



- DESIGN PROCESS
- RENDERINGS
- EXISTING PLAN
- DEMOLITION PLAN

- PROPOSED PLAN

- PROPOSED EPS
- RESTORATION
- APPENDIX

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED ELEVATION

PROPOSED SECTION

LIGHTING & SIGNAGE





DESIGN FEEDBACK & PROCESS

BOSTON CIVIC DESIGN COMMISSION & SOUTH END LANDMARKS DISTRICT COMMISSION

• MATERIALITY STUDY



• MASSING STUDY (SETBACK & HEIGHT)



2018.12.04 SELDC & BCDC

2019.01.22 SELDC & BCDC

2019.02.12 SELDC & BCDC

2019.02.26 SELDC

2019.08.12 SELDC SUBMISSION

2019.08.12 SELDC SUBMISSION







DESIGN FEEDBACK & PROCESS

BOSTON CIVIC DESIGN COMMISSION & SOUTH END LANDMARKS DISTRICT COMMISSION

• WEST FACADE STUDY









2018.01.22 SELDC & BCDC

2019.02.12 SELDC & BCDC

2019.02.26 SELDC

2019.03.05 BCDC

•LOWER MASSING AND ENTRANCE STUDY



2018.12.04 SELDC & BCDC

2019.01.22 SELDC & BCDC 2019.02.26 SELDC

2019.08.12 SELDC SUBMISSION

2019.08.12 SELDC SUBMISSION



ALEXANDRA PARTNERS, LLC







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

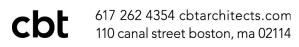
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX







SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





HOTEL ALEXANDRA RENDERING VIEW FROM SOUTHWEST

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019











RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114





DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

PROPOSED SITE PLAN

PROPOSED ELEVATION

PROPOSED SECTION

LIGHTING & SIGNAGE

PROPOSED EPS

RESTORATION

APPENDIX

PROPOSED PLAN





SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019







HOTEL ALEXANDRA 1767 WASHINGTON STREET, BOSTON, MA

TABLE OF CONTENTS

DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



OWNER / DEVELOPER ALEXANDRA PARTNERS, LLC **121 Charles Street South** Boston, MA 02116

ARCHITECTS СВТ 110 Canal Street p. 617 262 4354, f. 617 267 9667

COLLABORATING ARCHITECT MONTE FRENCH DESIGN STUDIO 650 Columbus Ave Boston, MA 02118 p. 617 606 4496

HISTORIC PRESERVATION CONSULTANT **BUILDING CONSERVATION ASSOCIATES** 109 Webster St. #6 Boston, MA 02128 p. 617 567 7950

SURVEY CONSULTANT FELDMAN LAND SURVEYORS 152 Hampden St Boston, MA 02119 p. 617 357 9740

LANDSCAPE ARCHITECTS **COPLEY WOLFF DESIGN GROUP** 10 Post Office Square, Suite 1315 Boston, MA 02109 t 617 654 9000, f 617 654 9002

CIVIL / TRAFFIC ENGINEER HOWARD STEIN HUDSON 10 Post Office Square, Suite 1315 Boston, MA 02109 p. 617 654 9000

STRUCTURAL ENGINEER SILMAN 111 Devonshire Street, Boston, MA 02109 617 695 6700 p. 617 986 5110

MECHANICAL, ELECTRICAL, PLUMBING & FIRE **PROTECTION ENGINEER** R.G. VANDERWEIL ENGINEERS, LLP 274 Summer Street Boston, MA 02210 p. 617 423 7423

SELDC SET FILING 08.12.2019 Cbt





	SELDC DRAWING LIST			SELC	
	Sheet Number	Sheet Name	Sheet Numb	ber	
	0	COVER SHEET	A100	LEVEL 0 FLOOR P	
	00	DRAWING LIST	A101	LEVEL 1 FLOOR P	
			A102	LEVEL 2 FLOOR P	
	EX001	EXISTING SITE SURVEY	A103	LEVEL 3 FLOOR P	
	EX100	EXISTING BASEMENT FLOOR PLAN	A104	LEVEL 4 FLOOR P	
	EX101	EXISTING FIRST FLOOR PLAN	A105	LEVEL 5 FLOOR P	
	EX102	EXISTING SECOND FLOOR PLAN	A106	LEVEL 6-12 FLOO	
	EX103	EXISTING THIRD FLOOR PLAN	A107	LEVEL 13 FLOOR	
	EX104	EXISTING FOURTH FLOOR PLAN	A108	MECHANICAL PE	
TABLE OF CONTENTS	EX105	EXISTING FIFTH FLOOR PLAN	A109	ROOF PLAN	
	EX106	EXISTING ROOF FLOOR PLAN	A201	PROPOSED SOUT	
DESIGN PROCESS	EX201	EXISTING SOUTH ELEVATION	A202	PROPOSED EAST	
	EX202	EXISTING EAST ELEVATION	A203	PROPOSED NOR	
	EX203	EXISTING NORTH ELEVATION	A204	PROPOSED WES	
RENDERINGS	EX204	EXISTING WEST ELEVATION	A210	PROPOSED BUILI	
	EX210	EXISTING BUILDING SECTION LOOKING NORTH	A211	PROPOSED BUILI	
EXISTING PLAN	EX211	EXISTING BUILDING SECTION LOOKING WEST	A220	PROPOSED ENLA	
	EX300	EXISTING EXTERIOR PHOTOS	A221	PROPOSED ENLA	
DEMOLITION PLAN	EX301	EXISTING EXTERIOR PHOTOS	A222	PROPOSED ENLA	
DEMOLITION LAN	EX302	EXISTING EXTERIOR PHOTOS	A223	PROPOSED ENLA	
	EX303	EXISTING EXTERIOR PHOTOS	A224	PROPOSED ENLA	
DEMOLITION ELEVATION	EX900	EXISTING INTERIOR PHOTOS	A225	PROPOSED ENLA	
	EX901	EXISTING INTERIOR PHOTOS	A226	PROPOSED ENLA	
PROPOSED SITE PLAN			A227	PROPOSED ENLA	
	D01	DEMOLITION GENERAL NOTES	A300	PROPOSED EPS -	
PROPOSED PLAN	D02	DEMOLITION & SALVAGE KEY NOTES	A301	PROPOSED EPS -	
TROFOSED FEAN	D100	DEMOLITION BASEMENT FLOOR PLAN	A302	PROPOSED EPS -	
	D101	DEMOLITION FIRST FLOOR PLAN	A303	PROPOSED EPS -	
PROPOSED ELEVATION	D102	DEMOLITION SECOND FLOOR PLAN	A304	PROPOSED REST	
	D103	DEMOLITION THIRD FLOOR PLAN	A310	PROPOSED REPL	
PROPOSED SECTION	D104	DEMOLITION FOURTH FLOOR PLAN	A311	PROPOSED REPL	
	D105	DEMOLITION FIFTH FLOOR PLAN	A320	PROPOSED EXTE	
PROPOSED EPS	D106	DEMOLITION ROOF PLAN	A330	RENDERING VIEW	
	D201	DEMOLITION SOUTH ELEVATION	A331	RENDERING VIEW	
	D202	DEMOLITION EAST ELEVATION	A332	RENDERING VIEW	
LIGHTING & SIGNAGE	D203	DEMOLITION NORTH ELEVATION	A333	RENDERING OF S	
	D204	DEMOLITION WEST ELEVATION	A334	RENDERING OF H	
RESTORATION	D210	DEMOLITION BUILDING SECTION LOOKING NORTH	A340	LIGHTING AND SI	
	D211	DEMOLITION BUILDING SECTION LOOKING WEST	A341	LIGHTING AND SI	
APPENDIX			A342	LIGHTING AND SI	
AFFENDIA	A00	SYMBOLS LEGEND			
	A01	GENERAL NOTES			
	A02	GENERAL NOTES			
	A03	PROPOSED SITE PLAN			
	A04	PROPOSED STREETSCAPE PLAN			
	A05	PROPOSED STREETSCAPE PLAN - ENTRY ENLARGEMENT			

SELDC DRAWING LIST
Sheet Name
.OOR PLAN
OOR PLAN
OOR PLAN
OOR PLAN
OOR PLAN
OOR PLAN
PFLOOR PLAN
LOOR PLAN
AL PENTHOUSE FLOOR PLAN
N
D SOUTH ELEVATION
D EAST ELEVATION
D NORTH ELEVATION
D WEST ELEVATION
D BUILDING SECTION LOOKING NORTH
D BUILDING SECTION LOOKING WEST
D ENLARGED SOUTH ELEVATION - BOTTOM
D ENLARGED SOUTH ELEVATION - TOP
D ENLARGED EAST ELEVATION - BOTTOM
D ENLARGED EAST ELEVATION - TOP
D ENLARGED NORTH ELEVATION - BOTTOM
D ENLARGED NORTH ELEVATION - TOP
D ENLARGED WEST ELEVATION - BOTTOM
D ENLARGED WEST ELEVATION - TOP
D EPS - TYPICAL TOWER CURTAIN WALL
D EPS - WEST ELEVATION
DEPS - LOWER CURTAIN WALL
D EPS - HOTEL ENTRY
D RESTAURANT ENTRY
D REPLACEMENT WINDOWS
D REPLACEMENT WINDOW SECTIONS AND DETAILS
DEXTERIOR MATERIALS AND COLOR SAMPLES
G VIEW FROM SOUTHEAST
G VIEW FROM NORTHEAST
G VIEW FROM SOUTHWEST
G OF SOUTH ELEVATION STREET VIEW
G OF HOTEL AND RESTAURANT ENTRIES
AND SIGNAGE DIAGRAM - SOUTH ELEVATION
AND SIGNAGE DIAGRAM - EAST ELEVATION
AND SIGNAGE DIAGRAM - NORTH ELEVATION

Sheet Number

R100	RESTORATION - SOUTH ELEVATION
R101	RESTORATION - EAST ELEVATION
R102	RESTORATION - EAST ELEVATION
R103	RESTORATION - NORTH ELEVATION
R104	RESTORATION - WEST ELEVATION
R105	RESTORATION - RESTORED GABLE AND ROOF CRESTING
R106	RESTORATION - RESTORED STORE FRONTS
R107	RESTORATION - PHOTOGRAPHS

Sheet Name

ALEXANDRA PARTNERS, LLC







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

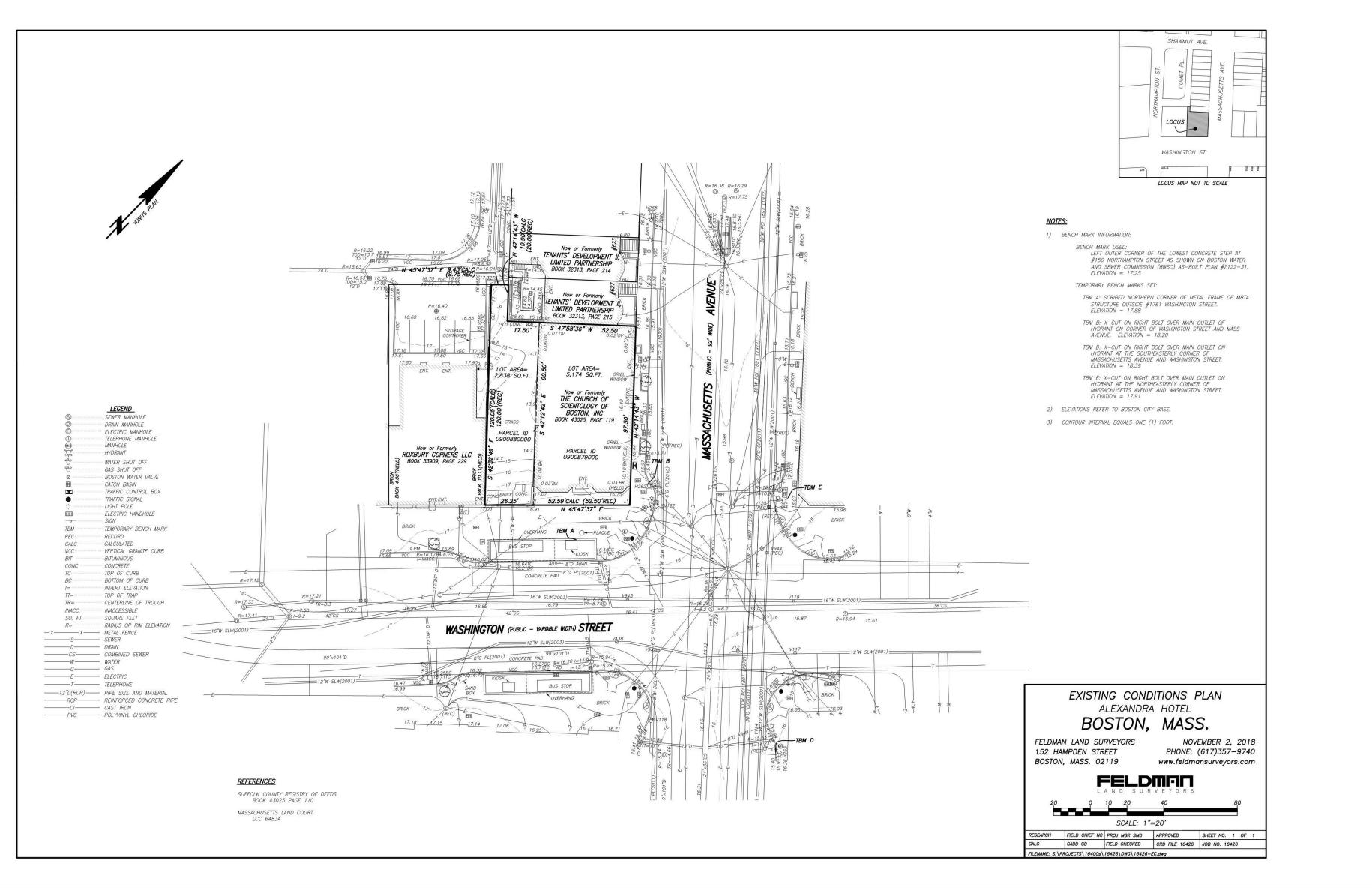
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114 HOTEL ALEXANDRA EXISTING SITE SURVEY

SCALE PROJECT # DATE ISSUED 1" = 50'-0" 185061.00 08.12.2019







EXISTING PLAN

PROPOSED EPS

RESTORATION

APPENDIX





110 canal street boston, ma 02114







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

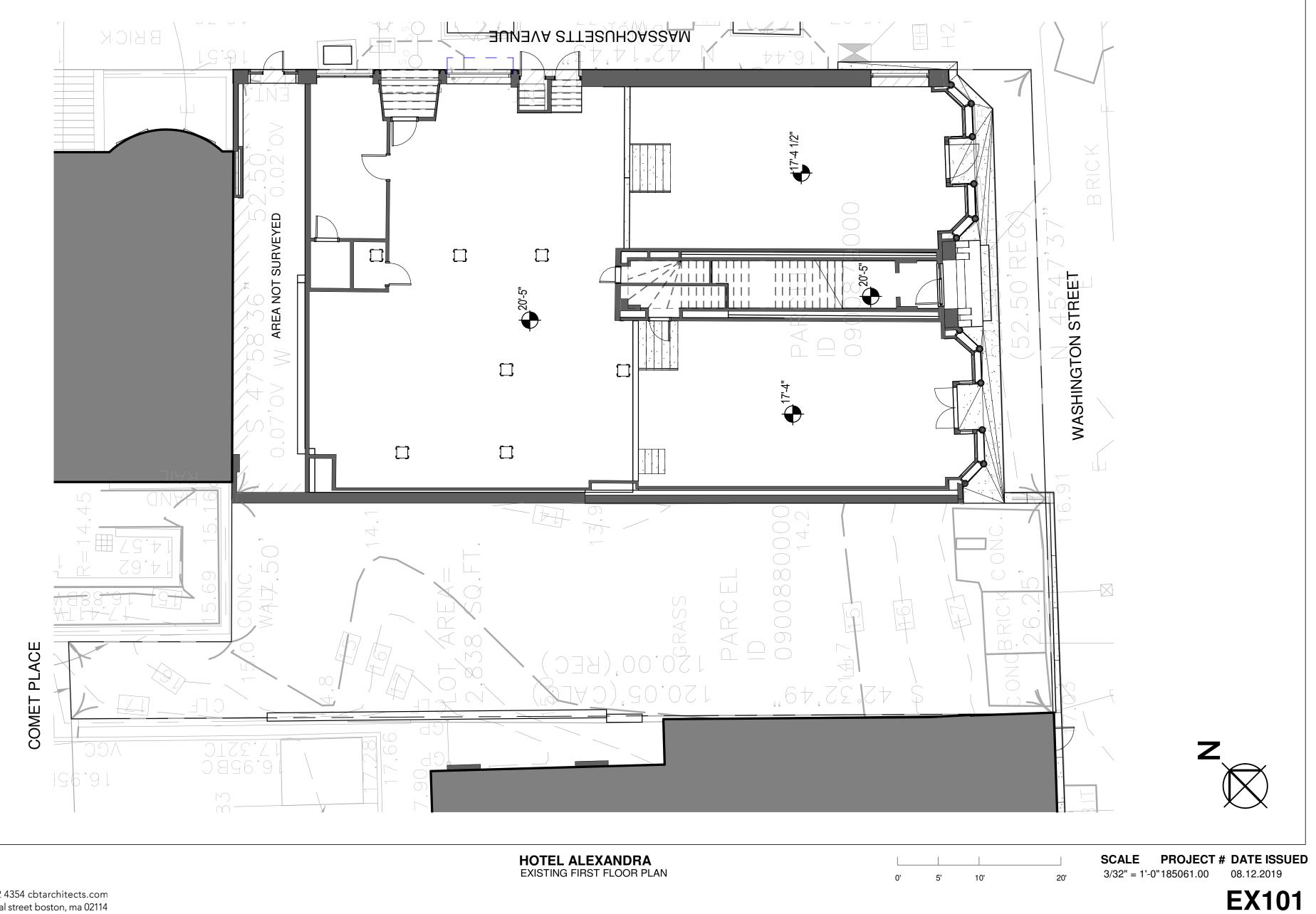
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





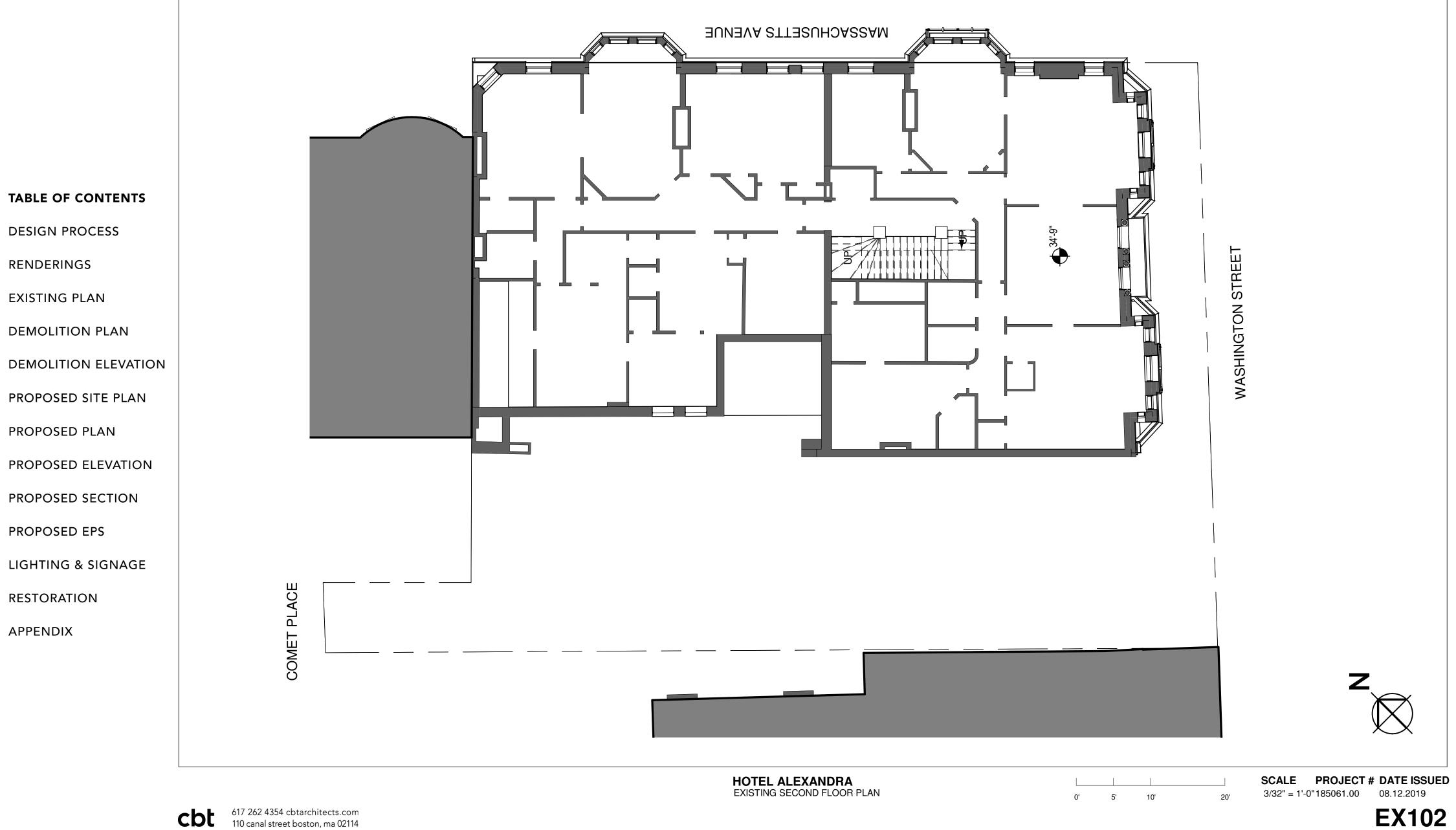
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114





RESTORATION

APPENDIX



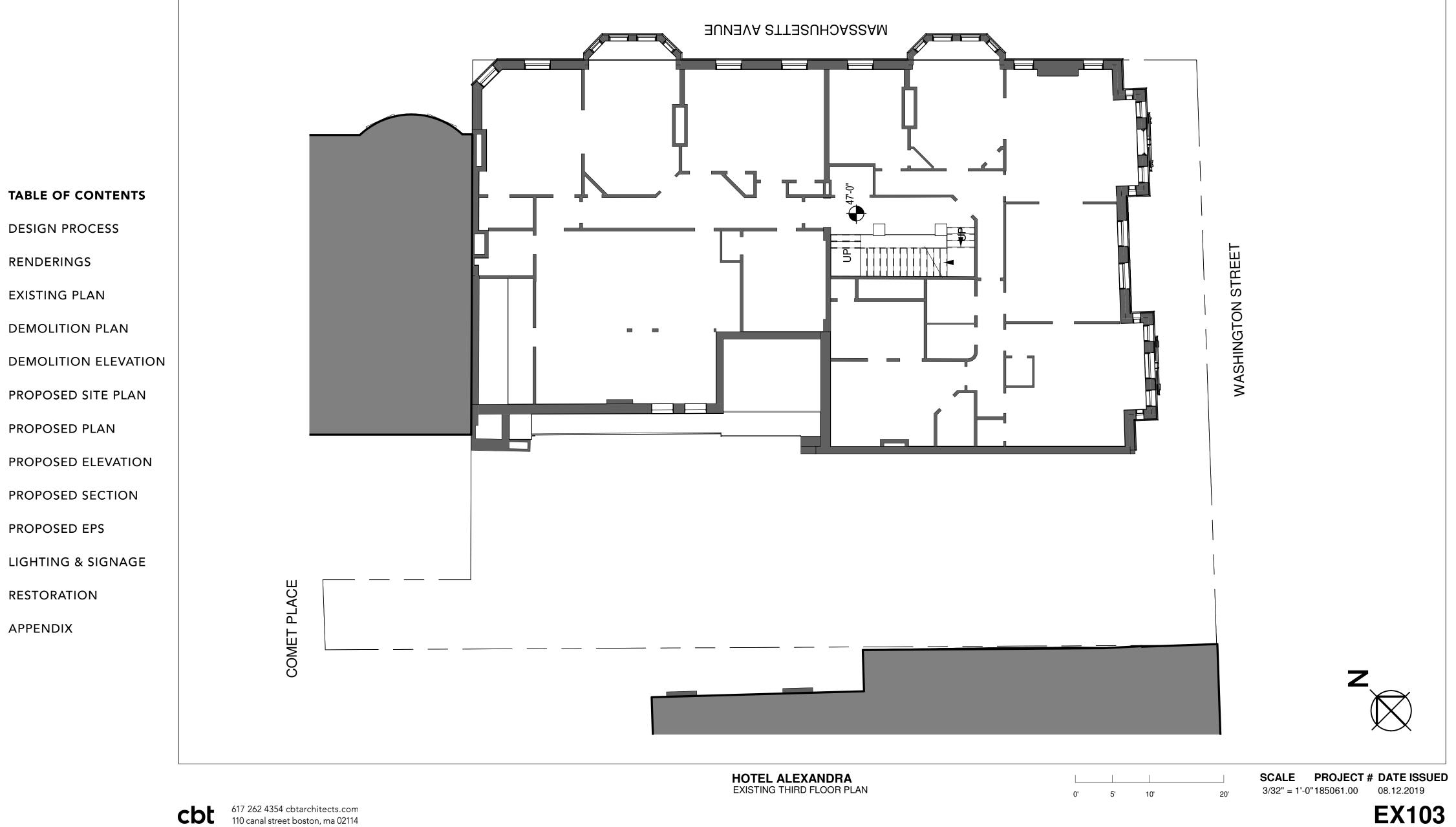






RESTORATION

APPENDIX



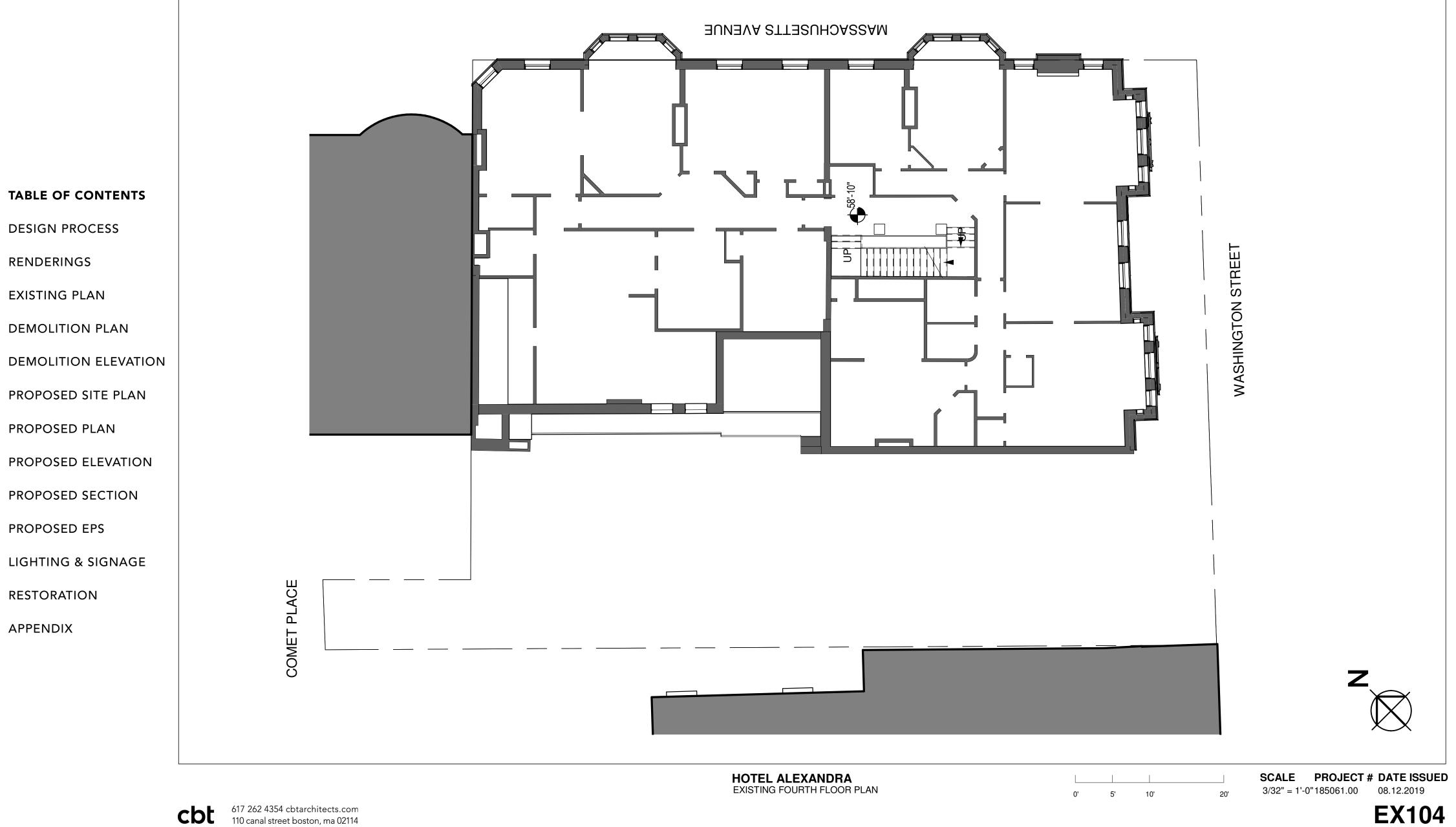






RESTORATION

APPENDIX

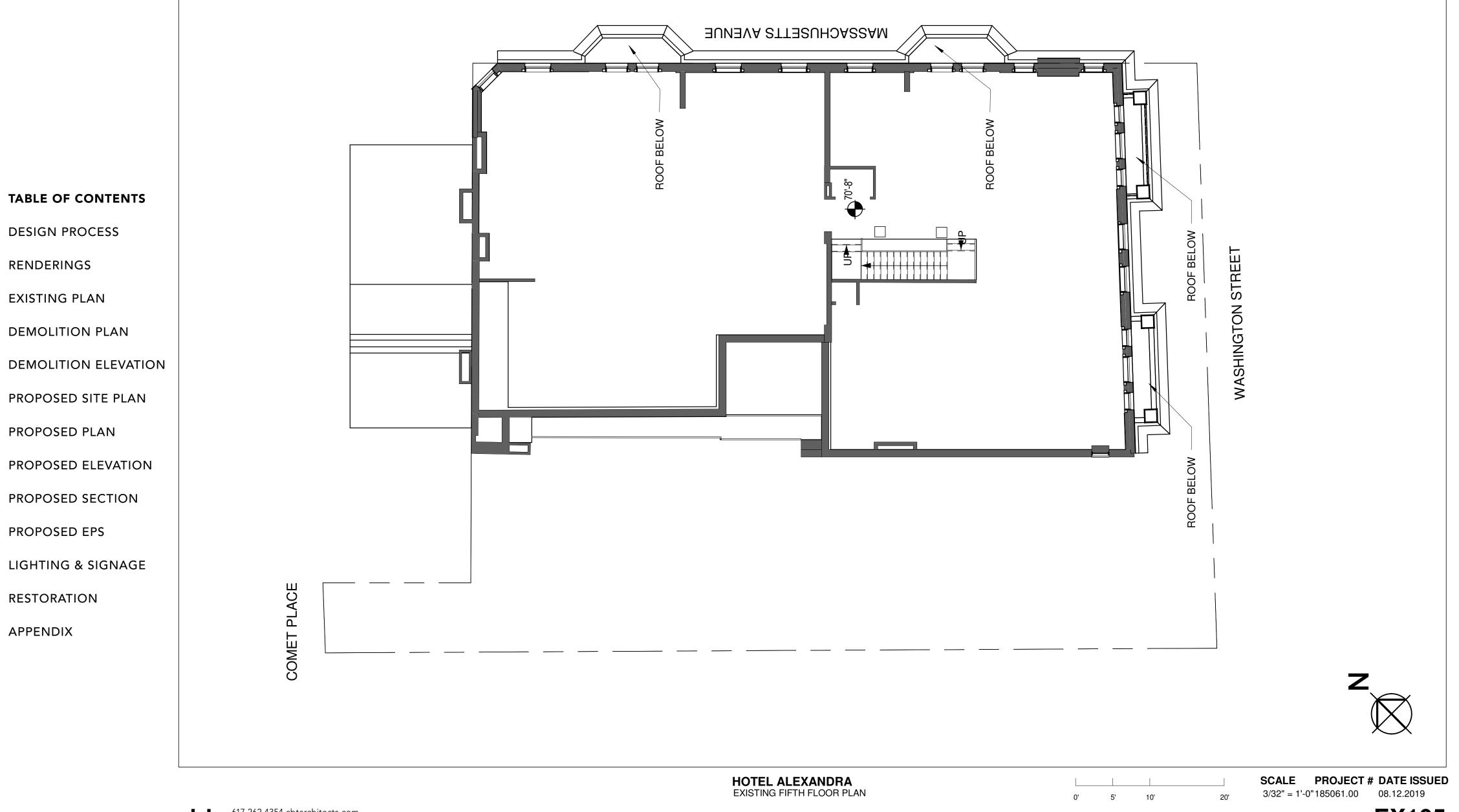




617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114















RENDERINGS

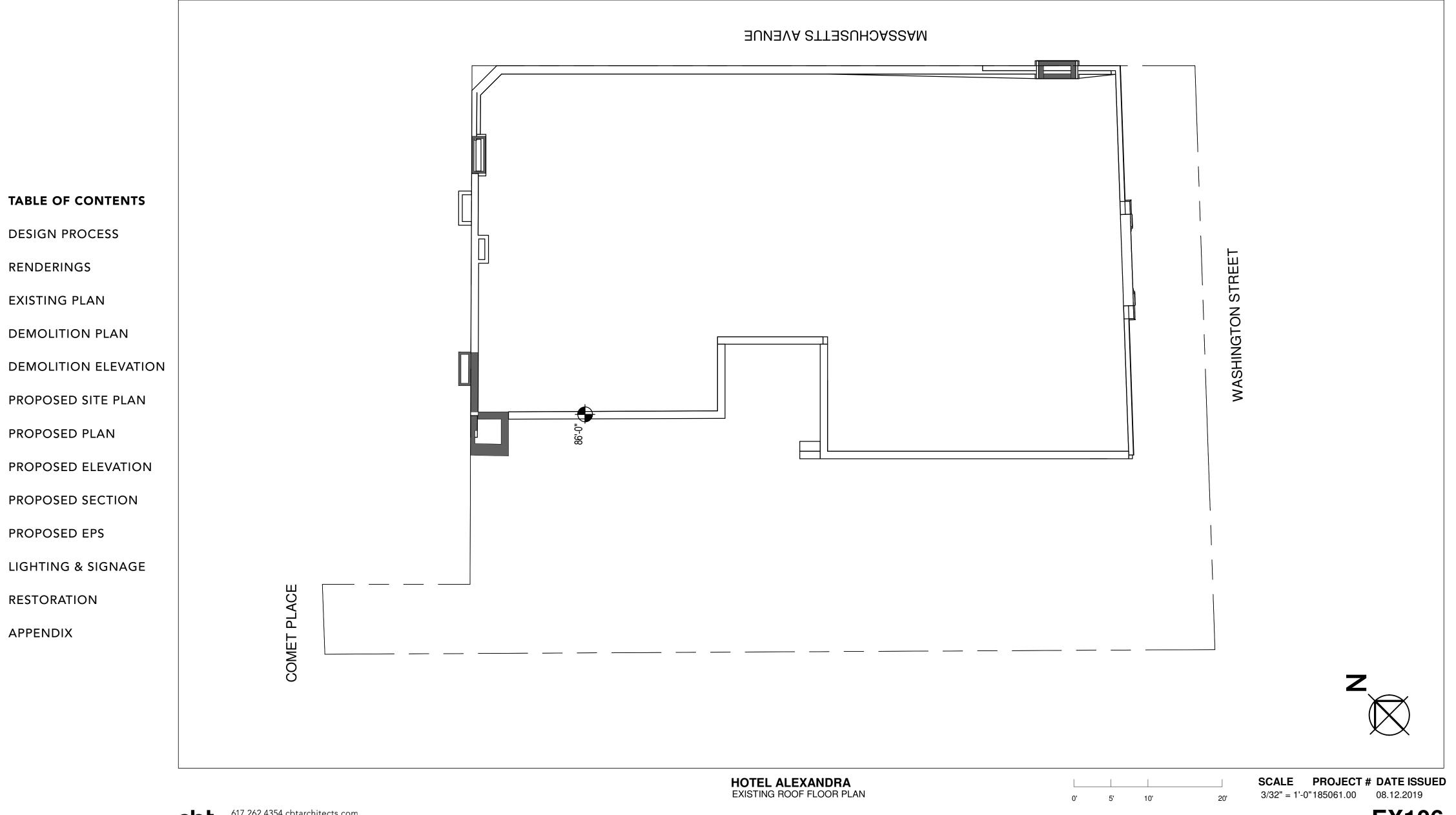
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

EX106 ALEXANDRA PARTNERS, LLC









EXISTING SOUTH ELEVATION

1" = 10'-0" 185061.00 08.12.2019









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

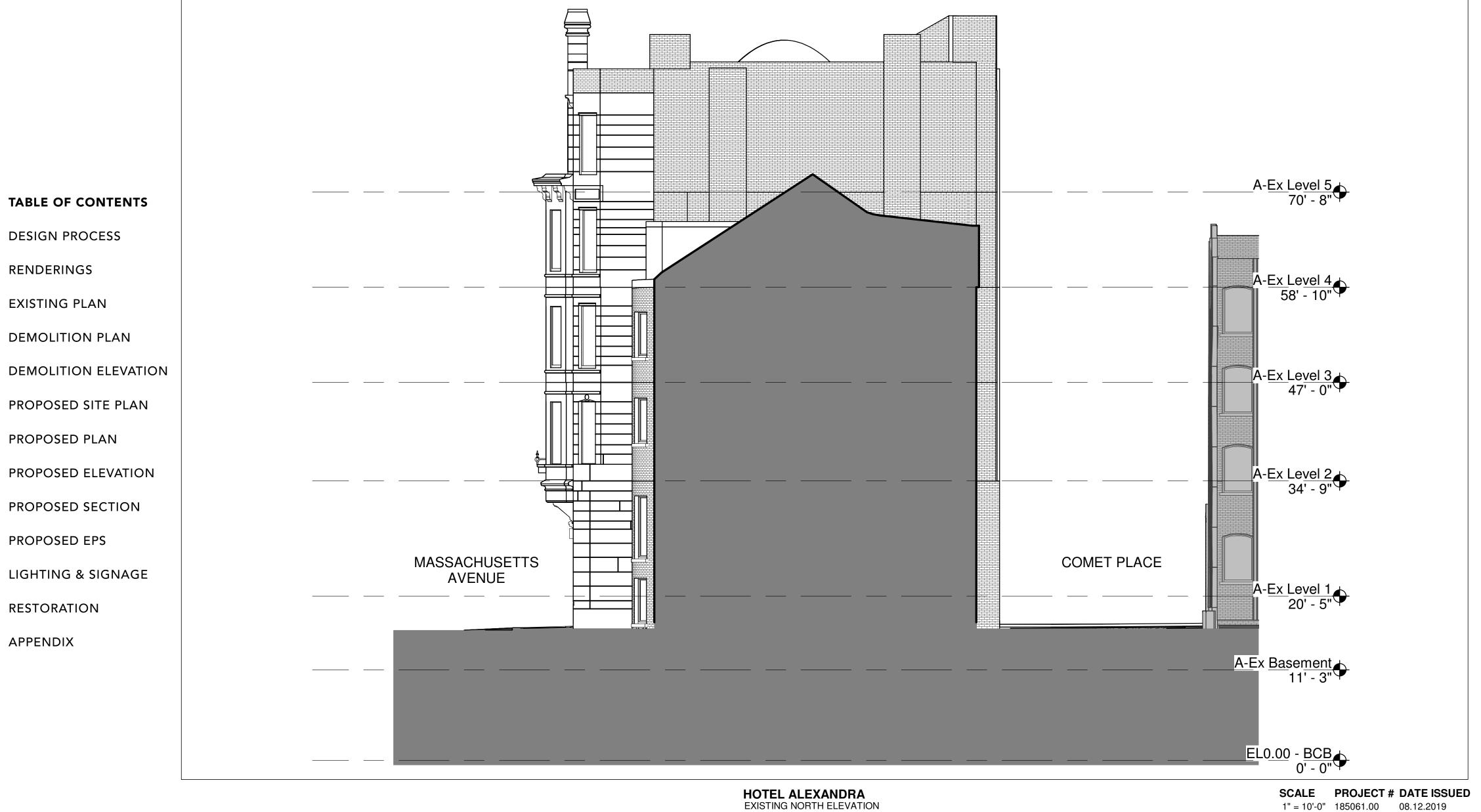


617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114











617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114





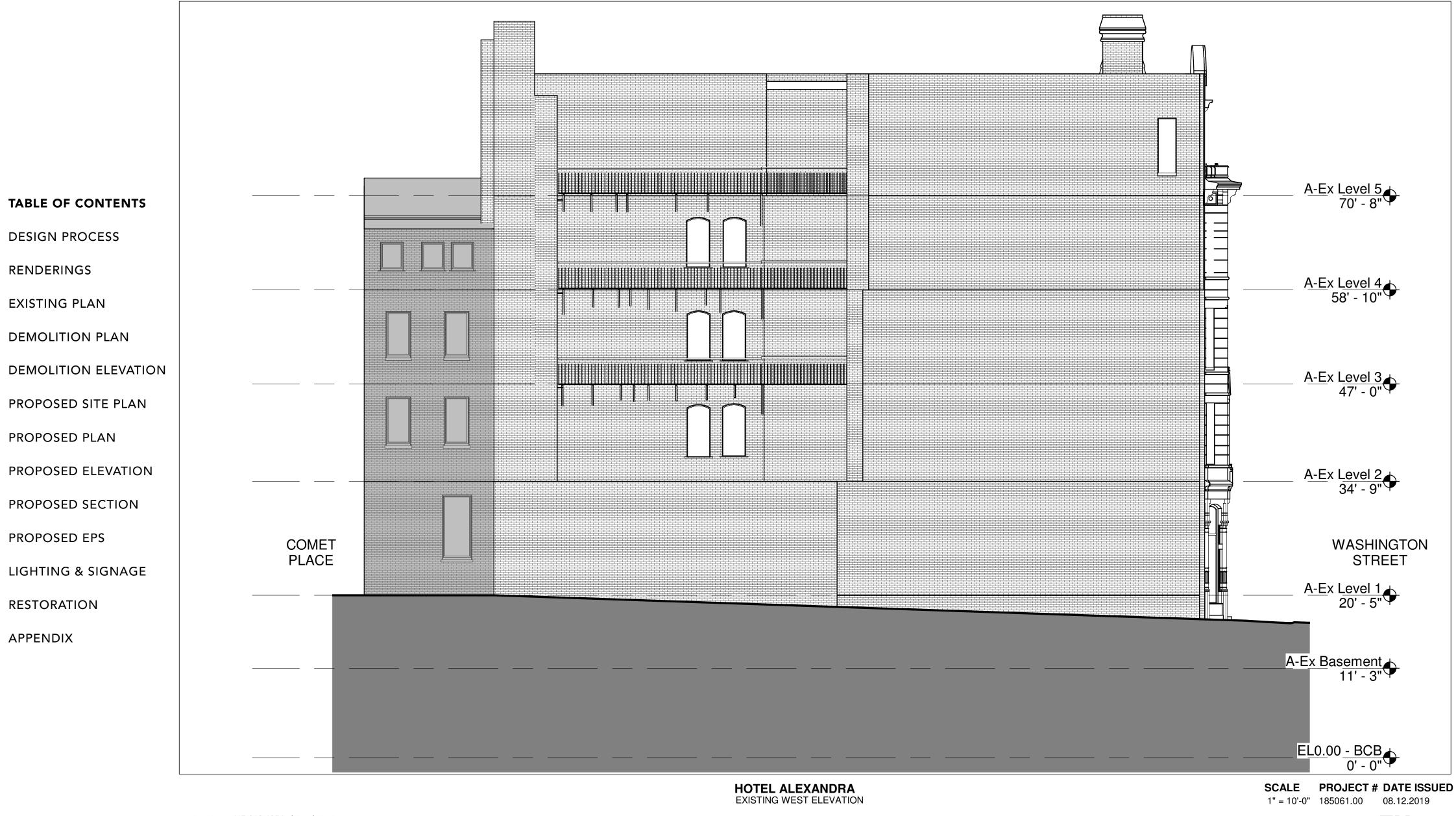


EXISTING PLAN

PROPOSED EPS

RESTORATION

APPENDIX





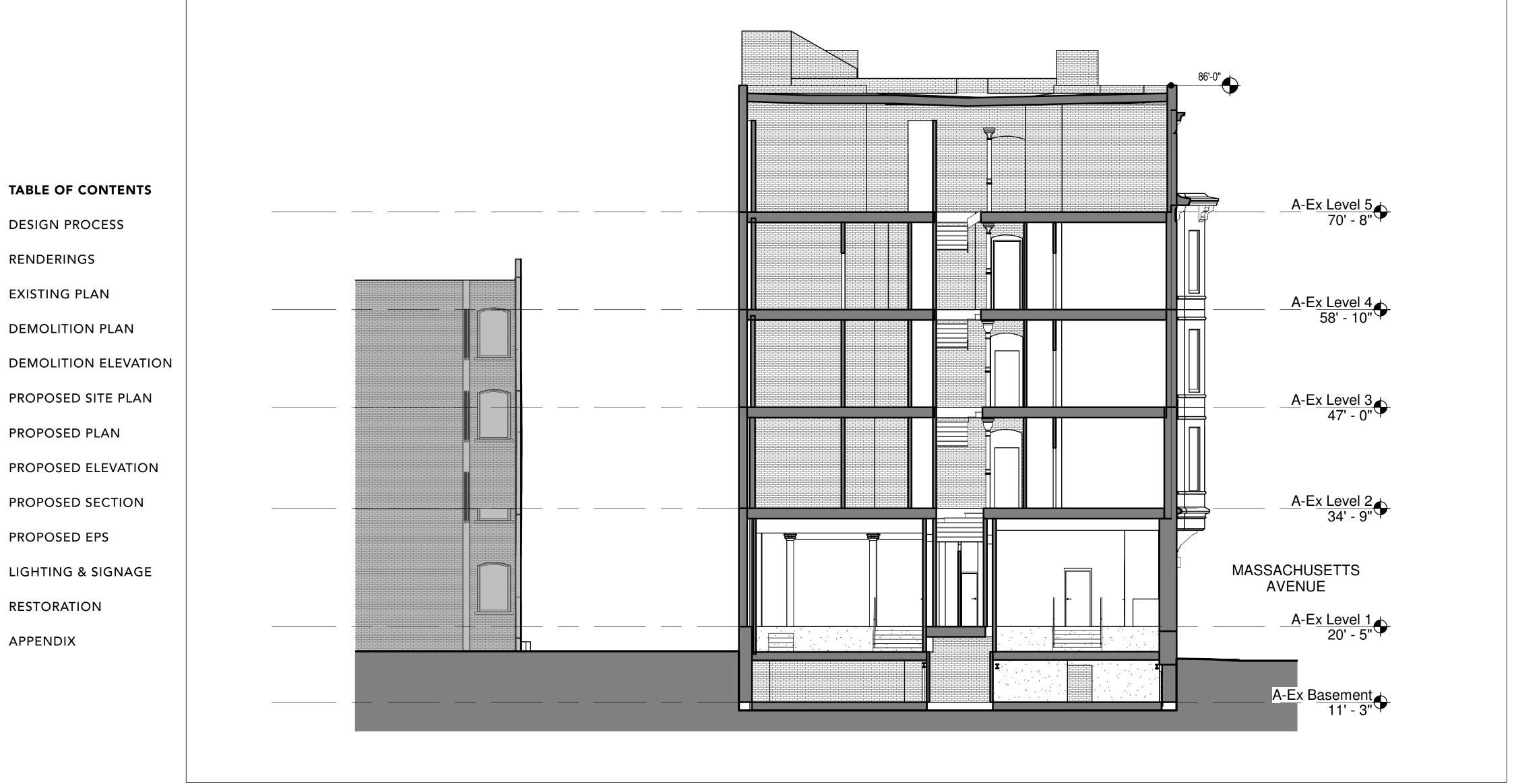
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114













617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114











617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

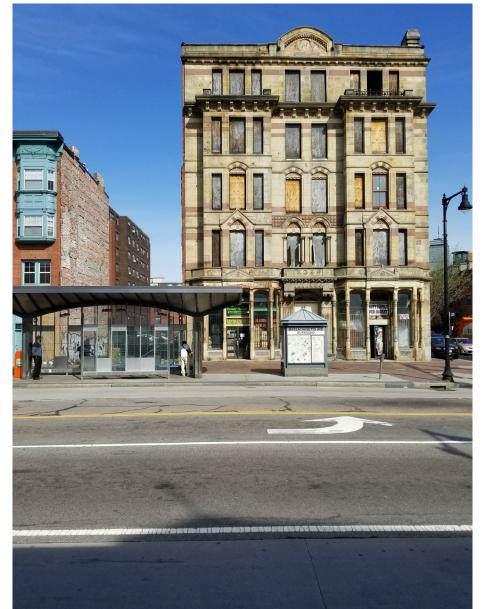
PROPOSED SECTION

PROPOSED EPS

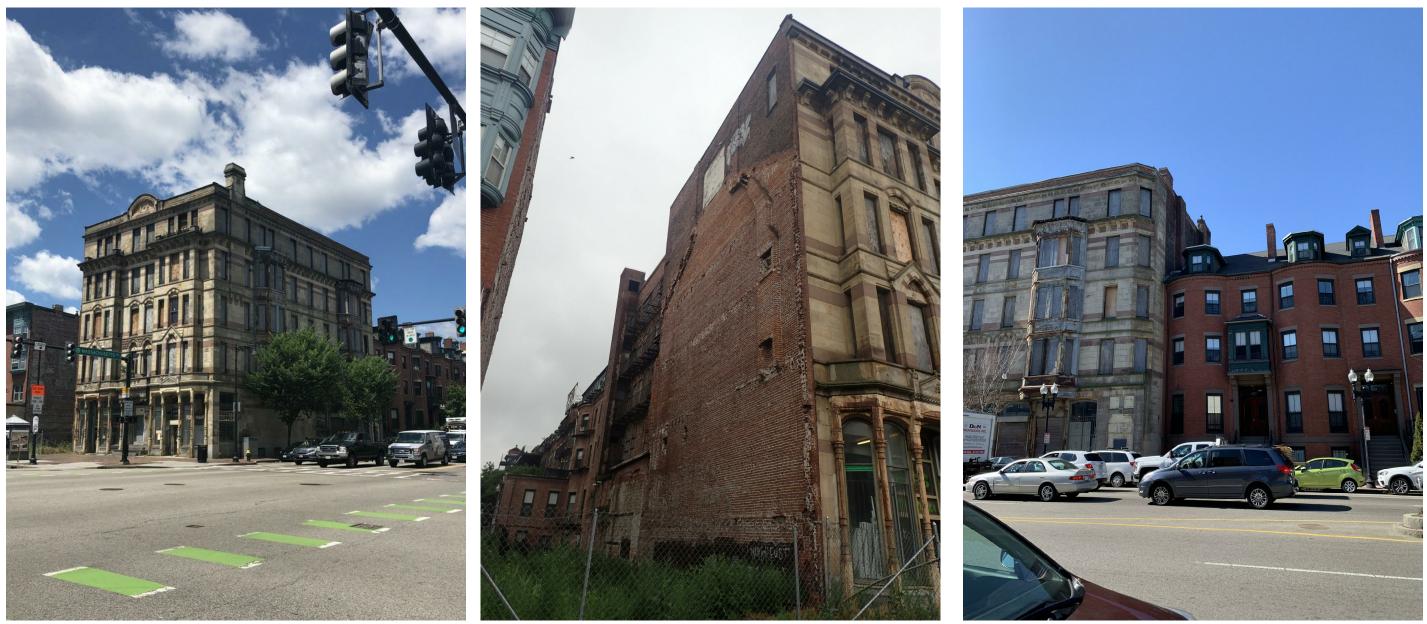
LIGHTING & SIGNAGE

RESTORATION

APPENDIX



SOUTH ELEVATION



VIEW OF SOUTHEAST CORNER





EAST ELEVATION



WEST ELEVATION FROM WASHINGTON STREET

VIEW OF NORTHEAST CORNER

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019



HOTEL ALEXANDRA EXISTING EXTERIOR PHOTOS







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

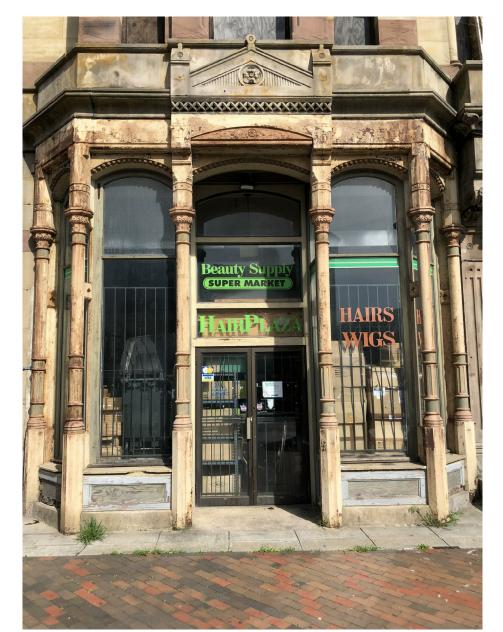
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



CAST IRON STOREFRONT AT SOUTH ELEVATION



BOTTOM OF CAST IRON STOREFRONT



DETAIL AT TOP OF CAST IRON STOREFRONT



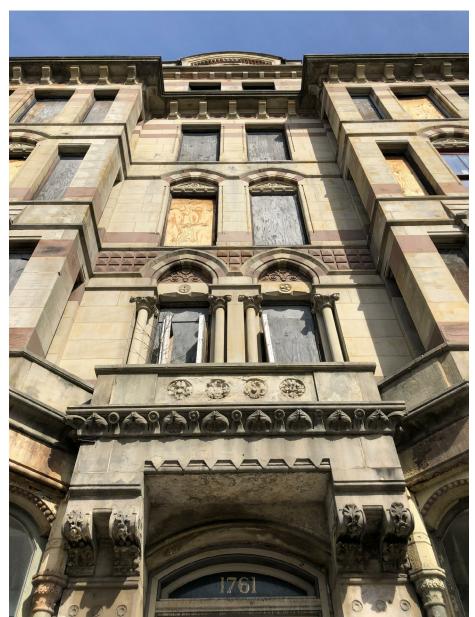
DETAIL OF STONE ABOVE ORIGINAL HOTEL ENTRANCE



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



VIEW OF WEST BAY AT SOUTH ELEVATION



VIEW OF CENTER BAY AT SOUTH ELEVATION

CLOSE UP OF GABLE AND CORNICE AT SOUTH ELEVATION

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019

EX301



ALEXANDRA PARTNERS, LLC







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

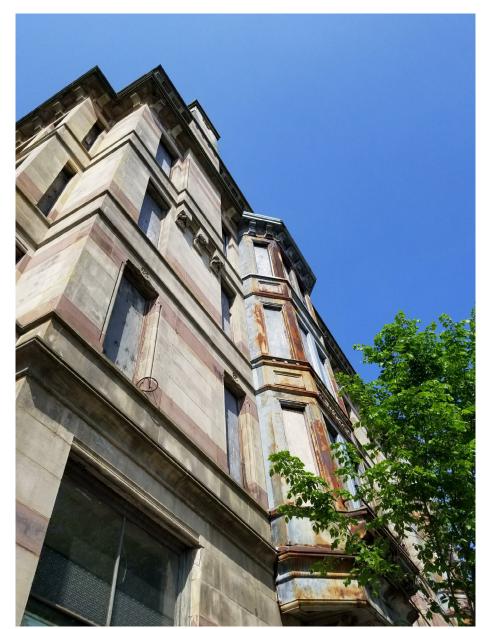
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



EAST ELEVATION LOOKING UP AT CHIMNEY AND SOUTH ORIEL



TOP OF NORTH ORIEL AT EAST ELEVATION

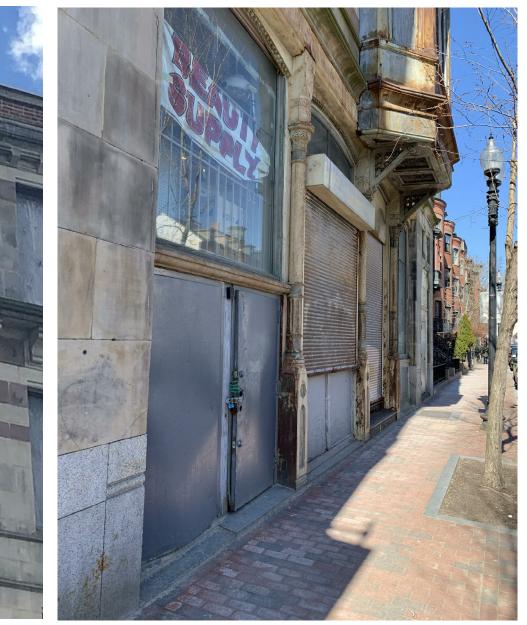


CHIMNEY AND SOUTH ORIEL CORNICE AT EAST ELEVATION

GRANITE BASE AND INFILLED BASEMENT WINDOWS AT EAST ELEVATION DETAIL AT STOREFRONT



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



STOREFRONT AND OPENINGS AT EAST ELEVATION



NON-ORIGINAL DOOR AND INFILL AT EAST ELEVATION

CLOSE-UP OF CAST IRON STAIR

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

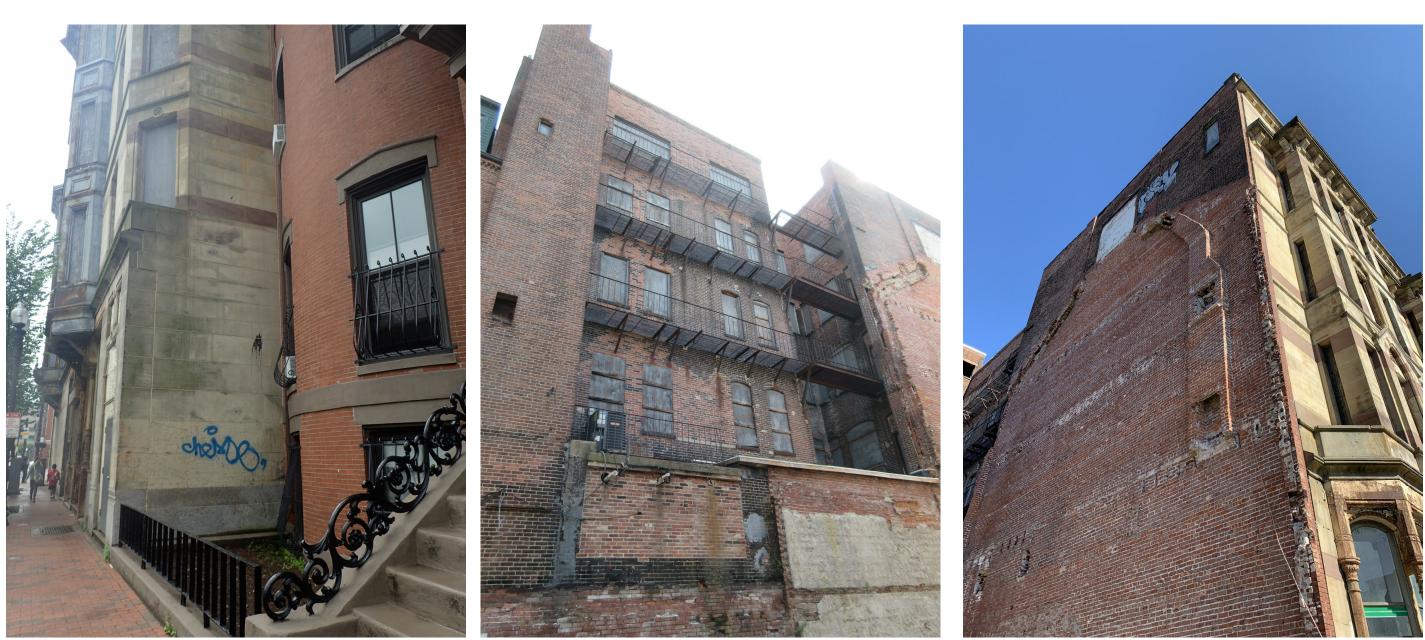
LIGHTING & SIGNAGE

RESTORATION

APPENDIX



TOP OF NORTH ELEVATION



BOTTOM OF NORTH ELEVATION

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

WEST ELEVATION FROM COMET PLACE

WEST ELEVATION FROM WASHINGTON STREET

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

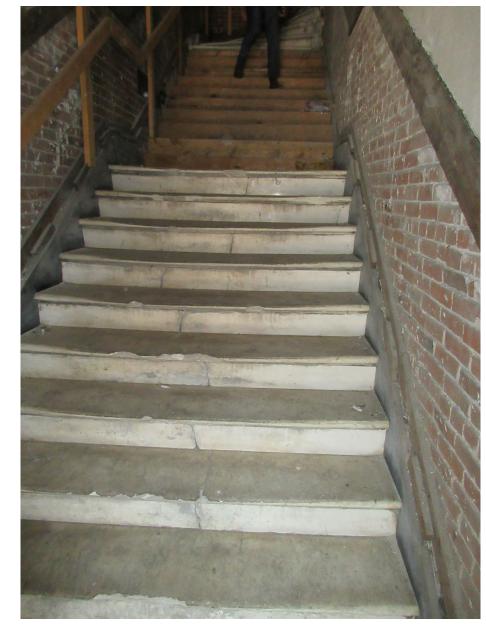
LIGHTING & SIGNAGE

RESTORATION

APPENDIX



CAST IRON COLUMN CAPITAL



MARBLE ENTRY STAIRS





CAST IRON COLUMN CAPITAL







GROUND FLOOR RETAIL SPACE

VIEW OF INTERIOR CORRIDOR

FIREPLACE

SCALE PROJECT # DATE ISSUED

185061.00 08.12.2019 **EX900**







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED ELEVATION

PROPOSED SECTION

LIGHTING & SIGNAGE

PROPOSED EPS

RESTORATION

APPENDIX

PROPOSED PLAN



FIRE DAMAGE AT FLOOR FRAMING



ORIGINAL DOOR

SUPPLEMENTAL BRACING AT EXTERIOR WALL



EXTERIOR AND INTERIOR WINDOWS



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114





WATER DAMAGE AT CEILING



FRAMING AT ORIEL



NON-ORIGINAL ROOF FRAMING AND SUPPORT

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019







DEMOLITION & SALVAGE GENERAL NOTES

DEMOLITION NOTES

DEN	<u>IOLITION NOTES</u>
1	. THERE SHALL BE A PRE-DEMOLITION CONFERENCE PRIOR TO PROCEEDING WITH THE DEMOLITION V
	SUBCONTRACTORS, INCLUDING HAZARDOUS MATERIAL ABATEMENT SUBCONTRACTOR PARTICIPATI
2	. REFER TO DEMOLITION SPECIFICATIONS FOR RESPONSIBILITIES AND REQUIRED SAFETY MEASURES
3	. REFER TO THE DRAWINGS AND GENERAL SALVAGE KEY NOTES FOR SALVAGED ITEMS TO BE SAVED
4	. IT IS ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND FAMILIARI
	ENVIRONMENT UNDER WHICH DEMOLITION IS TO BE ACCOMPLISHED.
5	. DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND ARE NOT INTEN
	UNDERSTANDING THE GENERAL TYPES OF MATERIALS TO BE REMOVED AND ARE NOT INTENDED TO
6	. ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, STRUC
	(INCLUSIVE OF DATA, COMMUNICATIONS AND AUDIO/VISUAL), ENCOMPASS FURTHER WORK REQUIRI
7	THE CONTRACTOR MAY ELECT TO DO ADDITIONAL DEMOLITION BEYOND THAT SPECIFIED IN ORDER
	DEMOLITION MAY BE UNDERTAKEN ONLY UPON SPECIAL REQUEST AND IS SUBJECT TO THE REVIEW
	PORTIONS OF THE PROJECT IS PERMITTED. FOR EXCESS DEMOLITION PERMITTED, THE CONTRACTOR
	WORK MATCHING THE HISTORICAL ORIGINAL DESIGN INTENT OR NEW DESIGN INTENT AS APPLICABL
8	. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNCOVERED CONDITIONS NOT SHOWN ON THESE
	CONDITIONS NOTIFY THE OWNER IMMEDIATELY AND REFER TO THE PROVISION OF THE OWNER-CON
9	. PROTECT ABUTTING AREAS AND PUBLIC RIGHT-OF-WAYS, MAINTAINING EGRESS ROUTES. THE CON
	ACTIVITIES. PREVENT TRACKING OF DUST AND CONSTRUCTION REFUSE INTO SURROUNDING PUBLIC
1	0. THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING AND STRUCTURAL STABILITY OF E
1	1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ABATEMENT OF HAZARDOUS MATERIALS, INCLUI
	SPECIFICATIONS AND ASSESSMENT OF HAZARDOUS MATERIALS. THE GENERAL CONTRACTOR SHAL
	PROGRESS OF THE WORK. ALL ABATEMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH APPLIC
	REPORTS AND SPECIFICATION SECTIONS FOR HAZARDOUS MATERIALS MANAGEMENT, ASBESTOS A
1	2. IT IS THE INTENT OF THIS CONTRACT TO REMOVE FROM THE PROJECT AND THE SITE, AND PROPERI
	ENCAPSULATED, OR OTHERWISE INDICATED TO BE ENCAPSULATED.
1	3. THE CONTRACT ASSUMES THAT ALL OF THE EXISTING PAINTED SURFACES OF THE PROJECT CONTA
	THROUGHOUT AS PART OF THE BASIC WORK OF THIS CONTRACT. IT IS NOT THE INTENT OF THIS CO
	MANAGE, AND PROPERLY DISPOSE OF EXISTING LEAD BASED PAINT AND MATERIALS TO WHICH LEAD
	OR SURFACE PREPARATION FOR NEW WORK. MANAGE AND ABATE LEAD PAINT IN ACCORDANCE WI
	LEAD PAINT, MATERIALS WITH LEAD PAINT TO BE DEMOLISHED, CUT, PENETRATED, SANDED, STRIPP
	PRESENCE OF ACTIVITIES DISTURBING LEAD PAINT SURFACES. SOUND, STABLE LEAD PAINT ON SOU
1	4. THE CONTRACTOR SHALL PROVIDE UNDER THE WORK OF THIS CONTRACT ALL SELECTIVE AND ISOL
	ROUTING AND INSTALLATION OF NEW INFRASTRUCTURE PIPING, WIRING, AND FIXTURES. SELECTIVE
	CONTRACTOR SHALL PROVIDE UNDER THIS CONTRACT ALL NECESSARY CUTTING AND PATCHING RE
	WITH LIKE REPLACEMENT CONSTRUCTION ANY MAJOR PENETRATIONS ELECTED OR NECESSARY TO
1	5. WHERE CONCRETE MASONRY, OR STONE WORK IS REQUIRED TO BE CUT FOR OPENINGS, CUTTING
	UNLESS APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER (SAID APPROVALS SHALL NOT
	RESPONSIBILITY OF THE CONTRACTOR). AT ENDS OF CUT MASONRY TO REMAIN, REPAIR AND NEATI
1	6. WHERE EXISTING MATERIALS ARE TO BE CUT TO ALLOW FOR ABUTTING TO OR BLENDING WITH NEW
1	7. UNLESS OTHERWISE INDICATED FOR SALVAGE, REMOVE AND LEGALLY DISPOSE OF ALL DEMOLITION
	FIXTURES, DUCTS, CONDUITS, LOOSE FINISH MATERIALS, WALLS, CEILINGS, ROOFING, OR OTHER WA
1	8. REFER TO DEMOLITION KEY NOTES FOR FURTHER INFORMATION. GENERAL SUMMARY OF DEMOLITI
	a. REMOVAL OF EXISTING SUPERSTRUCTURE EXCEPT FOR EXTERIOR BEARING WALLS AND FO
	b. REMOVAL OF EXTERIOR BRICK MASONRY WALLS AS INDICATED.
	c. REMOVAL OF INTERIOR WALLS AND PARTITIONS.
	d. REMOVAL OF INTERIOR FLOORS, FLOOR FRAMING, AND FINISHES.
	e. REMOVAL OF EXISTING ROOF AND ROOF FRAMING.
	f. REMOVAL OF EXISTING PLYWOOD INFILL AT EXTERIOR OPENINGS INCLUDING NON-ORIGINAL
	
	VAGE NOTES
	. THE CONTRACTOR SHALL SELECT AND IDENTIFY SPACES WITH THE OWNER WITHIN THE BUILDING, C
2	. IN CASE THE OWNER ELECTS NOT TO KEEP THE SALVAGE ITEMS NOTED, SALVAGE STOCK, UPON CO
	FROM THE SITE

TABLE OF CONTENTS

DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

WORK ATTENDED BY REPRESENTATIVES OF THE OWNER, THE ARCHITECT, THE CONTRACTOR AND TING IN DEMOLITION ACTIVITIES.

D, RE-USED, OR RETURNED TO THE OWNER.

RIZED HIM/HERSELF WITH THE NATURE OF DEMOLITION REQUIRED BY THIS CONTRACT AND THE CONDITIONS AND

NDED TO LIMIT THE SCOPE OF THE WORK. DEMOLITION KEY NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN TO LIMIT THE REMOVAL OF MISCELLANEOUS, SECONDARY, OR ACCESSORY MATERIALS.

ICTURAL, PLUMBING/FIRE PROTECTION, HEATING-VENTILATING-AIR CONDITIONING, AND ELECTRICAL DRAWINGS RING DEMOLITION AND REMOVAL AND ARE HEREBY INCLUDED UNDER THIS CONTRACT

R TO FACILITATE THE CONTRACTOR'S WORK TO ADVANTAGE (IN THE CONTRACTOR'S SOLE OPINION). EXCESS N AND APPROVAL OF THE ARCHITECT AND THE OWNER. NO EXCESS DEMOLITION OF HISTORICALLY SIGNIFICANT FOR SHALL RESTORE THE EXISTING CONSTRUCTION TO THE ACCEPTABLE EQUIVALENT OF RESTORED OR AS NEW BLE.

E DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. UPON DISCOVERY OF THESE NTRACTOR AGREEMENT FOR THE APPROPRIATE PROCEDURES.

NTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO ABUTTING SPACES FROM THE CONTRACTOR'S CONSTRUCTION LIC AREAS.

EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION.

JDING BUT NOT LIMITED TO ASBESTOS AND LEAD PAINT, ENCOUNTERED AND DISTURBED IN ACCORDANCE WITH THE ALL SCHEDULE ABATEMENT ACTIVITIES IN A TIMELY MANNER SO AS TO MAINTAIN ACCEPTABLE SCHEDULE AND CABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS. REFER TO HAZARDOUS MATERIAL TEST ABATEMENT, AND LEAD-BASED PAINT ABATEMENT.

RLY DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS ENCOUNTERED, UNLESS ALLOWED TO REMAIN

TAIN LEAD BASED PAINT AND THE CONTRACTOR IS TO ASSUME THAT HANDLING OF LEAD BASED PAINT IS REQUIRED ONTRACT TO ABATE THE ENTIRE PROJECT OF LEAD BASE PAINT. IT IS THE INTENT OF THIS PROJECT TO HANDLE, AD BASED PAINT IS ADHERED WHEREVER AND WHENEVER SAID MATERIALS ARE DISTURBED BY DEMOLITION, REMOVAL, WITH APPLICABLE REGULATIONS WHEREVER AND WHENEVER THE WORK ENCOUNTERS LOOSE OR FLAKING OR FALLEN PED OR OTHERWISE PREPARED OR DISTURBED. MANAGE THE WORK ENVIRONMENT FOR HEALTH SAFETY IN THE OUND SUBSTRATES TO REMAIN UNDISTURBED MAY BE ENCAPSULATED BY NEW PAINT OR FINISHES. DLATED DEMOLITION AND CUTTING OF MASONRY AND PLASTER OR FINISH MATERIALS TO REMAIN TO FACILITATE THE /E CUTTING SHALL BE MINIMIZED NEAT AND PROPERLY PREPARED TO SEAMLESSLY BLEND IN NEW WORK. THE REASONABLY INFERRED BY THE NEW INFRASTRUCTURE SYSTEMS SPECIFIED OR REQUIRED, INCLUDING CLOSING AGAIN O FACILITATE REMOVAL OF OLD, OR INSERTION OF NEW, EQUIPMENT. G SHALL BE DONE BY ABRASIVE WHEELS, SAWS OR CORING. NO JACKHAMMERS WILL BE ALLOWED AT THESE AREAS

T CONSTITUTE ENDORSEMENT OF THE MEANS AND METHODS; MEANS AND METHODS REMAIN THE SOLE ATLY SQUARE ENDS WITH TOOTHED-IN MASONRY WORK TO ADDRESS ANY VOIDS OR DAMAGE.

W MATERIALS, ALL CUTS ARE TO BE MADE IN A NEAT AND WORKMANLIKE MANNER.

ON MATERIALS INCLUDING BUT NOT LIMITED TO, DEBRIS, FIXED OR MOVEABLE EQUIPMENT, PLUMBING FIXTURES, LIGHT VASTE GENERATED BY OR RESULTING FROM CONSTRUCTION ACTIVITIES OF THIS PROJECT. FION SCOPE INCLUDES, BUT IS NOT LIMITED TO:

OOTING AS INDICATED.

AL DOORS AND FRAMES

ON SITE, AND/OR OFF-SITE FOR PROTECTIVE STORAGE OF SALVAGE MATERIAL COMPLETION OF THE PROJECT, IS THE CONTRACTOR'S PROPERTY AND CONTRACTOR'S RESPONSIBILITY FOR REMOVAL

SCALE PROJECT # DATE ISSUED 12" = 1'-0" 185061.00 08.12.2019







DEMOLITION KEYNOTES

- D1 REMOVE EXTERIOR BRICK MASONRY WALLS INCLUDING FOOTINGS. COORDINATE WITH STRUCTURAL DRAWINGS FOR TEMPORARY BRACING PRIOR TO REMOVAL.
- D2 REMOVE EXISTING METAL FIRE ESCAPES AND SUPPORTS.
- REMOVE EXISTING PLYWOOD INFILL AT EXTERIOR OPENINGS. D3
- D4 REMOVE EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED PIPING AND WIRING IN THEIR ENTIRETY BACK TO THE STREET.
- D5 REMOVE EXISTING HOLLOW-METAL DOORS AND FRAMES.
- D6 REMOVE EXISTING DOUBLE-HUNG WINDOW.
- REMOVE EXISTING NON-HISTORIC GLASS AND ALUMINUM DOORS AND FRAMES. D7

D11 REMOVE EXISTING PLYWOOD PANELS AND WOOD TRIM BELOW STOREFRONT.

- D8 REMOVE EXISTING ROLL-UP SHUTTER.
- D9 REMOVE EXISTING METAL-CLAD ORIEL WINDOWS AND FRAMING. PRIOR TO REMOVAL, CAREFULLY DOCUMENT EXISTING DIMENSIONS AND DETAILING FOR REPRODUCTION.

D13 REMOVE EXISTING ROOF INCLUDING MEMBRANE ROOFING, FLASHING, SUBSTRATE, ROOF FRAMING, AND

D10 REMOVE EXISTING SECURITY GRILLES AT STOREFRONT

D12 REMOVE EXISTING NON-ORIGINAL BRICK PARAPET.

TABLE OF CONTENTS

RENDERINGS

EXISTING PLAN

DESIGN PROCESS

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

- PROPOSED ELEVATION
- PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

- D14 REMOVE EXISTING WOOD FLOORS INCLUDING ALL FINISH FLOORING, SUBFLOORING, AND STRUCTURE. D15 REMOVE EXISTING STRUCTURAL FRAMING INCLUDING ALL JOISTS, BEAMS, GIRDERS, COLUMNS, PIERS, AND FOOTINGS. COORDINATE WITH STRUCTURAL DRAWINGS FOR TEMPORARY BRACING PRIOR TO REMOVAL.
- D16 REMOVE EXISTING INTERIOR BRICK WALLS.
- D17 REMOVE EXISTING INTERIOR PARTITIONS.
- D18 REMOVE EXISTING TEMPORARY STRUCTURAL FRAMING AND SUPPORTS.
- D19 REMOVE EXISTING BOILER.

STRUCTURE.

- D20 REMOVE EXISTING STAIRS AND STAIR FRAMING.
- D21 REMOVE EXISTING ELEVATOR EQUIPMENT AND RAILS.



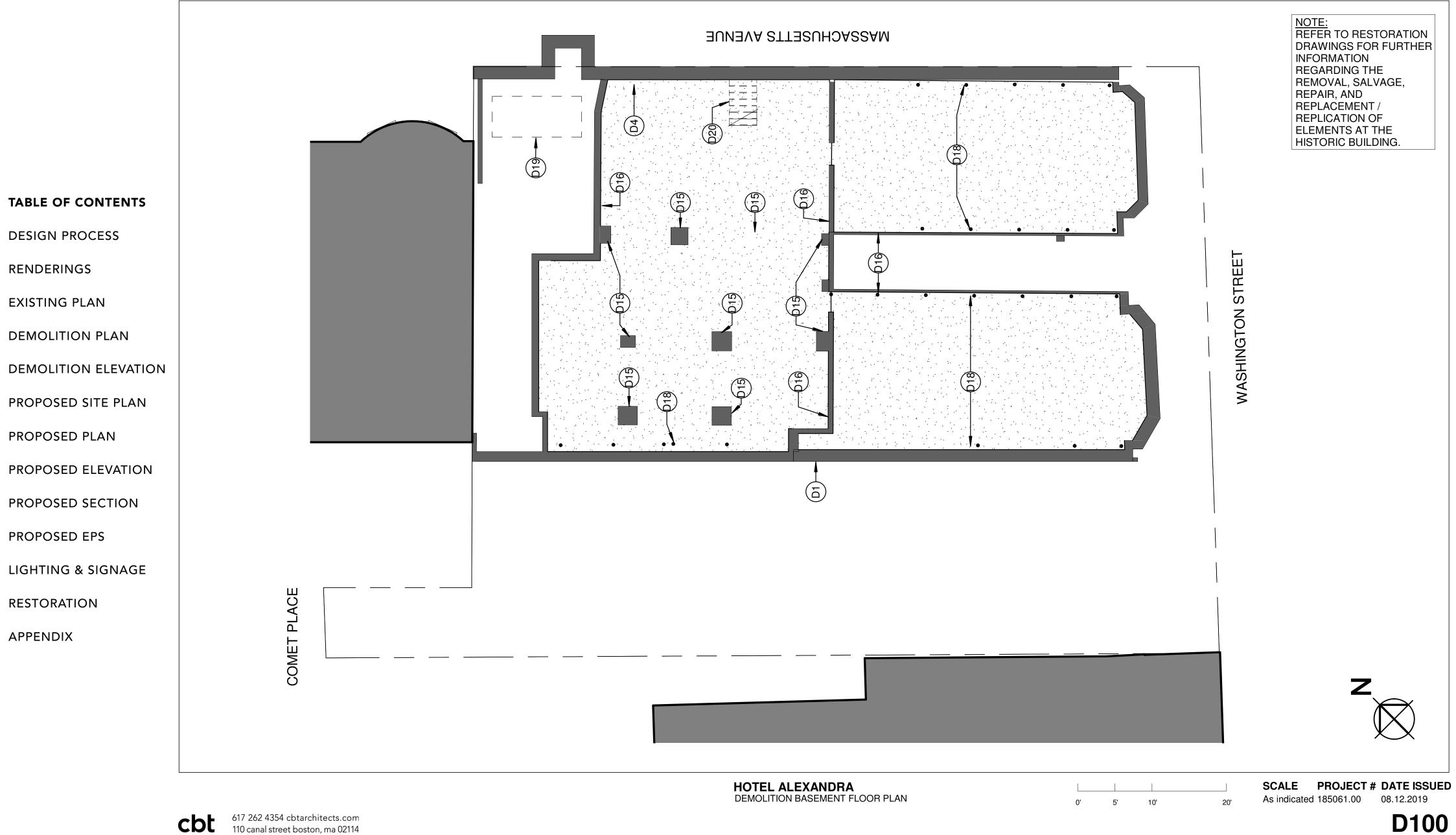
SALVAGE KEYNOTES

S1	REMOVE AND SALVAGE EXISTING CAST-IRON COLUMNS. STORE FOR FUTURE REINSTALLATION.
S2	REMOVE AND SALVAGE EXISTING INTERIOR WINDOWS.
S3	REMOVE AND SALVAGE EXISTING INTACT STONE FLOORING.
S4	REMOVE AND SALVAGE EXISTING DECORATIVE VENTILATION REGISTERS.
S5	REMOVE AND SALVAGE EXISTING INTERIOR DOORS, FRAME, AND TRIM.
S6	REMOVE AND SALVAGE EXISTING EXTERIOR GRANITE STEPS. STORE FOR FUTURE REINSTALLATION.
S7	REMOVE AND SALVAGE HISTORIC CAST IRON RAIL. STORE FOR REPLICATION AND FUTURE REINSTALLATION. REFER TO RESTORATION DRAWINGS FOR FURTHER INFORMATION.
S8	REMOVE & SALVAGE DECORATIVE STONE TYMPANUM FOR REBUILDING/REPLICATION. REFER TO RESTORATION DRAWINGS FOR FURTHER INFORMATION.
S9	REMOVE & SALVAGE DECORATIVE STONE PANEL ABOVE DOOR FOR REPLICATION. REFER TO RESTORATION DRAWINGS FOR FURTHER INFORMATION.
S10	REMOVE AND SALVAGE DECORATIVE SHEET METAL SPANDREL. STORE FOR FUTURE REINSTALLATION. REFER TO RESTORATION DRAWINGS FOR FURTHER INFORMATION.











APPENDIX

110 canal street boston, ma 02114





RENDERINGS

EXISTING PLAN

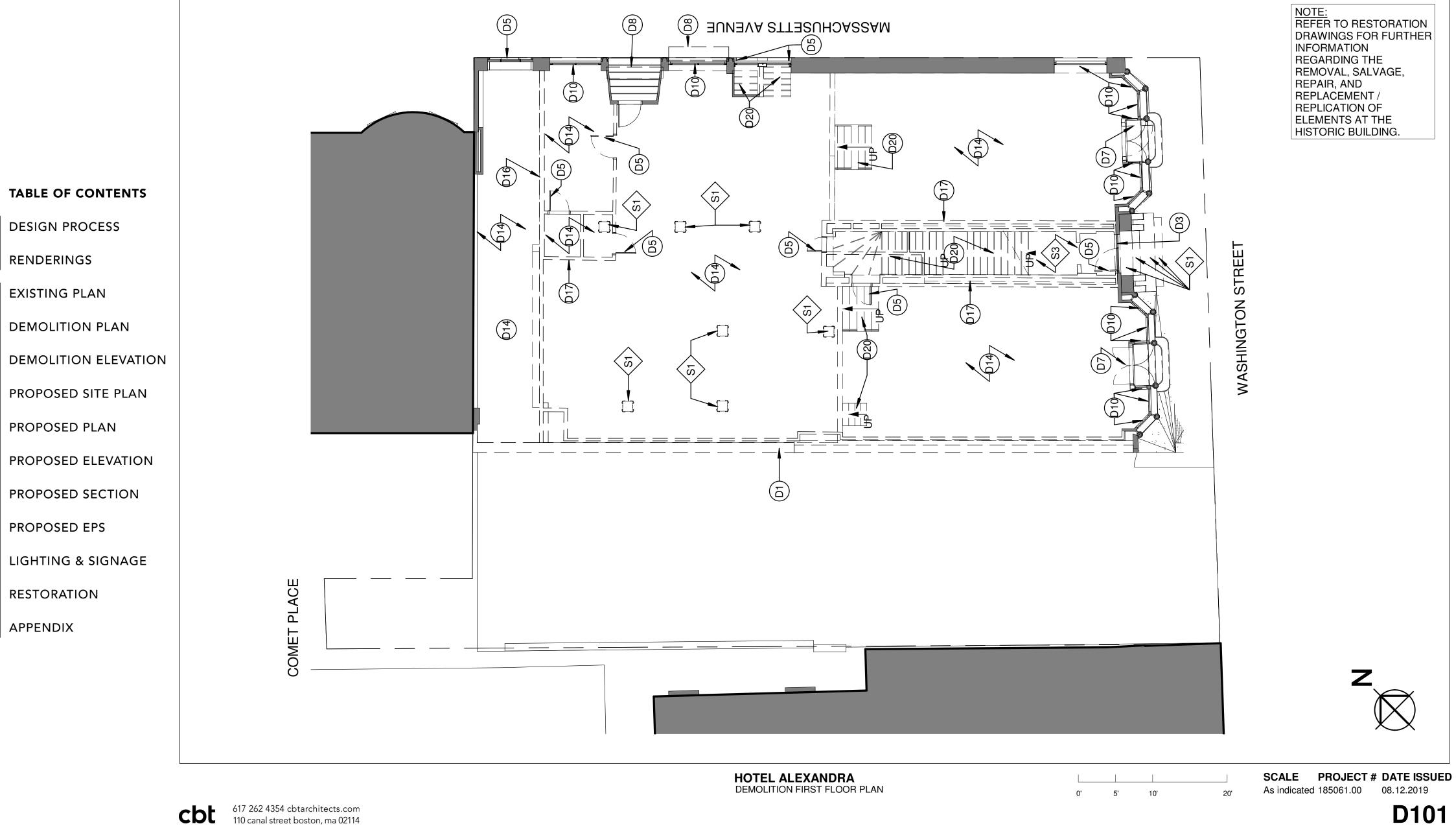
DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





ALEXANDRA PARTNERS, LLC





RENDERINGS

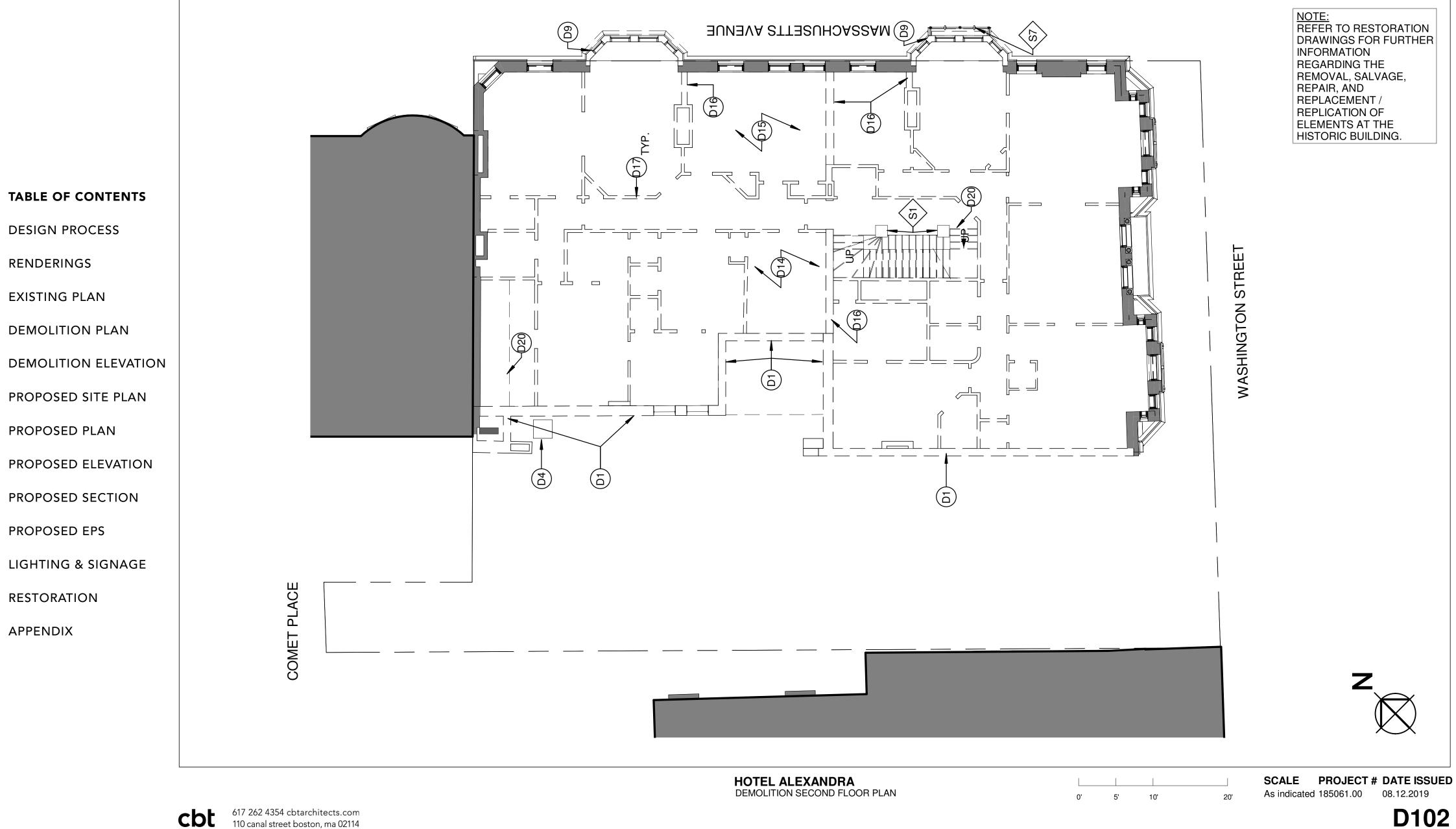
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





110 canal street boston, ma 02114

ALEXANDRA PARTNERS, LLC





RENDERINGS

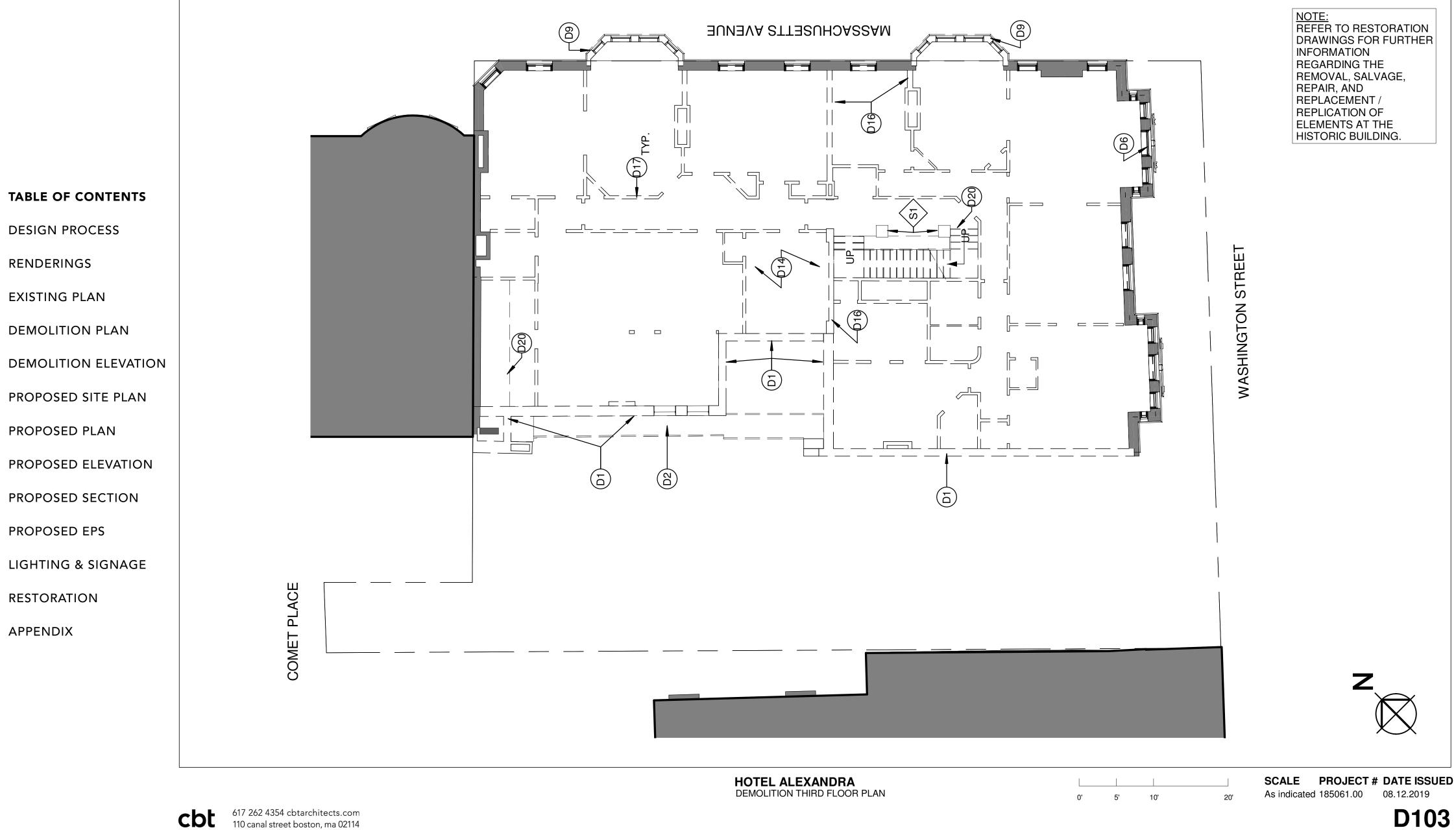
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





110 canal street boston, ma 02114





RENDERINGS

EXISTING PLAN

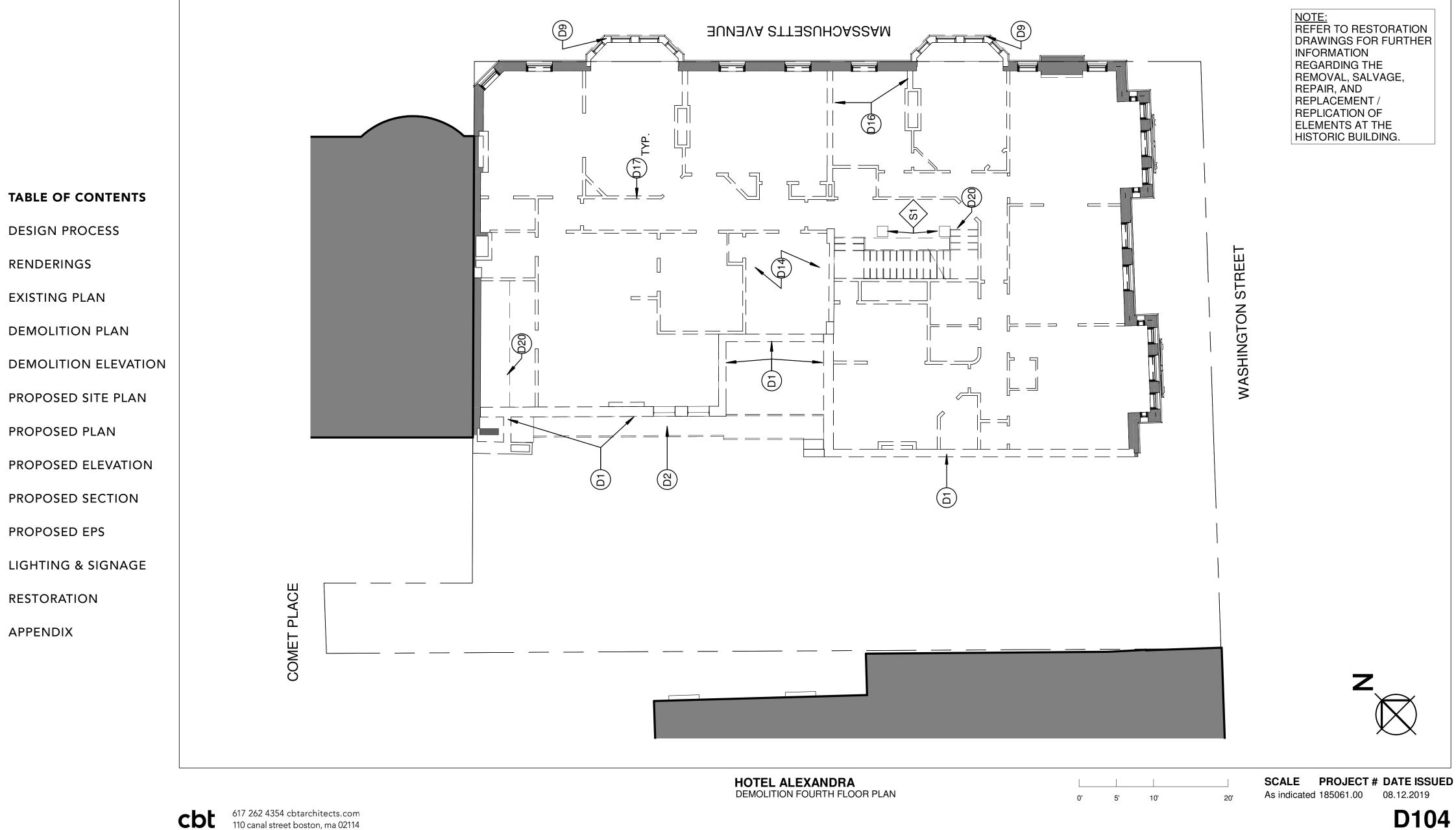
DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX



cbt

110 canal street boston, ma 02114







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

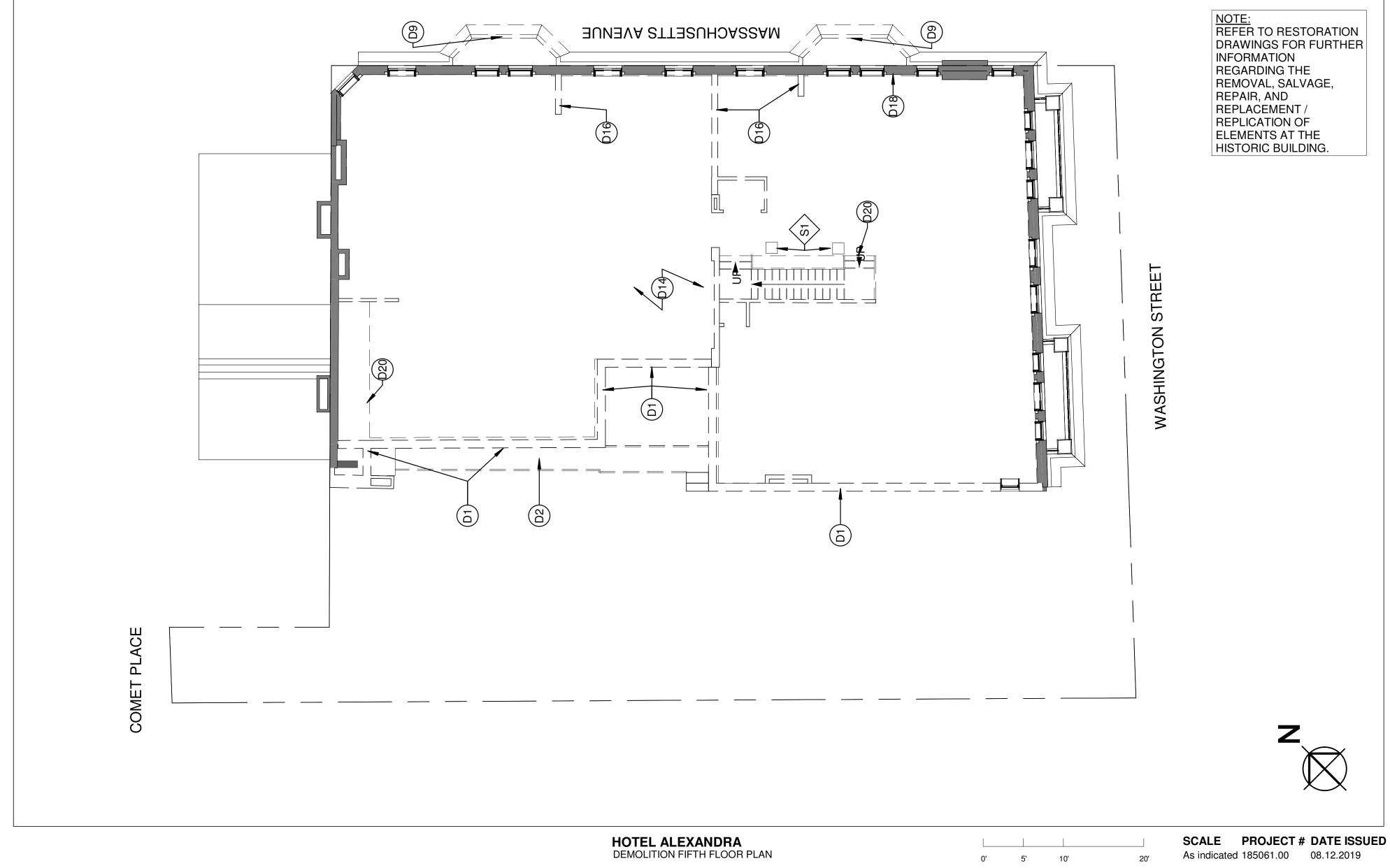
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

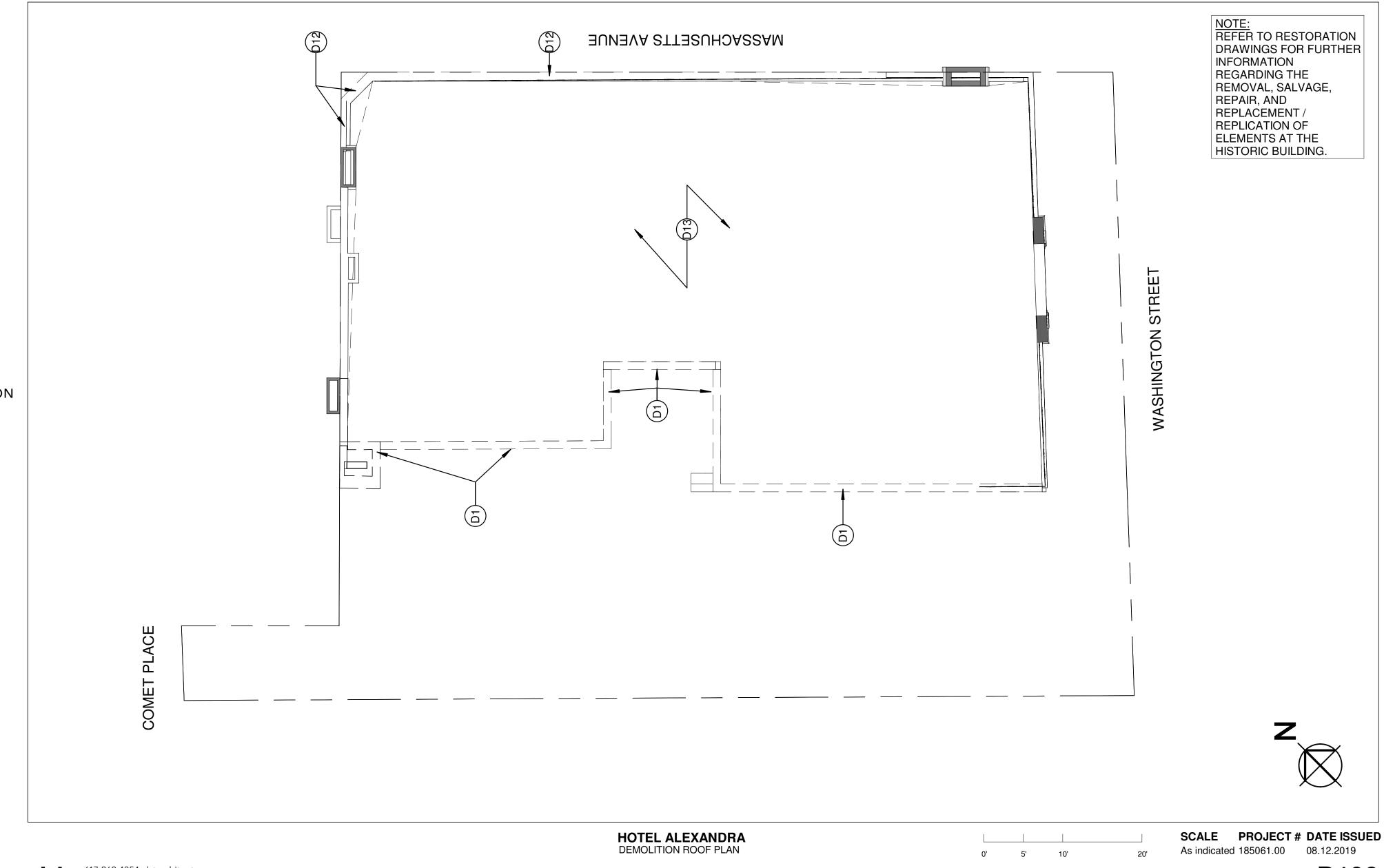
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114





RENDERINGS

EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







RENDERINGS

EXISTING PLAN

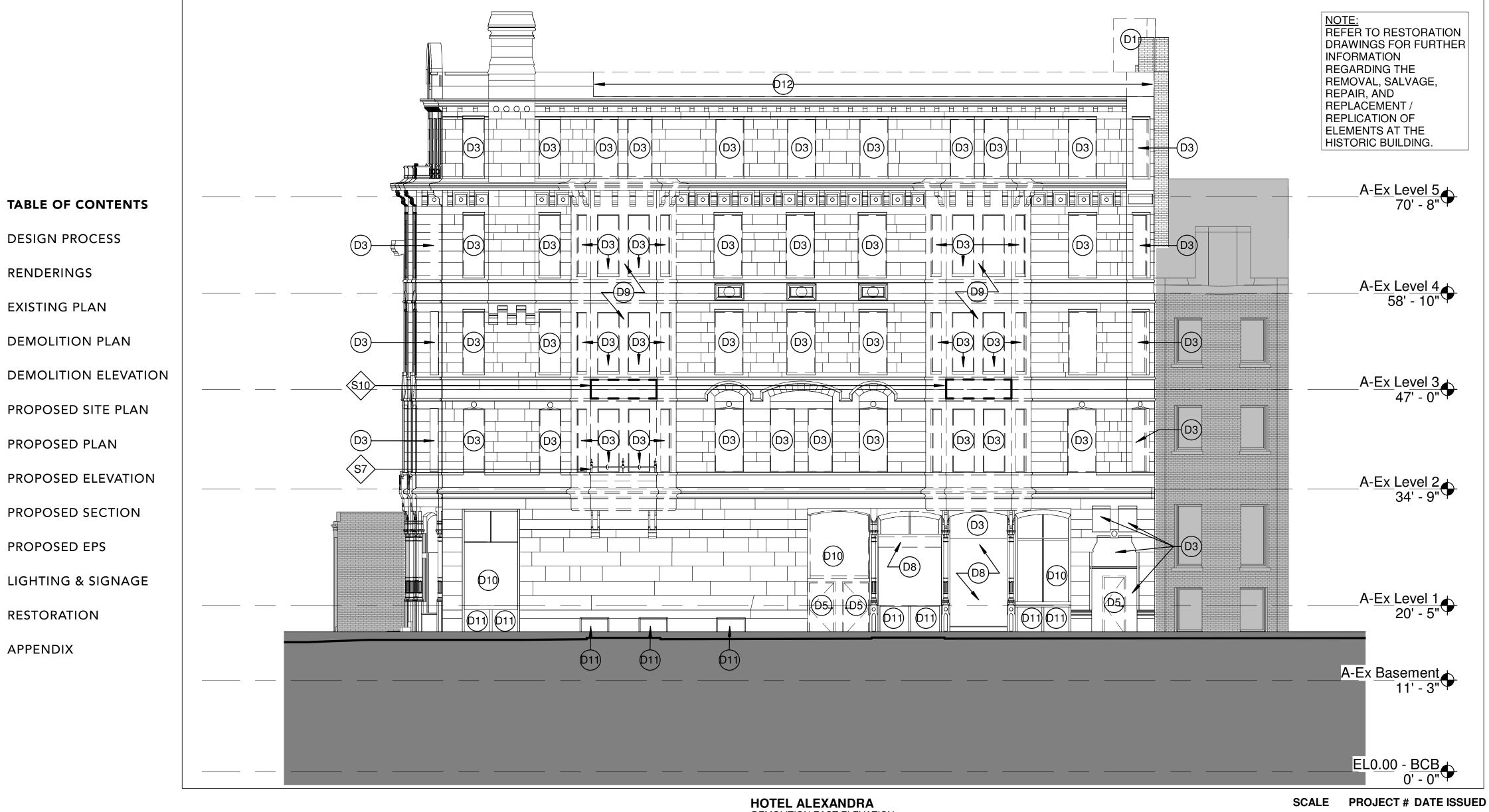
DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

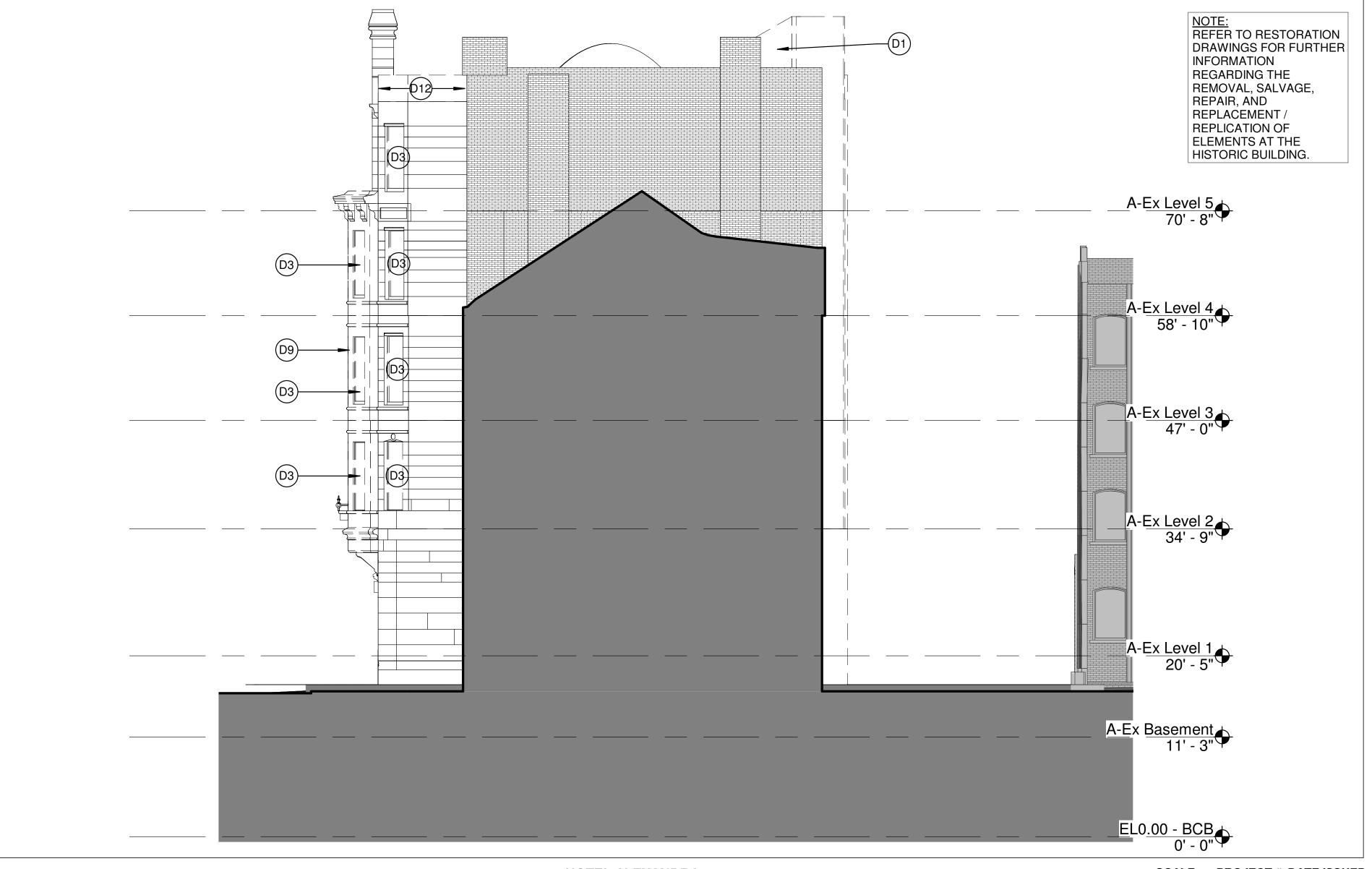
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

HOTEL ALEXANDRA DEMOLITION NORTH ELEVATION SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







RENDERINGS

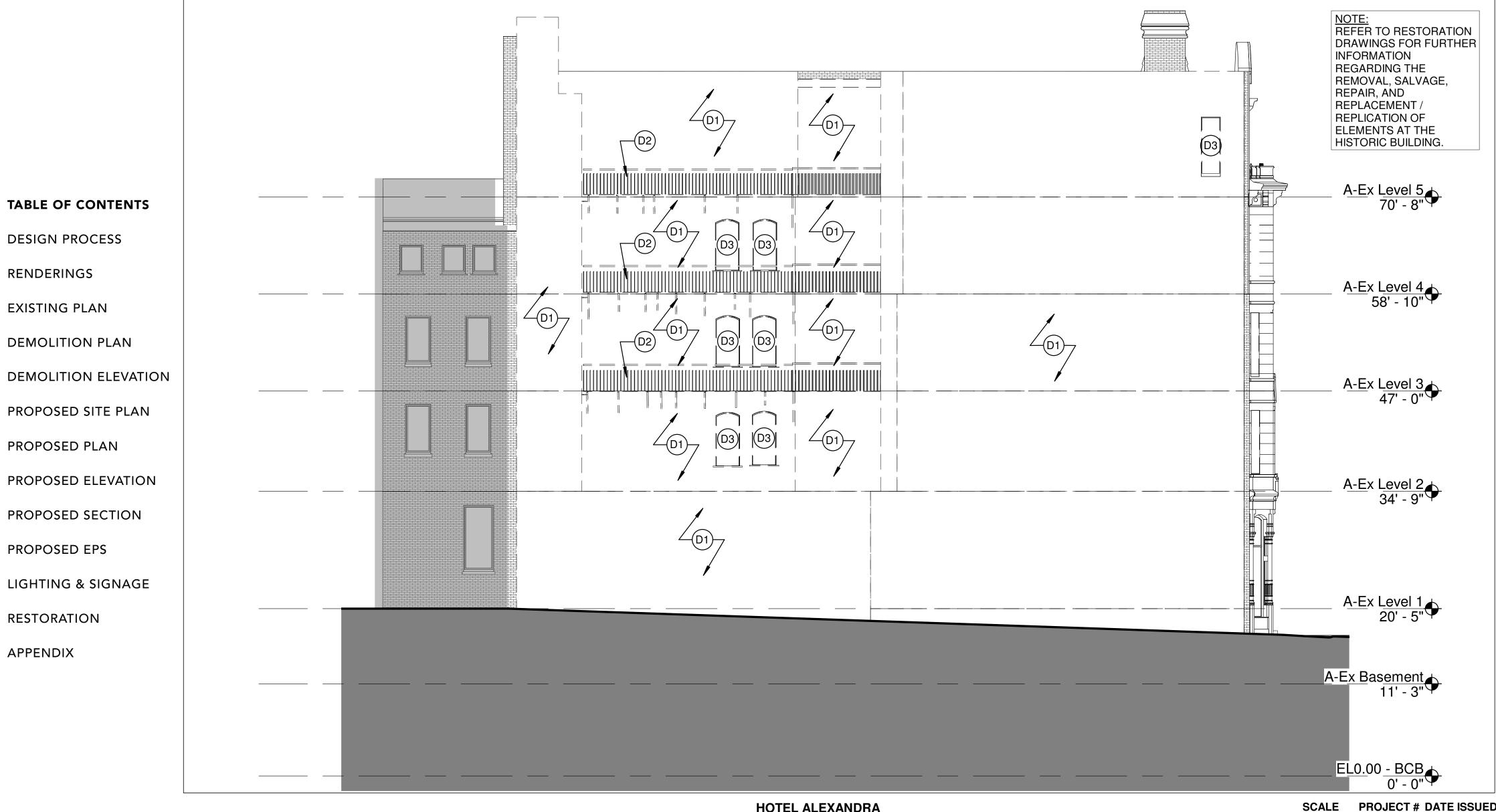
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

HOTEL ALEXANDRA DEMOLITION WEST ELEVATION

SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

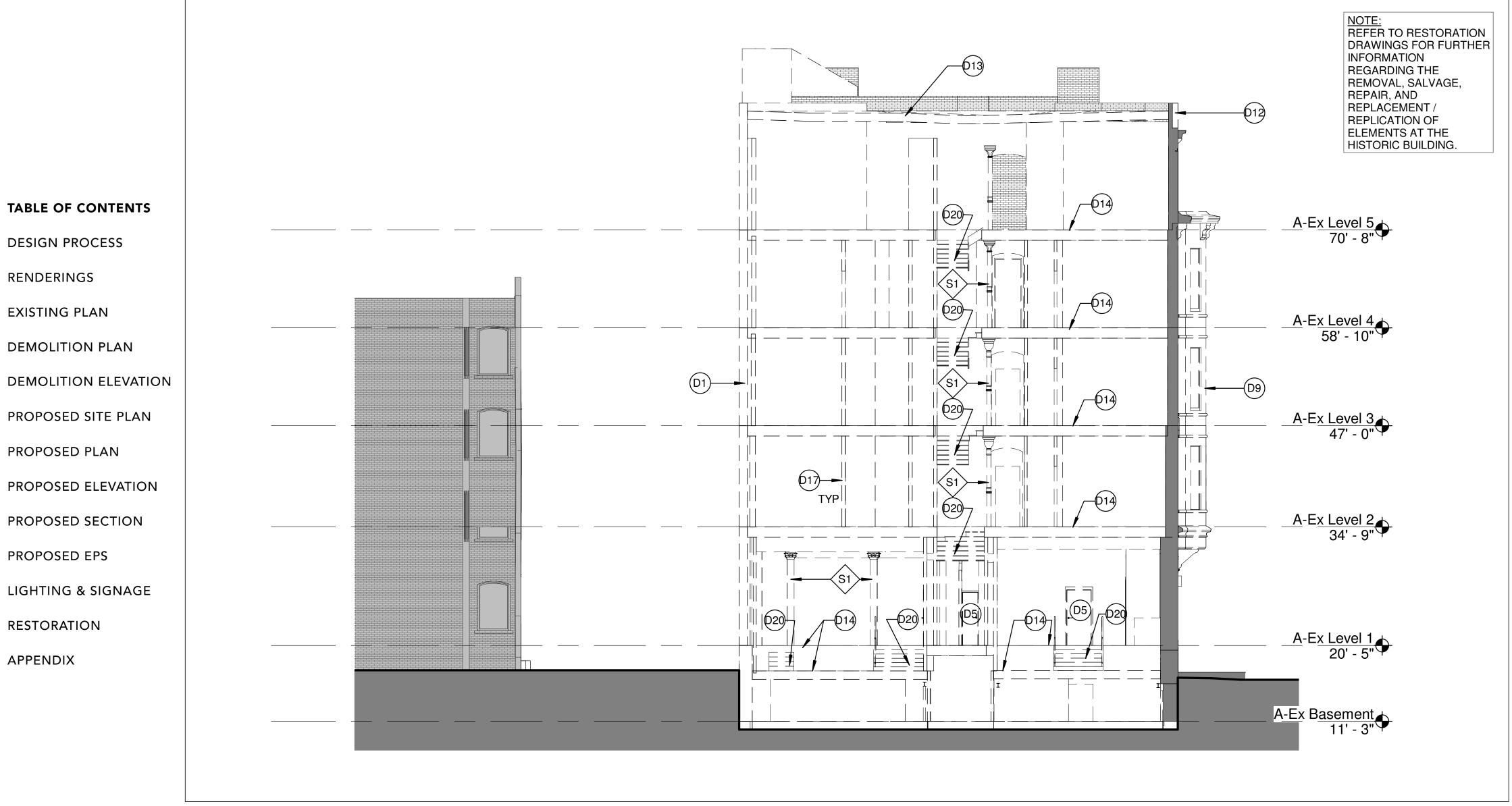
PROPOSED PLAN

PROPOSED SECTION

PROPOSED EPS

RESTORATION

APPENDIX



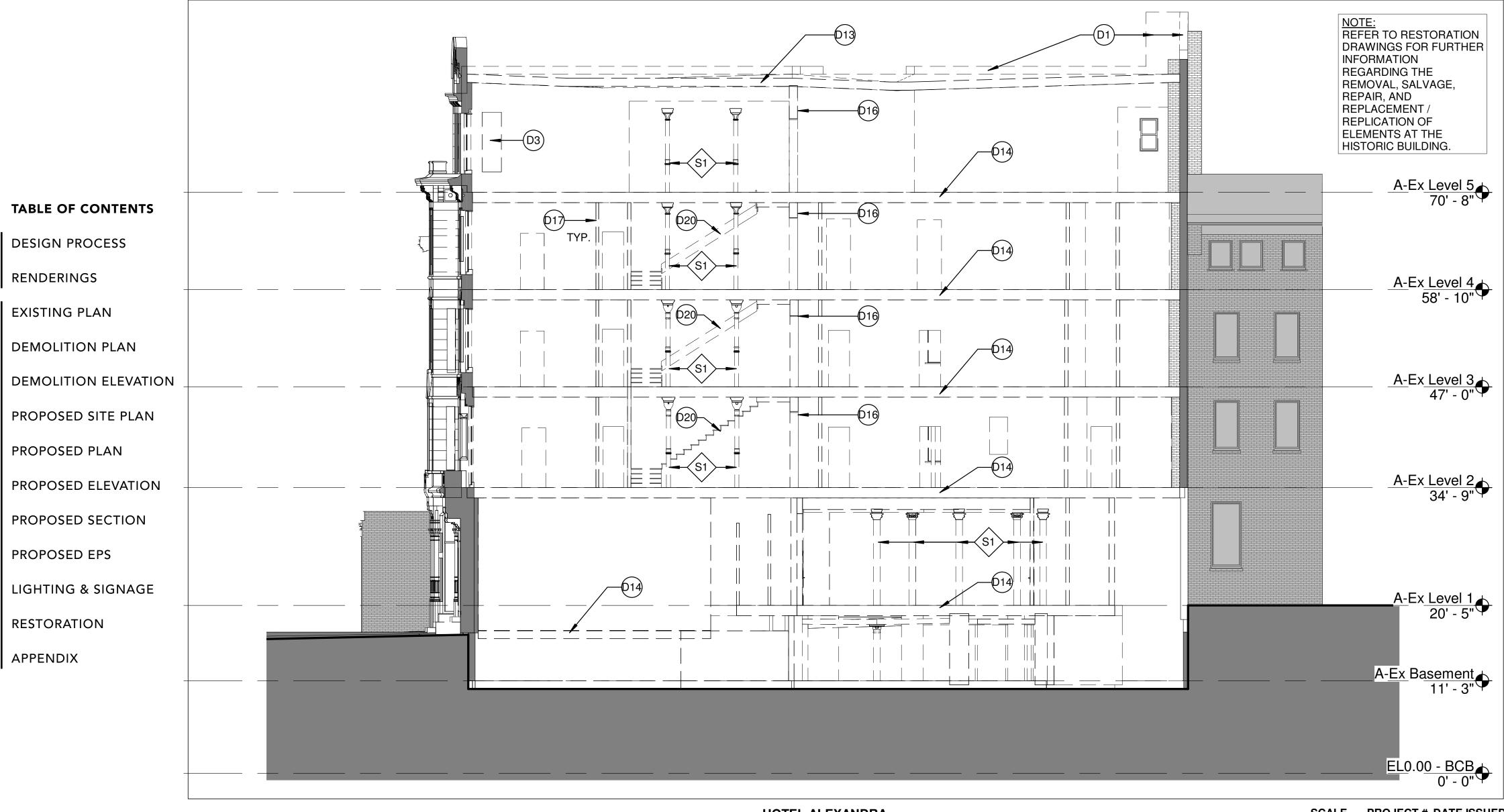


SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







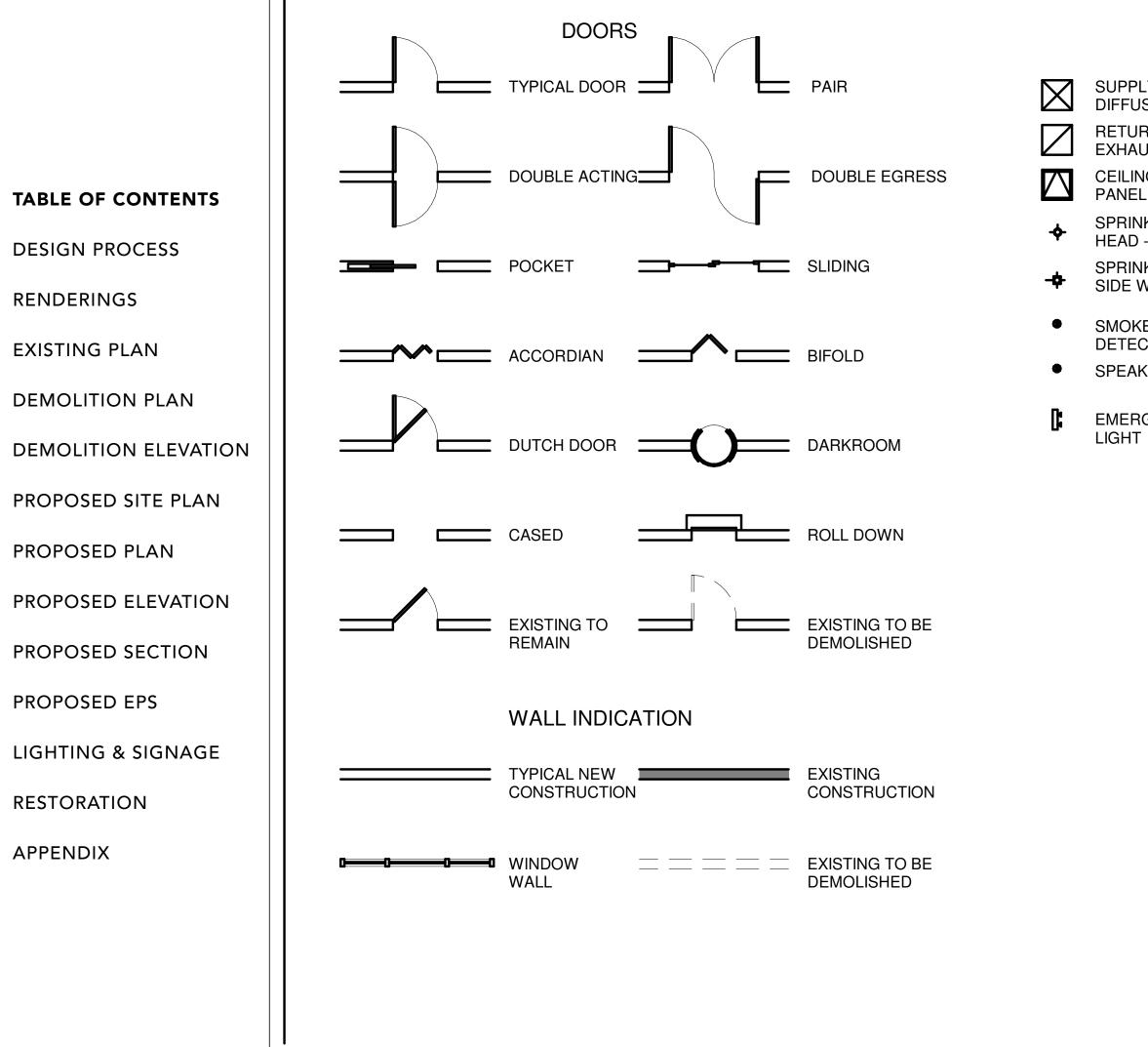








DRAFTING CONVENTIONS



CEILING INFORMATI	ON	
PLY USER	— —	FLUORESCENT STRIP
URN OR AUST DIFFUSER		FLUORESCENT LIGHT
ING ACCESS EL		TRACK LIGHTING
INKLER D - TYPICAL	~ ~	INCANDESCENT LIGHT FIXTURE SURFACE MOUNTED
INKLER HEAD - WALL	O • O	INCANDESCENT LIGHT FIXTURE RECESSED
ECTOR	ю	INCANDESCENT LIGHT FIXTURE WALL MOUNTED
AKER	Φ	INCANDESCENT WALL WASHER
RGENCY	S9 HS9	EXIT SIGN







GENERAL NOTES

1	. THE EXISTING BUILDING, WHICH IS A CONTRIBUTING STRUCTURE TO THE SOUTH END LANDMARK DI
	SIGNIFICANCE IN HIGH QUALITY. ALL PRESERVATION AND RESTORATION WORK IS TO CONFORM TO
	PROPERTIES, STANDARDS FOR REHABILITATION. THE SOUTH END LANDMARK DISTRICT COMMISSIO
2	. THE CONTRACTOR IS TO VISIT THE SITE PRIOR TO SUBMITTING ANY BID AND PRIOR TO PROCEEDING
-	KNOWLEDGE OF CONDITIONS AFFECTING THE WORK AND THE ENVIRONMENT WITHIN WHICH WORK
2	. CONTRACTOR SHALL ALLOW ACCESS TO THE SITE DURING THE CONSTRUCTION PERIOD FOR OWNE
	ACCESSORY SYSTEMS AND EQUIPMENT. CONTRACTOR SHALL COORDINATE WITH AND COOPERATE
	THIS CONTRACT.
	. ALL INDICATIONS AND NOTATIONS ON THE DRAWINGS APPLYING TO ONE AREA OR CONDITION APPL
_	OF DESIGN INTENT AND APPLY WITH MINOR INTERPOLATION TO SIMILAR CONDITIONS.
F	5. THE USE OF THE WORDS "PROVIDE" AND/OR "FURNISHED" IN CONNECTION WITH ANY ITEMS SPECIF
Ĺ	OPERATIONAL, INCLUDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLING AND GENERA
6	6. ALL DIMENSIONS OTHER THAN PURELY ARCHITECTURAL DIMENSIONS SHOWN ON THE ARCHITECTU
Ċ	
_	FIRE PROTECTION, MECHANICAL, ELECTRICAL, DATA/COMMUNICATIONS AND AUDIO/VISUAL TRADES
	2. CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING DIMENSIONS AND ELEVATIONS IN THE F
	IMMEDIATELY AND BEFORE PROCEEDING WITH RELEVANT ASPECT OF THE WORK OF ANY LAYOUT O
_	NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS PRIOR TO PROCEEDING.
ξ	8. FIELD MEASURE TO COORDINATE FIT AND FACILITATE EXPEDITED SHOP DRAWING PREPARATION FO
_	AGAINST PROPOSED AND EXISTING FIELD DIMENSIONS AS PART OF THE SHOP DRAWING AND COOF
ç	DO NOT SCALE FROM DRAWINGS. USE INDICATED OR CALCULATED DIMENSIONS AND ELEVATIONS I
	LAYOUT CONDITIONS THAT ARE NOT CONSISTENT WITH THE PLANS OR THAT WILL IMPAIR LAYOUT.
1	0. DIMENSIONING FORMAT FOR THE ARCHITECTURAL DRAWINGS IS OUTLINED AS FOLLOWS:
	 a. DIMENSIONS FOR MASONRY ARE TO FACE OF MASONRY UNLESS OTHERWISE NOTED.
	 b. DIMENSIONS FOR CONCRETE ARE TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
	c. DIMENSIONS FOR PLASTER FINISH ARE TO ACTUAL FACE UNLESS CENTERLINE IS INDICATED.
	d. DIMENSIONS FOR METAL STUD WALLS ARE TO FINISH FACE OF GYPSUM WALL BOARD OR PLASTE
	e. CRITICAL CLEAR DIMENSIONS REQUIRED ARE INDICATED AND ARE TO FINISH FACE OF WALL INCL
	ANY FINISHES ADDED TO BASE DIMENSION.
	f. DIMENSIONS FOR FIXTURES ARE FROM FINISH FACE TO CENTERLINE OF FIXTURE UNLESS OTHER
1	1. AT INTERSECTION OF DISSIMILAR WALL TYPES, GYPSUM WALLBOARD OF HIGHEST RATED WALL IS
	INTERSECTION WITH COLUMN ENCLOSURES.
	2. ALL WALLS, INCLUDING FIRE RATED WALLS, ARE TO BE CONTINUOUS FROM BASE FLOOR DECK TO
1	3. GRAPHICS: THE DRAWINGS USE VARIOUS GRAPHIC DEVICES TO DISTINGUISH BETWEEN TYPES OF
	DARK LINEWORK IS SHOWN TOGETHER WITH SCREENED LIGHTER LINEWORK, OR OTHERWISE SIMIL
	THIS DISTINCTION, FULL SIZE DRAWING SHEETS SHALL GOVERN, COMPARED TO ANY REDUCED COP
	AREAS ILLUSTRATED WITH SCREENED LINES, AS CALLED FOR BY OTHER PARTS OF THE CONTRACT
1	4. REFER TO PROJECT SPECIFICATIONS FOR: GENERAL CONTRACT REQUIREMENTS, ADDITIONAL SCC
	EXECUTION, REQUIREMENTS FOR SUBMITTALS AND SHOP DRAWINGS. THE SPECIFICATION AND DRA
1	5. REFER ALSO TO STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL, ELECTRICAL, INFORMA
	AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, PENETRATIONS, SLEEVES, DEPRESSIONS, EMBI
	AND PENETRATIONS AND ALL ATTACHMENT REQUIREMENTS FOR STRUCTURE, SYSTEMS, FINISHES,
	ORGANIZATION AND RELATIVE PLACEMENT OF SYSTEM COMPONENTS. THE SPECIFICATIONS IDENTI
	PERFORMANCE FOR SYSTEMS. THE CONTRACTOR'S BASE CONTRACT SERVICES INCLUDE COORDIN
1	6. ALL SUBCONTRACTOR TRADES, INCLUDING BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELEC
	BE FAMILIAR WITH THE ARCHITECTURAL DRAWINGS AND DOCUMENTS TO UNDERSTAND THE ARCHI
	OF TRADE SYSTEMS WITHIN ARCHITECTURAL ELEMENTS AND THEIR LIMITATIONS. FURTHERMORE,
	NOTES, ARCHITECTURAL DEMOLITION NOTES, WHICH ARE APPLICABLE TO ALL ASPECTS OF THE PR
1	7. SEE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR STRUCTURAL SPACING, STRUCTURAL STE
	REQUIREMENTS FOR LOAD CARRYING MEMBERS. STRUCTURAL DRAWINGS AND SPECIFICATIONS SI
	MASONRY WALLS, METAL DECK CONSTRUCTION.
1	8. REFER ALSO TO DEMOLITION NOTES WHICH INCLUDE ADDITIONAL REQUIREMENTS GENERALLY APP
	OPERATIONS, CUTTING AND PATCHING, REPAIRS AND INFILL WORK, AND ABATEMENT.
1	9. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SEQUENCING, MEANS AND METHODS
	TO MAINTAIN STRUCTURAL STABILITY FOR ALL CONDITIONS OF STATIC, DYNAMIC, GRAVITY, AND WI
	THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT. THE CONTRACTOR IS RESPONSI
	THE COMMONWEALTH OF MASSACHUSETTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRU



DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

617 262 4354 cbtarchitects.com CDL 110 canal street boston, ma 02114

DISTRICT. IS AN HISTORIC BUILDING OF SIGNIFICANT ARCHITECTURAL IMPORTANCE. THE WORK SHALL RESPECT THAT O THE GUIDELINES OF THE FEDERAL SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC ON HAS JURISDICTION.

IG WITH WORK, TO EXAMINE THE SITE AND ANY EXISTING ACCESSORY SPACES RELATED TO THE WORK TO ENSURE HIS/HER K IS TO BE PERFORMED.

NER'S INDEPENDENT CONTRACTORS AND CONSULTANTS FOR INSTALLATIONS INCLUDING, BUT NOT LIMITED TO, FURNISHINGS, E WITH OWNER'S INDEPENDENT CONTRACTORS AND CONSULTANTS FOR INSTALLATIONS AND OTHER WORK NOT PART OF

PLY TO OTHER SIMILAR AREAS OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. TYPICAL DETAILS ARE REPRESENTATIVE

FIED MEANS, UNLESS OTHERWISE NOTED, THAT SUCH ITEMS SHALL BE FURNISHED, INSTALLED, CONNECTED AND MADE RAL CONDITIONS SUPPORT.

URAL DRAWINGS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH THE WORK OF THE STRUCTURAL, PLUMBING, ES, AND ANY INCONSISTENCIES REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

FIELD. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO PROCEEDING. NOTIFY THE ARCHITECT CONDITION THAT IS NOT CONSISTENT WITH THE PLANS OR THAT WILL IMPAIR LAYOUTS OR ATTACHMENTS OF FINISHES.

FOR ALL SYSTEMS AND COMPONENTS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE FIT OF ALL EQUIPMENT BDINATION DRAWING REQUIREMENTS, FOR THE BASE CONTRACT.

IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY, AND BEFORE PROCEEDING WITH RELEVANT ASPECT OF THE WORK, OF ANY

FER FINISH FACE UNLESS CENTERLINE IS INDICATED OR CLEAR FINISH DIMENSION IS NOTED. LUDING APPLIED FINISH OVER SUBSTRATE. REFER TO ELEVATIONS AND FINISH DETAILS TO COORDINATE RELATIONSHIP OF

RWISE NOTED.

TO RUN THROUGH INTERSECTION TO MAINTAIN FIRE ENCLOSURE. MAINTAIN FIRE RATING OF RATED WALLS AT

UNDERSIDE OF FLOOR DECK ABOVE OR UNDERSIDE OF ROOF DECK ABOVE AS APPLICABLE.

WORK, TYPES OF MATERIALS, AND TO DISTINGUISH BETWEEN NEW WORK AND EXISTING WORK TO REMAIN. WHERE BOLD, ILAR ILLUSTRATION, THE BOLD LINEWORK TYPICALLY REPRESENTS NEW WORK OR RENOVATION WORK. FOR CLARITY OF PIES OF THE DRAWINGS. THIS GRAPHIC CONVENTION DOES NOT LIMIT IN ANY WAY WORK REQUIRED TO BE PERFORMED FOR T DOCUMENTS.

OPE DEFINITION, TECHNICAL CRITERIA AND STANDARDS FOR SYSTEMS, MATERIALS, PERFORMANCE, WORKMANSHIP AND RAWINGS SHALL BE USED TOGETHER FOR COMPREHENSIVE UNDERSTANDING OF PROJECT REQUIREMENTS. ATION TECHNOLOGY/COMMUNICATIONS AND AUDIO/VISUAL DRAWINGS, AND APPROVED SHOP DRAWINGS FOR LOCATION BEDMENTS, AND ATTACHMENT REQUIREMENTS FOR ALL SYSTEMS. THE CONTRACTOR IS TO COORDINATE ALL EMBEDMENTS S, FIXTURES AND EQUIPMENT. SYSTEMS DRAWINGS ARE DIAGRAMMATIC IN NATURE ESTABLISHING SYSTEM INTENT AND TIFY ADDITIONAL DETAIL INFORMATION AND REQUIREMENTS FOR TECHNICAL STANDARDS, MATERIALS, FITTINGS, AND

INATION DRAWINGS AND DETAIL PLANNING FOR FIT AND ROUTING BY THE CONTRACTOR'S TECHNICIANS. CTRICAL, PLUMBING, FIRE PROTECTION, AUDIO-VISUAL, AND INFORMATION TECHNOLOGY TRADES, SHALL FULLY REVIEW AND ITECTURAL DESIGN INTENT AND ARCHITECTURAL DETAIL CONTEXT FOR THE COORDINATION, PROVISION AND INSTALLATION , ALL SUBCONTRACTOR TRADES ARE REQUIRED TO READ AND BE FULLY FAMILIAR WITH THE ARCHITECTURAL GENERAL ROJECT.

EEL SIZES, REINFORCEMENT, UNIT-MASONRY REINFORCEMENT, STEEL LINTEL SIZES, RELIEVING ANGLE SIZES, AND OTHER SHALL GOVERN FOR LOAD CARRYING MEMBERS. REFER TO STRUCTURAL LIMITATIONS FOR PENETRATIONS THROUGH

PPLICABLE TO THE CONTRACTOR AND ALL TRADES FOR EXECUTION OF THE WORK, PROPERTY PROTECTION, SITE CONTROLS,

S INCLUDING BUT NOT LIMITED TO TEMPORARY SHORING, STAGING, AND BRACING OF NEW AND EXISTING CONSTRUCTION IND LOADS DURING DEMOLITION PROCEDURES, REPAIR PROCEDURES, AND NEW CONSTRUCTION PROCEDURES SIBLE FOR ALL ASPECTS OF TEMPORARY SHORING INCLUDING ENGINEERING BY A PROFESSIONAL ENGINEER REGISTERED IN RUCTION-RELATED SAFETY MEASURES.





GENERAL NOTES

	20. ANY ILLUSTRATION OR DESCRIPTION OF CONSTRUCTION SEQUENCING, TEMPORARY SHORING SEQUE SPECIFICATIONS) IS PROVIDED TO THE CONTRACTOR ONLY FOR ILLUSTRATION OF A POSSIBLE METHON OTHERWISE NOTED. SUCH ILLUSTRATIONS OR DESCRIPTIONS OF CONSTRUCTION SEQUENCING, STAG BY THE CONTRACTOR AND ARE NOT ENDORSED BY THE ARCHITECT AND ARE NOT INTENDED TO DICTA NOTED. THE SELECTION, DETAILS AND EXECUTION OF ALL CONSTRUCTION MEANS, METHODS AND/OR S SUCH ILLUSTRATIONS OR DESCRIPTIONS OF CONSTRUCTION SEQUENCING OR TEMPORARY SHORING I CONDITIONS, OR GLOBAL STABILITY (AS RELATED TO THE PROJECT) WARRANT NOTICE OF VERY SPECI SEQUENCING OR TEMPORARY SHORING IN THE CONTRACT DOCUMENTS ARE NOT TO BE INTERPRETED ILLUSTRATED OR DESCRIBED. AS PART OF THE BASE CONTRACT WORK, THE CONTRACTOR SHALL IDEN SHORING AS NECESSARY TO SAFELY AND SUCCESSFULLY EXECUTE ALL THE WORK ENCOUNTERED FO 21. LOGISTICS – THE CONTRACTOR'S ATTENTION IS CALLED TO ISSUES THAT MUST BE CONSIDERED AND A
TABLE OF CONTENTS	22. ALL FINISHING IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER. REPAIR AND CORRECTIVE WOR CORRECTIVE OR REPAIR MATERIALS ARE TO MATCH EXISTING MATERIALS AS NEAR IN SIZE, SHAPE, TEX
DESIGN PROCESS	NEW" IN CHARACTER AND APPEARANCE. ALL SURFACES AND MATERIALS TO BE IN "AS-NEW" CONDITIO OR NEAT MATCHING UP OF RELATED OR ADJACENT WORK. USE THE LARGEST REPAIR INSERT MATERIA 23. ALL FINISH WORK SHALL BE PROTECTED FROM DAMAGE AND CONSTRUCTION ACTIVITIES. ALL DAMAGE
RENDERINGS	SATISFACTION BY THE CONTRACTOR AT NO COST TO THE OWNER. 24. ALL NEW FINISH MILLWORK IS TO BE PROTECTED FROM UNNECESSARY DAMAGE BY CONSTRUCTION A 25. AVOID DAMAGING CORROSION PROTECTIVE COATINGS AND MEMBRANES, NEW OR EXISTING. UNLESS
EXISTING PLAN	AVOID DAMAGING MEMBRANES, FLASHING AND PROTECTION BOARD LAYERS. SEAL UNAVOIDABLE PEN OR ABRASION BY TOOLS OR REMNANTS. 26. FOR THE SPECIFIC PAINT SYSTEM PRODUCTS SUBMITTED BY THE CONTRACTOR FOR USE ON THE PRO
DEMOLITION PLAN	PRODUCTS, CONFERRING WITH THE MANUFACTURE(S) AS NEEDED, AND FIELD TEST FOR ACCEPTABLE 27. ISOLATE DISSIMILAR METALS AND CORROSIVE MATERIALS FROM DIRECT CONTACT BY THE USE OF NEU ACTION.
DEMOLITION ELEVATION	28. ALL WOOD SILLS SET ON CONCRETE ARE TO BE ANCHORED WITH ANCHOR BOLTS AND PRESERVATIVE 29. ALL INTERIOR WOOD BLOCKING IS TO BE FIRE TREATED. 30. FURNISH AND INSTALL WOOD BLOCKING WITHIN WALL ASSEMBLIES TO FACILITATE THE SUPPORT AND
PROPOSED SITE PLAN	SHALL BE FIRE RESISTANCE TREATED. 31. PROVIDE WOOD BLOCKING WITHIN WALLS FOR ARTWORK WHERE INDICATED OR DETERMINED BY THE
PROPOSED PLAN	32. REFER TO THE SPECIFICATIONS AND DETAILS FOR ANY FIREPROOFING REQUIREMENTS OF STEEL. ALL 33. ALL PIPE, CONDUIT, WIRE, AND DUCT PENETRATIONS THROUGH WALLS, FLOORS, SLABS, AND CEILING REQUIRED. ALL CONTROL JOINTS (VERTICAL AND HORIZONTAL) AT FIRE RATED WALLS ARE TO BE FIRE
PROPOSED ELEVATION	REQUIRED. 34. ALL PIPE, CONDUIT, WIRE, AND DUCT PENETRATIONS THROUGH MASONRY WALLS, FLOORS, SLABS, AN WALL IS SPECIFICALLY RATED OR NOT.
PROPOSED SECTION	35. ALL PIPE, CONDUIT, WIRE, AND DUCT PENETRATIONS THROUGH WALLS, FLOORS, AND CEILINGS ARE TO 36. PROVIDE CONTROL JOINTS IN PLASTER, GYPSUM WALLBOARD/VENEER PLASTER SYSTEMS. FURNISH T PROVIDE CONTROL JOINTS AT CHANGES IN SUBSTRATE OR WHERE POTENTIAL EXISTS FOR DIFFERENT
PROPOSED EPS	37. JOINT SEALERS SHALL BE INSTALLED USING A BACKER ROD TO REDUCE THE DEPTH OF THE JOINT SO 38. MOCK-UPS SHALL PROCEED ON THE BASIS OF APPROVED MATERIALS, SYSTEMS, COLORS, FINISHES A FIELD AND SAMPLE MOCK-UPS ARE TO BE ERECTED AND MAINTAINED ON SITE FOR THE DURATION OF
LIGHTING & SIGNAGE	SATISFACTORY SHALL BE REPRESENTATIVE OF THE CONSISTENT STANDARD OF DETAIL, QUALITY AND THE MOCK-UP ARE SUBJECT TO CORRECTION OR REPETITION BY THE CONTRACTOR, AS PART OF THE
RESTORATION	STANDARD PRIOR TO PROCEEDING WITH THE PRINCIPLE WORK IN PLACE. 39. ALL MATERIALS EXPOSED TO VIEW SHALL BE PAINTED, UNLESS OTHERWISE INDICATED. EXCEPTIONS:
APPENDIX	



ENCE, OR TEMPORARY SHORING SYSTEM, AS SHOWN ANYWHERE IN THE CONTRACT DOCUMENTS (DRAWINGS AND/OR OD OR SEQUENCE OF ACCOMPLISHING THE WORK, TO DEMONSTRATE FEASIBILITY IN PRINCIPLE ONLY, UNLESS GING, OR TEMPORARY SHORING IN THE CONTRACT DOCUMENTS ARE DEEMED SUGGESTIONS FOR CONSIDERATION ONLY ATE TO THE CONTRACTOR CONSTRUCTION MEANS AND METHODS OR SEQUENCING FOR THE WORK, UNLESS OTHERWISE R SEQUENCING OF THE CONSTRUCTION WORK ARE SOLELY THE CHOICE AND RESPONSIBILITY OF THE CONTRACTOR. G IN THE CONTRACT DOCUMENTS ARE SHOWN ONLY FOR THOSE ASPECTS OF THE WORK WHERE COMPLEXITY, UNIQUE CIAL ATTENTION REQUIRED BY THE CONTRACTOR. SUCH ILLUSTRATIONS OR DESCRIPTIONS OF CONSTRUCTION ED IN ANY WAY AS LIMITING THE WORK REQUIRING SEQUENCING OR TEMPORARY SHORING TO ONLY THOSE ASPECTS ENTIFY, PLAN FOR, ENGINEER AND DETAIL, AND PROVIDE ALL CONSTRUCTION SEQUENCING, STAGING, AND TEMPORARY FOR THIS PROJECT.

) ADDRESSED BY THE CONTRACTOR'S LOGISTICS.

RK IS TO BE BLENDED INTO ADJACENT AREAS WHICH ARE IN SOUND CONDITION FOR UNIFORM FINISHED APPEARANCE. EXTURE AND COLOR AS APPLICABLE. THE INTENT IS TO PROVIDE WORK WHICH MATCHES THE ORIGINAL WORK AND IS "AS-ION AT END OF CONSTRUCTION. CUT ALL EDGES OF MATERIALS IN A NEAT MANNER SUITABLE FOR FINISH APPEARANCE, IALS PRACTICAL; AVOID EXCESSIVE OR CUMULATIVE SMALL PIECES.

GE FROM CONTRACTOR'S CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND/OR REPLACED TO THE OWNER'S

ACTIVITIES. THE CONTRACTOR AND ALL TRADES SHALL PROTECT THE FINISH WORK FROM THEIR RESPECTIVE ACTIVITIES. S INTENDED BY DESIGN. USE FASTENING METHODS WHICH DO NOT PENETRATE COATINGS. MEMBRANES AND FLASHINGS. NETRATIONS. PROTECT MEMBRANES FROM CHEMICAL ATTACK FROM ACCIDENTAL SOLVENT SPILLS AND FROM CUTTING

ROJECT, THE CONTRACTOR WITH THE PAINTING SUBCONTRACTOR(S) SHALL VERIFY THE COMPATIBILITY OF THE VARIOUS E ADHESION TO SUBSTRATES BEFORE PROCEEDING FURTHER WITH THE WORK. EOPRENE OR EPDM WASHERS/GASKETS OR BY OTHER SUITABLE MEANS TO ELIMINATE OPPORTUNITIES FOR GALVANIC

VE TREATED. ALL ROOF BLOCKING IS TO BE PRESSURE PRESERVATIVE TREATED.

ID ATTACHMENT OF ALL FIXTURES AND EQUIPMENT, ACCESSORIES, AND FIXED FURNISHINGS. ALL CONCEALED BLOCKING

IE ARCHITECT.

L APPLIED FIREPROOFING IS TO CONFORM TO APPROPRIATE UL RATED TEST ASSEMBLIES.

G ASSEMBLIES ARE TO BE FIRESTOPPED MAINTAINING FIRE RATINGS WHERE ASSEMBLY OR COMPONENT RATING IS RE STOPPED WITH FIRE SEALANT SYSTEMS, MAINTAINING FIRE RATINGS WHERE ASSEMBLY OR COMPONENT RATING IS

AND CEILING DECKS ARE TO BE FIRESTOPPED MAINTAINING NOMINAL TWO-HOUR FIRE RATINGS, WHETHER MASONRY

TO BE ACOUSTICALLY SEALED TO PREVENT THE TRANSMISSION OF NOISE.

TO AND REVIEW WITH THE ARCHITECT THE CONTROL JOINT LOCATION LAYOUT PRIOR TO PROCEEDING WITH THE WORK. NTIAL MOVEMENT.

O THAT THE SEALANT WILL HAVE AN HOURGLASS SHAPE OF MAXIMUM DEPTH AS RECOMMENDED BY THE MANUFACTURER. AND PRODUCTS, AFTER ACCEPTANCE OF THESE FUNDAMENTAL ITEMS THROUGH THE REQUIRED SUBMITTAL PROCESS. F THE PROJECT UNLESS OTHERWISE INDICATED BY THE OWNER AND ARCHITECT. MOCK-UPS ACCEPTED AS D WORKMANSHIP EXPECTED THROUGHOUT THE WORK OF THESE SYSTEMS. UNACCEPTABLE OR REJECTED ASPECTS OF E BASE SCOPE OF WORK, AT NO ADDED EXPENSE TO THE OWNER. MOCK-UPS MUST BE ACCOMPLISHED TO ACCEPTABLE

S: MATERIALS WITH FACTORY FINISH OR NATURAL FINISH, OR FINISH OTHERWISE INDICATED.









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

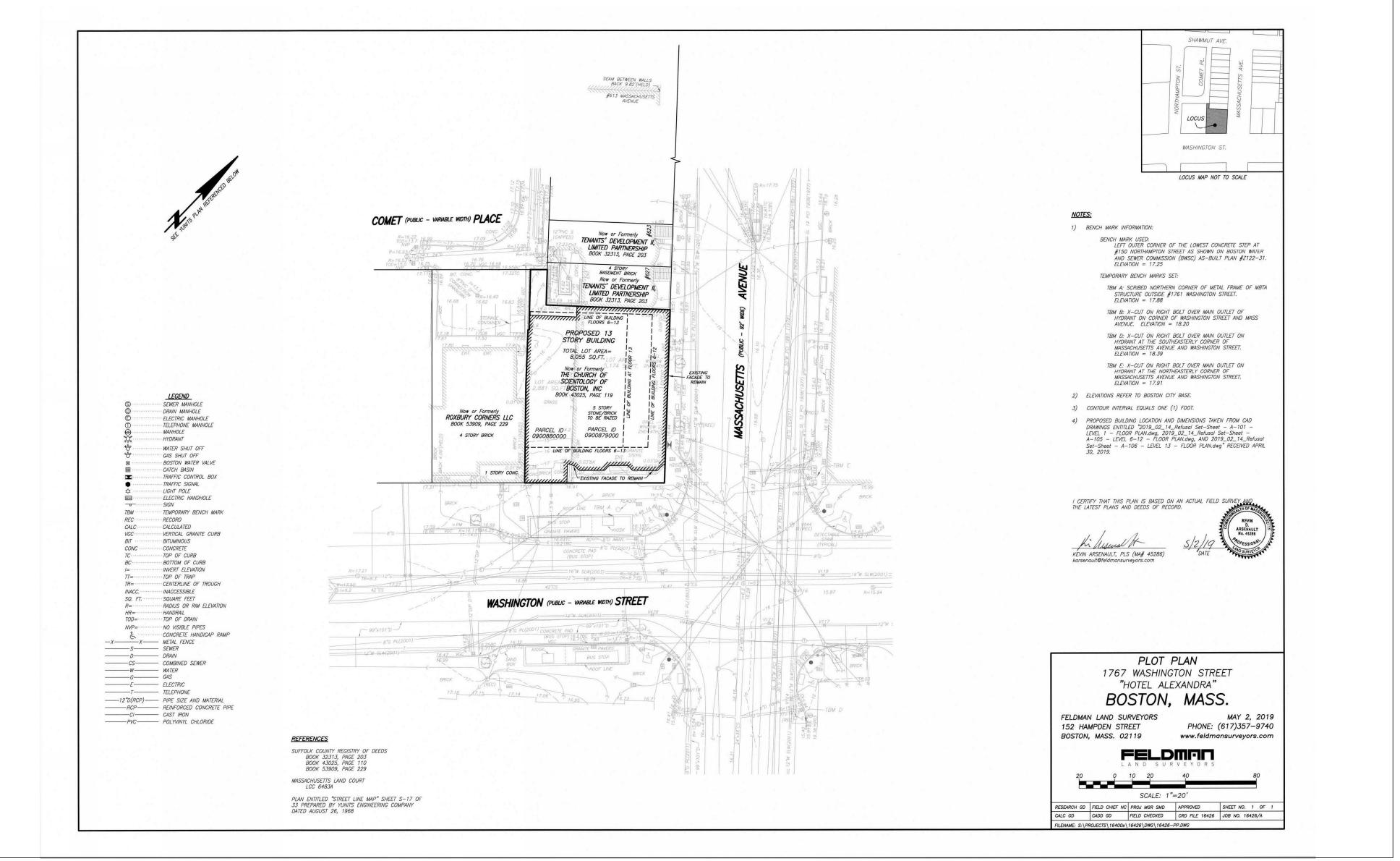
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





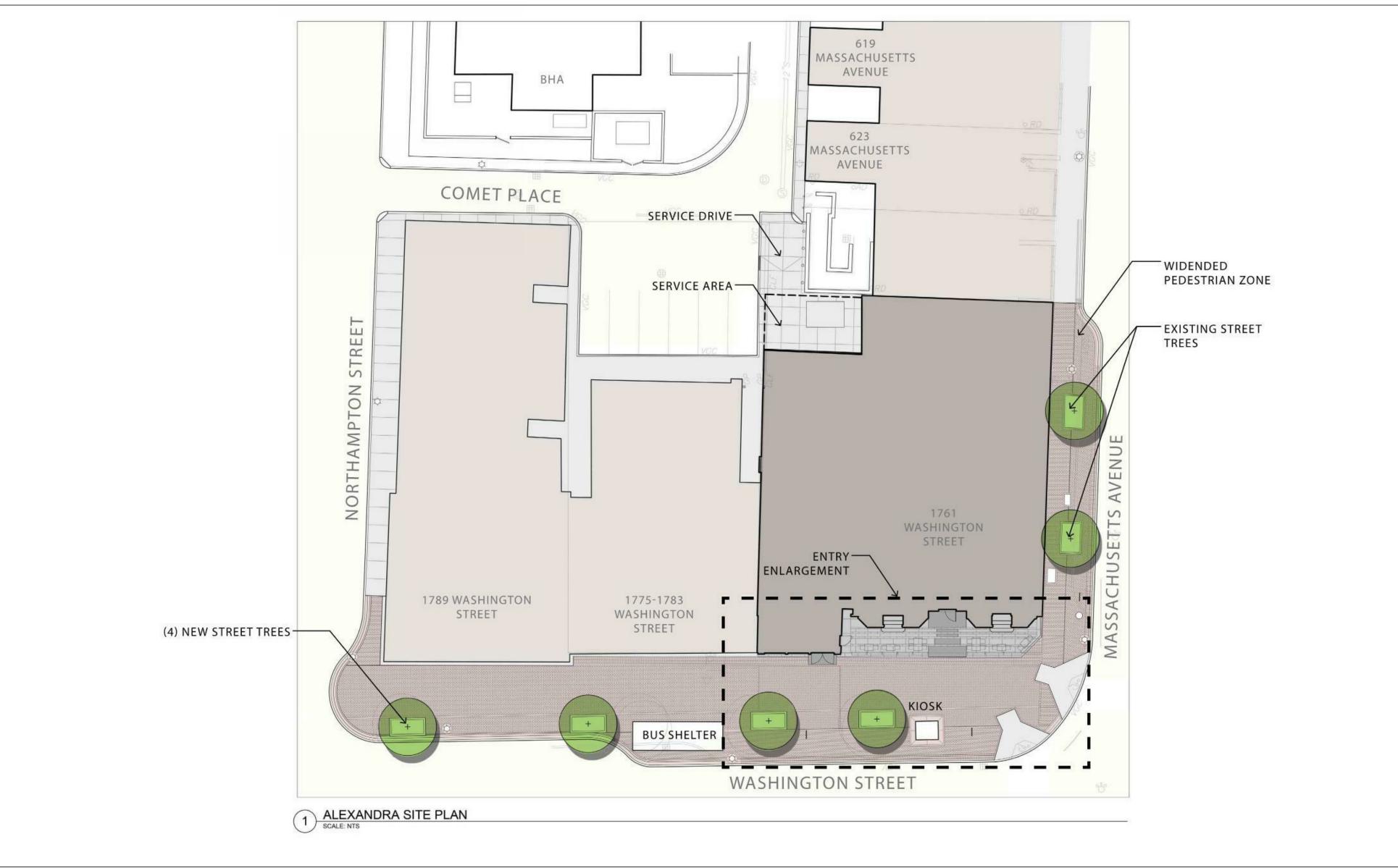
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED 1" = 50'-0" 185061.00 08.12.2019









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114

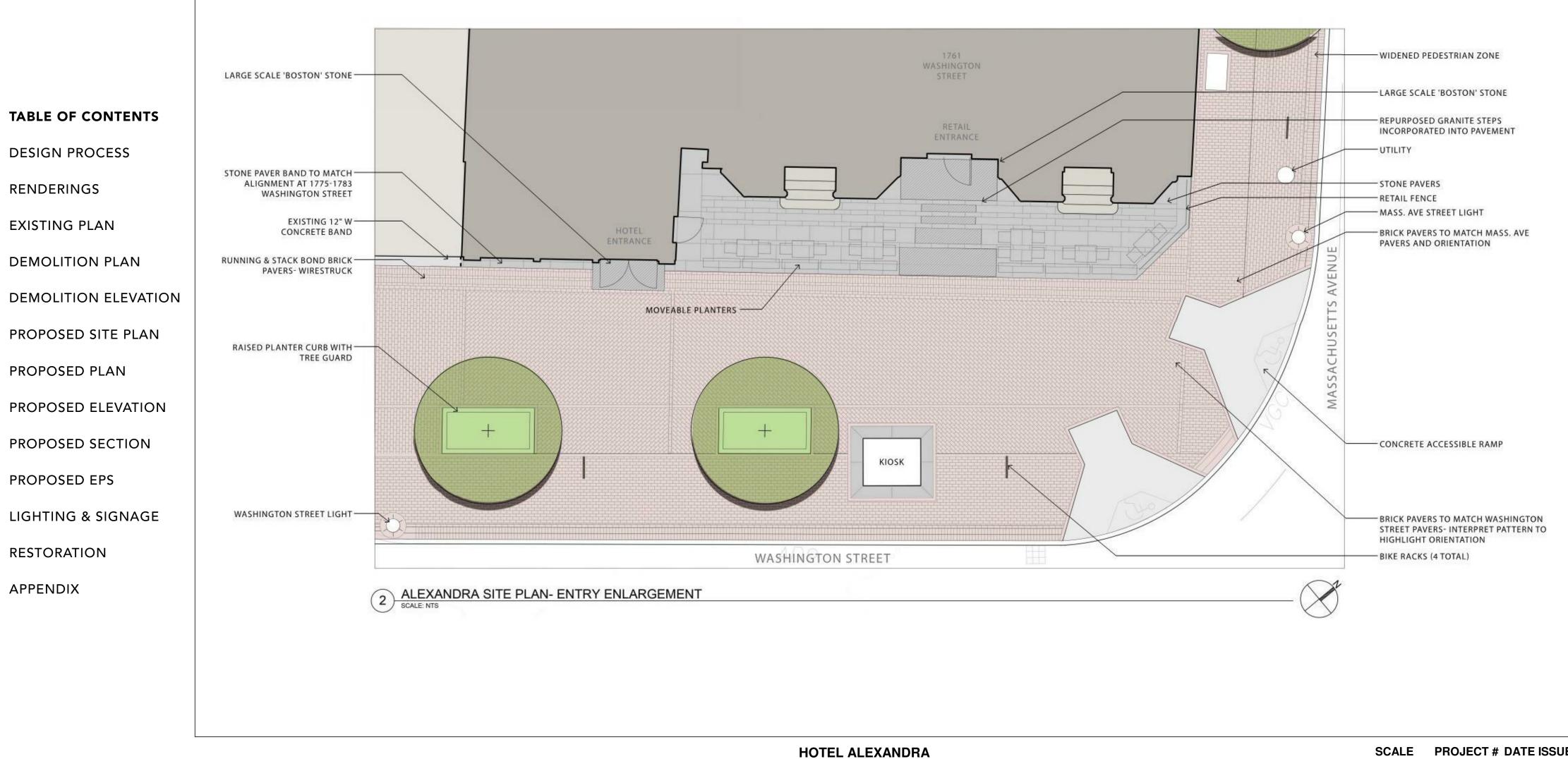


Copley Wolff Design Group Landacape Architecta & Planners









617 262 4354 cbtarchitects.com CDL617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114DGLandscape Architecta & Planners





RENDERINGS

EXISTING PLAN

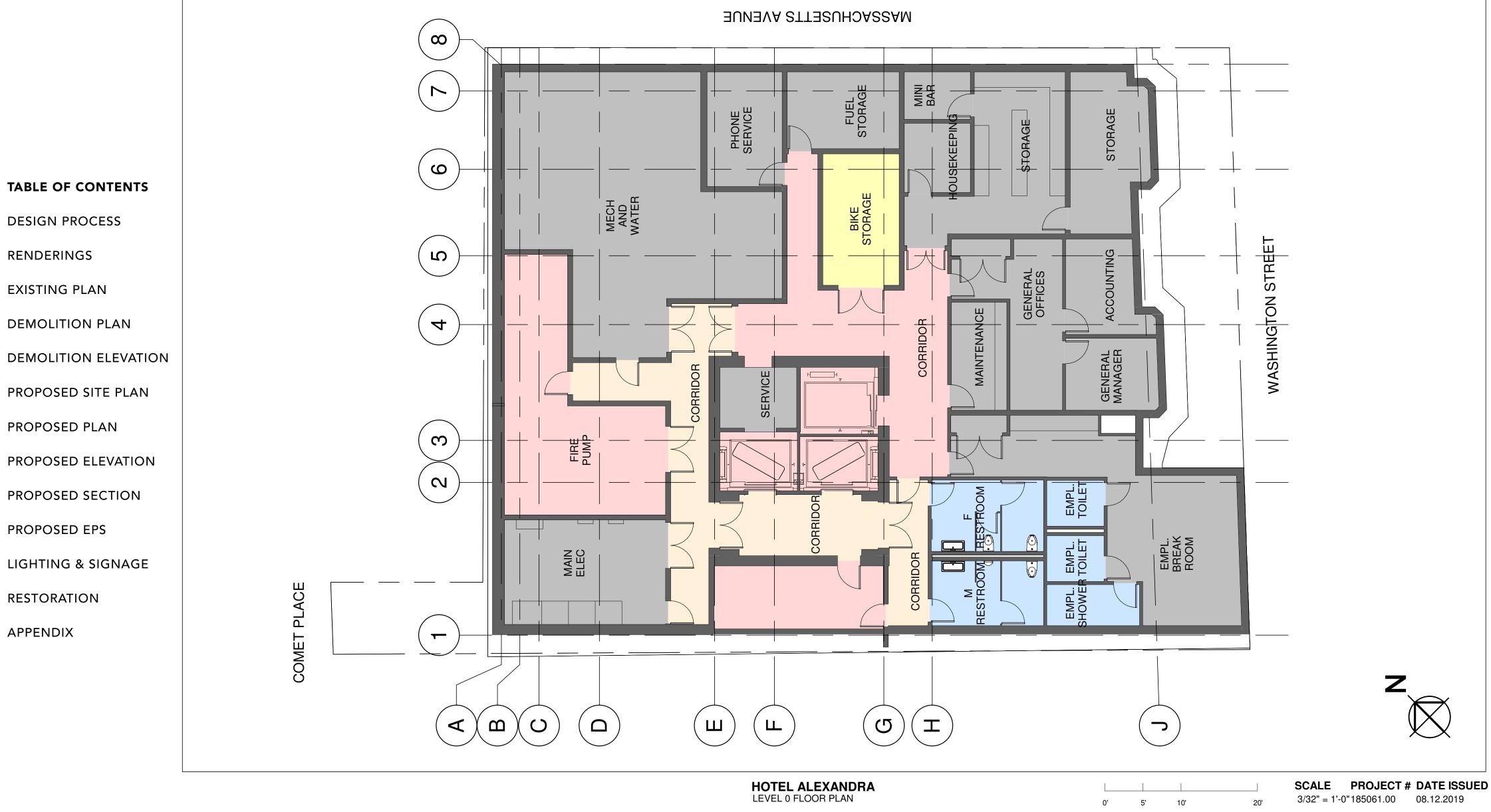
DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

ALEXANDRA PARTNERS, LLC

A100





RENDERINGS

EXISTING PLAN

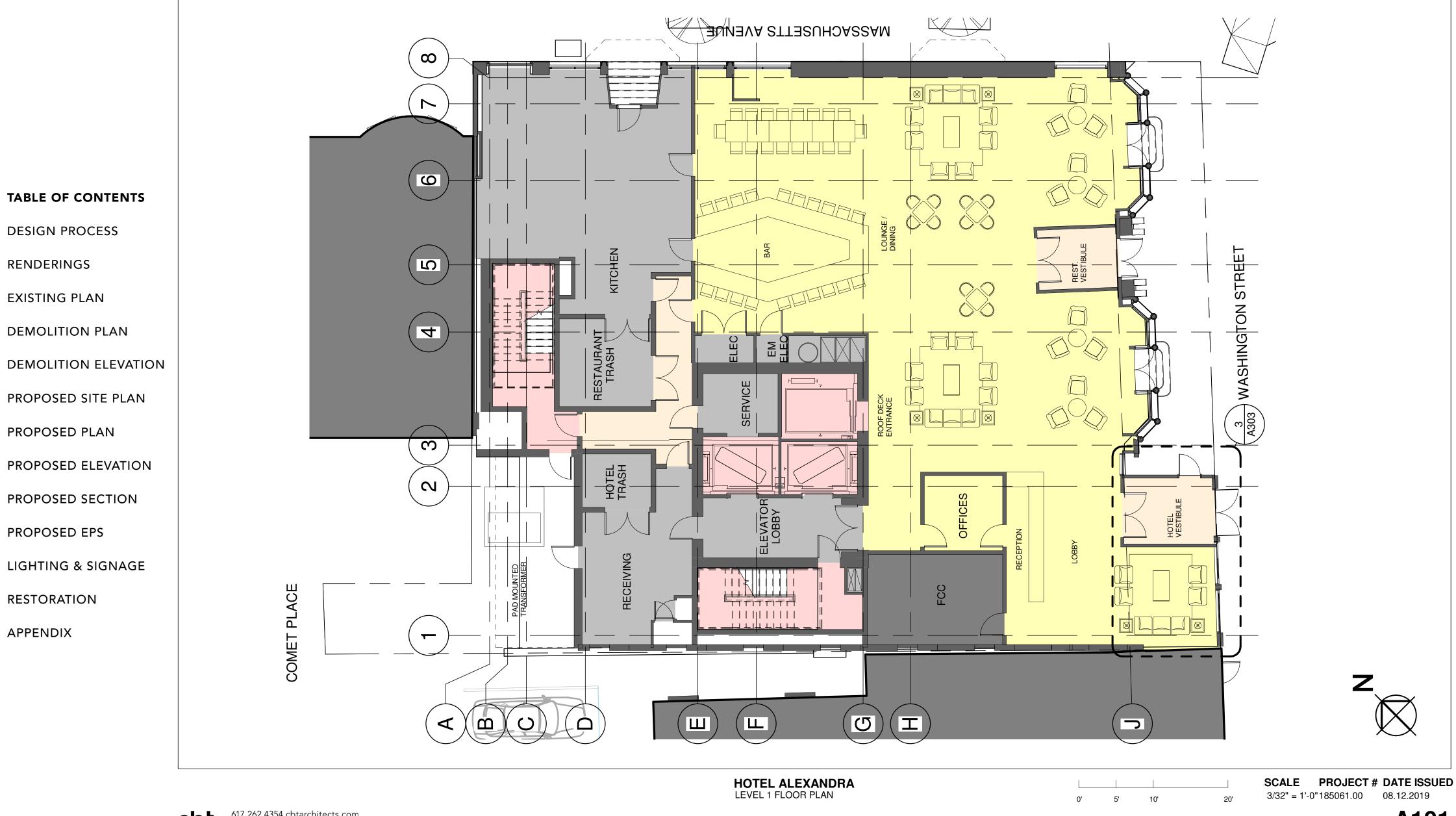
DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX



















RENDERINGS

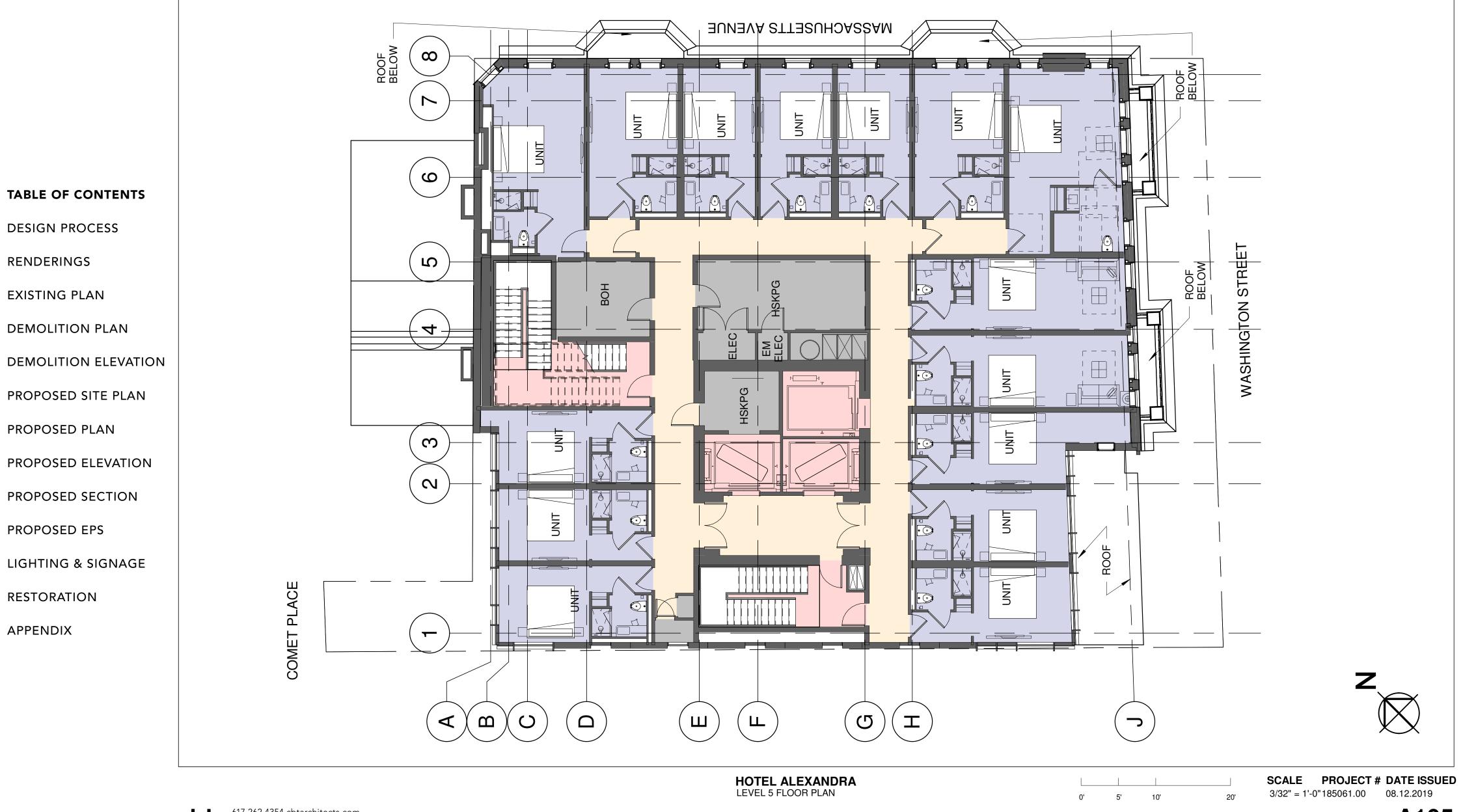
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX











DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

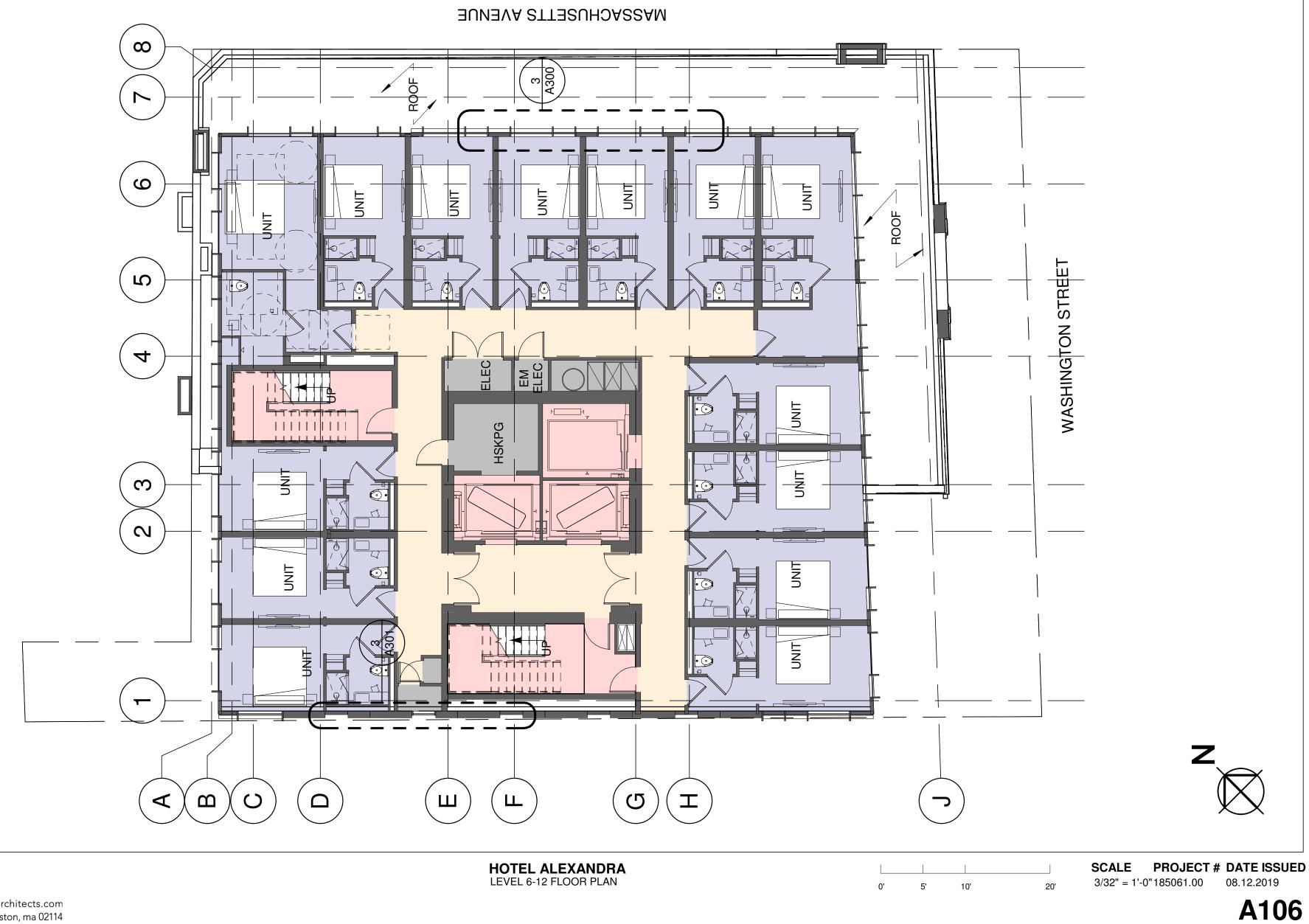
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

COMET PLACE











RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

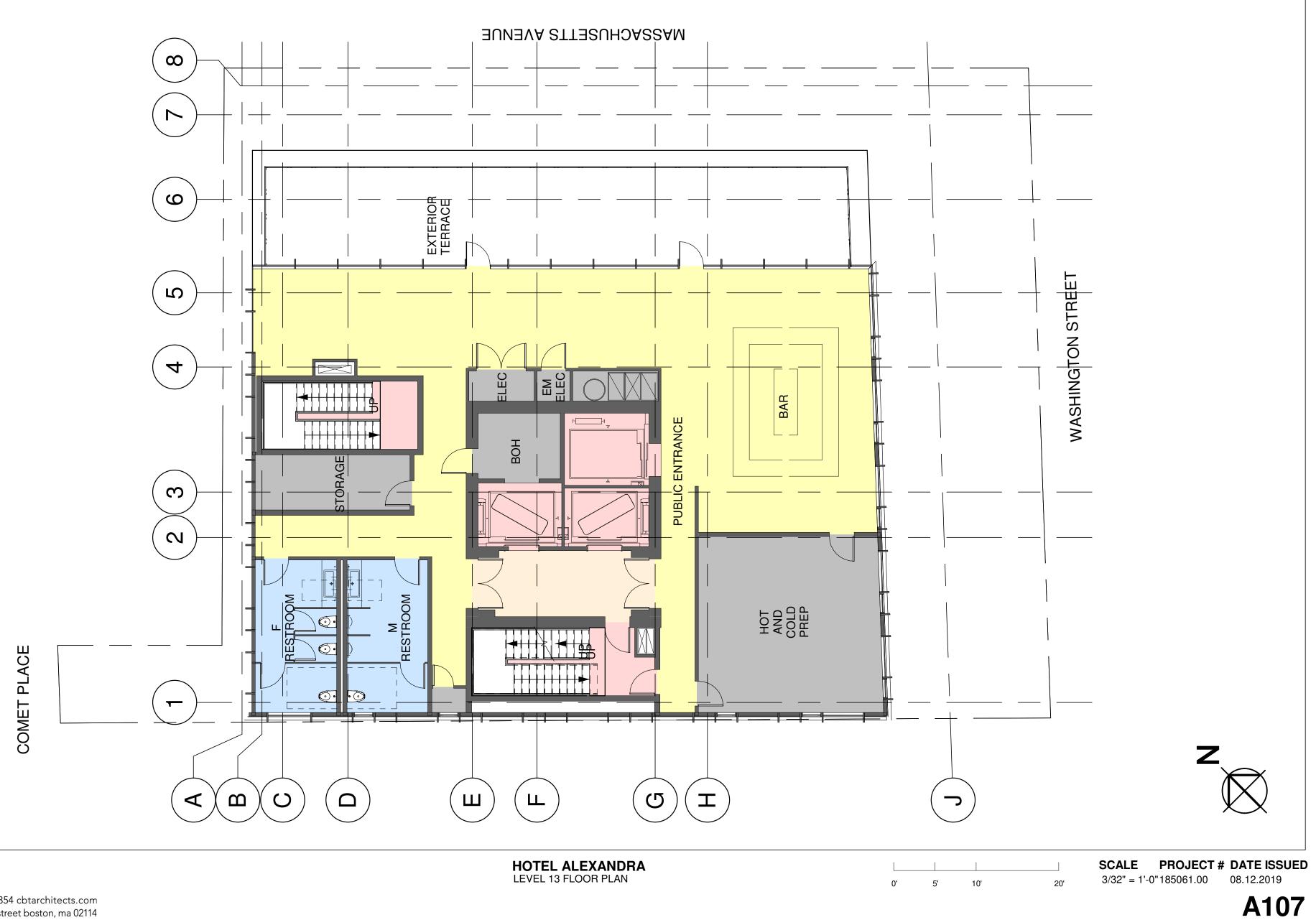
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX









ALEXANDRA PARTNERS, LLC

RENDERINGS

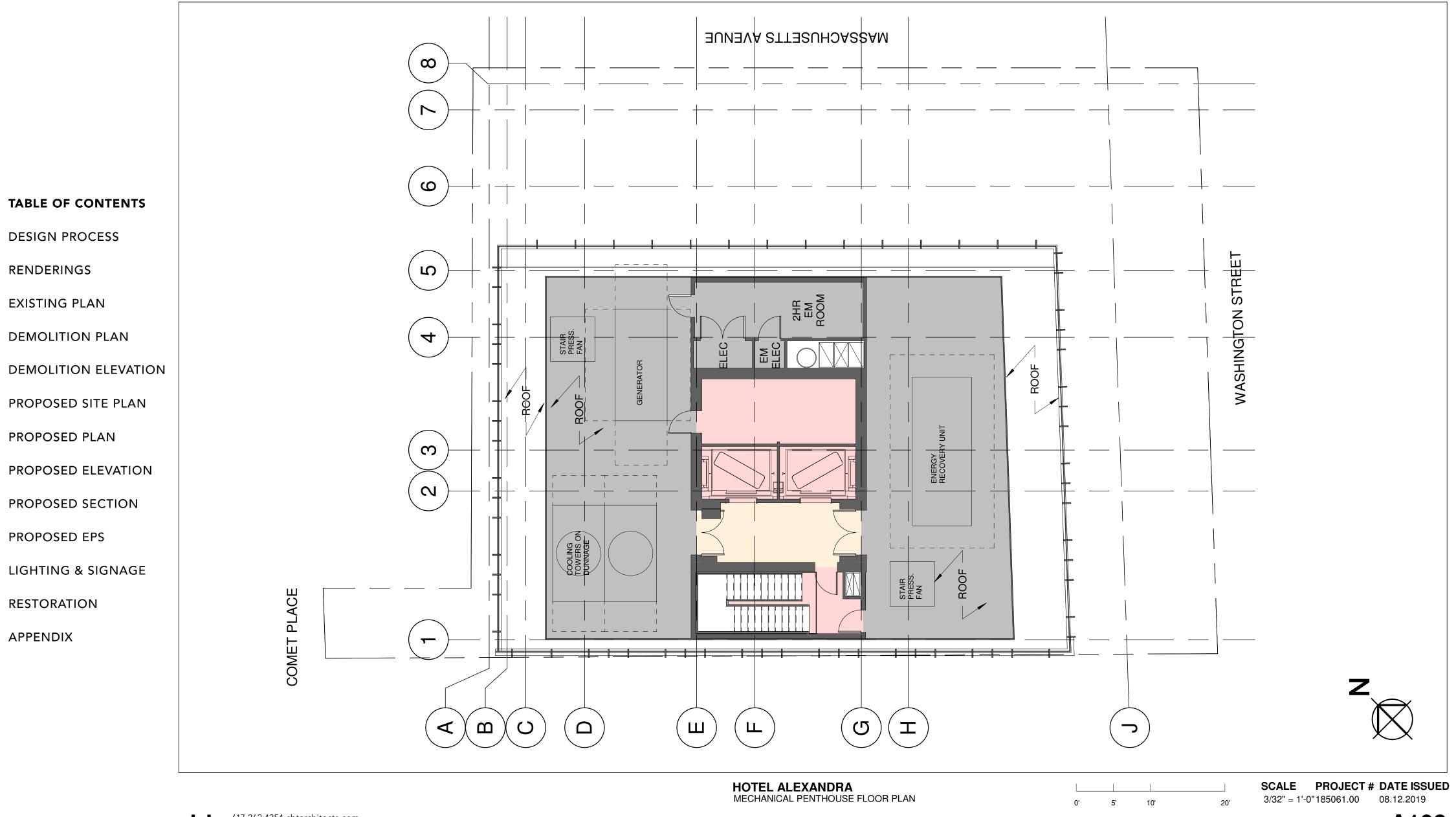
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX









RENDERINGS

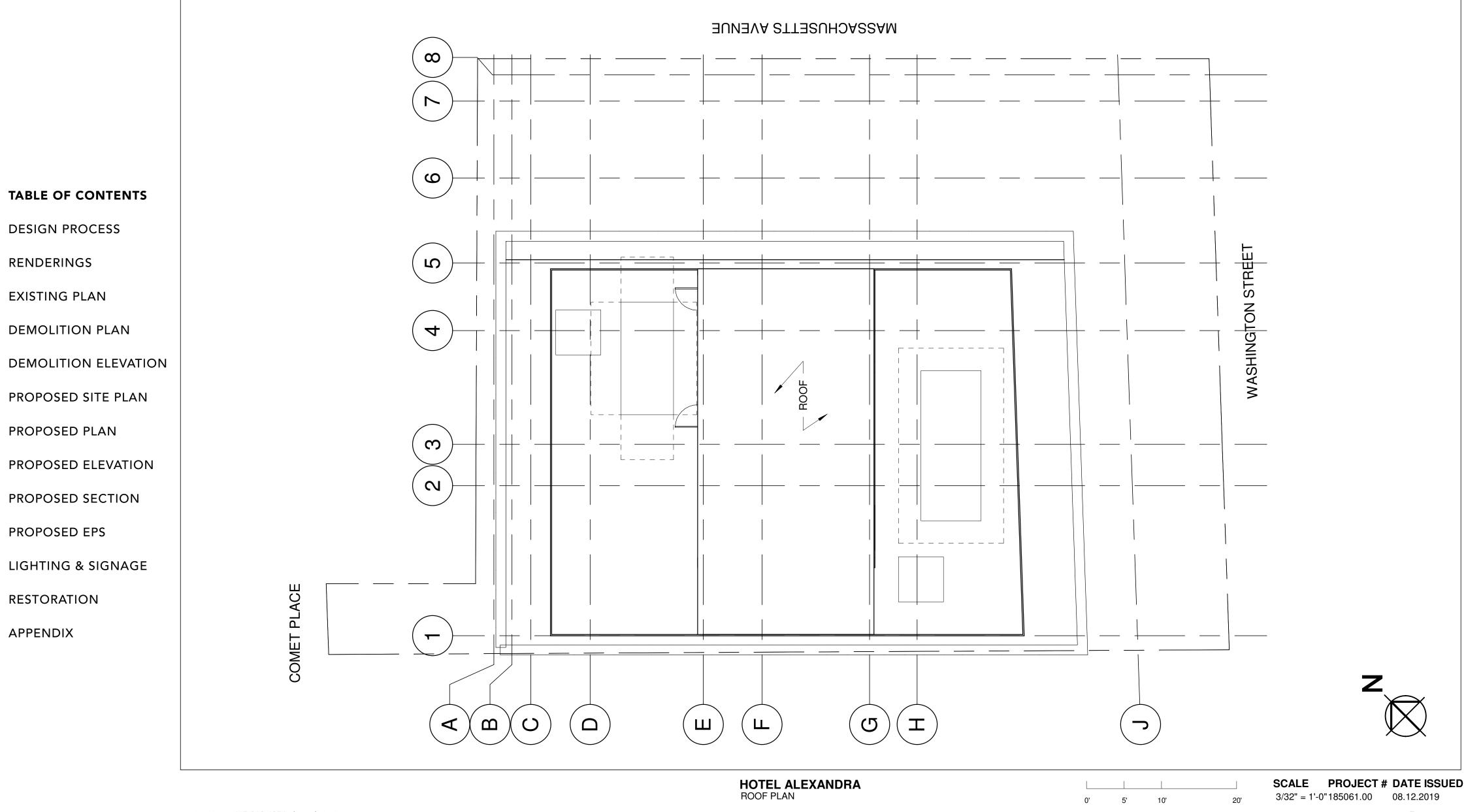
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

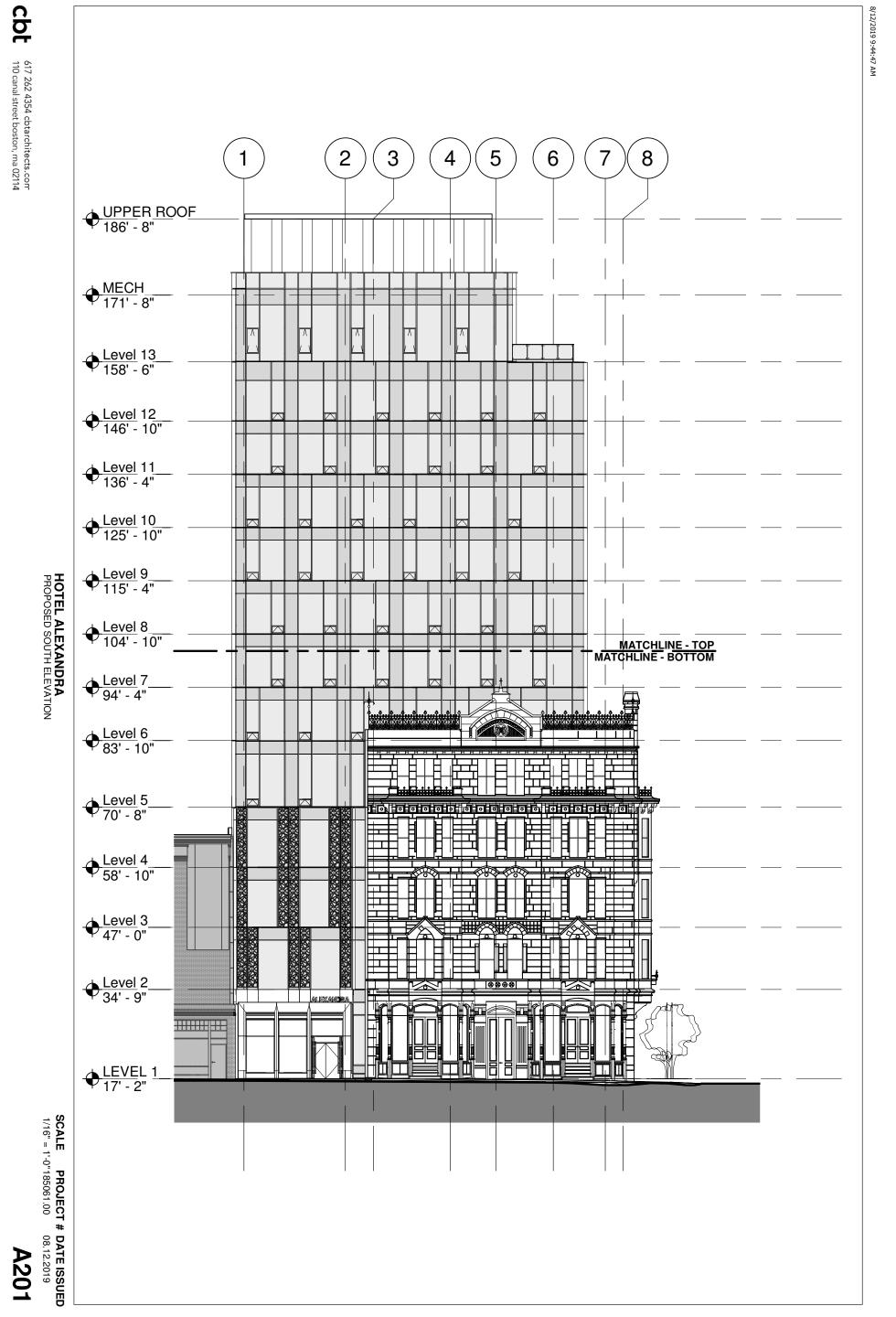
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



ALEXANDRA PARTNERS, LLC







RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

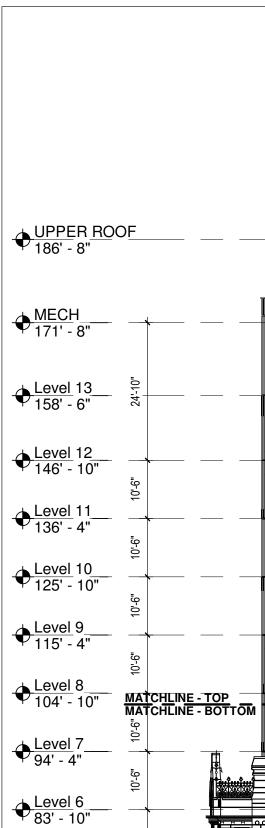
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

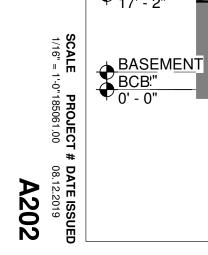


cbt

617 110

' 262 4354 . Canal stree

4 cbtarchitects.com het boston, ma 02114



HOTEL ALEXANDRA PROPOSED EAST ELEVATION

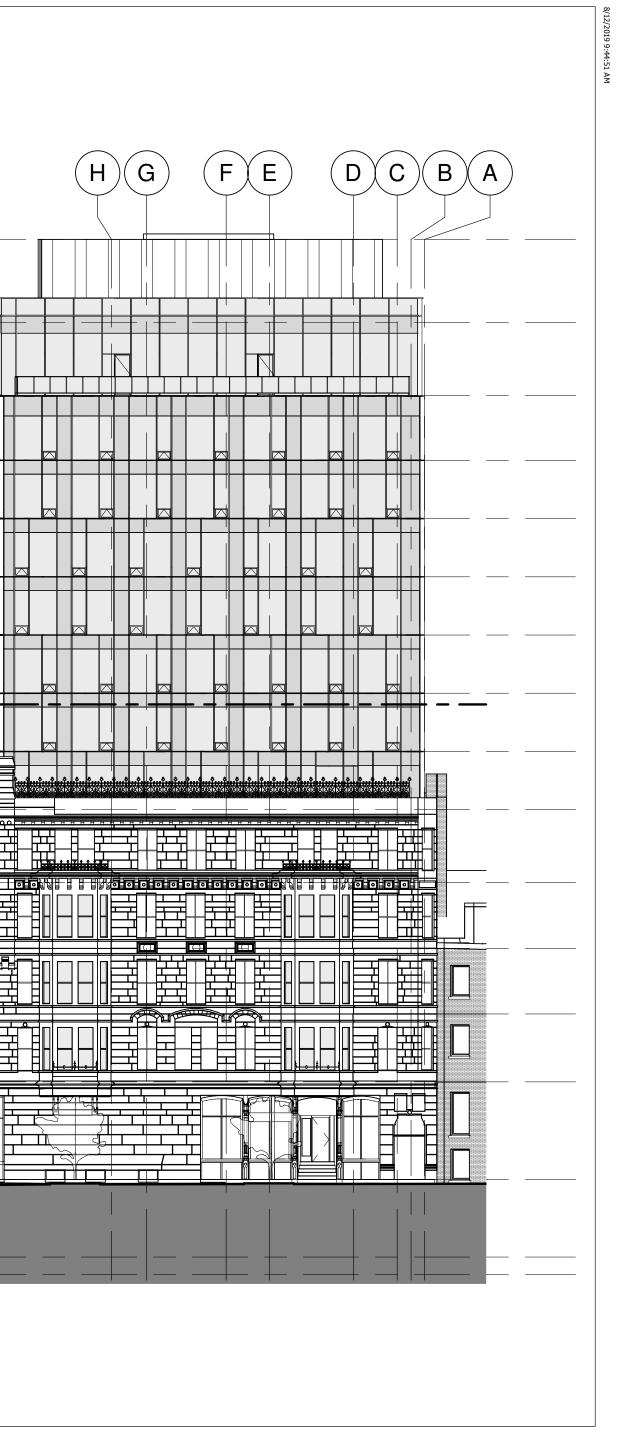
> € Level 5 70' - 8"

€ Level 4 58' - 10"

€ Level 3 47' - 0"

€ <u>Level</u> 2 34' - 9"

€ <u>LEVEL</u> <u>1</u> 17' - 2" <u>)</u> • •







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

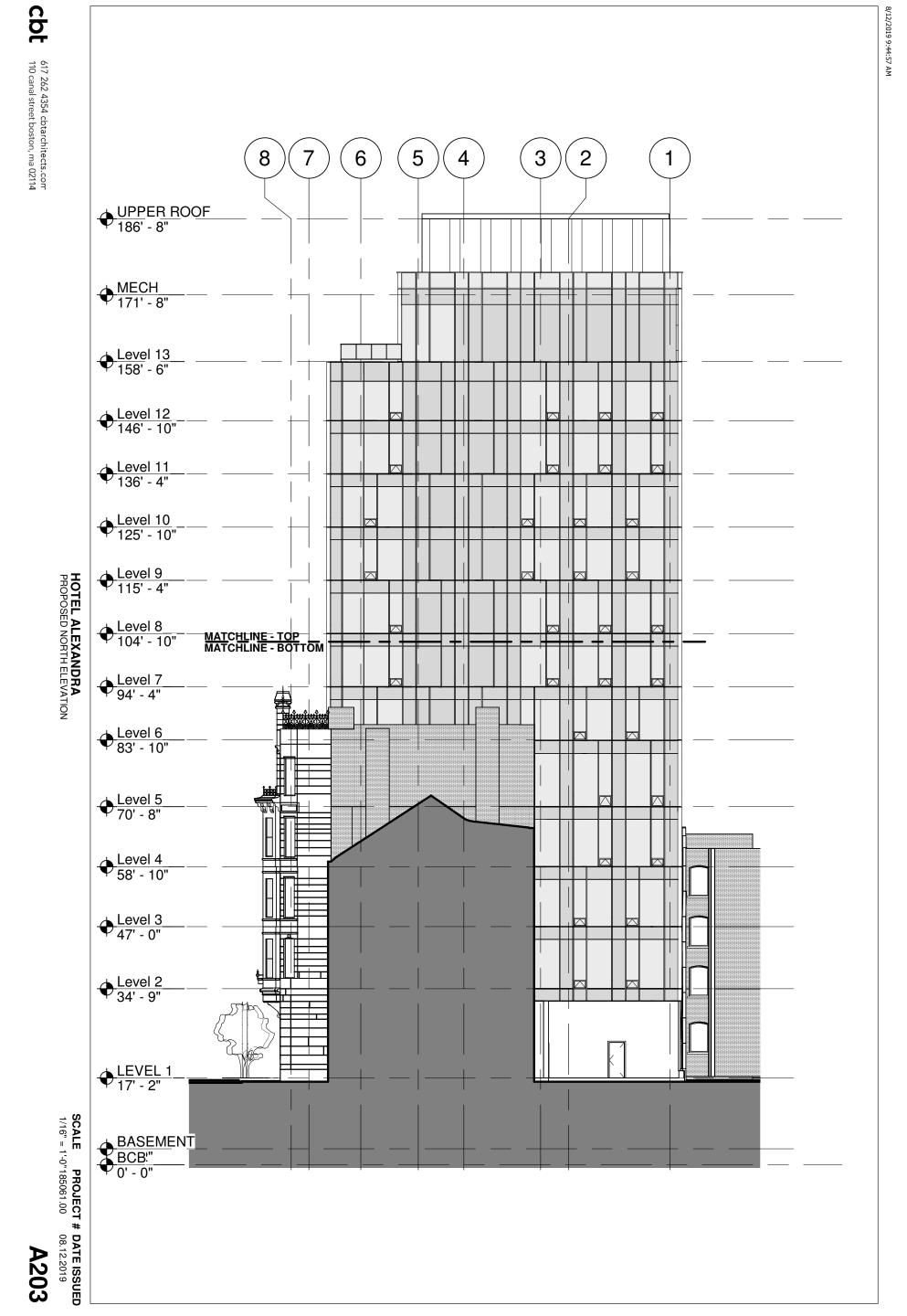
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



ALEXANDRA PARTNERS, LLC





DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

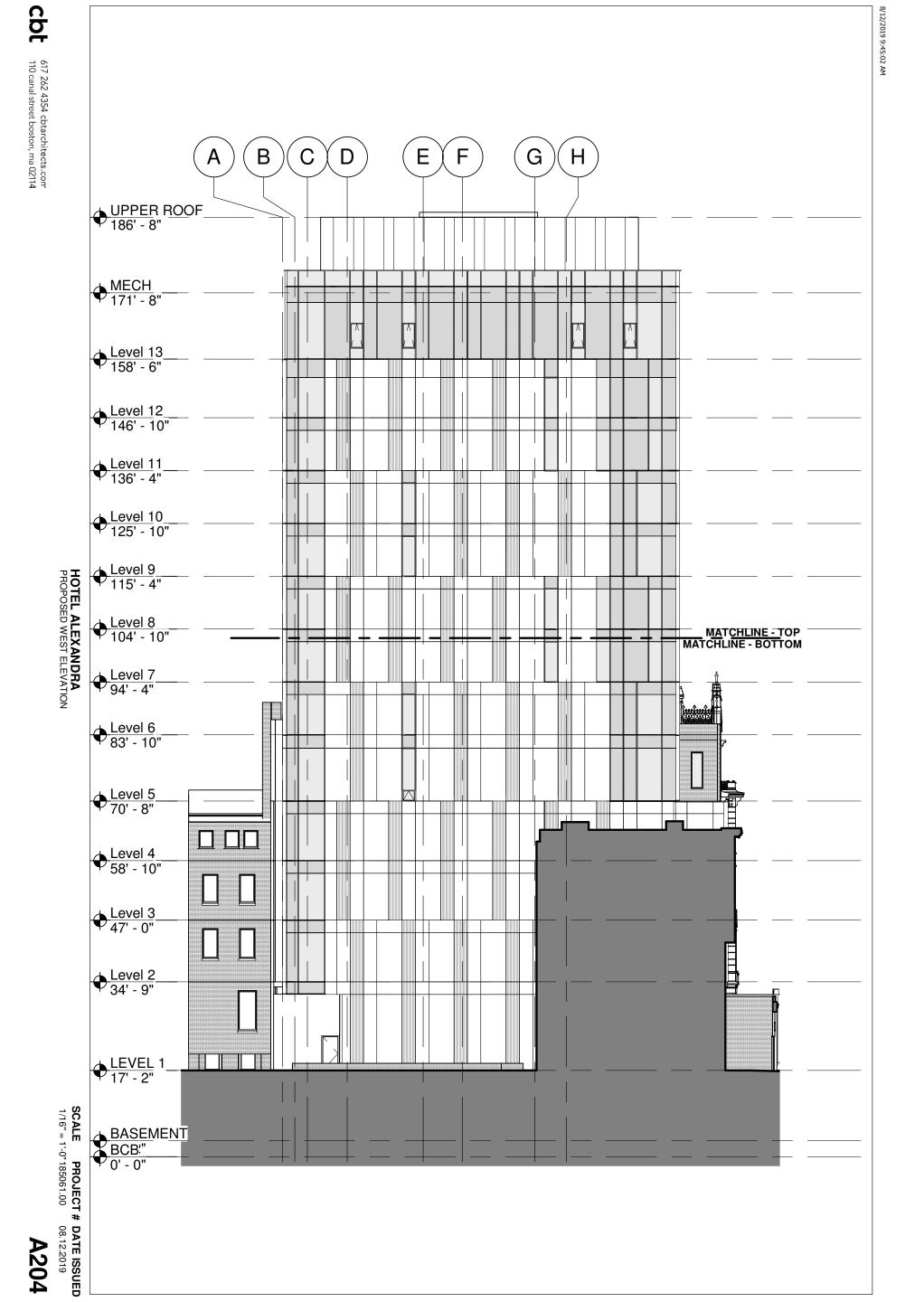
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



ALEXANDRA PARTNERS, LLC





DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

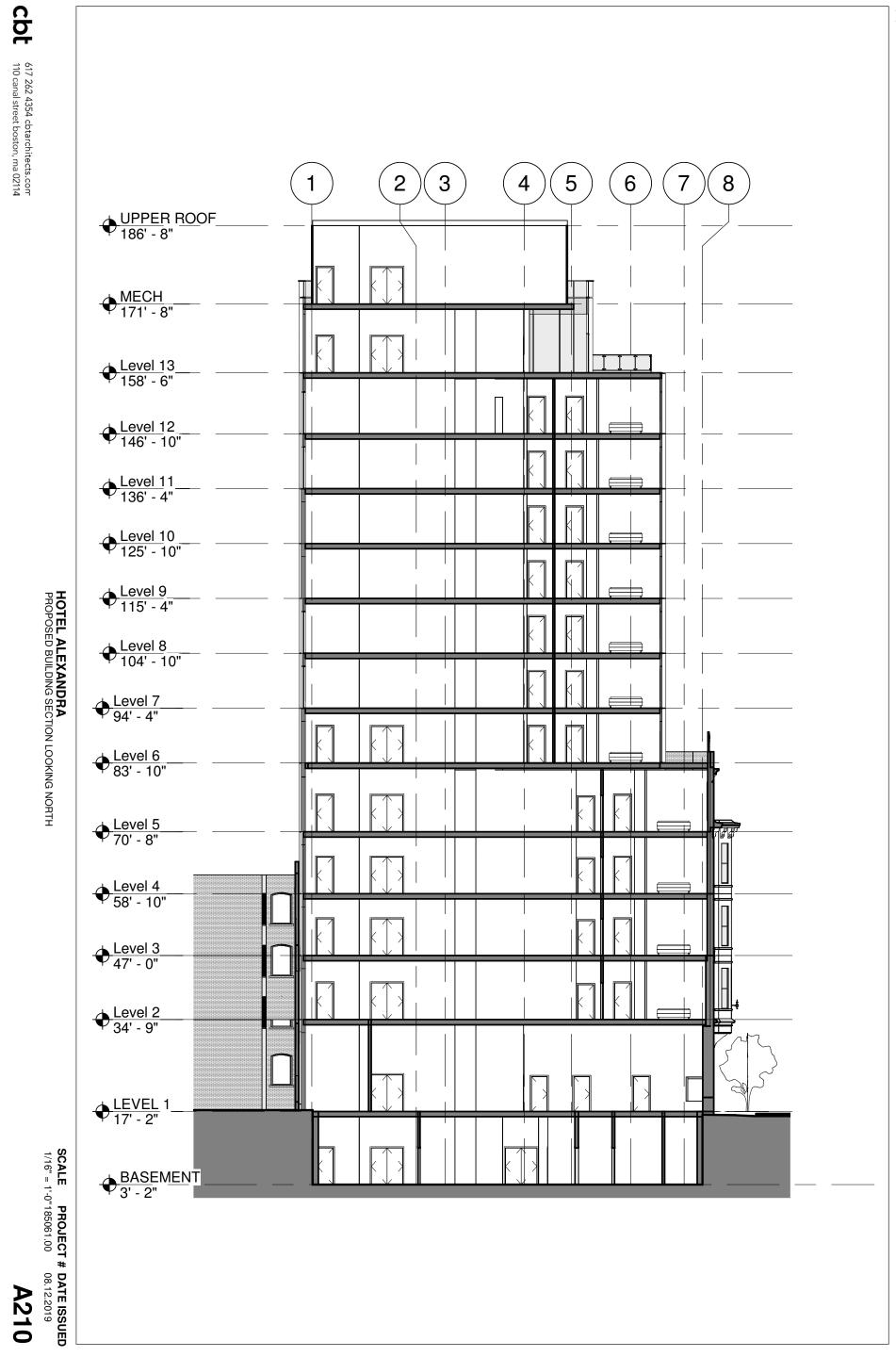
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX









RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

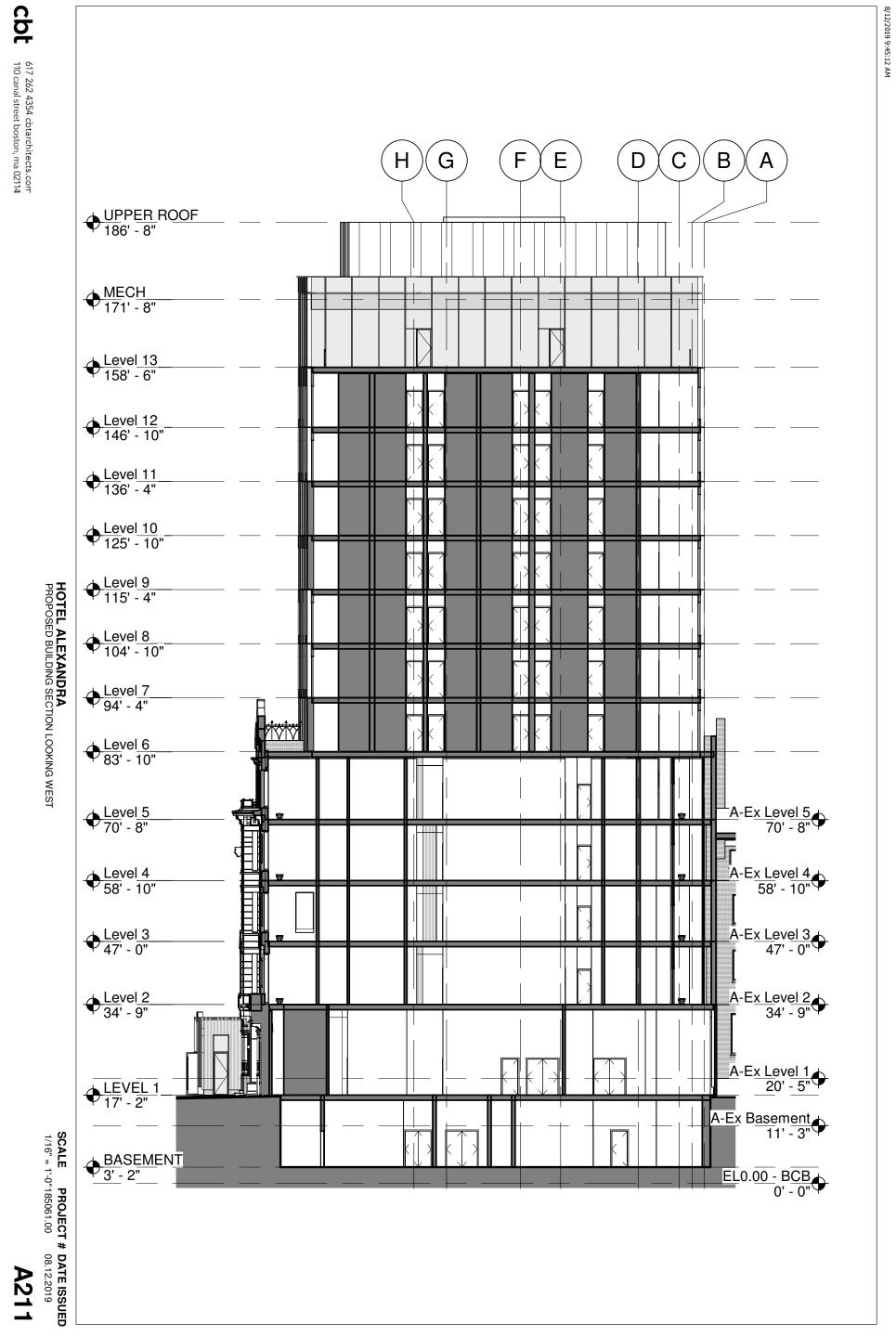
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX







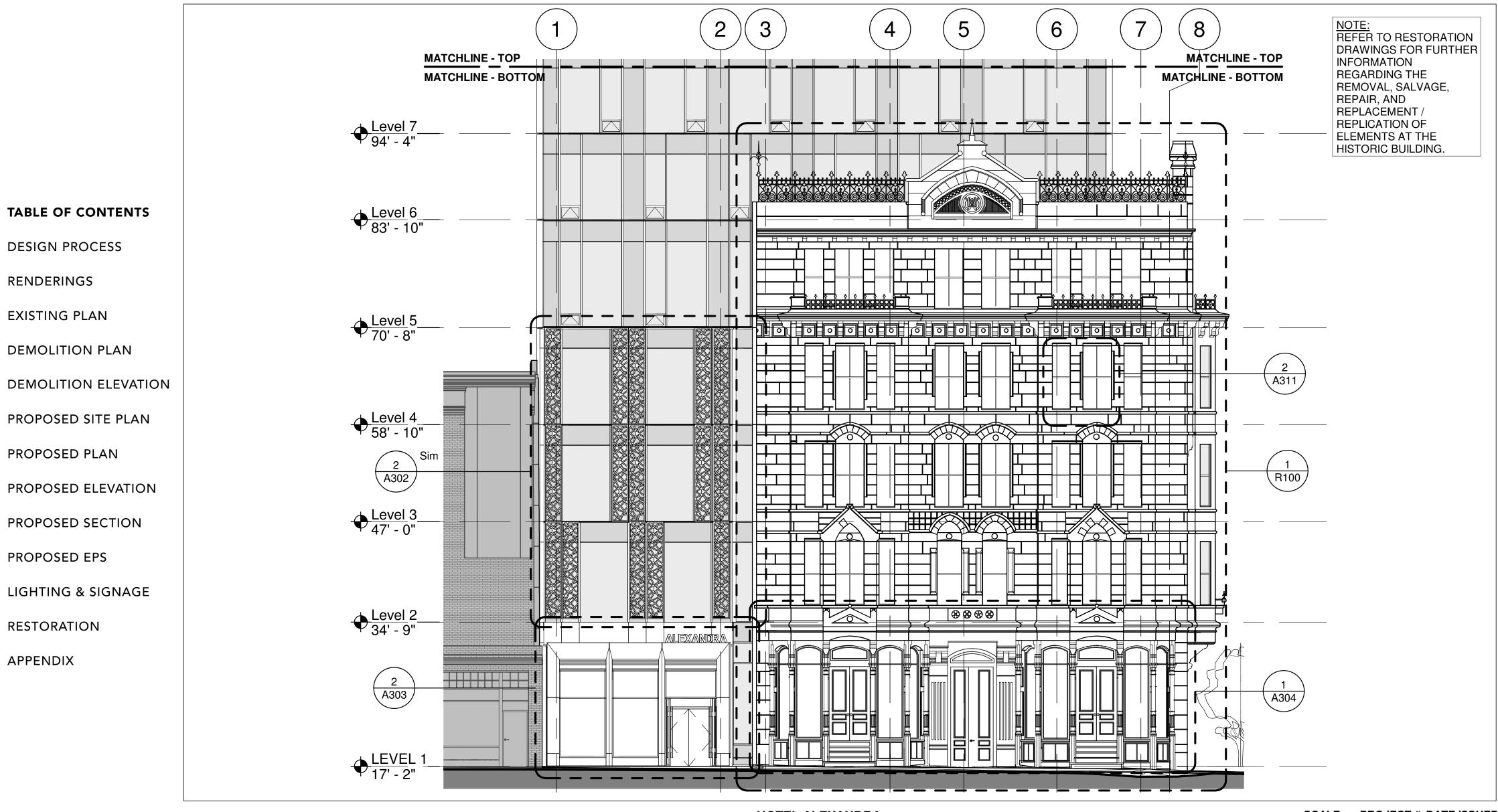
RENDERINGS

EXISTING PLAN

PROPOSED EPS

RESTORATION

APPENDIX



cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114 HOTEL ALEXANDRA PROPOSED ENLARGED SOUTH ELEVATION - BOTTOM SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







RENDERINGS

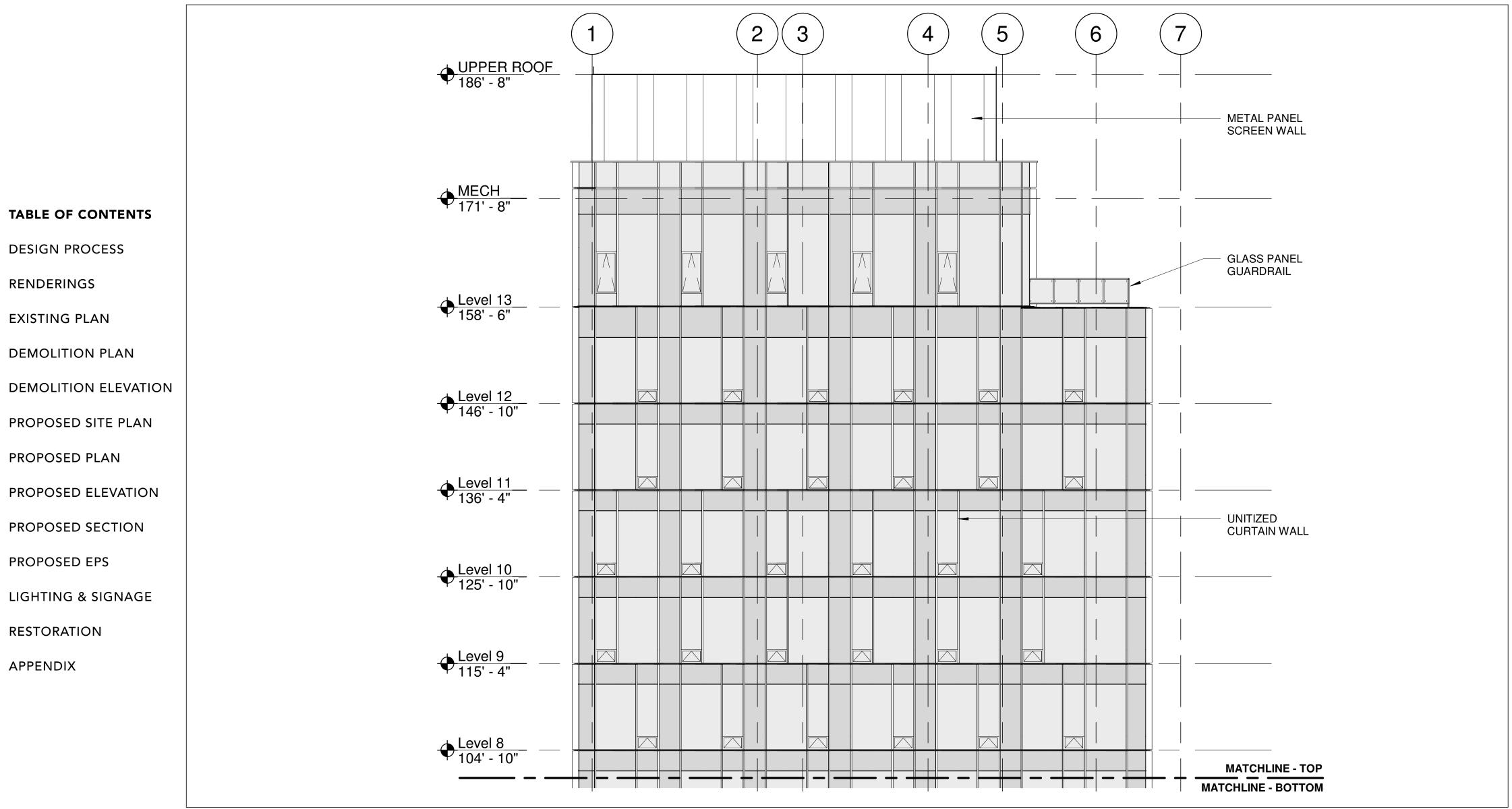
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED 1" = 10'-0" 185061.00 08.12.2019







RENDERINGS

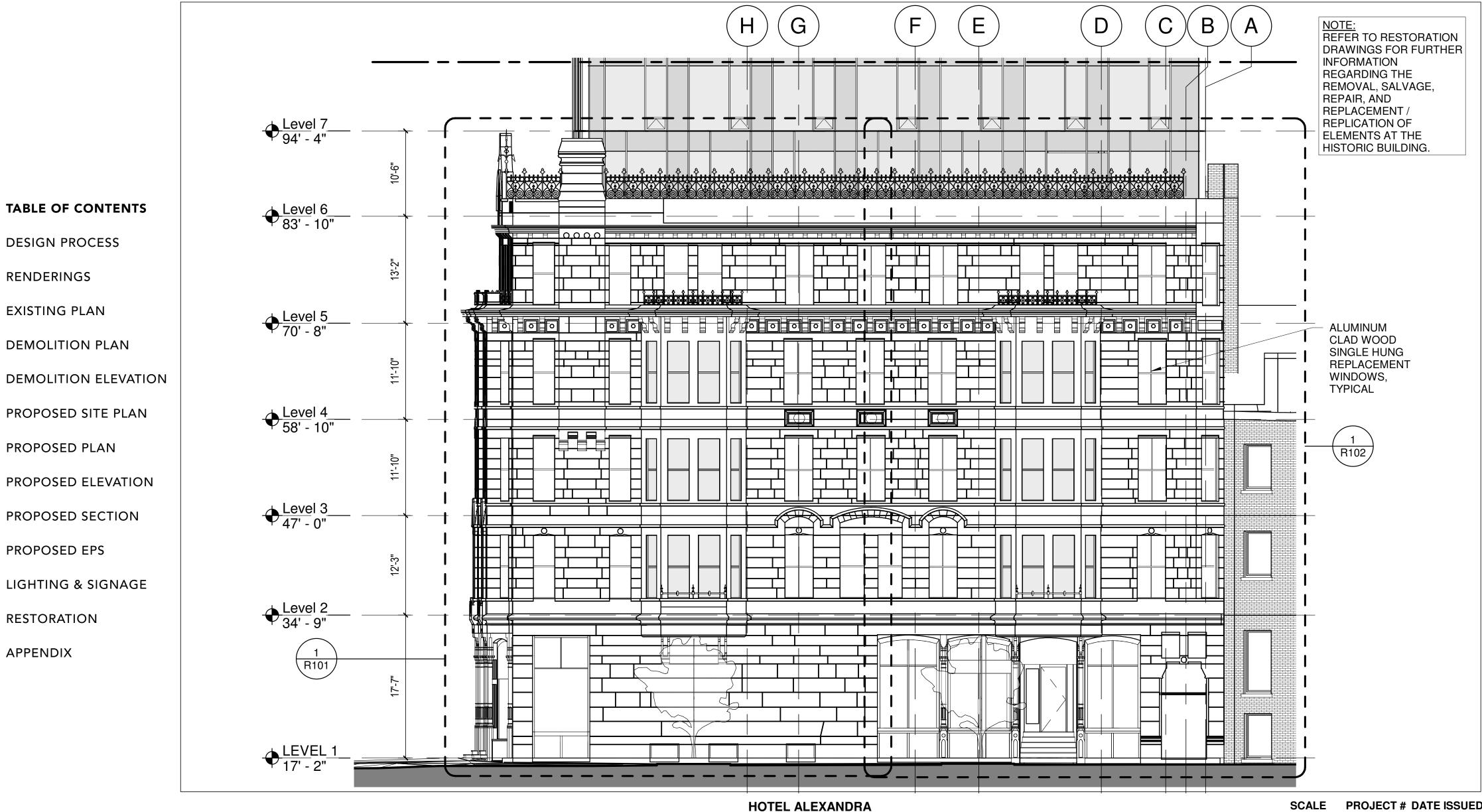
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX



cbt

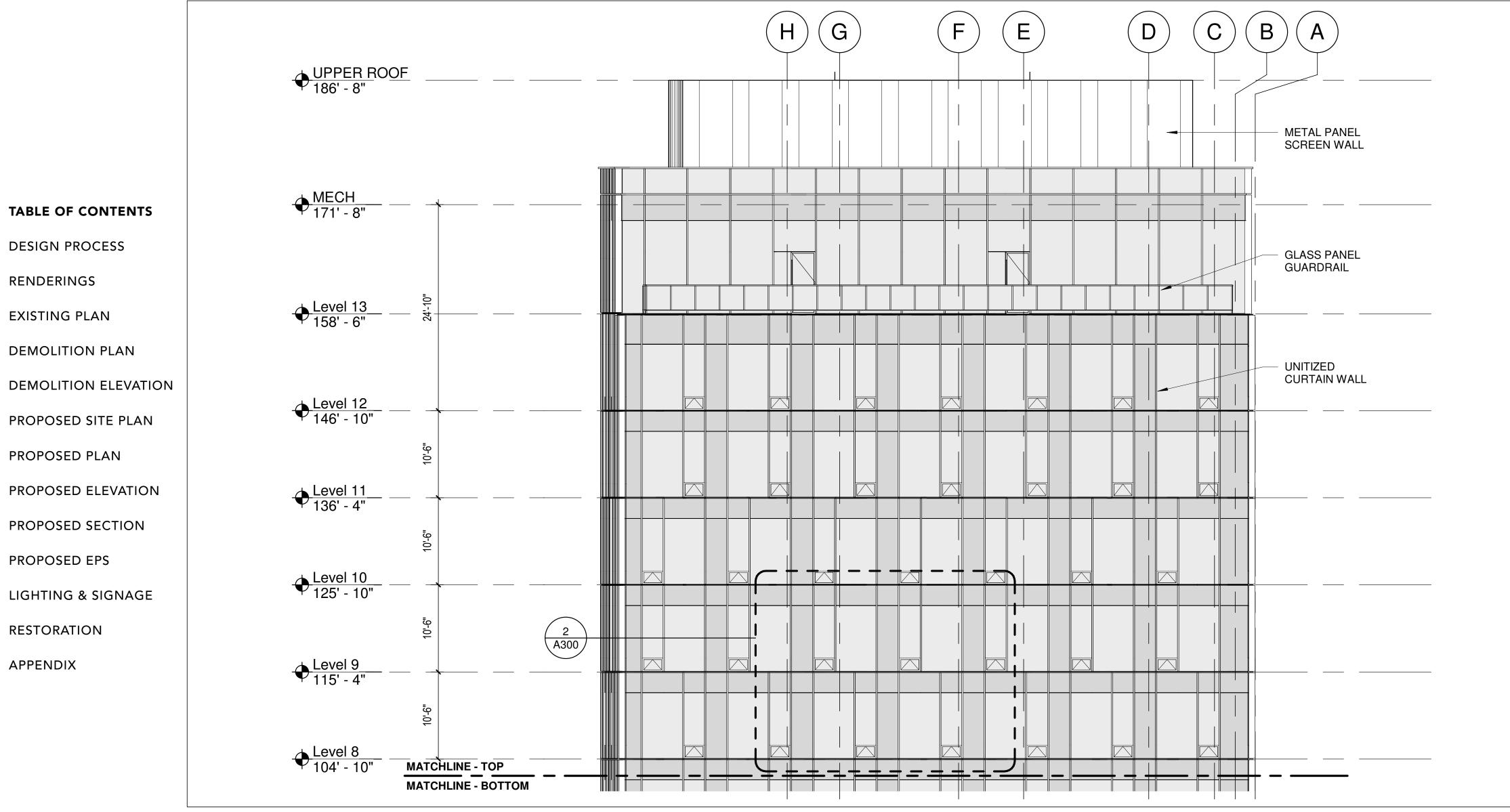
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114 **PROPOSED ENLARGED EAST ELEVATION - BOTTOM**

SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019









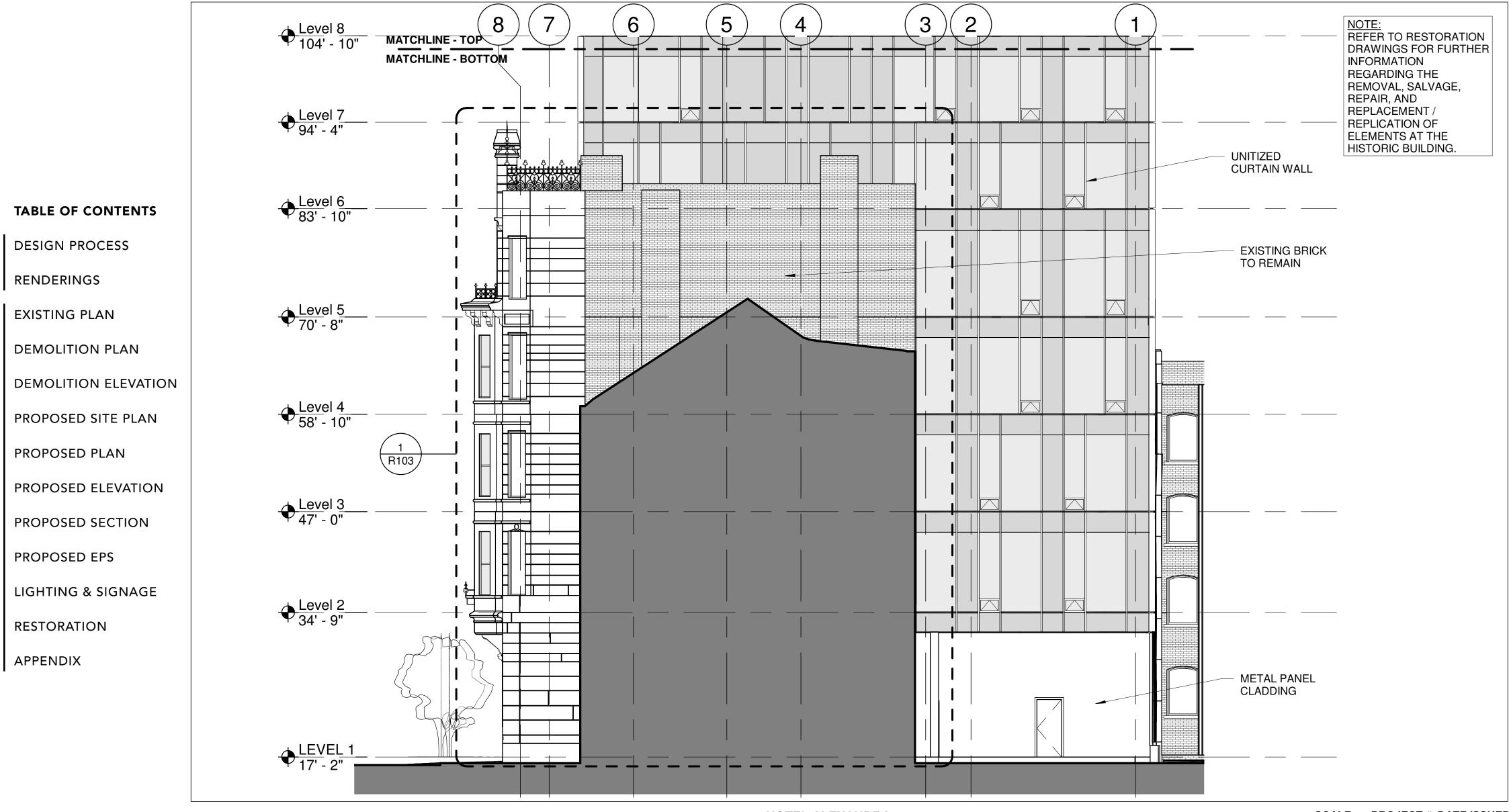
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED 1" = 10'-0" 185061.00 08.12.2019









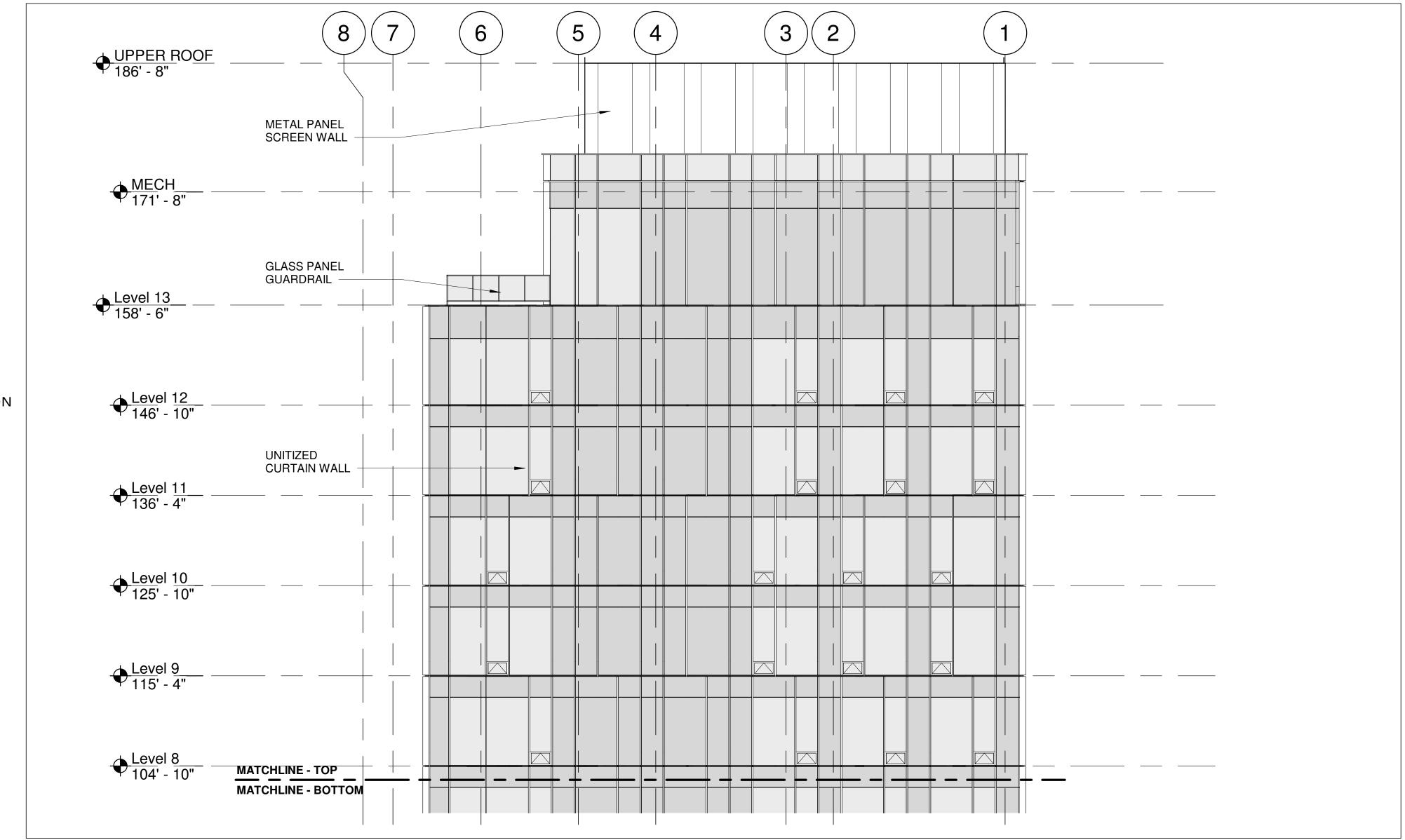


617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114 SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

ALEXANDRA PARTNERS, LLC







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

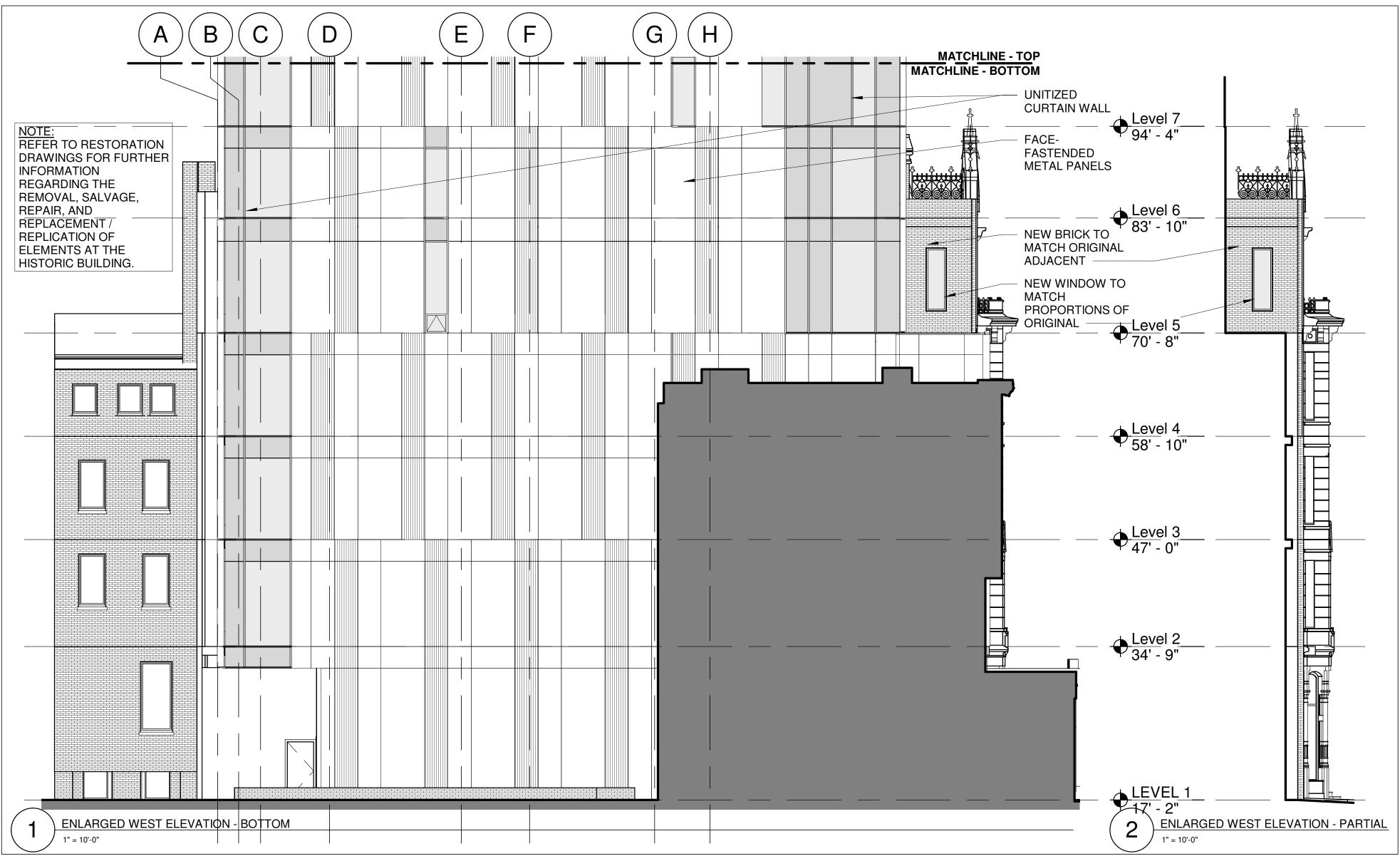
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



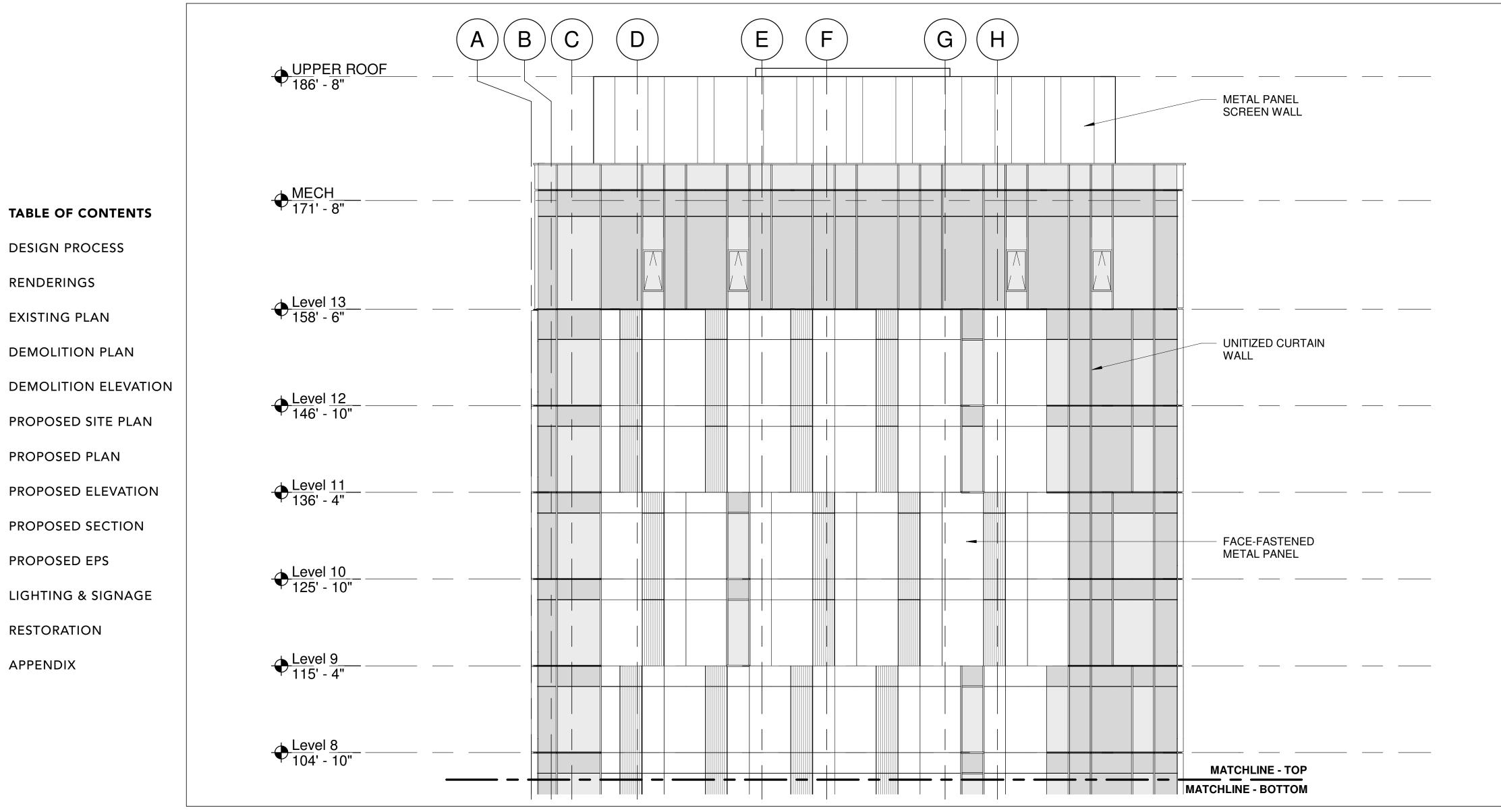


SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019









cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED 1" = 10'-0" 185061.00 08.12.2019





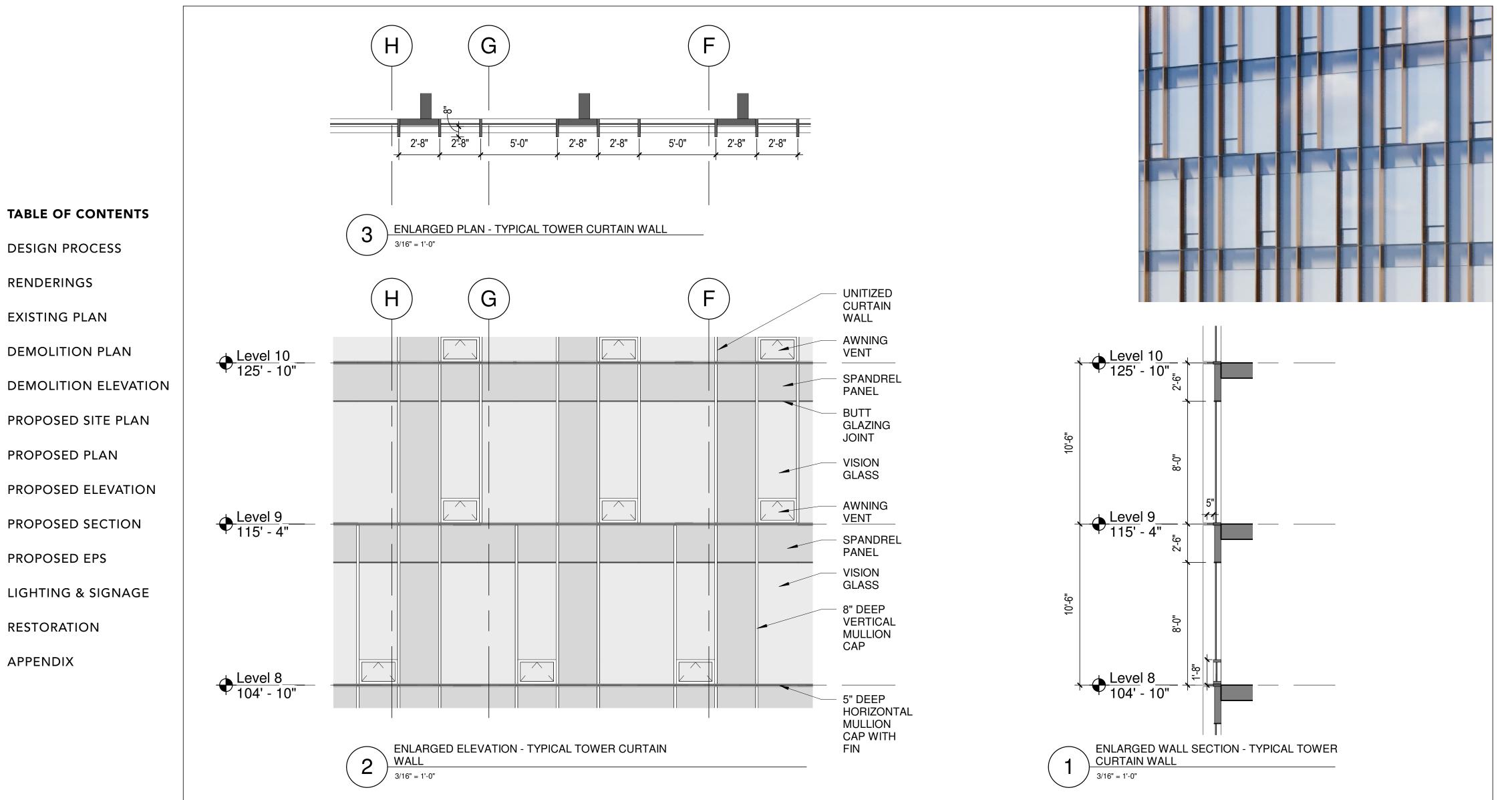


RENDERINGS

PROPOSED EPS

RESTORATION

APPENDIX



SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019







RENDERINGS

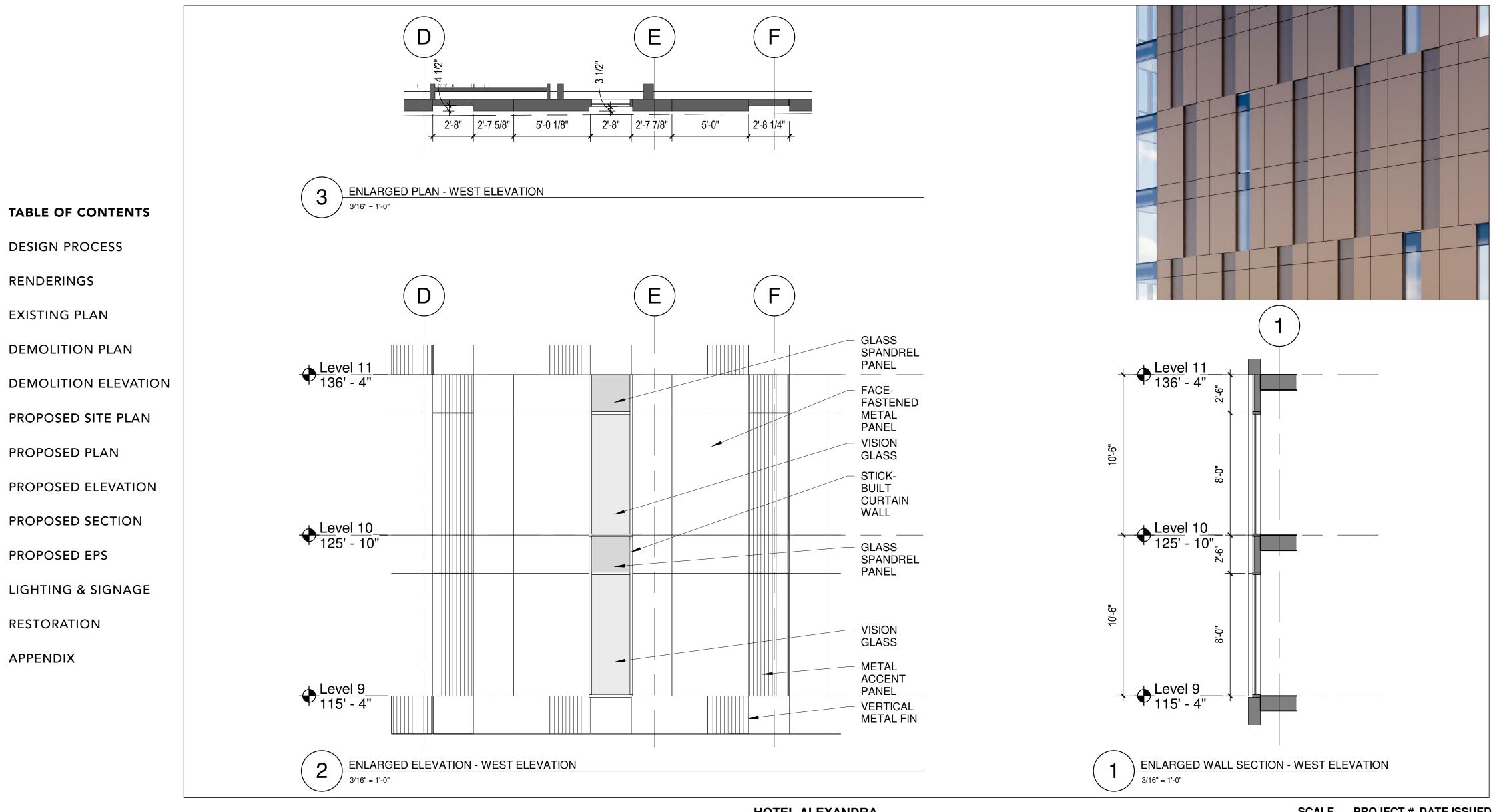
EXISTING PLAN

PROPOSED PLAN

PROPOSED EPS

RESTORATION

APPENDIX



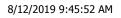


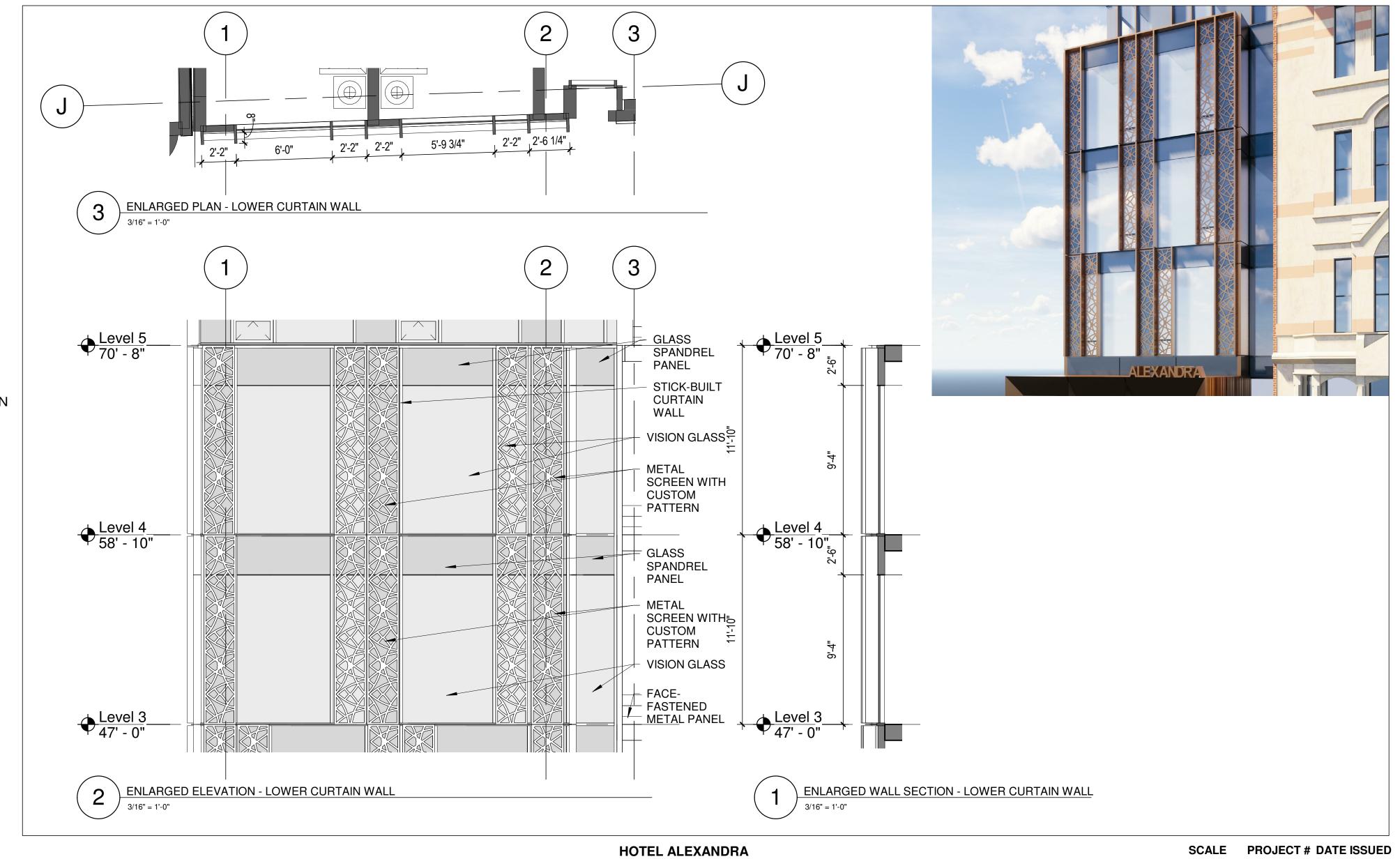
617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED As indicated 185061.00 08.12.2019









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

PROPOSED EPS - LOWER CURTAIN WALL

As indicated 185061.00 08.12.2019







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

PROPOSED SITE PLAN

PROPOSED SECTION

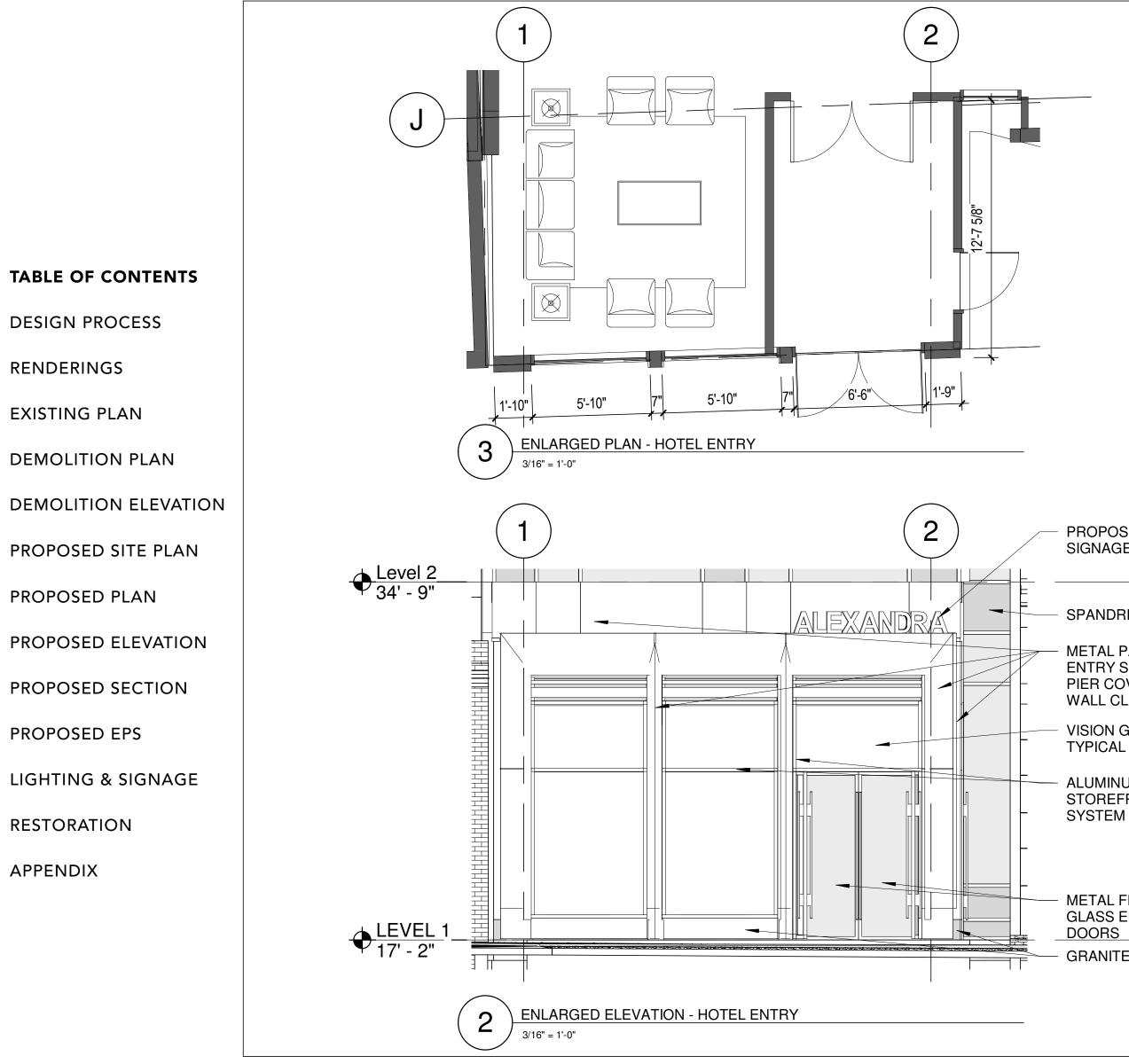
LIGHTING & SIGNAGE

PROPOSED EPS

RESTORATION

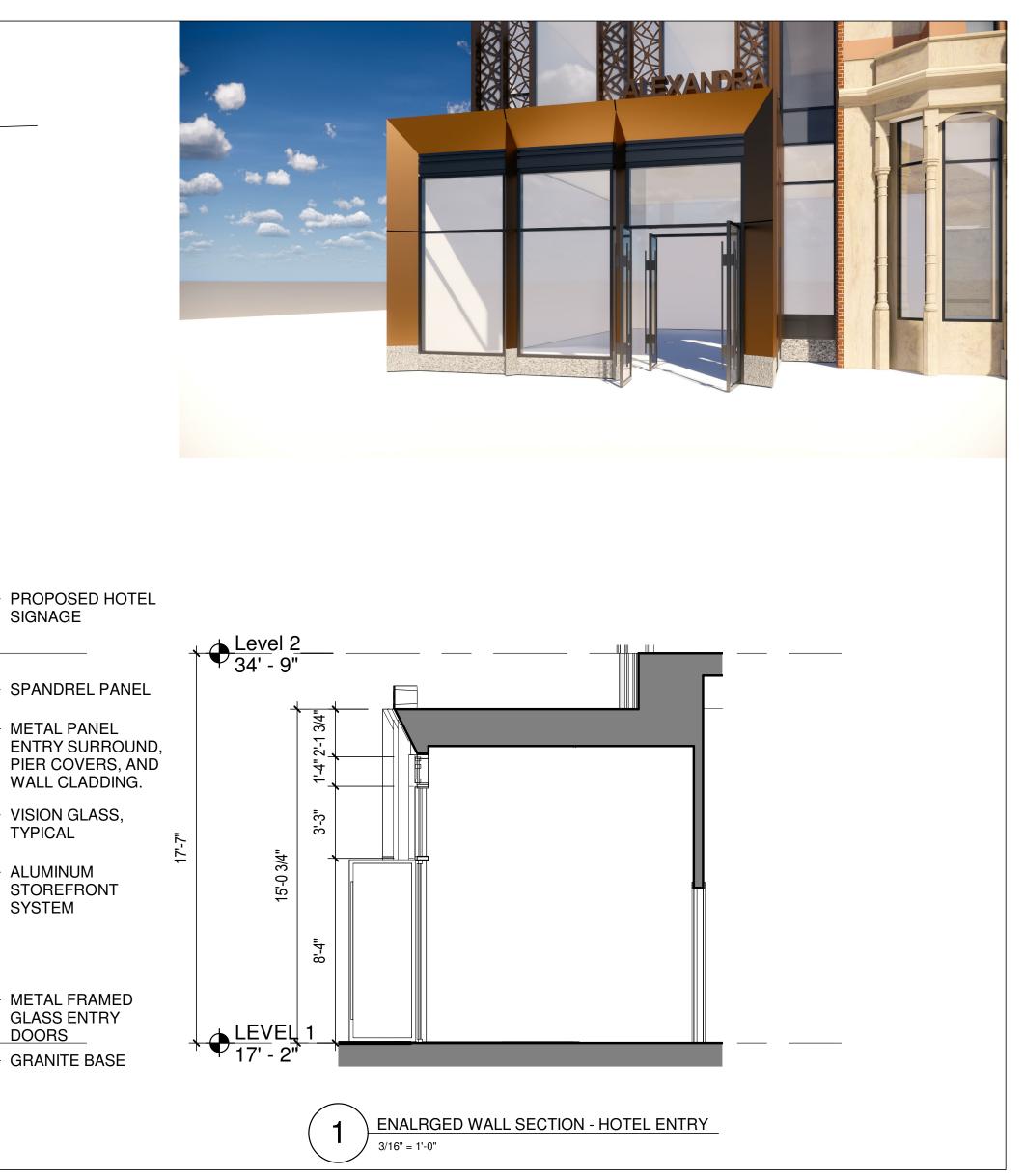
APPENDIX

PROPOSED PLAN



cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



SCALE PROJECT # DATE ISSUED 3/16" = 1'-0"185061.00 08.12.2019







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

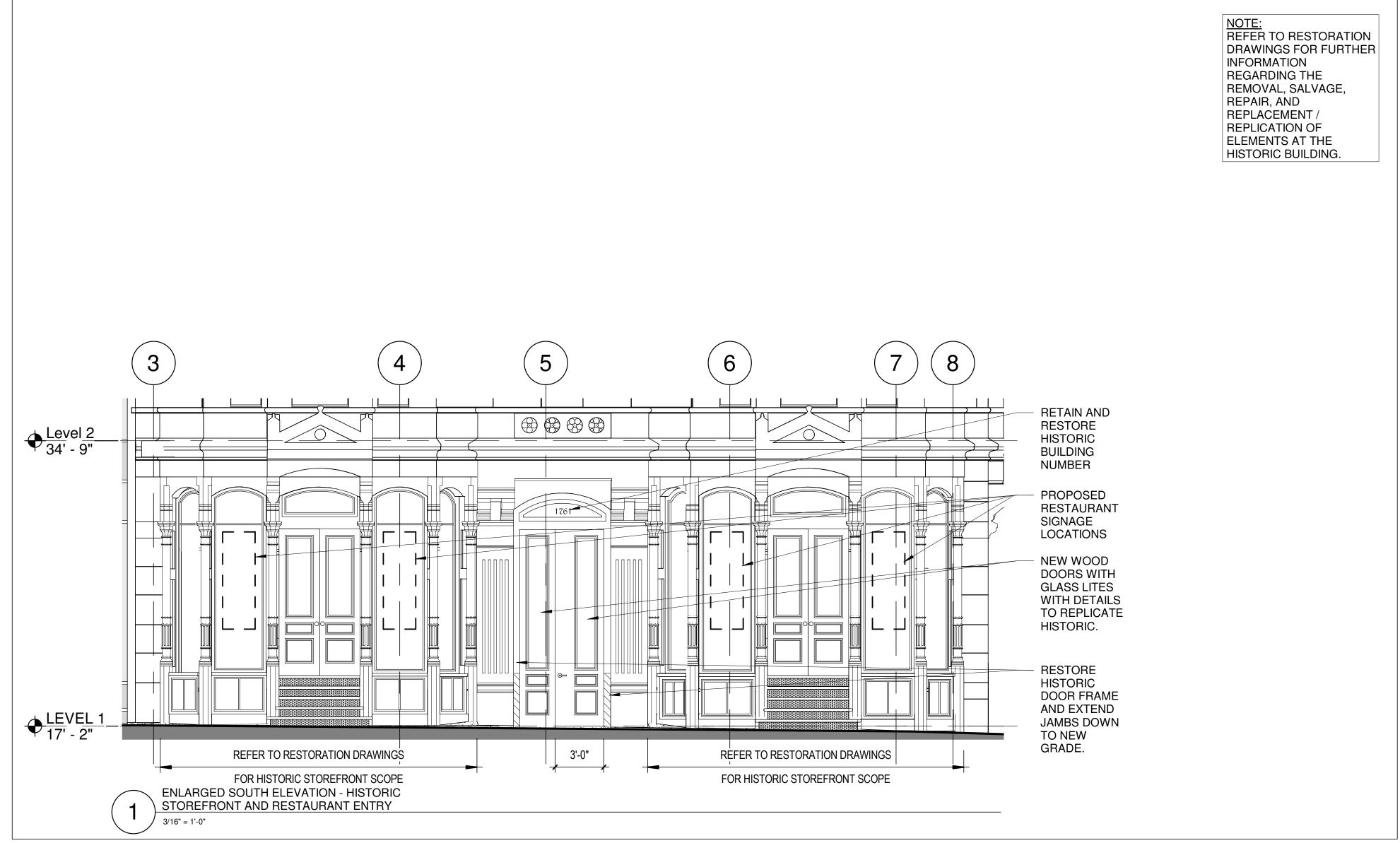
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX











DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

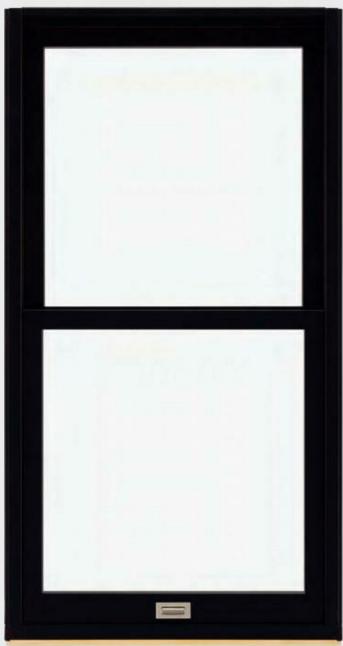
PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





A MODERN INNOVATION

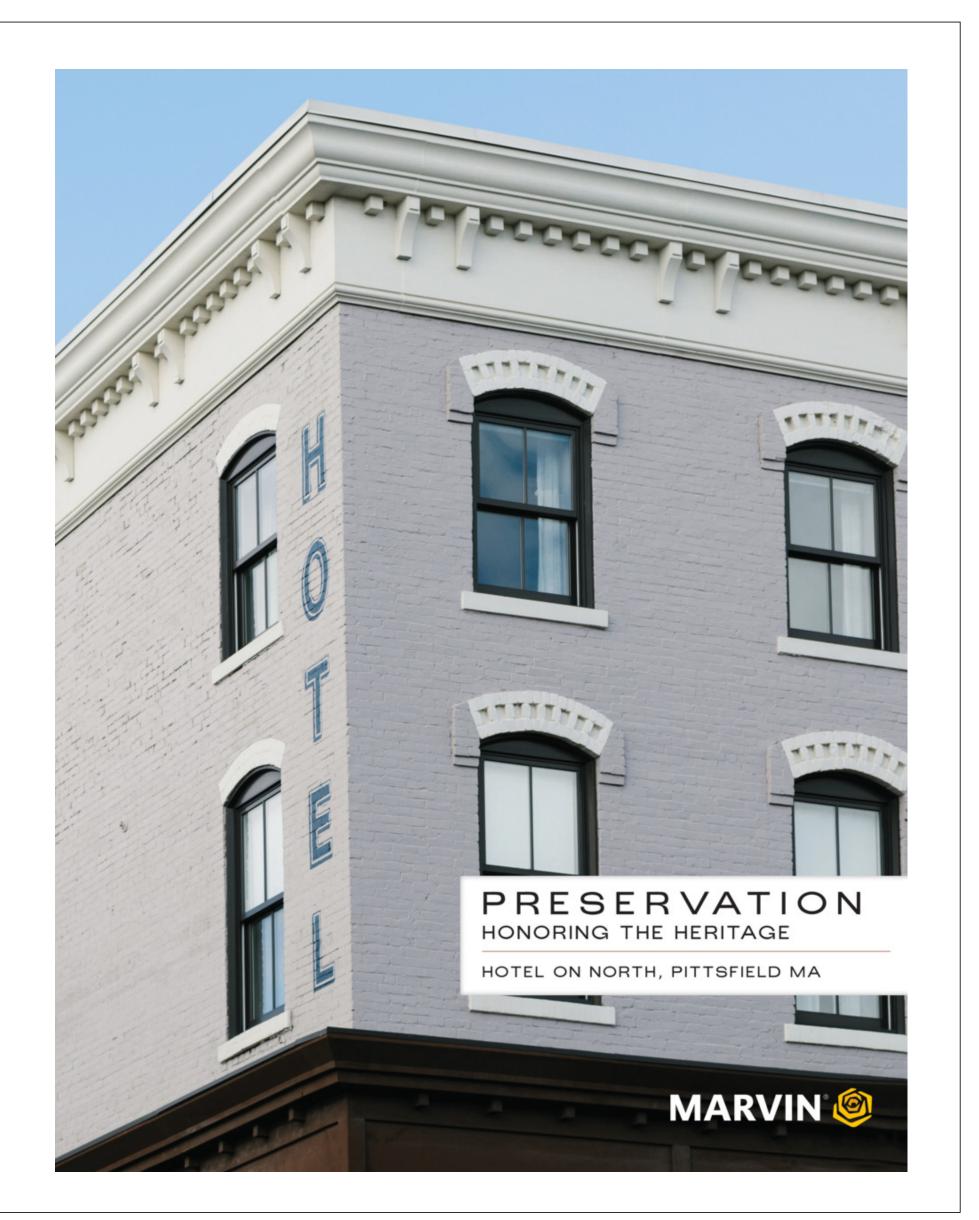
ULTIMATE SINGLE HUNG NEXT GENERATION

The Marvin" Lift Lock is the next innovation in function, design, and aesthetics for the Marvin Ultimate Single Hung Next Generation Window. Now operating your window is easier than ever; the lift lock unlocks and acts as a handle for raising and lowering the bottom sash. To lock, simply close the bottom sash. Lift Lock Hardware is available with contemporary and traditional styles to complement a range of designs.

Left window shown in Pine with White painted interior finish and Traditional Lift Lock Hardware in Matte Black. Left Window above shown in White Oak with Traditional Lift Lock Hardware in Satin Nickel. Right window above shown in Pine with Designer Black painted interior finish and Contemporary Lift Lock Hardware in Satin Nickel.



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

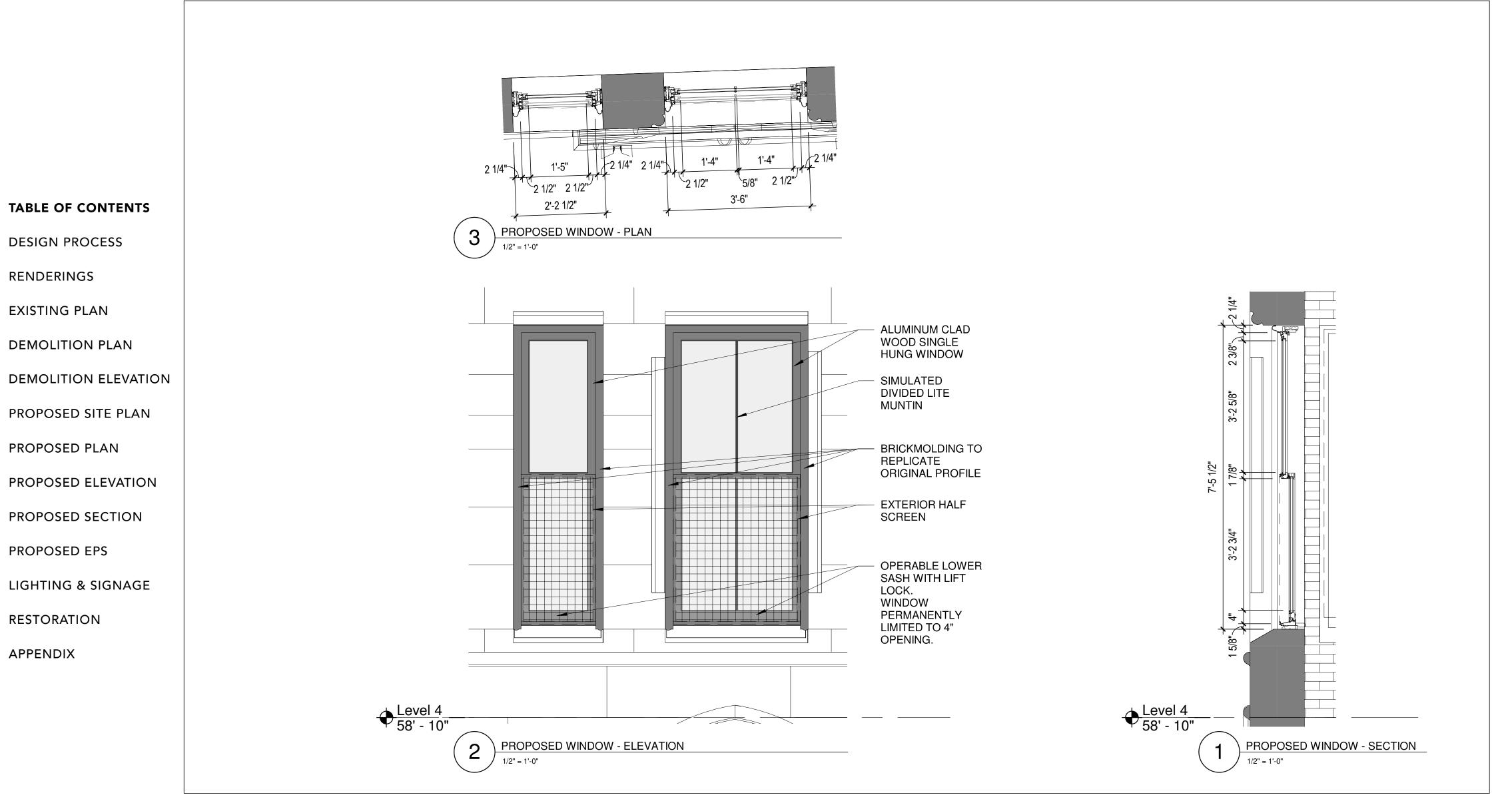


HOTEL ALEXANDRA PROPOSED REPLACEMENT WINDOWS SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019

> A310 ALEXANDRA PARTNERS, LLC









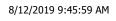
617 262 4354 cbtarchitects.com **CDL**617 262 4354 cbtarchitects.com110 canal street boston, ma 02114 DETAILS

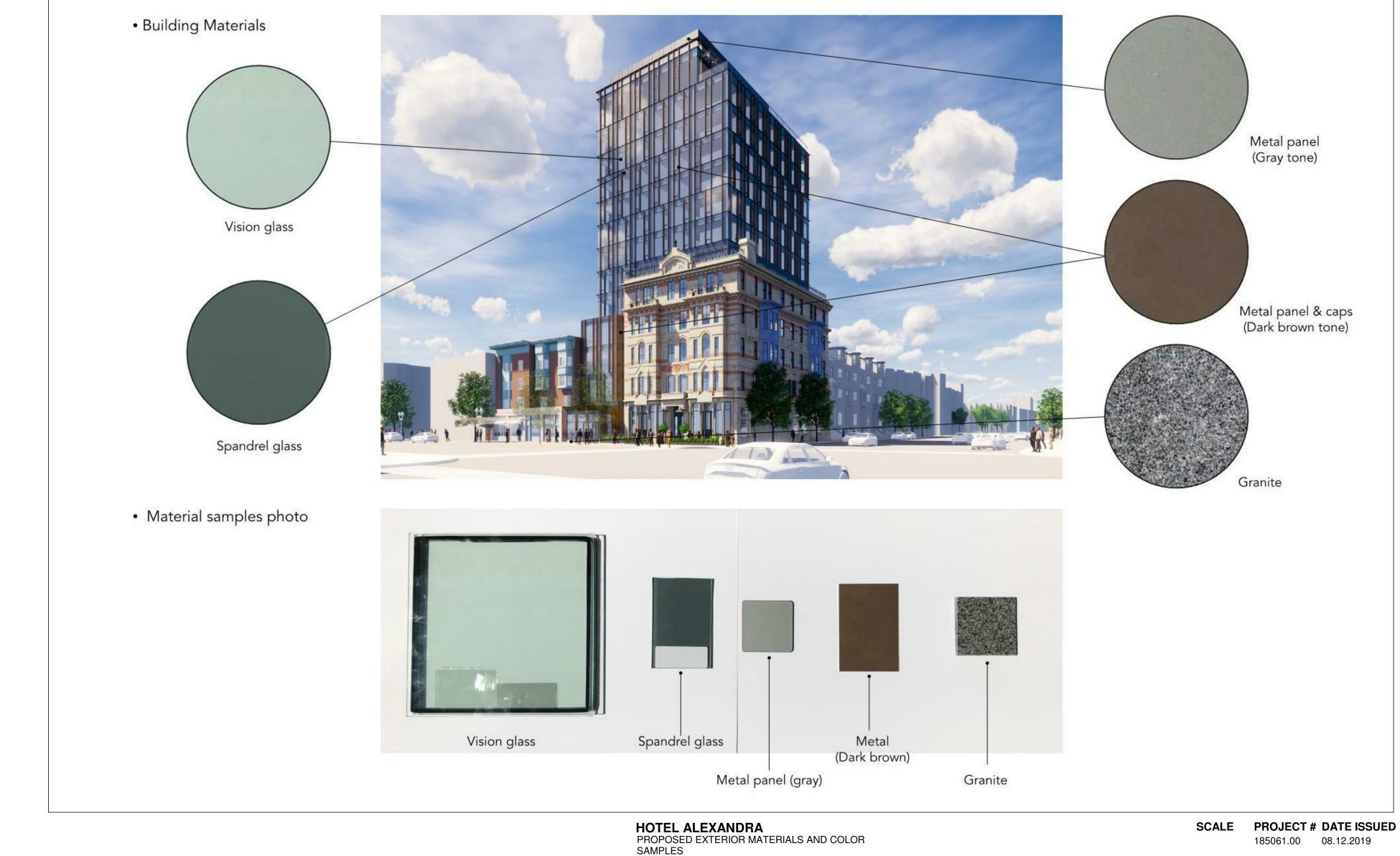
SCALE PROJECT # DATE ISSUED 1/2" = 1'-0" 185061.00 08.12.2019

> A311 ALEXANDRA PARTNERS, LLC









DESIGN PROCESS

TABLE OF CONTENTS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX



cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114









DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

HOTEL ALEXANDRA LIGHTING AND SIGNAGE D

cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019 A340

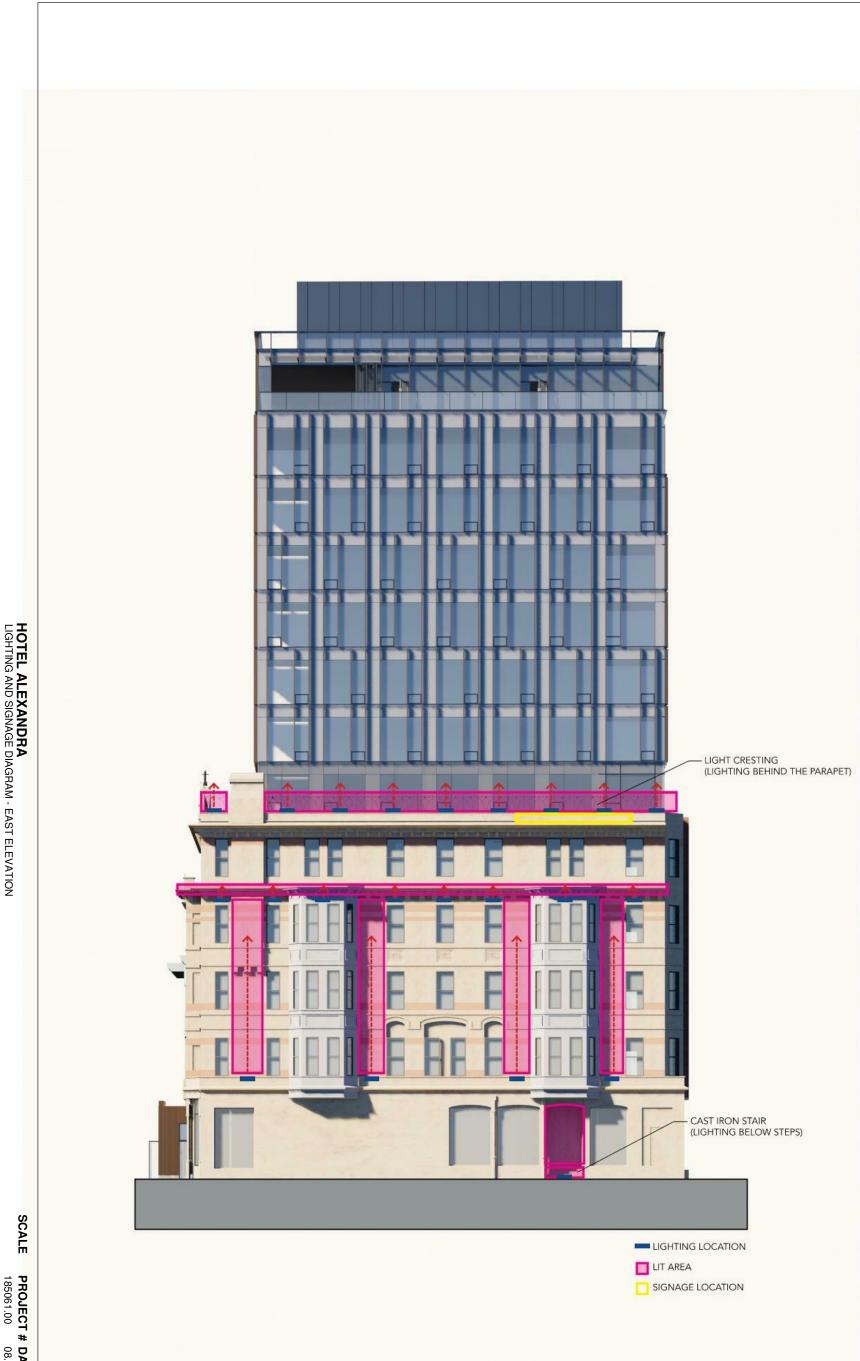












DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

cbt

617 110

7 262 4354 .) canal stree

cbtarch et bosto

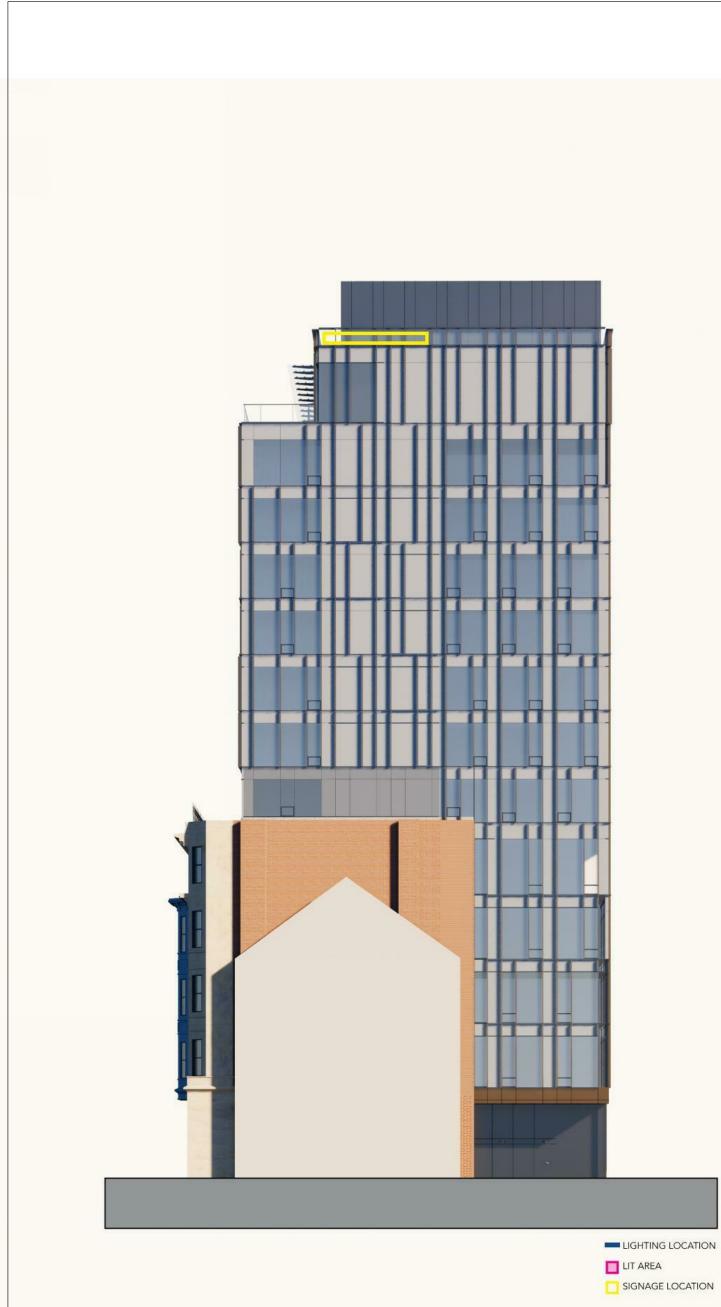
tects.com , ma 02114

SCALE

PROJECT # DATE ISSUED 185061.00 08.12.2019 A341







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

HOTEL ALEXANDRA

cbt

617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114

SCALE

PROJECT # DATE ISSUED 185061.00 08.12.2019 A342

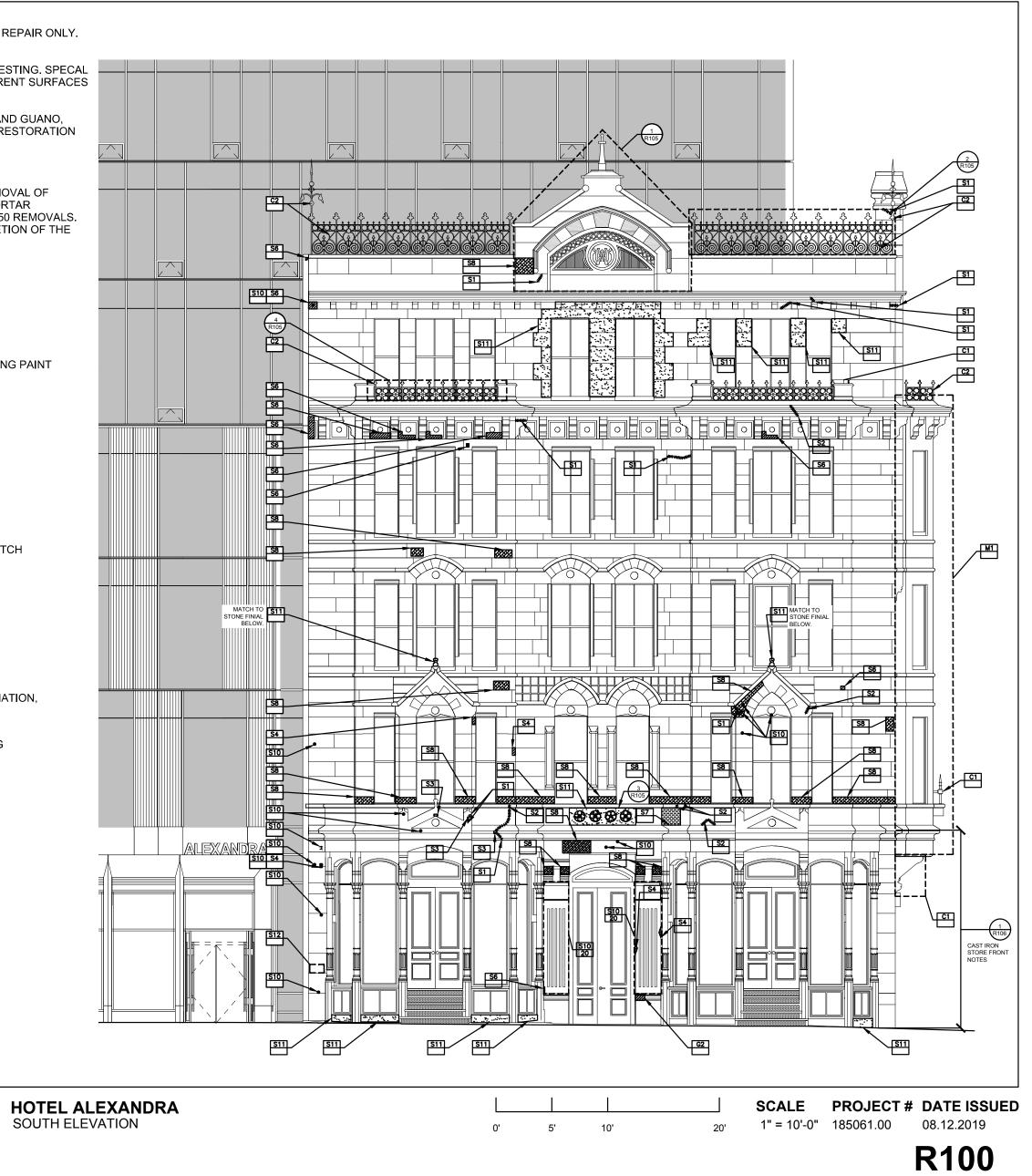




	MASONRY RESTORATION GENERAL NOTES	
		NDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ON
	ALL WORK SHOULD BE FIELD VERIFIED.	
		S AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SF AL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURF
		G, BIOLOGICAL GROWTH, CARBON DEPOSITS, EFFLORESCENCE AND GUANC SUME 80% OF STONE HAS SOME LEVEL OF RUST STAINING. ALL RESTORATI ORK.
	4. RAKE OUT AND REPOINT 100% OF SANDSTONE, GRANITE, AND BRICK	MORTAR JOINTS.
	FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STO MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCA	IENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF DNE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR ATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 50 REMOVA HORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF TH OVALS QUANTITY.
	6. INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINT	rs.
	7. REPLACE ALL EXISTING CONCRETE CURBING WITH NEW GRANITE CU	JRBING.
TABLE OF CONTENTS	8. SCALE BACK ALL LOOSE STONE TO SOLID MASONRY EXCEPT WHERE	CALLED OUT IN DRAWINGS.
	9. PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RES	TORATION WORK IS COMPLETE.
DESIGN PROCESS	10. SANDBLAST PAINT FROM 100% OF CAST IRON SURFACES. PROVIDE SYSTEM.	REPAIRS AS INDICATED AND REPAINT WITH 3 COAT RUST INHIBITING PAINT
RENDERINGS	11. REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.	
	SANDSTONE	CAST IRON
EXISTING PLAN	S1 REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL.	C1 CAST IRON RESTORATION: SANDBLAST, REPAIR AND REPAINT
DEMOLITION PLAN	S2 REMOVE EXISTING CRACK REPAIR AND FILL CRACK WITH NEW COMPOSITE PATCHING MATERIAL.	C2 REPLICATE MISSING CAST IRON ELEMENT
DEMOLITION ELEVATION	S3 REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL.	SHEET METAL
	S4 REMOVE EXISTING PATCH AND INSTALL STONE DUTCHMAN.	M1 REPLACE DETERIORATED SHEET METAL BAY TO MATCH ORIGINAL.
PROPOSED SITE PLAN	S5 PATCH DAMAGED OR DETERIORATED STONE WITH COMPOSITE PATCHING MATERIAL.	
PROPOSED PLAN	S6 REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN.	LEGEND
	S7 REMOVE, SALVAGE, AND RESET DISPLACED STONE UNIT.	HIIIIIIIIIII CRACK
PROPOSED ELEVATION	S8 REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION.	SURFACE SPALLS, DELAMINATION, OR EROSION
PROPOSED SECTION	S9REMOVE LOOSE AND FLAKING STONE AND RETOOLSURFACE AT AREAS OF EROSION.	AREA OF STONE REQUIRING
PROPOSED EPS	S10 REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR.	DUTCHMAN REPAIR
	S11 INSTALL NEW STONE UNIT WHERE ORIGINAL STONE UNIT IS DETERIORATED OR MISSING	NEW STONE UNIT
LIGHTING & SIGNAGE	S12 RETOOL STONE THAT HAS BEEN DAMAGED BY AGGRESSIVE POWERWASHING	AREA REQUIRING PATCH
RESTORATION	GRANITE	
APPENDIX	G1 HAVE CRACK EVALUATED BY STRUCTURAL ENGINEER FOR SOUNDNESS OF STONE; REPAIR CRACK.	RESET
	G2 REMOVE DAMAGED OR DETERIORATED GRANITE AND REPAIR WITH SALVAGED OR NEW GRANITE DUTCHMAN. TOOL GRANITE TO MATCH SURROUNDING STONE.	ABANDONED FERROUS ANCHOR TO BE REMOVED. PATCH HOLE
	BRICK B1 REPOINT BRICK JOINTS	REFER TO NOTE / TAG FOR SPECIFIC TREATMENT
	B2 INSTALL NEW BRICK TO MATCH EXISTING	XX TREATMENT NOTE XX QUANTITY (IF APPLICABLE)













DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

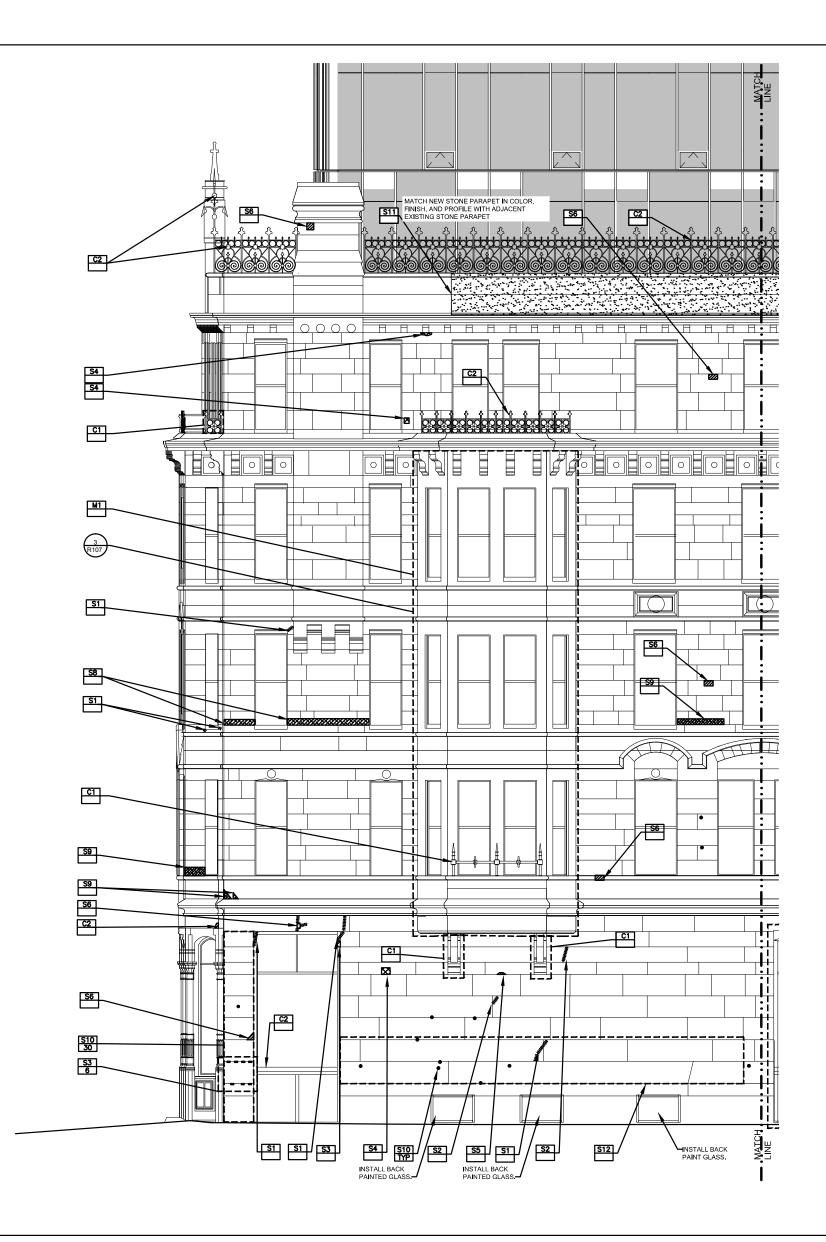
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



MASONRY RESTORATION GENERAL NOTES

- 1. GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- 2. CLEAN 100% OF MASONRY USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING.
- 3. IN ADDITION TO GENERAL CLEANING REMOVE ALL METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS, EFFLORESCENCE AND GUANO, INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ASSUME 80% OF STONE HAS SOME LEVEL OF RUST STAINING. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK.
- 4. RAKE OUT AND REPOINT 100% OF SANDSTONE, GRANITE, AND BRICK MORTAR JOINTS.
- 5. REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 50 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY.
- 6. INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- 7. REPLACE ALL EXISTING CONCRETE CURBING WITH NEW GRANITE CURBING.
- 8. SCALE BACK ALL LOOSE STONE TO SOLID MASONRY EXCEPT WHERE CALLED OUT IN DRAWINGS.
- 9. PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- 10. SANDBLAST PAINT FROM 100% OF CAST IRON SURFACES. PROVIDE REPAIRS AS INDICATED AND REPAINT WITH 3 COAT RUST INHIBITING PAINT SYSTEM.

CAST IRON

11. REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

SANDSTONE

S1 REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL.	C1 CAST IRON RESTORATION: SANDBLAST, REPAIR AND REPAINT
S2 REMOVE EXISTING CRACK REPAIR AND FILL CRACK WITH NEW COMPOSITE PATCHING MATERIAL.	C2 REPLICATE MISSING CAST IRON ELEMENT
S3 REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL.	SHEET METAL
S4 REMOVE EXISTING PATCH AND INSTALL STONE DUTCHMAN.	M1 REPLACE DETERIORATED SHEET METAL BAY TO MATCH ORIGINAL.
S5 PATCH DAMAGED OR DETERIORATED STONE WITH COMPOSITE PATCHING MATERIAL.	
S6 REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN.	LEGEND
S7 REMOVE, SALVAGE, AND RESET DISPLACED STONE UNIT.	HIIIIIIIIIIII CRACK
S8 REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION.	SURFACE SPALLS, DELAMINATION, OR EROSION
S9 REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION.	AREA OF STONE REQUIRING
S10 REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR.	DUTCHMAN REPAIR
S11 INSTALL NEW STONE UNIT WHERE ORIGINAL STONE UNIT IS DETERIORATED OR MISSING	NEW STONE UNIT
S12 RETOOL STONE THAT HAS BEEN DAMAGED BY AGGRESSIVE POWERWASHING	AREA REQUIRING PATCH REPAIR
GRANITE	UNIT TO BE REMOVED AND
G1 HAVE CRACK EVALUATED BY STRUCTURAL ENGINEER FOR SOUNDNESS OF STONE; REPAIR CRACK.	RESET
G2 REMOVE DAMAGED OR DETERIORATED GRANITE AND REPAIR WITH SALVAGED OR NEW GRANITE DUTCHMAN. TOOL GRANITE TO MATCH SURROUNDING STONE.	ABANDONED FERROUS ANCHOR TO BE REMOVED. PATCH HOLE
BRICK	REFER TO NOTE / TAG FOR SPECIFIC TREATMENT
B1 REPOINT BRICK JOINTS	
B2 INSTALL NEW BRICK TO MATCH EXISTING	XX TREATMENT NOTE XX QUANTITY (IF APPLICABLE)
OTEL ALEXANDRA EAST ELEVATION	SCALE PROJECT # DATE ISSUE 1" = 10'-0" 185061.00 08.12.2019

5' 10'

20'

0'







MASONRY RESTORATION GENERAL NOTES	

- 1. GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- 2. CLEAN 100% OF MASONRY USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING.
- 3. IN ADDITION TO GENERAL CLEANING REMOVE ALL METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS, EFFLORESCENCE AND GUANO, INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ASSUME 80% OF STONE HAS SOME LEVEL OF RUST STAINING. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK.
- 4. RAKE OUT AND REPOINT 100% OF SANDSTONE, GRANITE, AND BRICK MORTAR JOINTS.
- 5. REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 50 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY.
- 6. INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.

DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

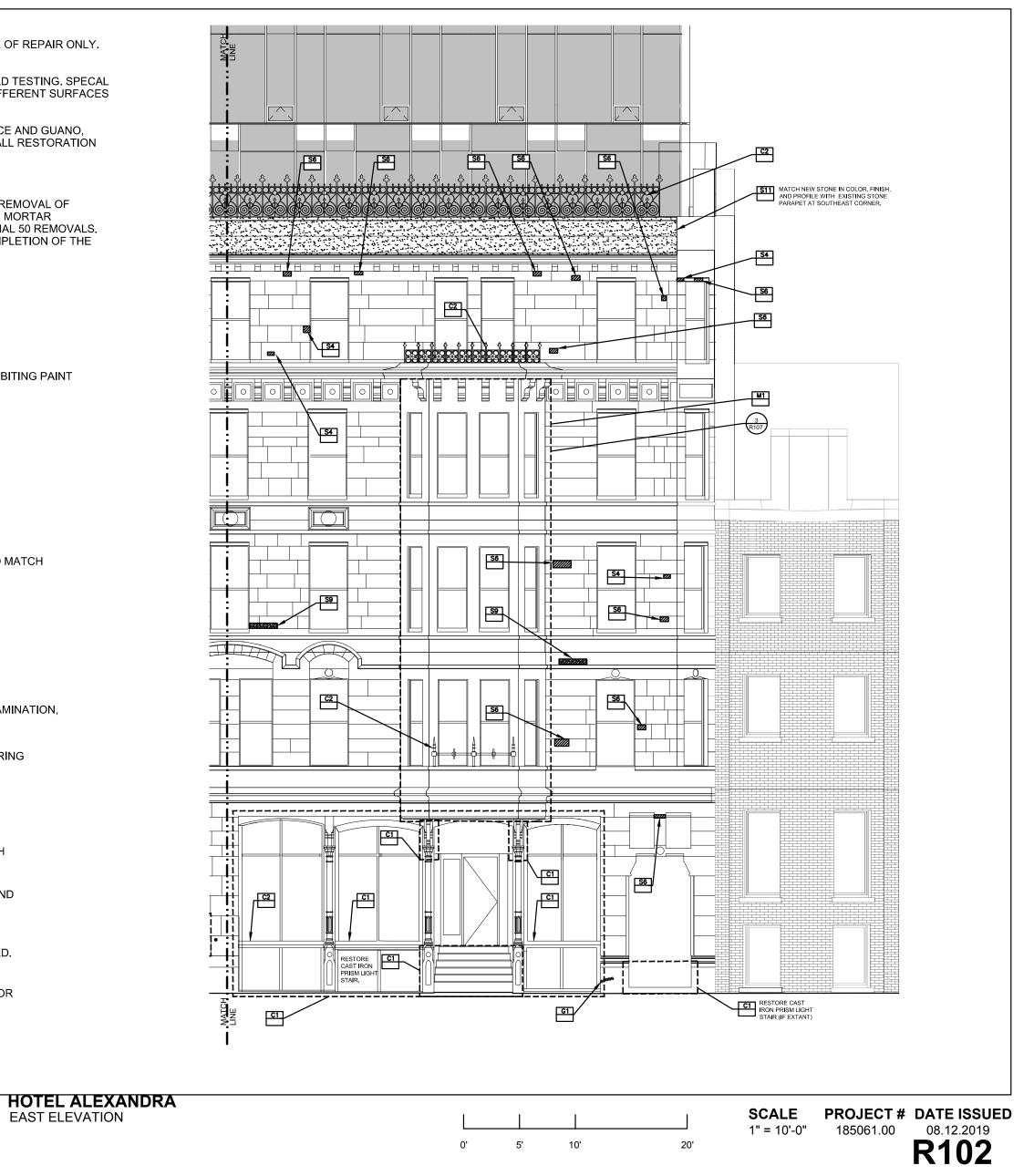
APPENDIX

INHIBITING F
Ү ТО МАТСН
ELAMINATIO
QUIRING
АТСН
D AND
US OVED.
G FOR IT
LE)



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114











DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

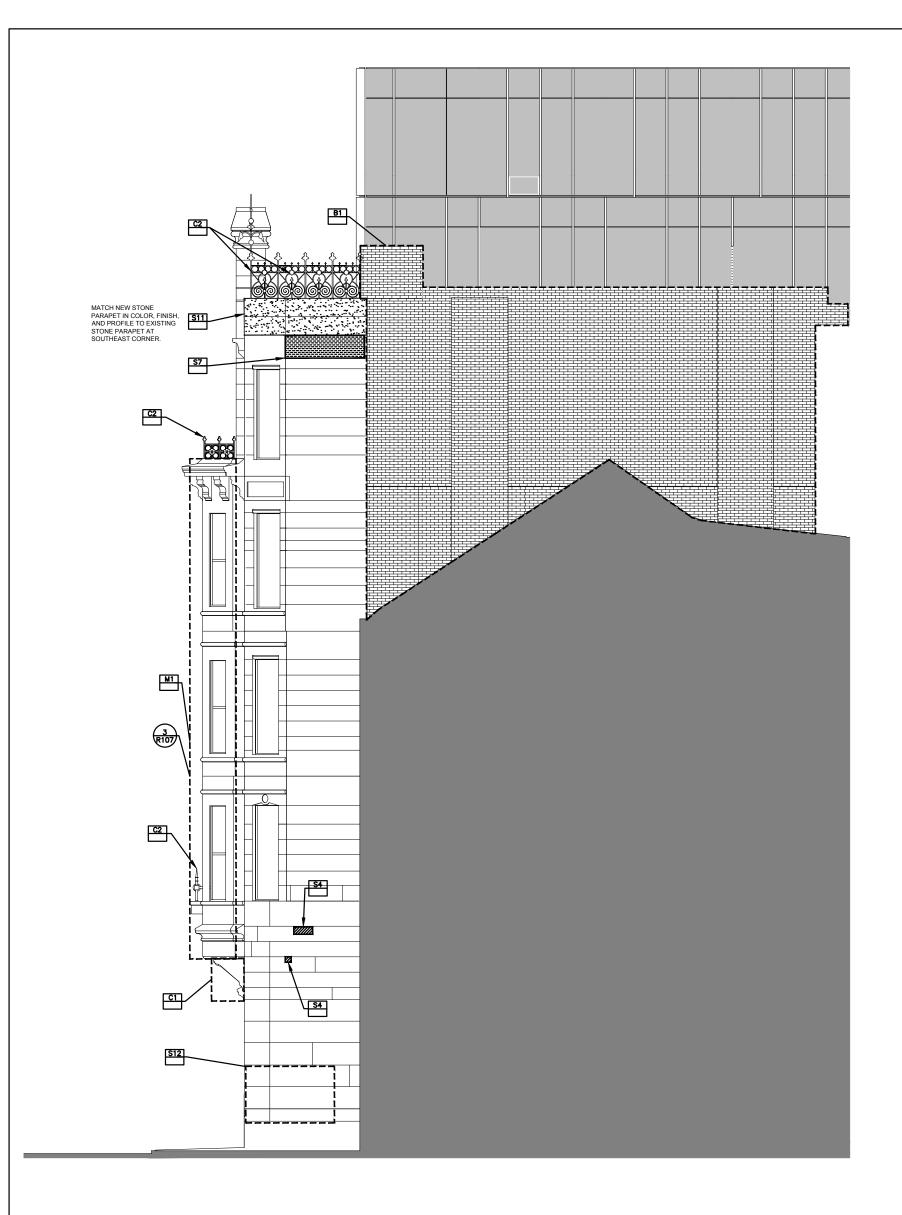
PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



HOTEL ALEXA NORTH ELEVATI MASONRY RESTORATION GENERAL NOTES

- GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. ALL WORK SHOULD BE FIELD VERIFIED.
- 2. CLEAN 100% OF MASONRY USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING.
- 3. IN ADDITION TO GENERAL CLEANING REMOVE ALL METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS, EFFLORESCENCE AND GUANO, INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ASSUME 80% OF STONE HAS SOME LEVEL OF RUST STAINING. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK.
- 4. RAKE OUT AND REPOINT 100% OF SANDSTONE, GRANITE, AND BRICK MORTAR JOINTS.
- 5. REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 50 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY.
- 6. INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- 7. REPLACE ALL EXISTING CONCRETE CURBING WITH NEW GRANITE CURBING.
- 8. SCALE BACK ALL LOOSE STONE TO SOLID MASONRY EXCEPT WHERE CALLED OUT IN DRAWINGS.
- 9. PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- 10. SANDBLAST PAINT FROM 100% OF CAST IRON SURFACES. PROVIDE REPAIRS AS INDICATED AND REPAINT WITH 3 COAT RUST INHIBITING PAINT SYSTEM.

CAST IRON

11. REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

SANDSTONE

NDRA ON		0'	5'	10'	20'	SCALE 1" = 10'- 0"	PROJECT # 185061.00	DATE ISSUED 08.12.2019
B2	INSTALL NEW BRICK TO MATCH EXISTING					REATMENT NOTI UANTITY (IF APP		
BRICK	REPOINT BRICK JOINTS					REFER TO NOT	TMENT	
G2	REMOVE DAMAGED OR DETERIORATED GRANITE AND REPAIR WITH SALVAGED OR NEW GRANITE DUTCHMAN. TOOL GRANITE TO MATCH SURROUNDING STONE.				*	ABANDONED F ANCHOR TO BE PATCH HOLE	E REMOVED.	
G1	HAVE CRACK EVALUATED BY STRUCTURAL ENGINEER FOR SOUNDNESS OF STONE; REPAIR CRACK.					RESET		
<u>GRANIT</u>	<u>E</u>				[]	UNIT TO BE RE		
S12	RETOOL STONE THAT HAS BEEN DAMAGED BY AGGRESSIVE POWERWASHING					AREA REQUIRI REPAIR	ING PATCH	
S11	INSTALL NEW STONE UNIT WHERE ORIGINAL STONE UNIT	Т				NEW STONE U	NIT	
<u>S10</u>	REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR.					AREA OF STOP DUTCHMAN RE		
<u>S9</u>	REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION.				·····			
<u>S8</u>	REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION.					SURFACE SPA OR EROSION	LLS, DELAMINATI	ON,
S7	REMOVE, SALVAGE, AND RESET DISPLACED STONE UNI	Т.			+++++++++++++++++++++++++++++++++++++++	CRACK		
S6	REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN.				LEGEND			
S5	PATCH DAMAGED OR DETERIORATED STONE WITH COMPOSITE PATCHING MATERIAL.							
S4	REMOVE EXISTING PATCH AND INSTALL STONE DUTCHMAN.		M1	REPLACE I ORIGINAL.		ED SHEET MET	AL BAY TO MATCH	4
<u>S3</u>	REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL.		SHEET	METAL				
S2	REMOVE EXISTING CRACK REPAIR AND FILL CRACK WITI NEW COMPOSITE PATCHING MATERIAL.	Н	C2	REPLICAT ELEMENT	E MISSING C	AST IRON		
S1	REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL.		C1		N RESTORAT ST, REPAIR A	TION: AND REPAINT		





∎≣∎ TCR



MASONRY RESTORATION GENERAL NOTES

- GRAPHIC INDICATIONS OF WORK SPECIFIED ON DRAWINGS ARE INTENDED TO GIVE LOCATION OF REPAIR AND APPROXIMATE SIZE OF REPAIR ONLY. 1. ALL WORK SHOULD BE FIELD VERIFIED.
- 2. CLEAN 100% OF MASONRY USING DESIGNATED CHEMICAL CLEANERS AND LOW PRESSURE WATER RINSE AS DETERMINED BY FIELD TESTING. SPECAL CLEANING METHODS MAY BE REQUIRED FOR INTRICATE ORNAMENTAL STONE UNITS. METHODS FOR CLEANING WILL VARY ON DIFFERENT SURFACES DEPENDING ON THE LEVEL OF SOILING.
- 3. IN ADDITION TO GENERAL CLEANING REMOVE ALL METALLIC STAINING, BIOLOGICAL GROWTH, CARBON DEPOSITS, EFFLORESCENCE AND GUANO, INCLUDING AREAS NOT SPECIFICALLY NOTED ON THE DRAWINGS. ASSUME 80% OF STONE HAS SOME LEVEL OF RUST STAINING. ALL RESTORATION CLEANING SHALL BE PERFORMED PRIOR TO ALL OTHER MASONRY WORK.
- 4. RAKE OUT AND REPOINT 100% OF SANDSTONE, GRANITE, AND BRICK MORTAR JOINTS.
- 5. REMOVE ALL PINS, ANCHORS, DOWELS, AND OTHER FERROUS ELEMENTS FROM MASONRY. PATCH HOLES IN MASONRY LEFT BY REMOVAL OF FERROUS ELEMENTS UNLESS OTHERWISE INDICATED. HOLES IN STONE UNITS SHALL BE PATCHED WITH A COMPOSITE PATCHING MORTAR MATCHING ORIGINAL STONE IN COLOR AND TEXTURE. NOT ALL LOCATIONS ARE NOTED ON THE DRAWINGS, ASSUME AN ADDITIONAL 50 REMOVALS. REMOVE ANCHORS AND PATCH HOLES LEFT BY SCAFFOLDING OR SHORING ANCHORS WHEN SCAFFOLD IS REMOVED AT THE COMPLETION OF THE PROJECT. SCAFFOLDING HOLES NOT INCLUDED IN ADDITIONAL REMOVALS QUANTITY.
- 6. INSTALL LEAD "T" JOINT COVERS ON ALL HORIZONTAL MORTAR JOINTS.
- 7. REPLACE ALL EXISTING CONCRETE CURBING WITH NEW GRANITE CURBING.
- 8. SCALE BACK ALL LOOSE STONE TO SOLID MASONRY EXCEPT WHERE CALLED OUT IN DRAWINGS.
- 9. PERFORM A FINAL MASONRY WASHDOWN AFTER ALL MASONRY RESTORATION WORK IS COMPLETE.
- 10. SANDBLAST PAINT FROM 100% OF CAST IRON SURFACES. PROVIDE REPAIRS AS INDICATED AND REPAINT WITH 3 COAT RUST INHIBITING PAINT SYSTEM.
- 11. REFER TO ARCHITECTURAL DRAWINGS FOR ALL NEW WORK.

EXISTING PLAN

DESIGN PROCESS

RENDERINGS

TABLE OF CONTENTS

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX

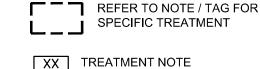
<u>SANDS</u>	STONE	<u>CAST II</u>	RON		
S1	REPAIR CRACK BY ROUTING AND FILLING WITH COMPOSITE PATCHING MATERIAL.	C1	CAST IRON SANDBLAS		FION: AND REPAINT
S2	REMOVE EXISTING CRACK REPAIR AND FILL CRACK WITH NEW COMPOSITE PATCHING MATERIAL.	C2	REPLICATE ELEMENT	MISSING C	CAST IRON
S3	REMOVE EXISTING PATCH AND INSTALL NEW PATCH IN STONE WITH COMPOSITE PATCHING MATERIAL.	<u>SHEET</u>	METAL		
S4	REMOVE EXISTING PATCH AND INSTALL STONE DUTCHMAN.	M1	REPLACE DI ORIGINAL.	ETERIORA	TED SHEET METAL BAY TO MATCH
S5	PATCH DAMAGED OR DETERIORATED STONE WITH COMPOSITE PATCHING MATERIAL.				
<u>S6</u>	REMOVE DAMAGED OR DETERIORATED STONE AND REPAIR WITH SALVAGED OR NEW STONE DUTCHMAN.			LEGEND	
S7	REMOVE, SALVAGE, AND RESET DISPLACED STONE UNIT.			****	CRACK
S8	REMOVE LOOSE AND FLAKING STONE AT AREAS OF EROSION.				SURFACE SPALLS, DELAMINATION, OR EROSION
S9	REMOVE LOOSE AND FLAKING STONE AND RETOOL SURFACE AT AREAS OF EROSION.				AREA OF STONE REQUIRING
S10	REMOVE EMBEDDED FERROUS ANCHOR AND PATCH HOLE WITH COMPOSITE PATCHING MORTAR.				DUTCHMAN REPAIR
S11	INSTALL NEW STONE UNIT WHERE ORIGINAL STONE UNIT IS DETERIORATED OR MISSING				NEW STONE UNIT
S12	RETOOL STONE THAT HAS BEEN DAMAGED BY AGGRESSIVE POWERWASHING				AREA REQUIRING PATCH REPAIR
GRANIT	—				UNIT TO BE REMOVED AND RESET
<u>G1</u>	HAVE CRACK EVALUATED BY STRUCTURAL ENGINEER FOR SOUNDNESS OF STONE; REPAIR CRACK.			<u></u>	
G2	REMOVE DAMAGED OR DETERIORATED GRANITE AND			8	ABANDONED FERROUS ANCHOR TO BE REMOVED.



B2 INSTALL NEW BRICK TO MATCH EXISTING

REPAIR WITH SALVAGED OR NEW GRANITE DUTCHMAN.

TOOL GRANITE TO MATCH SURROUNDING STONE.



XX TREATMENT NOTE

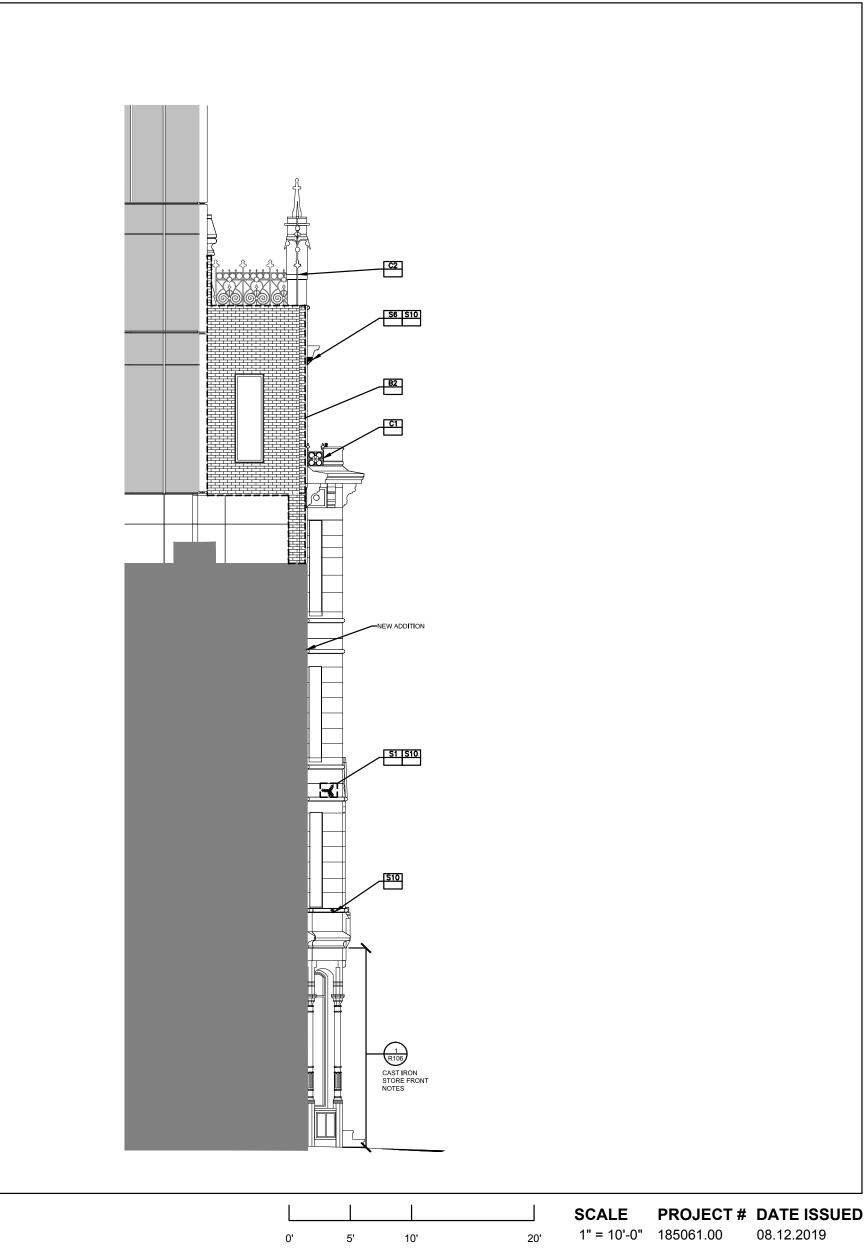
XX QUANTITY (IF APPLICABLE)

PATCH HOLE



617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114



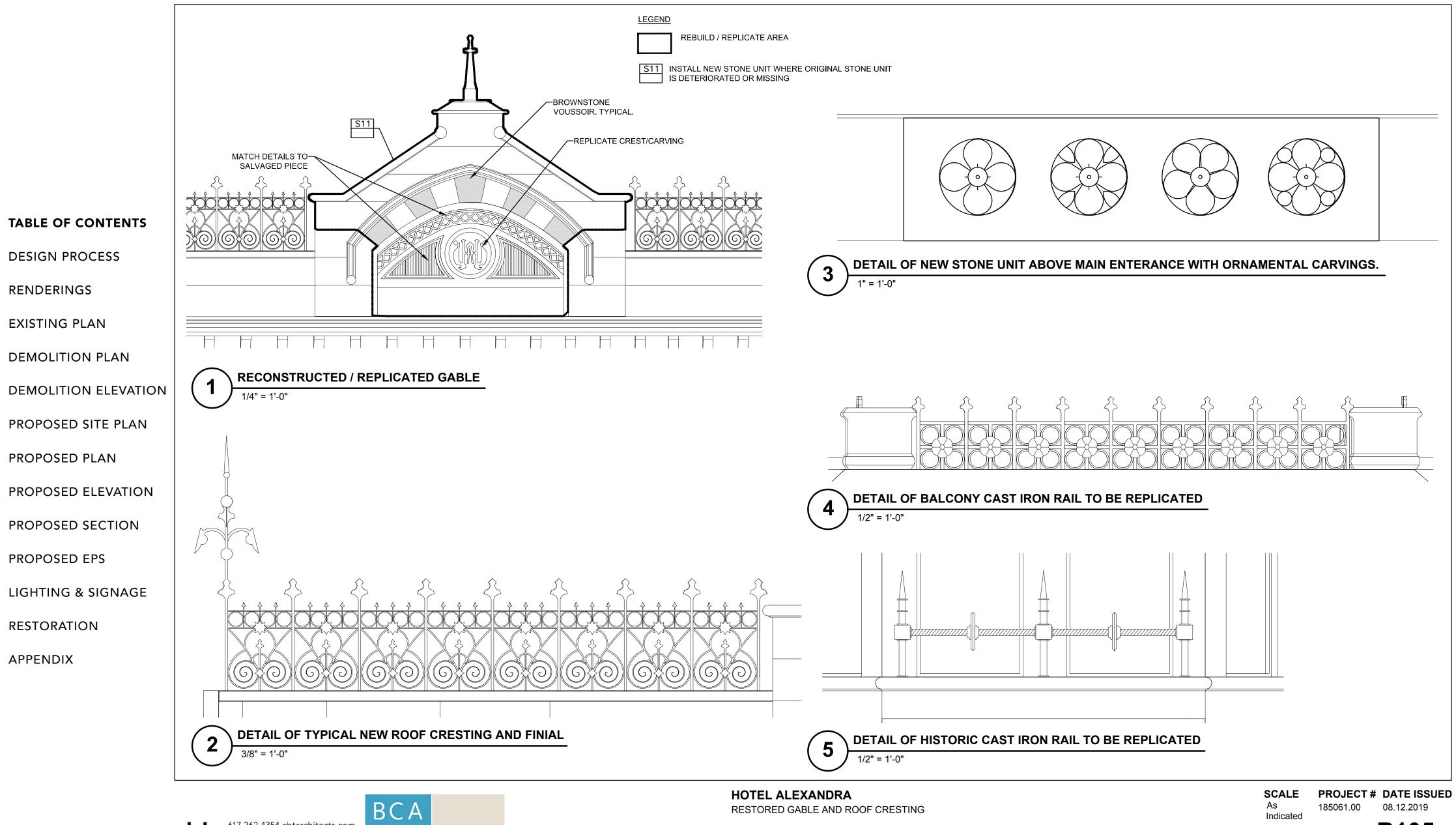






∎≣∎ TCR





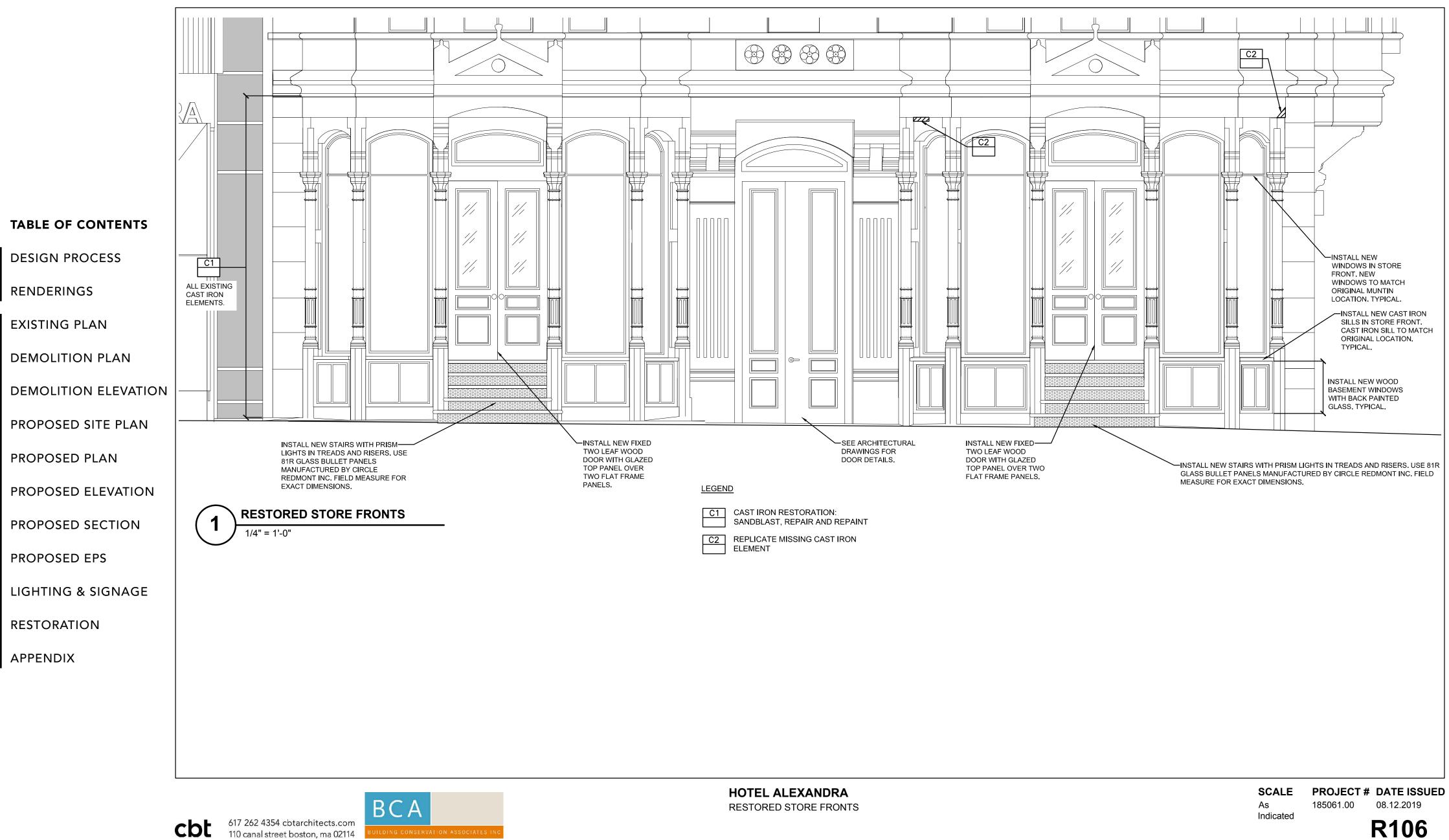


617 262 4354 cbtarchitects.com 110 canal street boston, ma 02114











Cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114







DESIGN PROCESS

RENDERINGS

EXISTING PLAN

DEMOLITION PLAN

DEMOLITION ELEVATION

PROPOSED SITE PLAN

PROPOSED PLAN

PROPOSED ELEVATION

PROPOSED SECTION

PROPOSED EPS

LIGHTING & SIGNAGE

RESTORATION

APPENDIX





PHOTO 1: EXISTING BALCONY CAST IRON RAIL ON THE SOUTH ELEVATION. PHOTO 2: EAST ELEVATION. RESTORE REPLICATE EXISTING BALCONY RAIL WHERE MISSING ON SOUTH AND EAST CAST IRON STAIRS WITH PRISM LIGHTS ELEVATIONS.



PHOTO 5: 1899 PHOTO SHOWING STORE FRONT WITH CAST IRON STAIRS WITH PRISM LIGHTS AND DOUBLE DOORS



PHOTO 6: ORIGINAL CAST IRON ROOF CRESTING TO BE REPLICATED



617 262 4354 cbtarchitects.com Cbt617 262 4354 cbtarchitects.com110 canal street boston, ma 02114





PHOTO 3: EAST ELEVATION, ORIGINAL SHEET METAL BAYS TO BE REPLICATED



PHOTO 4: EAST ELEVATION, REPLICATE EXISTING HISTORIC CAST IRON RAIL ON BALCONY ON BAY WHERE MISSING



PHOTO 7: ORIGINAL SANDSTONE GABLE DETAIL TO BE REPLICATED WHERE DETAILS ARE NOW MISSING

HOTEL ALEXANDRA PHOTOGRAPHS

SCALE PROJECT # DATE ISSUED 185061.00 08.12.2019 N/A







APPENDIX 2019.5.22 SELDC PRESENTATION







BPDA MEETINGS

BPDA Preservation Planner June 27, 2018 **BPDA Preservation Planner, SELDC Commissioners** July 10, 2018 **BPDA Director of Development Review, Staff** July 17, 2018 SELDC Advisory August 7, 2018 BPDA Project Manager, Staff September 11, 2018 **BPDA Pre File** September 20, 2018

EPNF Submission

November 30, 2018 **BCDC Presentation & SELDC Presentation** December 4, 2018 BPDA Scoping Session December 17, 2018 **BPDA Transportation Meeting** January 8, 2019

BCDC SELDC Meeting

January 22, 2019

BPDA Meeting

February 11, 2019 BCDC Meeting February 12, 2019

BTD Meeting

February 13, 2019 **SELDC** Meeting February 20, 2019

BCDC Meeting March 5, 2019

BPDA Board Meeting March 14, 2019 **BPDA Meeting** APRIL 17, 2019

PUBLIC MEETINGS

Worcester Square Area Neighborhood Association, Hurley Blocks, Mandela Residents Cooperative Association, and South End Forum

July 10, 2018

South End Forum September 11, 2018

Chester Square Neighbors October 3, 2018 Councillor Janey October 10, 2018 Washington Gateway October 17, 2018 Worcester Square Association October 23, 2018 Blackstone/Franklin Neighborhood Association November 13, 2018

Public Meeting January 9, 2019 IAG Meeting 01 January 16, 2019

IAG Meeting 02 January 30, 2019 Public Meeting February 07, 2019

IAG Meeting 03 February 13, 2019

IAG Meeting 04 February 27, 2019

Public Meeting March 11, 2019





IGN FFFNRACK & PR

BOSTON CIVIC DESIGN COMMISSION & SOUTH END LANDMARKS DIS

BCDC

2018.12.04

BCDC & SELDC meeting (seperate)

2019.01.22 BCDC & SELDC joint meeting

2019.02.12

BCDC & SELDC joint meeting

- Understand height relation
- : Provide large context p
- Study to provide addition new addition
- Study west facade
- Study top massing (set)
- Study west facade

2019.02.20 SELDC

2019.03.05

BCDC

• Simple glass facade opt • Introduction of third fac

(Approved / Condition : Return to the BCDC Commission after review of the SELDC)

2019.03.14 BPDA

NEXT STEPS

STRICT COMMISSION	
C	SELDC
ationship in the context ohysical model	 Study lower massing : Street wall Study rooftop massing Study entrance treatment
ional setback at the	
tback)	 Study facade treatment options for
,	lower massing
	 Study west facade
	 Study lower facade
otion was recommended (acade palette on the lowe	Alexandra to be primary) er massing was discouraged
to the BCDC Commission after r	aview of the SFIDC)

BPDA Board approval

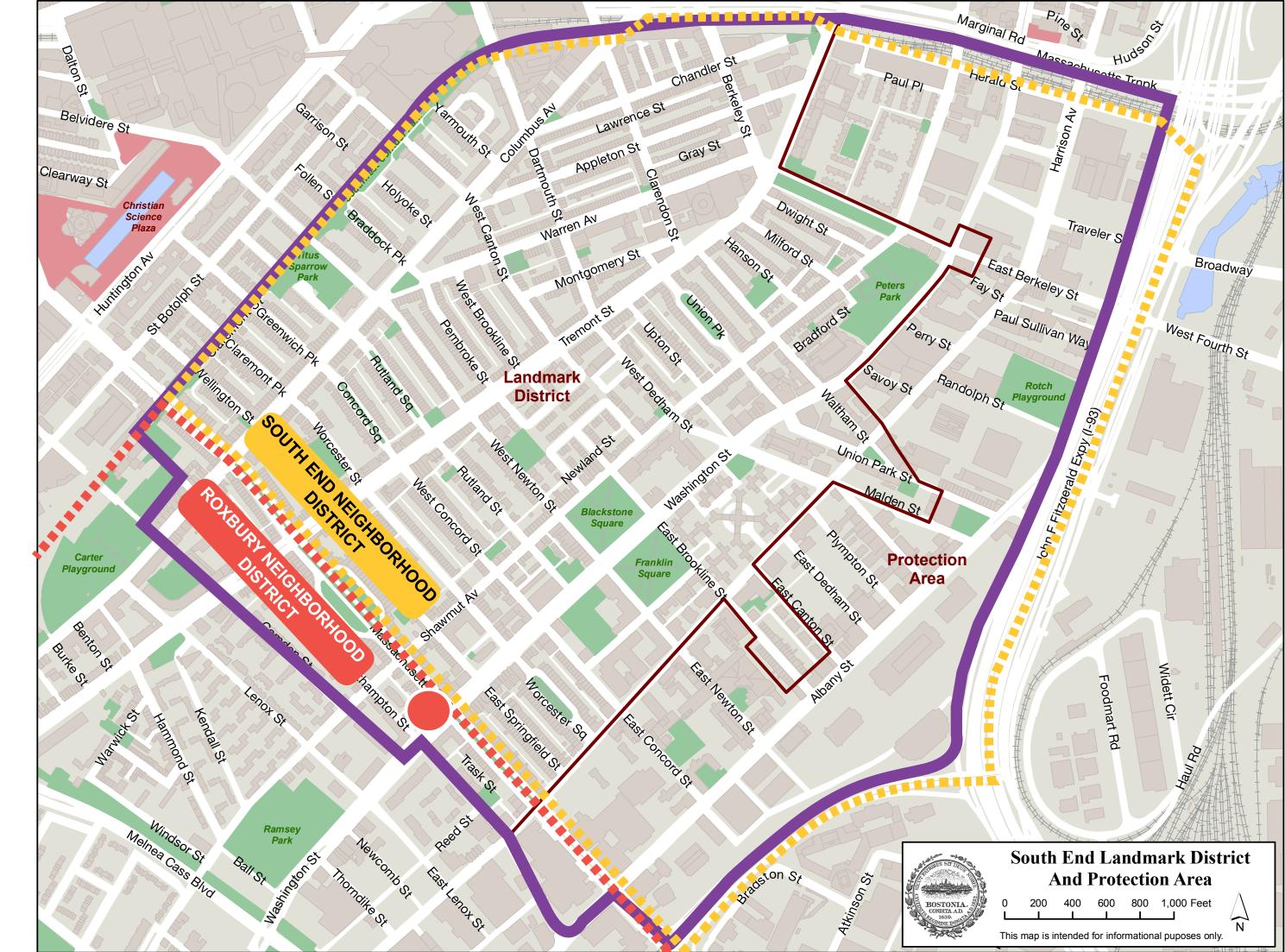
ZBA (ARTICLE 50) & SELDC APPROVALS





THE ALEXANDRA : CONTEXT

ROXBURY NEIGHBORHOOD DISTRICT & SOUTH END LANDMARK DISTRICT AND PROTECTION AREA



ROXBURY NEIGHBORHOOD DISTRICT

SOUTH END NEIGHBORHOOD DISTRICT

SOUTH END LANDMARK DISTRICT





NFSIGN APPRNACH

SPECIAL CONDITION



A BUILDING THAT ELEGANTLY FITS INTO SOUTH END LANDMARK DISTRICT

- RESPECT DESIGN GUIDELINES AND INTENTIONS
- AVOID CREATING IMITATIVE AND FALSE SENSE OF HISTORIC ELEMENTS

A DESIGN THAT EMPHASIZES THE EXISTING ALEXANDRA

- HISTORIC RESTORATION OF THE EXISTING ALEXANDRA BUILDING
- SIMPLE MASSING THAT CAN ACT AS THE BACKDROP FOR ALEXANDRA
- MATERIAL/COLOR PALETTE THAT GIVES EMPHASIS TO ALEXANDRA
- DETAILS THAT COMPLEMENT CRAFT OF ALEXANDRA



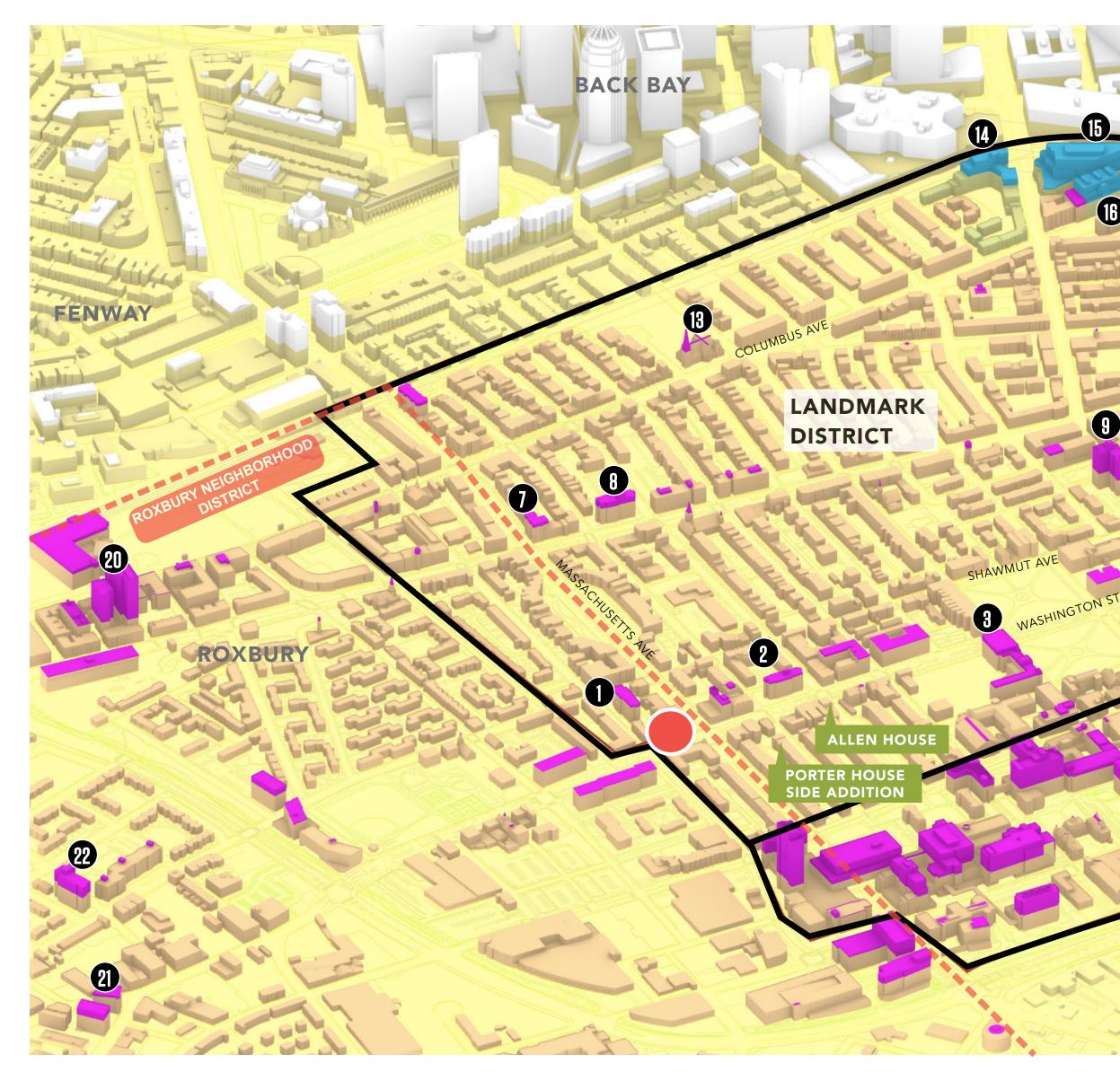


REQUESTED RESEARCH





BUILDINGS OVER 70FT (BASED ON BPDA 3D MODEL)



6 PENNY SAVINGS BANK

6

4)

12

(16)

9

PROTECTION AREA

BAY VILLAGE

70FT DATUM (YELLOW SURFACE)

BUILDINGS OVER 70 FT (BASED ON BPDA 3D MODEL)

BUILDINGS OVER 70 FT (BUILT AFTER 1983)

MAJOR RENOVATION

* YEAR BUILT BASED ON MASSACHUSETTS INTERACTIVE PROPERTY MAP

<u>SOUTH END LANDMARK DISTRICT</u> 155 NORTHAMPTON ST (1973) 2 - 1701 WASHINGTON ST (1900) 3 - FRANKLIN SQ APARTMENTS (1923) 4 - CATHEDRAL HOUSING (1951) 5 - CATHEDRAL OF HOLY CROSS (1899) 1313 WAHSINGTON ST <u>(2002)</u> - 492 MASSACHUSETTS AVE (1910) 8 - 755 TREMONT ST (1899) 9 - 80 WEST DEDHAM ST (1980) 10 - 557 TREMONT ST (1900) - 2 CLARENDON ST (1988) - ATELIER 505 (2003) 13 - UNION CHURCH (1899) 14 - TENT CITY (1987) - 131 DARTMOUTH ST (2001) 303 COLUMBUS AVE (2009) 17 - 285 COLUMBUS AVE (1924, 2007) 18 - 95 BERKLEY ST (1899) 19 - BFIT (1920)

<u>RUXBURY</u>

CHINA TOWN

20 - NORTHEASTERN STUDENT HOUSING 21 - DUDLEY MUNICIPAL BUILDING 22 - 757 SHAWMUT AVE





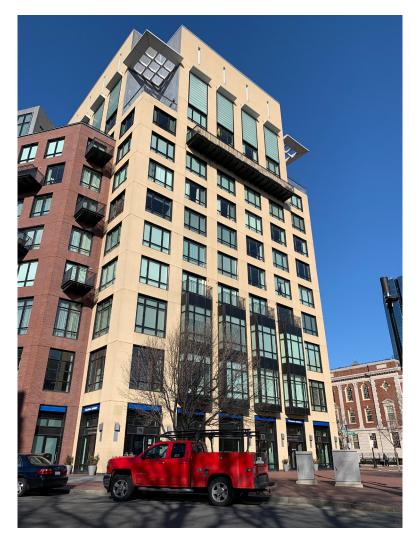


BUILDINGS OVER 70FT



Franklin Square Apartments - 90 FT

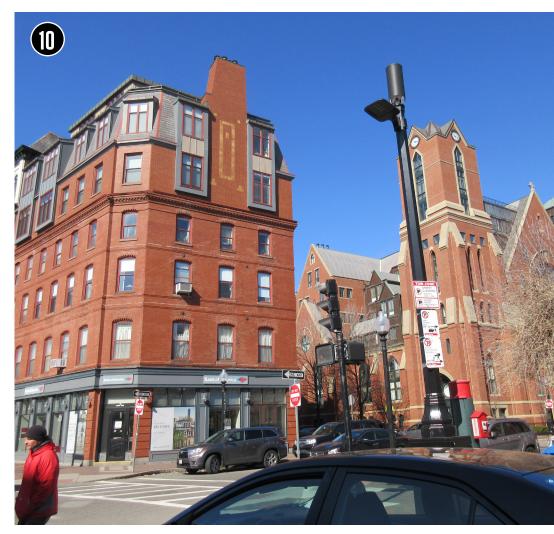




Atelier 505 -135 FT



Cathedral Housing - 156 FT

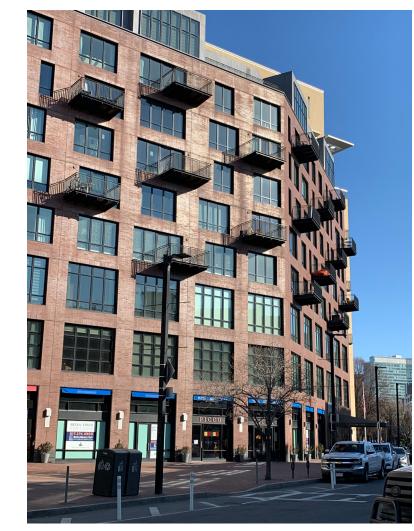


2 Clarendon St - 81 FT

* HIEGHT IS BASED ON BPDA 3D MODEL



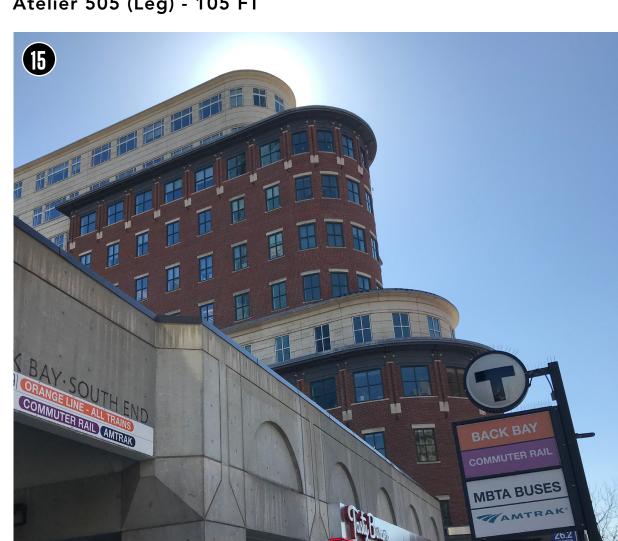
Cathedral of The Holy Cross - 140 FT



Atelier 505 (Leg) - 105 FT



Tent City - 124 FT

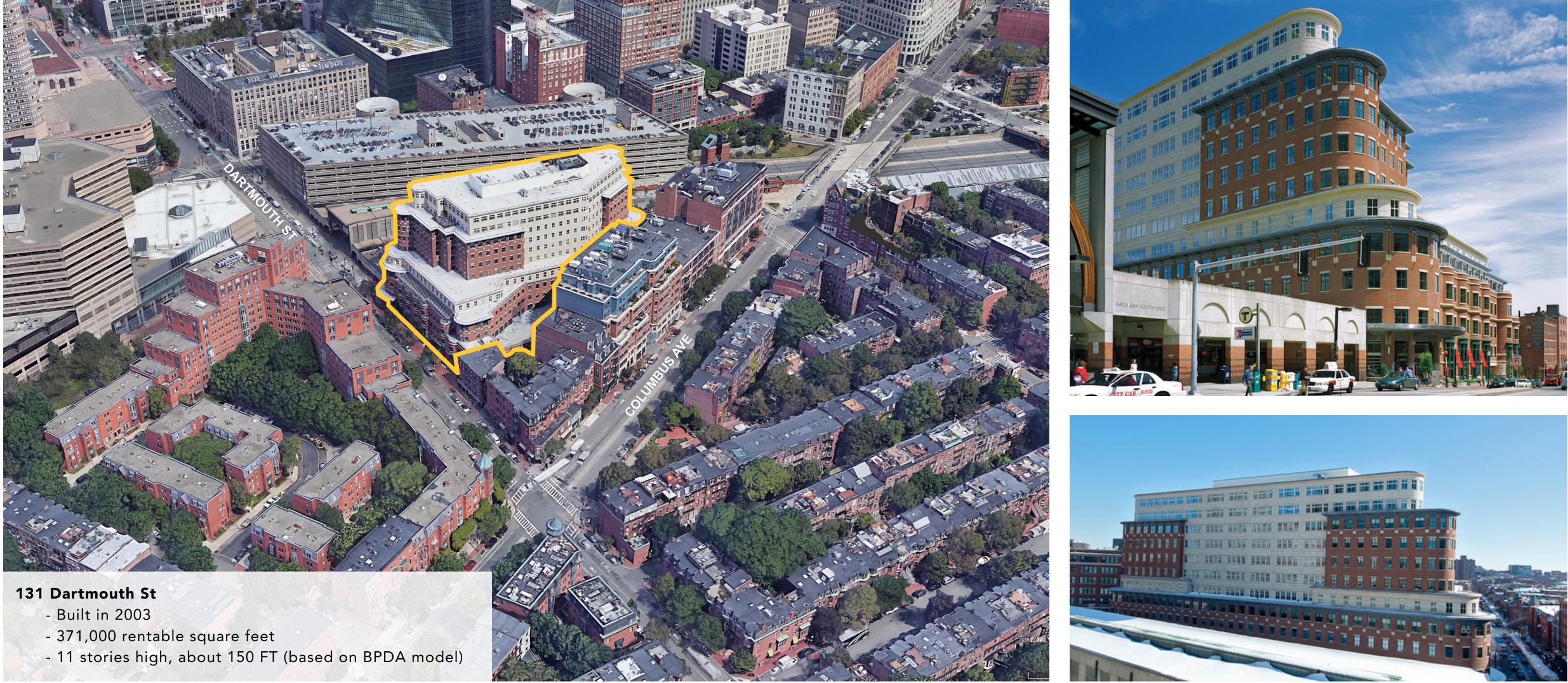


131 Dartmouth St - 148 FT





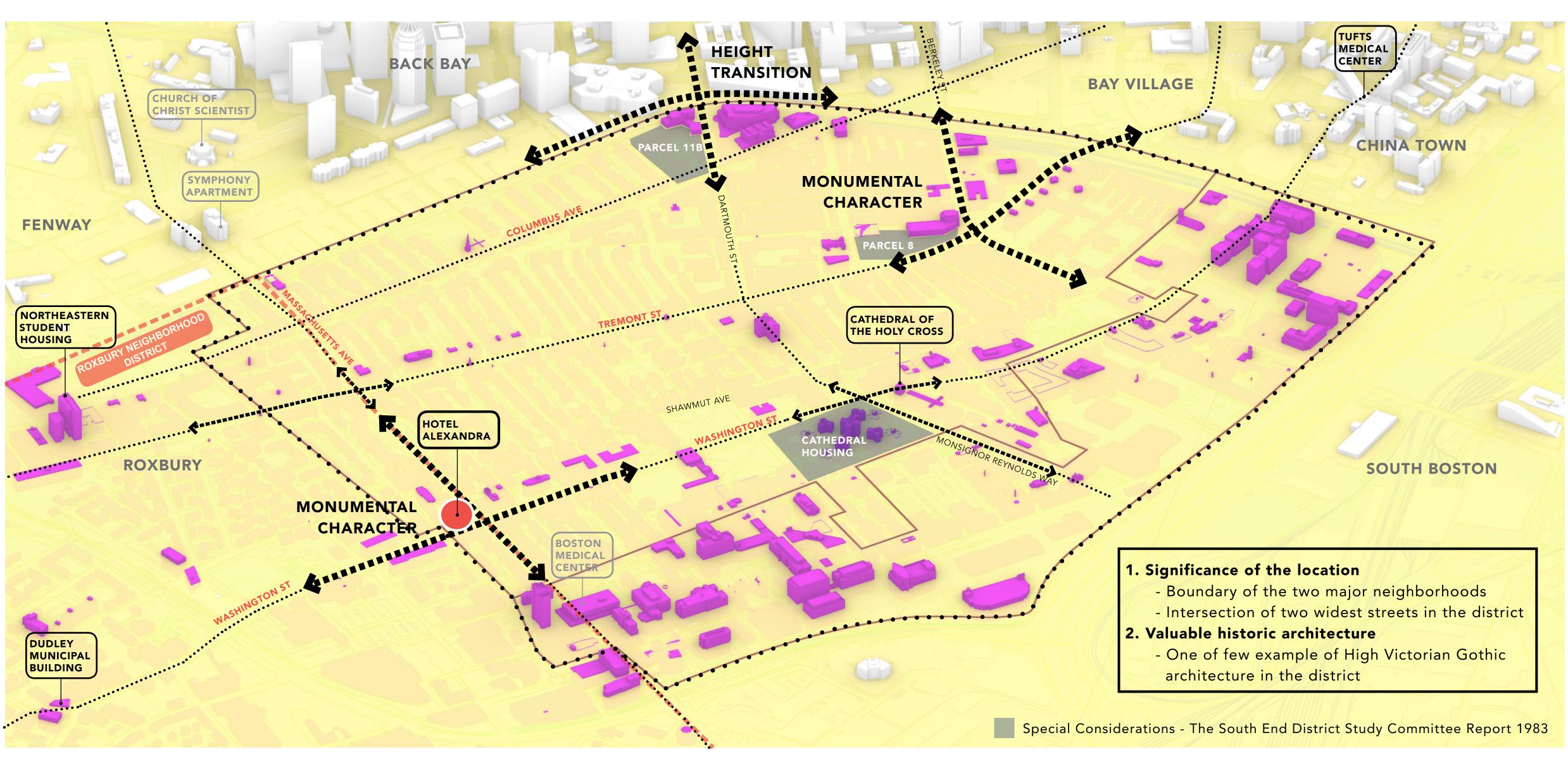
131 DARTMOUTH ST







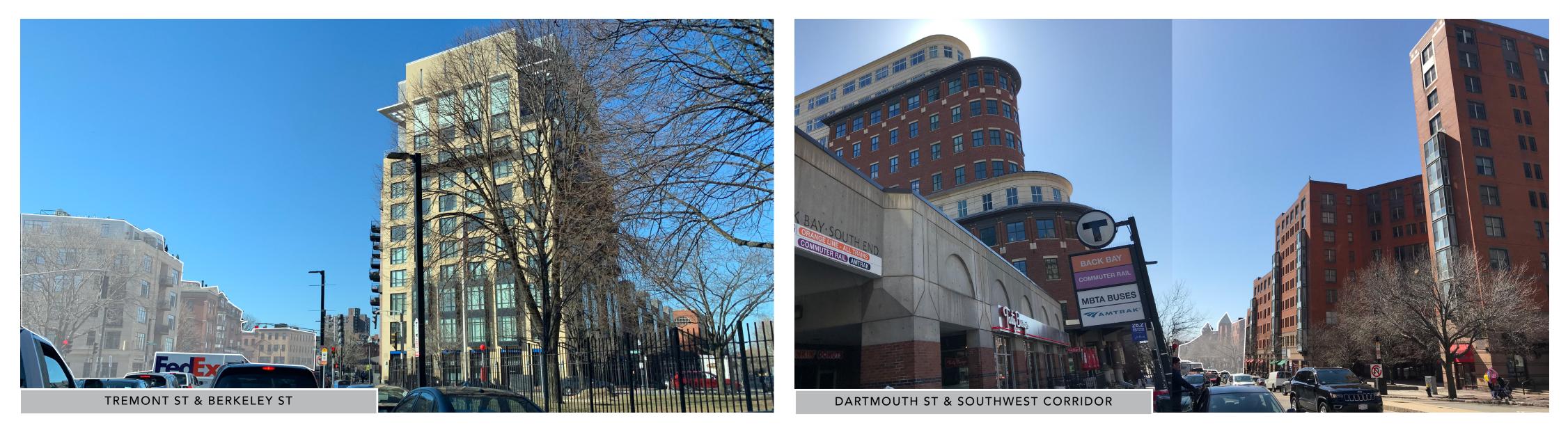
SITE ANALYSIS







INTERSECTION AND SPECIAL BUILDINGS









∎≣∎ TCR



DESIGN GUIDELINES





SOUTH END LANDMARK DISTRICT STUDY REPORT

STANDARDS AND CRITERIA - NEW CONSTRUCTION

A GENERAL STATEMENT OF INTENT

B HEIGHTS

C SETBACK

D LOT COVERAGE

E BUILDING MATERIAL

F DESIGN FEATURES

1. The District contains vacant parcels of varying sizes and shapes, many of which once held rowhouses. New construction on these sites have a potential for reinforcing and enhancing the streetscape of the South End. Inapporapriate design could introduce the intrusive elements of incompatible bulk, material and detail. To insure that new construction has a positive effect on the historic physical character of the Landmark District, proposals for new construction will be reviewed for compatibility with the existing architecture in such critical factors as land coverage, bulk, material, and proportion. Therefore, the focus of the standards and criteria is on the **compatibility of new** construction with the existing character of the South End without dictating style or taste.

4. For buildings of monumental character, such as schools, churches or other institutional uses, the commission may waive portions of these standards and criteria which it deems to be inappropriate. The standards and criteria pertaining to height and materials shall be enforced. Where a new non-residential building has frontage on a block of predominantly residential rowhouse character, the Commission may require stricter adherence to these standards and criteria for that frontage alone.

5. The Landmark Commission shall determine the required degree on conformity of the new construction to the architecture of adjacent buildings, according to the strength of the existing neighborhood design and the configuration of the parcels to be developed...







STANDARDS AND CRITERIA - NEW CONSTRUCTION











STANDARDS AND CRITERIA - NEW CONSTRUCTION

A GENERAL STATEMENT OF INTENT



B HEIGHTS

C SETBACK

D LOT COVERAGE

E BUILDING MATERIAL

F DESIGN FEATURES

1. The maximum height of any new construction shall be seventy feet, and minimum shall be thirty feet, the latter being exclusive of ells. 2. Within this limitation, the following shall apply to any new construction on parcels in Category A:

a. The new building shall have the same height and cornice line

as adjacent existing buildings having common property lines. b. In the event a new building has two such abutters of differing heights and cornice lines, it shall conform to one of them, or it may step to match, i.e., each at the common property line.

c. In the event the height of the adjacent existing building is great or smaller than the overall limitation, or is radically different from the remainder of the block, the Commission may set the height for the new building.







STANDARDS AND CRITERIA - NEW CONSTRUCTION

A GENERAL STATEMENT OF INTENT

B HEIGHTS

C SETBACK

D LOT COVERAGE

E BUILDING MATERIAL

F DESIGN FEATURES



1. The maximum setback for a new builidng shall be ten feet, except as follows.

a. A new building in Category A shall have the **same setback as** adjacent buildings having common property lines.

b. In the event a new building in Category A has **two such** abutters with different setbacks, it shall have the same setback as **one of them**, or it may step to match both of them.

c. A corner building in Category A shall have the same setback as its abutters on the primary frontage. No setback is required on the secondary frontage; if one is provided, it shall be the same as the adjacent building on the secondary frontage.







STANDARDS AND CRITERIA - NEW CONSTRUCTION

A GENERAL STATEMENT OF INTENT



A New building shall occupy the **full width of its primary frontage**, at the property or setback line.

B HEIGHTS

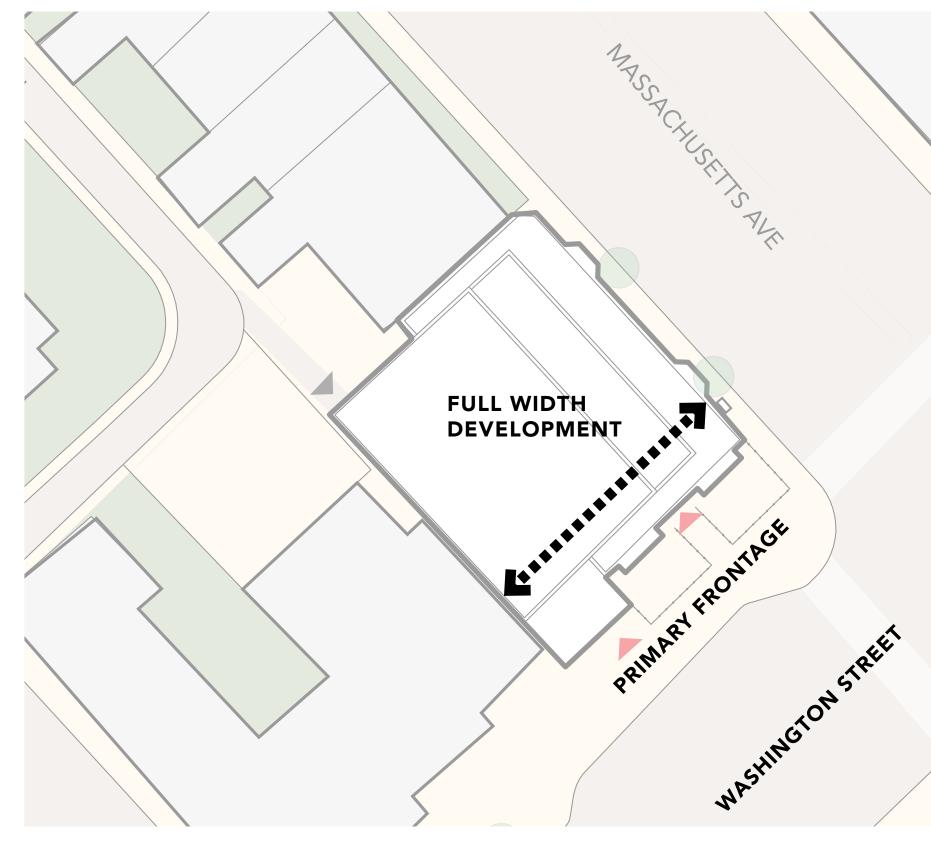
C SETBACK

D LOT COVERAGE

E BUILDING MATERIAL

F DESIGN FEATURES



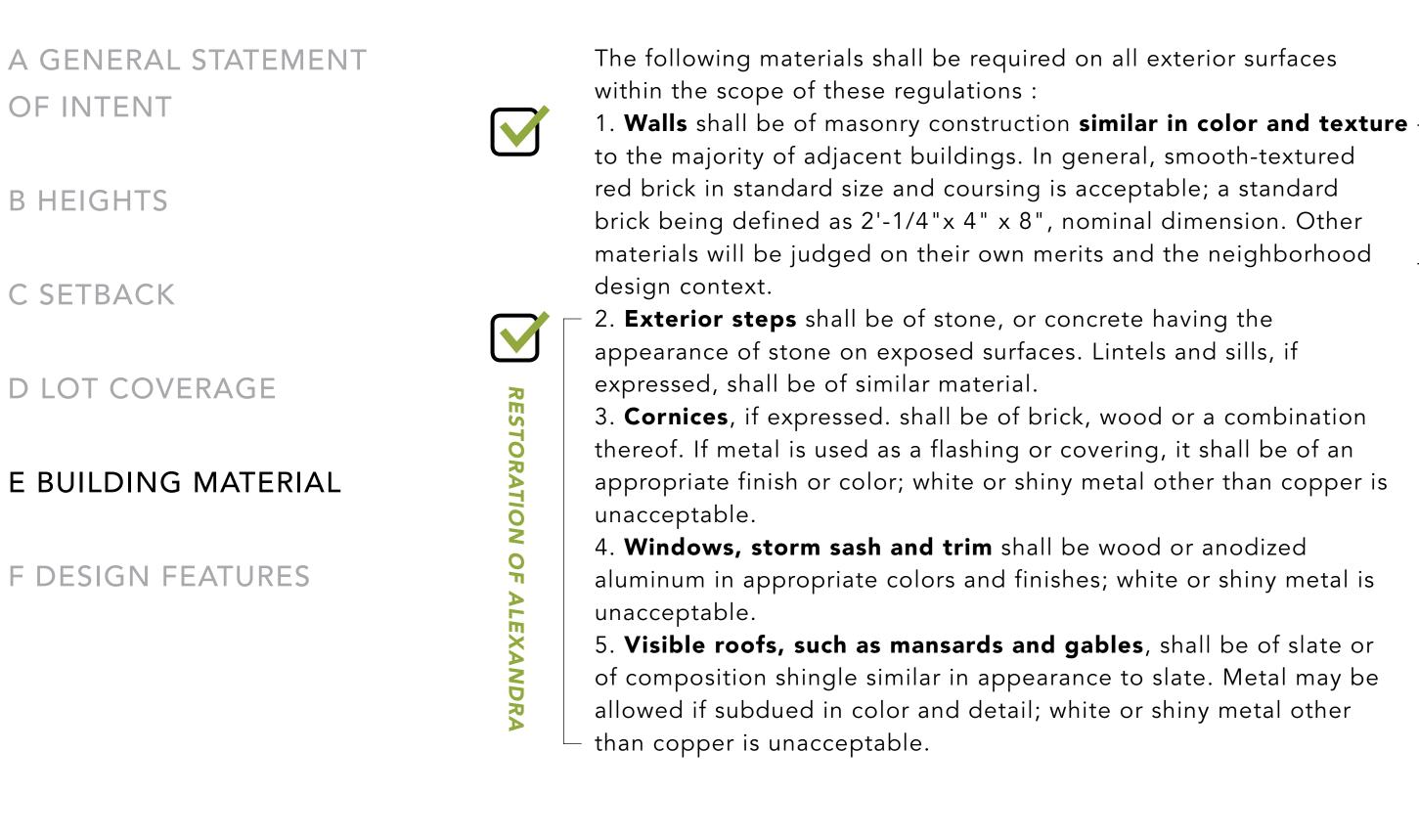








STANDARDS AND CRITERIA - NEW CONSTRUCTION







STANDARDS AND CRITERIA - NEW CONSTRUCTION

A GENERAL STATEMENT **OF INTENT**

B HEIGHTS

C SETBACK

D LOT COVERAGE

E BUILDING MATERIAL

F DESIGN FEATURES

For new buildings in Category A, the following feature are required; for Category B, they are recommended.





1. A new building shall match its abutters at common property line in general conformation of roof and cornice; details may be simplified. In the event there are two abutters with differing roof forms, the new buildings shall conform to one of them, or it may match each at the common property lines.







2. Window openings shall approximate the number, size and positioning of those of its abutters. The **vertical** dimension of the opening should exceed the horizontal.

3. The entrance doorway shall approximate those of adjacent building in overall size, proportion and position.

4. For new buildings in either category, the use of elements which give the existing buildings of the district their essential character is recommended. Where used, they should approximate the proportions and materials of the existing buildings. These elements include, but are not limited to the following:

a. Bay, bow, oriel, and dormer windows,

- b. Mansard and gable roofs
- c. Cornices
- d. Exterior steps
- e. Decorative ironwork, railing and fences
- f. Recessed doorways
- g. Entrance canopies
- h. Chimneys
- i. Exterior lighting

5. It is not required that new buildings on the large parcels in Category A or B conform internally to the narrow rowhouse **configuration** typical of the district. It is recommended that such larger buildings avoid the appearance of monolithic apartment blocks through the use of design elements characteristics of the rowhouse blocks. Entrance doorways and steps should occur at a maximum of 45 feet on center; a more frequent spacing of 18 to 28 feet is recommended; the use of repeating bay, bow or oriels is especially recommended







STANDARDS AND CRITERIA - NEW CONSTRUCTION

- Setback : New portion aligns to adjacent building
- Lower massing roof line aligns to Alexandra cornice
- Entrance roof line aligns to adjacent building
- Entrance doorway size similar to Alexandra
- Vertical fenestration proportion & reinterpretation of Alexandra facade fenestration rhythm

• Mullion cap & screen detail color in brown tone which is prevailing neighborhood building tone

ADJACENT BUILDING ROOF

WASHINGTON ST

NEW ENTRANCE

36 FT







STANDARDS AND CRITERIA - NEW CONSTRUCTION







STANDARDS AND CRITERIA - NEW CONSTRUCTION

Secretary of the Interior's Standards for Rehabilitation (National Park Service)

1. Each property will be recognized as a physical record of its time, place and use. Changes that historic properties, will not be undertaken.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

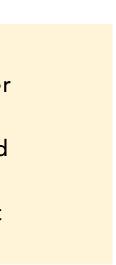
A) Simple flat massing

- Alexandra becomes the primary
- No massing conflict (clear hierarchy)
- BCDC feedback aligns with the design



1. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other

- B) Bow expression exploration
 - Massing seems forced
 - New building catches more attention than the Alexandra

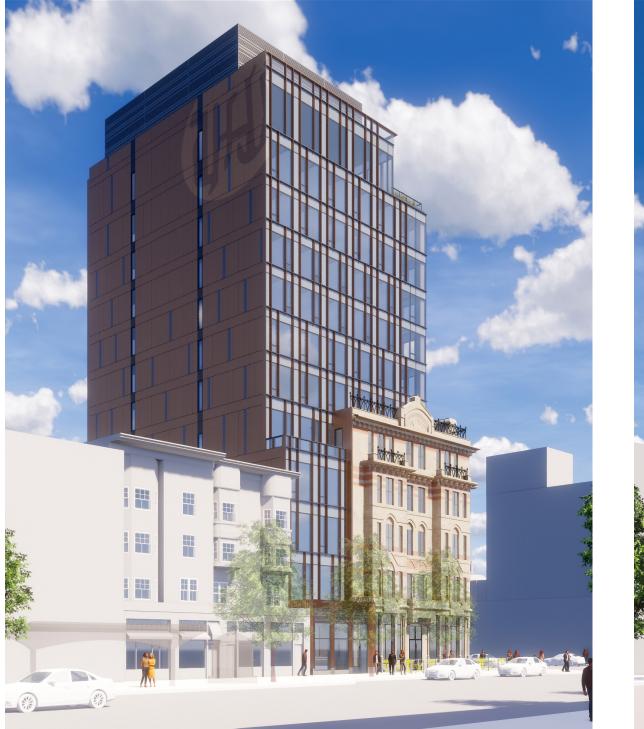




WEST FACADE DESIGN UPDATE

BCDC & SELDC DESIGN FEEDBACK

2019.01.22 BCDC SELDC MEETING



2019.02.12 BCDC SELDC MEETING







WEST FACADE DESIGN UPDATE

BCDC & SELDC DESIGN FEEDBACK

View from Washington St West



Close up view







EYE LEVEL VIEW - MASSACHUSETTS AVE SOUTH



Photo as of March 25, 2019







≡≡ TCR

EYE LEVEL VIEW - MASSACHUSETTS AVE NORTH







EYE LEVEL VIEW - ENTRANCE AREA



WASHINGTON ST





EYE LEVEL VIEW - ENTRANCE AREA







HOTEL RESEARCH





WHITNEY HOTEL (BOSTON)

DOWNTOWN

NORTH END

BEACON HILL

ORIGINAL BLDG YEAR : 1909

RENOVATION BLDG YEAR: 2019

TOTAL : 66 ROOMS (EXISTING 45 ROOMS + NEW 21 ROOMS)

TOTAL AREA : 36,000 SF (ADDITION : 12,000 SF)

PRICE : (KING) \$489.00 / NIGHT

HIGH LINE HOTEL (NEW YORK)

HUDSON YARDS

ORIGINAL BLDG YEAR : 1865 RENOVATION BLDG YEAR : 2013 TOTAL : 60 ROOMS TOTAL AREA : 43,058 SF

PRICE : (KING) \$439.00 / NIGHT

CHELSEA

DISTRICT



LIBERTY HOTEL (BOSTON)

DOWNTOWN

NORTH END

BEACON HILL

1 2 10 0 × 1

1 48 APS

ORIGINAL BLDG YEAR : 1851 (JAIL) **RENOVATION BLDG YEAR : 2007** TOTAL: 298 ROOMS PRICE : (KING) \$375.00 / NIGHT







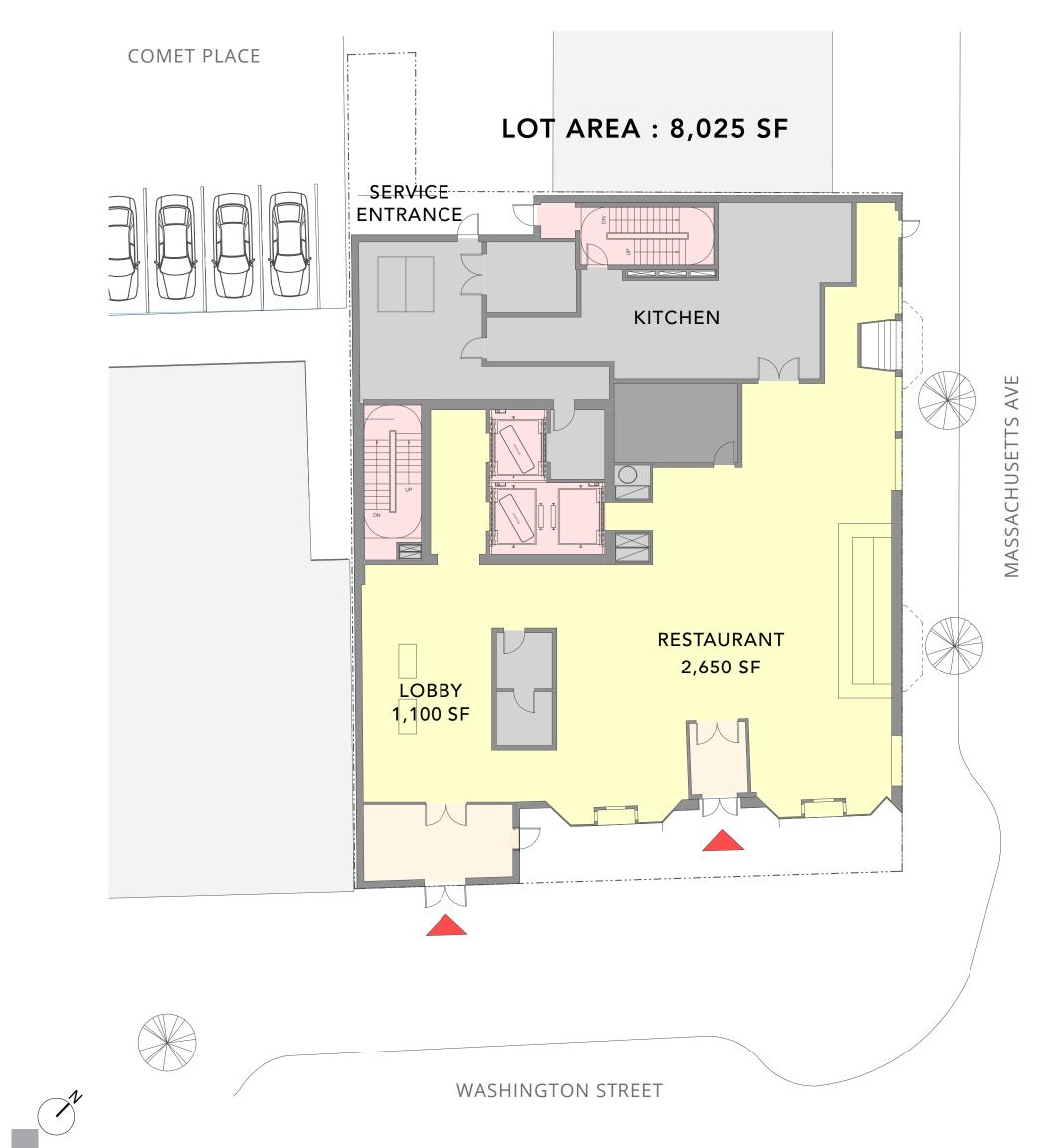
PLANS



≡≡ TCR



PROPOSED GROUND FLOOR PLAN



PROPOSED TYPICAL LOWER LEVEL

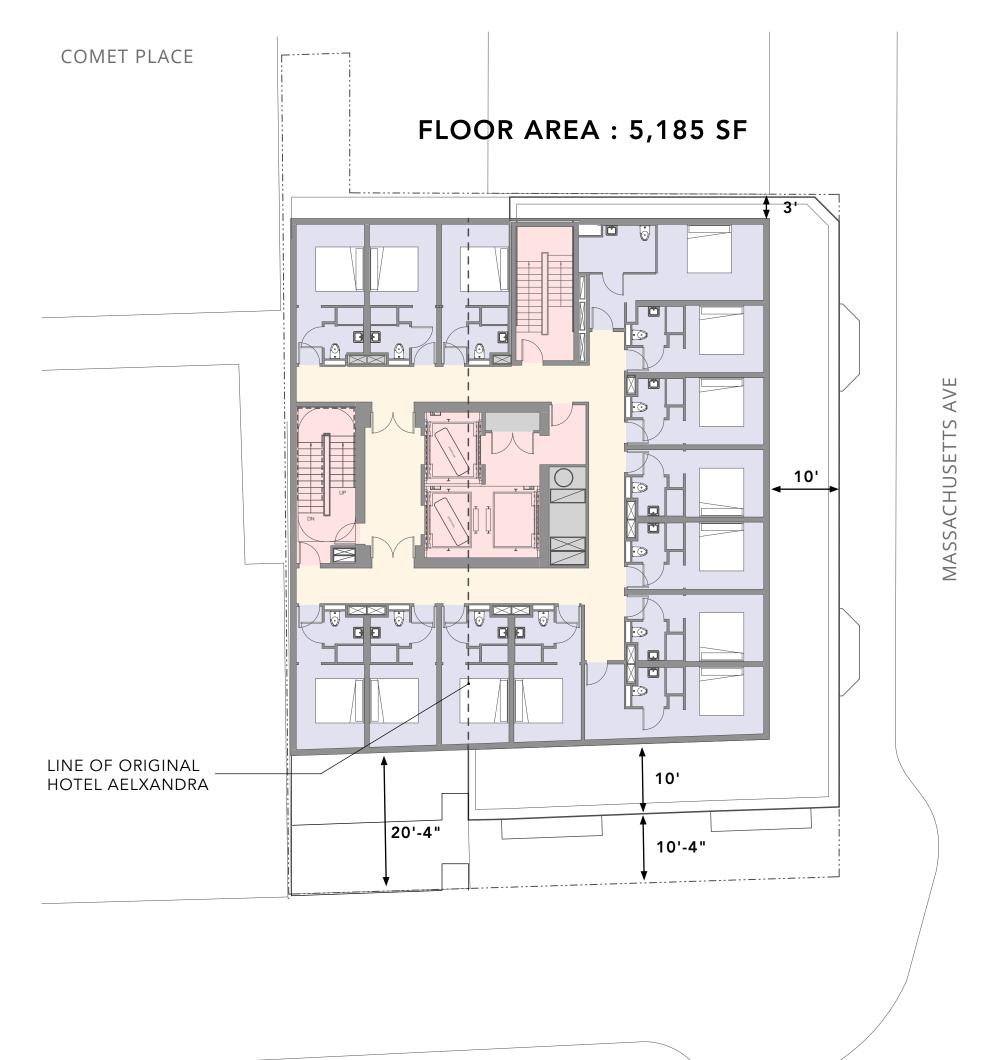


WASHINGTON STREET



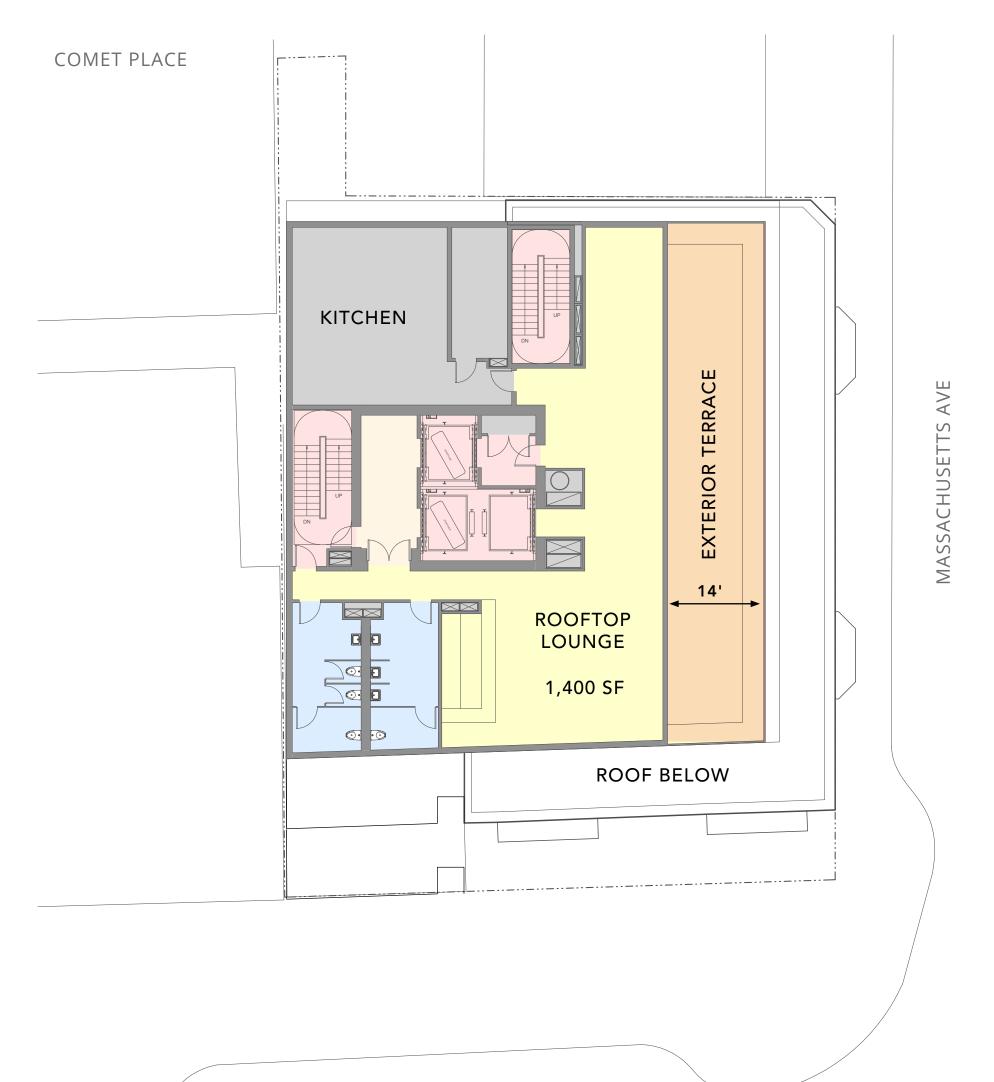


PROPOSED UPPER FLOOR PLAN



WASHINGTON STREET

PROPOSED ROOFTOP LEVEL



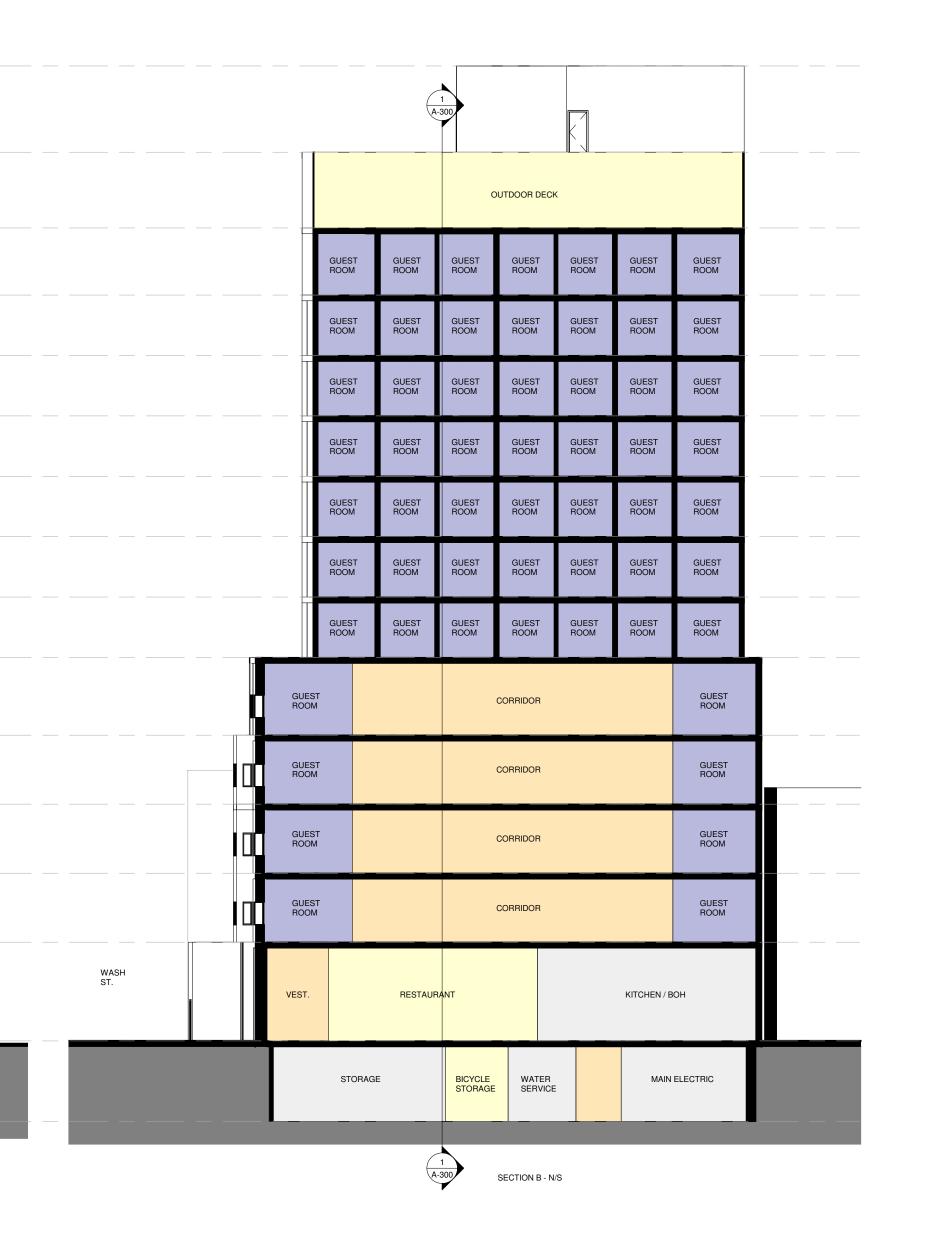
WASHINGTON STREET





SECTION

2 CONTROL CONTROL 4*100*1 2 CONTROL CONTROL 4*10	UPPER ROOF				·	
8 0000000 10000 0000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 000000 4 1000 10 2 0000000 0000000 4 1000 10 2 0000000 0000000 4 1000 10 2 00000000 0000000 4 1000 10 2 00000000 0000000 4 1000 10 2 00000000 0000000 4 1000 10 2 00000000 0000000 4 1000000000000000000000000000000000000				A	2 -300	1
За Соявоая 2000 -1991 2 2 Соявоая 20000 -1991 2 2 Соявоая 200000 -1991 2 2 Соявоая 200000 -1991 2 2 Соявоая 2000000 -1991 2 Соявоая 20000000		13.2	CORRIDOR	LOUNGE		
За Сонкон Ролод		20 20 20 20 20 20 20 20 20 20 20 20 20 2	CORRIDOR		GUEST ROOM	
5 Соппол REAL 4 10001 0 5 Соппо		9 9 9	CORRIDOR		GUEST ROOM	
Вели и Соявоов Вели и • Level a 6 Соявоов Вели и Вели и • Level a 6 Соявоов Вели и Вели и • Level a 6 Соявоов Вели и Вели и • Level a 6 Соявоов Вели и Вели и • Level a<			CORRIDOR		GUEST ROOM	
Lovel 2 Se CORIDOR DUEST ROM 0 1 0 <th></th> <td>91-ئە 19-ئە</td> <td>CORRIDOR</td> <td></td> <td>GUEST ROOM</td> <td></td>		91-ئە 19-ئە	CORRIDOR		GUEST ROOM	
Hord 7 Basement Building Buildin	<u>Level 8</u> 87' - 8"		CORRIDOR		GUEST ROOM	
4 4 6 - 6 - 0 RUE RUE <td< td=""><th></th><td>+</td><td>CORRIDOR</td><td></td><td>ROOM</td><td></td></td<>		+	CORRIDOR		ROOM	
A Level 5 S3 - 2° S2 CORRIDOR QUEST ROOM QUEST	<u>Level 6</u> 66' - 8"					
Level 4 + Level 3 29' - 2' 51 CORRIDOR QUEST ROOM QUEST ROOM QUEST NASS AVE Lovel 2 17' - 2' NASS AVE QUEST NASS AVE Lobey / RESTAURANT QUEST Storace QUEST NASS AVE QUEST NASS AVE NASS AVE QUEST Storace		ب ب ب ب ب	CORRIDOR		ROOM	
Lovel 3 29' - 2'' GUEST ROOM Image: Construction of the second	<u>Level 4</u> 41' - 2"	12:0			GUEST ROOM	
Level 2 17'- 2" Lobby / RESTAURANT LOBBY / RESTAURANT LOBBY / RESTAURANT BASEMENT - 14' - 0" 2 2 2 2 2 2 2 2 2	← Level 3		CORRIDOR		GUEST ROOM	
CORRIDOR STORAGE	- <u>Level 2</u>	12:0"	CORRIDOR		GUEST ROOM	
BASEMENT -14' - 0"		17-2"	LOBBY / I	RESTAURANT		MASS AVE.
	Level 1	14:0"	CORRIDOR		STORAGE	
Ň	⊕ BASEMENT		SECTION A - E/W	(A	2-300	







HOTEL ROOMS

• 156 KEYS

BUILDING AREAS

- 83,760 GSF TOTAL AREA (INCLUDING BASEMENT AND MECHANICAL PENTHOUSE)
- 70,640 GSF ZONING AREA (WITHOUT BASEMENT, MECHANICAL PENTHOUSE, MECHANICAL SPACES, VERTICAL SHAFTS, ETC.).
- 27,367 GSF EXISTING HOTEL ALEXANDRA

BUILDING HEIGHTS

- 169'-6" TO TOP OF MECHANICAL PENTHOUSE.
- 154'-6" TO TOP OF ROOF STRUCTURE OF LAST OCCUPIABLE FLOOR (LEVEL 13)
- 141'-4" TO LAST OCCUPIABLE FLOOR (LEVEL 13)
- 65'-8" TO EXISTING HOTEL ALEXANDRA ROOF

BUILDING STORIES

- 13 STORIES (FOR BOTH BUILDING CODE AND ZONING)
- MECHANICAL PENTHOUSE IS LESS THAN 1/3 OF FLOOR BELOW SO DOES NOT COUNT AS STORY
- 5 STORIES FOR EXISTING HOTEL ALEXANDRA

BUILDING SITE

- 8,012 SF SITE AREA
- 8.82 F.A.R.



