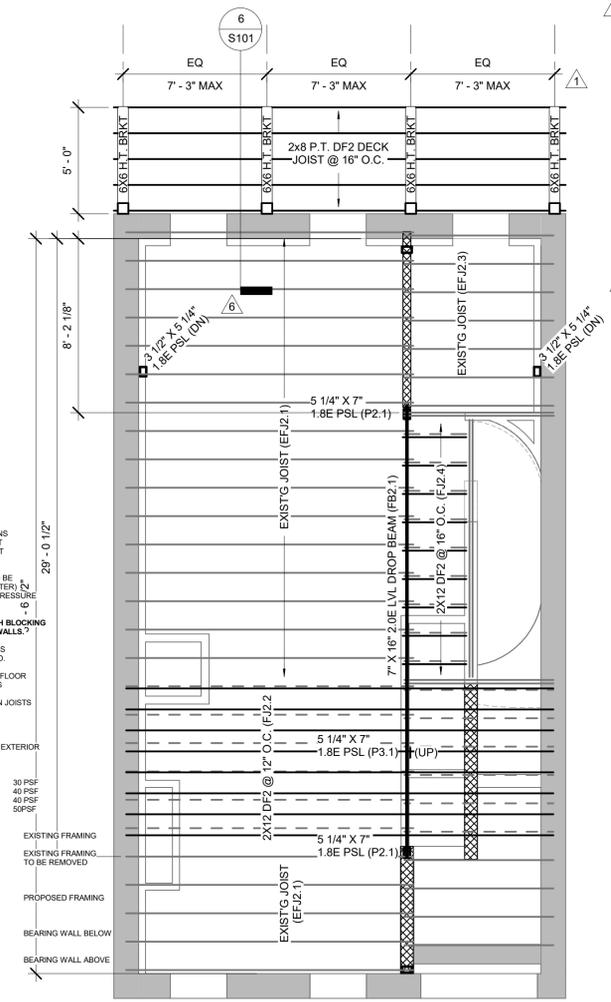


4 FRAMING - GARDEN
 1/4" = 1'-0"

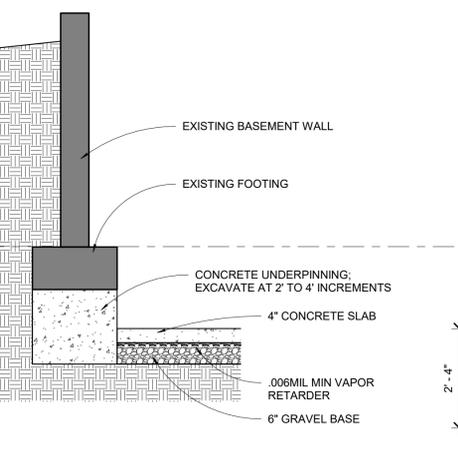


2 FRAMING - 1ST FLOOR
 1/4" = 1'-0"

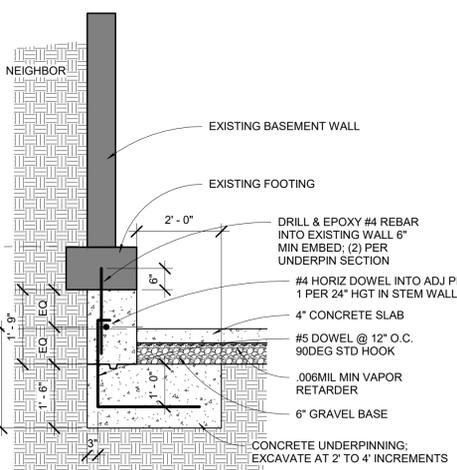
- FRAMING NOTES:**
- FRAMING BASED ON ASSUMPTIONS OF EXISTING CONDITIONS. ALERT ARCHITECT OF CONDITIONS THAT VARY FROM EXISTING LAYOUT
 - COMMODITY FRAMING GRADE TO BE DOUGLAS FIR #2 (EQUAL OR BETTER). ALL EXTERIOR FRAMING TO BE PRESSURE TREATED (P.T.)
 - INSTALL BTWN JOIST FULL DEPTH BLOCKING AT DROP BEAMS AND BEARING WALLS.
 - INSTALL SIMPSON JOIST HANGERS AT ALL FACE MOUNT JOIST, U.N.O.
 - INSTALL 3/4" T&G PLYWOOD SUB-FLOOR GLUE AND NAIL, TYP ALL FLOORS
 - NOTCHING OR DRILLING HOLES IN JOISTS TO BE APPROVED BY ENGINEER
 - SPLICE BEAMS AT SUPPORTS
 - INSULATE AT ALL WINDOWS AND EXTERIOR DOOR HEADERS
 - LIVE LOADS:
 BEDROOMS 30 PSF
 OTHER THAN BEDROOMS 40 PSF
 EXTERIOR DECK 40 PSF
 SNOW LOAD 50 PSF



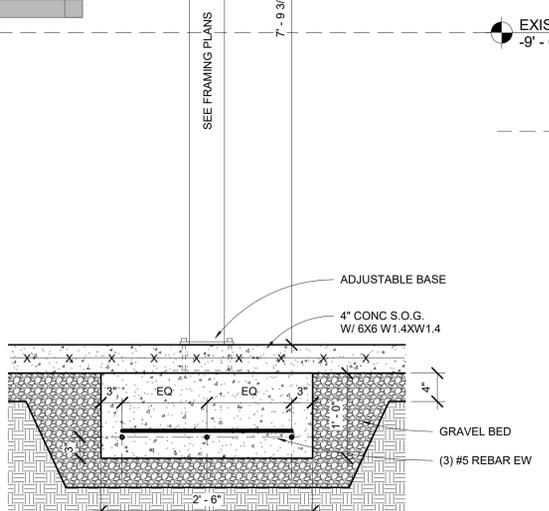
3 FRAMING - 2ND FLOOR
 1/4" = 1'-0"



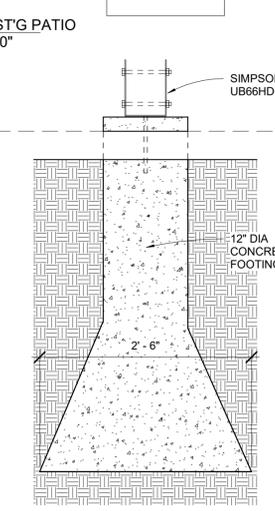
UNDERPINNING DETAIL
 1/2" = 1'-0"



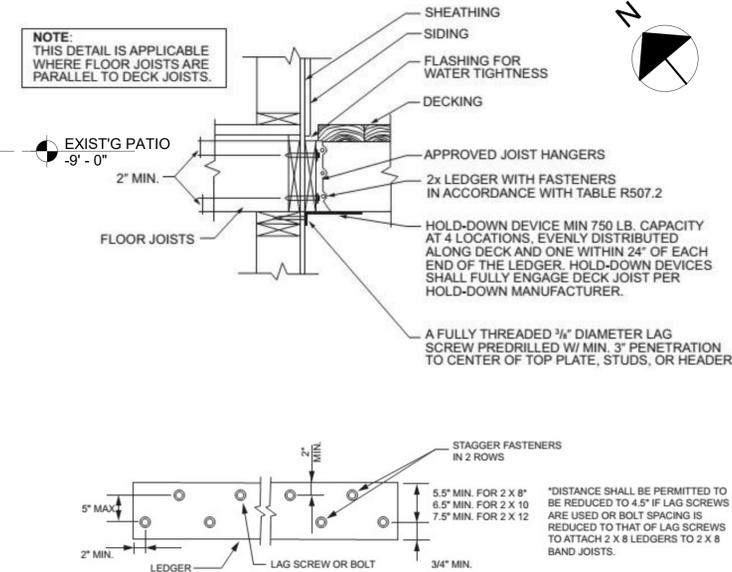
UNDERPINNING DETAIL @ NEIGHBOR
 1/2" = 1'-0"



DETAIL @ LALLY COLUMN
 1" = 1'-0"



FOOTING DETAIL
 1" = 1'-0"



NOTE:
 THIS DETAIL IS APPLICABLE WHERE FLOOR JOISTS ARE PARALLEL TO DECK JOISTS.



"DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2 X 8 LEDGERS TO 2 X 8 BAND JOISTS.

