

**APPLICATION  
ARTICLE 85  
DEMOLITION DELAY REVIEW**

Mailing Address:  
Environment Dept  
Boston City Hall, Rm 709  
Boston, MA 02201

**For Office Use Only**

APPLICATION # \_\_\_\_\_  
COMPLETE ON \_\_\_\_\_  
SIGNIFICANT \_\_\_\_\_  
HEARING DATE \_\_\_\_\_

*PLEASE PRINT LEGIBLY. SCAN AND EMAIL TO BLC@BOSTON.GOV*

**I. PROPERTY ADDRESS** 120 West 4th Street 02127  
33 A Street ZIP CODE  
 \_\_\_\_\_  
 NAME of PROPERTY

The names, phone numbers, postal and email addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicant.

**II. APPLICANT** Brenco Construction Company, Inc.  
 \_\_\_\_\_  
 Michael Moore General Contractor  
 \_\_\_\_\_  
 CONTACT NAME RELATIONSHIP TO PROPERTY  
36 Central Avenue, C-2 Milton MA 02186  
 \_\_\_\_\_  
 MAILING ADDRESS CITY STATE ZIP CODE  
617-719-2110 Brencoconstruction@gmail.com@gmail.com  
 \_\_\_\_\_  
 PHONE EMAIL  
Michael Indresano - 33A St Development LLC

**PROPERTY OWNER** CONTACT NAME  
120 West fourth St - AKA - 33 A Street Boston MA 02127  
 \_\_\_\_\_  
 MAILING ADDRESS CITY STATE ZIP CODE  
617.269.2400 michael@indresano.com  
 \_\_\_\_\_  
 PHONE EMAIL

**III. DOES THIS PROPOSED PROJECT REQUIRE ZONING RELIEF?** no  
 \_\_\_\_\_  
 IF YES, PLEASE INDICATE STATUS OF ZBA PROCESS \_\_\_\_\_  
 (If necessary, attach additional pages to provide more information.)

**IV. DESCRIPTION OF PROPOSED DEMOLITION: (REQUIRED)**

A BRIEF OUTLINE OF THE PROPOSED WORK **MUST** BE GIVEN IN THE SPACE PROVIDED BELOW. Describe the structure(s) to be demolished, including the number of existing housing units, and the number of new housing units to be constructed. Attachments are required to show details about the proposed project.

Remove and dispose of existing 1-story structure.

**V. REQUIRED DOCUMENTATION:** The following is a list of documents that **MUST** be submitted with this application. Failure to include adequate documentation will cause a delay in the review process.

- 1. PHOTOGRAPHS:** *Current, clear, high-quality color photographs of the property, properties affected by the proposed demolition, and surrounding areas must be labeled with addresses and dates.* Major elevations of the building(s) and any deterioration or reason for demolition should be documented. Photographs of the subject property seen from a distance with neighboring properties are required. All photographs must be keyed to a map (see below) to provide a thorough location description. **Images from the internet are not acceptable. There are no file size limits in the application, but a file size less than or equal to 20MB per photograph is preferred.**
- 2. MAP:** A *current and clear* map showing the location of the property affected by the proposed demolition must be submitted with this application. The map must be a full-page-sized street map, such as from a BPDA locus map or an internet mapping site.
- 3. PLOT PLAN:** A plot plan showing the existing building footprint and those of buildings in the immediate vicinity must be submitted with this application. Assessing parcel maps will be accepted, if the footprint of the relevant structure(s) is illustrated.
- 4. PLANS and ELEVATIONS:** If a new structure is being planned, a site plan, building plans and elevations of the new structure(s) must be submitted. If no new building is planned, submit plans for site improvements and a written narrative describing the proposed use and treatment of parcel. (Parking, landscaping, clear debris, fill excavations, etc.)
- 5. PROOF OF OWNERSHIP:** Proof of ownership must be submitted with the application. A copy of a property deed, property tax assessment bill, or other official documentation of property ownership is required.

NOTE: Copies of all documentation submitted with this application (photographs, maps, plot plans, etc.) should be retained by the applicant should additional copies be necessary for a commission hearing. Additional materials will be requested if a hearing is required.

**VI. NOTARIZED\* SIGNATURES:** Both the applicant's and the legal property owner's signatures must be notarized. In cases of multiple ownership, the chair of the condominium or cooperative association or authorized representative (such as a property manager) shall sign as owner; in cases of institutional ownership, an authorized representative of the organization shall sign as owner.

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury

APPLICANT Michael Moore OWNER\* Michael Indresano  
 PRINT Michael Moore PRINT Michael Indresano, Manager -33 A St Development LLC  
 \*(If building is a condominium or cooperative, the chairman must sign.)

On this 2 day of May, 2022, before me, the undersigned Notary Public, personally\*\* appeared Michael Moore (name of document signer), proved to me through satisfactory evidence of identification, which were MA Driver License, to be the person whose name is signed on the preceding or attached document January 2, 2026  
 My Commission Expires January 2, 2026  
 My official signature and seal of Notary  
 Notary Public  
 Commonwealth of Massachusetts  
 My Commission Expires  
 January 2, 2026  
 RICHARD MARK FROIO

On this 2 day of May, 2022, before me, the undersigned Notary Public, personally\*\* appeared Michael Indresano (name of document signer), proved to me through satisfactory evidence of identification, which were MA Driver License, to be the person whose name is signed on the preceding or attached document January 2, 2026  
 My Commission Expires January 2, 2026  
 My official signature and seal of Notary  
 Notary Public  
 Commonwealth of Massachusetts  
 My Commission Expires  
 January 2, 2026  
 RICHARD MARK FROIO

\*\*During the declared state of emergency due to COVID-19, digital notarization is allowed.

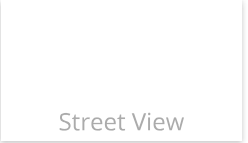
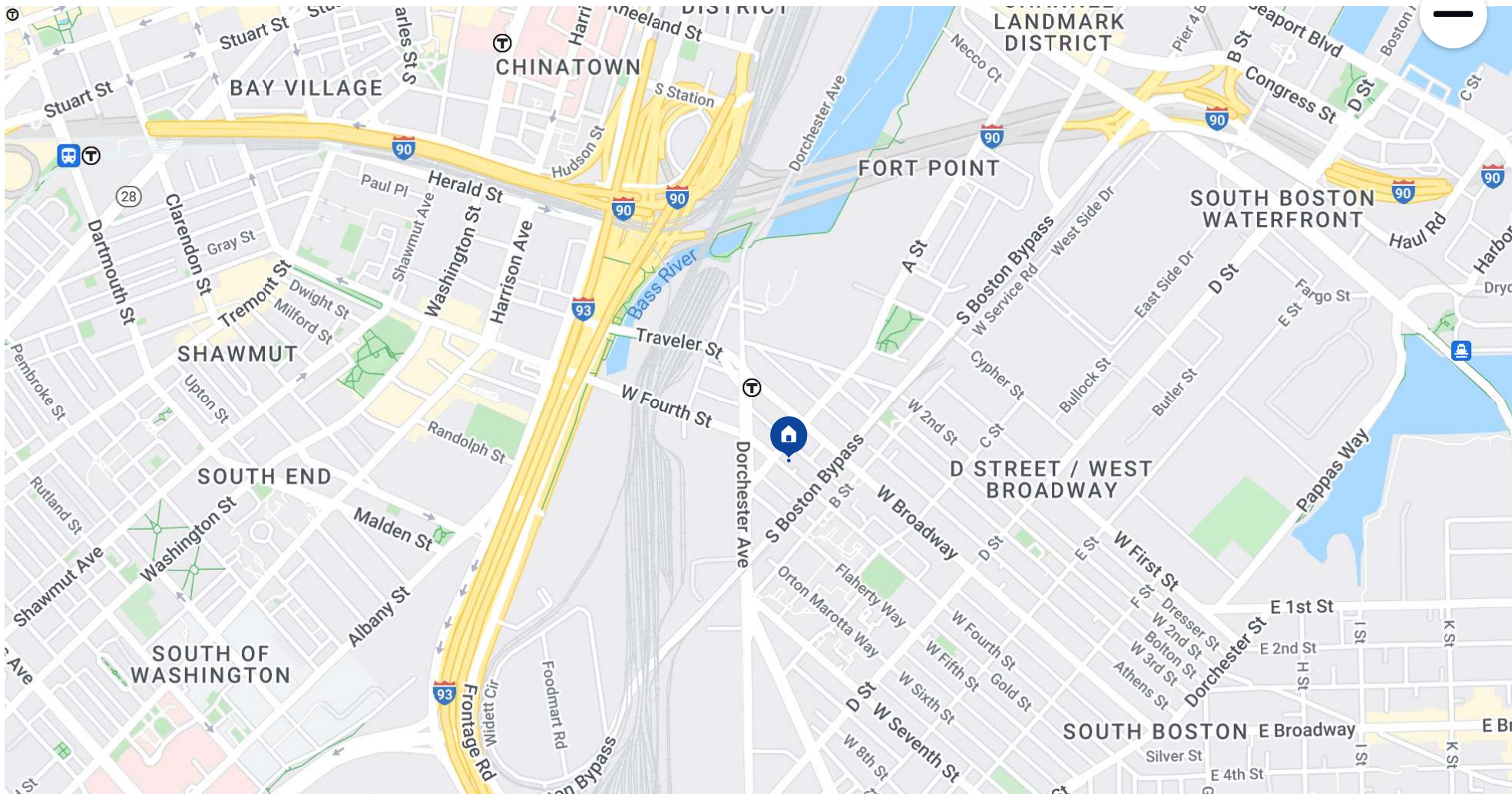
Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

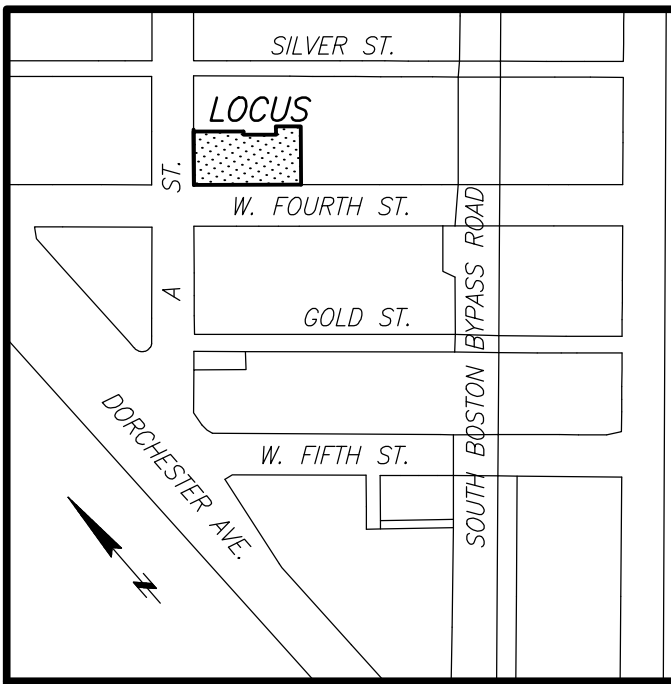
Please review all instructions and documentation requirements carefully before submitting your application. It is your responsibility to ensure the application is complete before submittal. **Incomplete applications will not be accepted.**

Once you have submitted the application, staff will review for completeness and will be in touch about next steps.

Map Satellite Lot lines

Directions Save Home Share

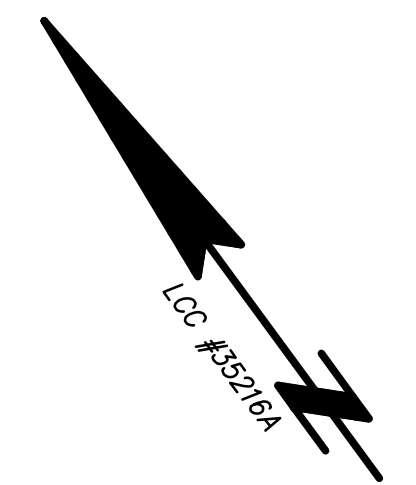
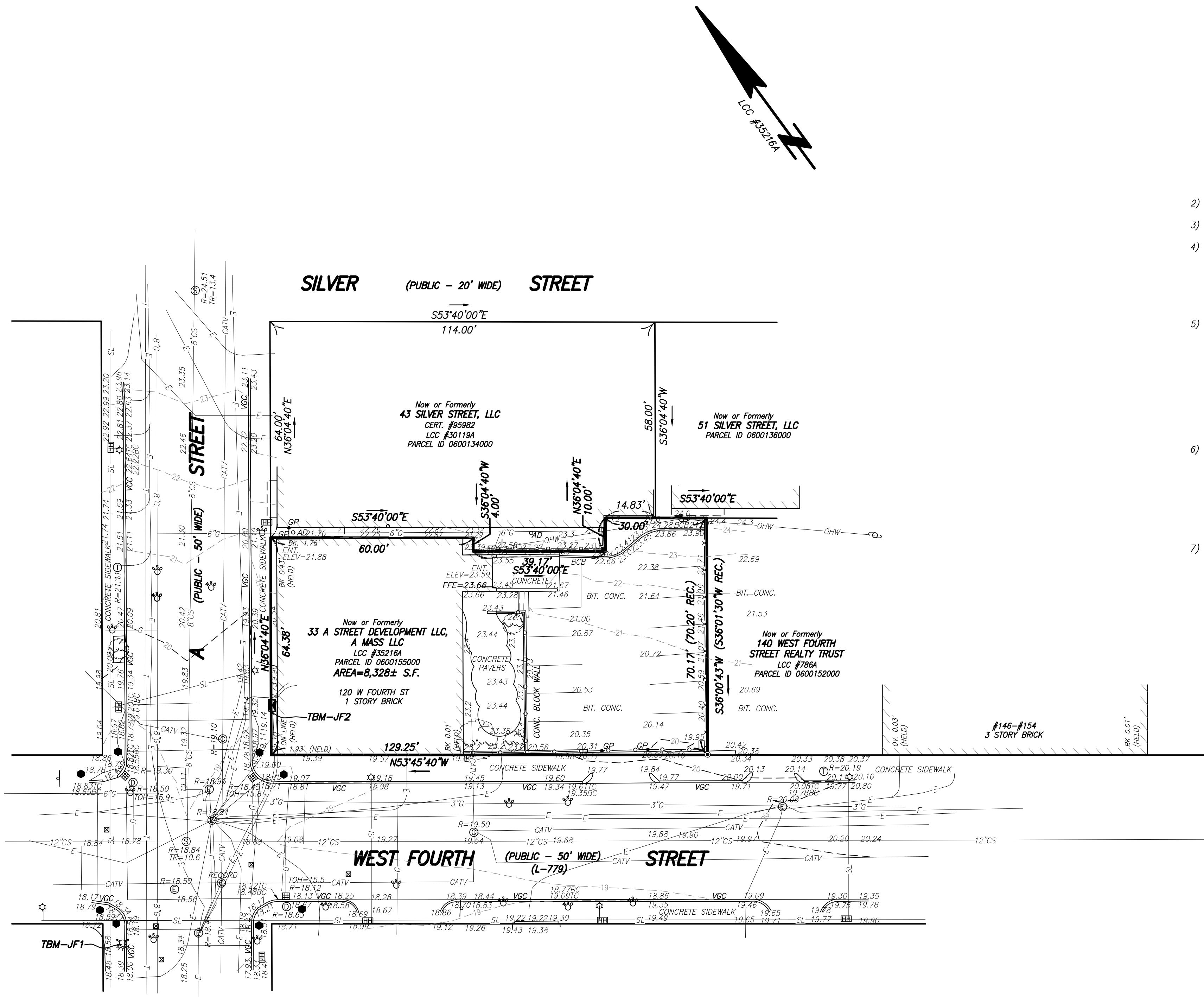




LOCUS MAP - NOT TO SCALE

**LEGEND**

- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CABLE TV MANHOLE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF/WATER GATE
- ⊙ GAS SHUT OFF/GAS GATE
- ⊙ BOSTON WATER VALVE
- ⊙ CATCH BASIN
- ⊙ TRAFFIC CONTROL BOX
- ⊙ TRAFFIC SIGNAL
- ⊙ LIGHT POLE
- ⊙ ELECTRIC HANDHOLE
- ⊙ SIGN
- ⊙ AD AREA DRAIN
- ⊙ DRILL HOLE
- ⊙ GAS METER
- ⊙ DECIDUOUS TREE
- ⊙ GP GATE POST
- ⊙ CURB RETURN
- ⊙ BOTTOM
- BC BOTTOM OF CURB
- BCB BIT. CONC. BERM
- BIT BITUMINOUS
- BK BACK
- BOT= BOTTOM ELEVATION
- BS= BOTTOM OF STEPS
- BW= BOTTOM OF WALL
- CLF= CHAIN LINK FENCE
- CONC= CONCRETE
- DH= DRILL HOLE
- ENT= ENTRANCE
- FFE= FINISH FLOOR ELEVATION
- FW= FULL OF WATER
- I= INVERT ELEVATION
- INACC.= INACCESSIBLE
- IP= IRON PIPE
- IR= IRON ROD
- R= RADIUS OR RIM ELEVATION
- (R)= RECORD
- (REC)= RECORD
- RET= RETAINING
- T= TOP
- TBM= TEMPORARY BENCH MARK
- TC= TOP OF CURB
- TOH= TOP OF HOOD
- TOD= TOP OF DEBRIS
- TOW= TOP OF WATER
- TR= CENTERLINE OF TROUGH
- TS= TOP OF STEPS
- TT= TOP OF TRAP
- TW= TOP OF WALL
- C= CABLE TELEVISION
- CS= COMBINED SEWER
- D= DRAIN
- E= ELECTRIC
- G= GAS
- OHW= OVERHEAD WIRES
- S= SEWER
- ST= STEAM
- SL= STREET LIGHTING
- T= TELEPHONE
- W= WATER
- X-X- METAL FENCE
- WROUGHT IRON FENCE



**NOTES:**

- 1) BENCH MARK INFORMATION:  
BENCHMARK USED:  
CHISELED SQUARE SET ON THE BRIDGE ABUTMENT NEAR THE INTERSECTION OF THE NORTHEASTERLY SIDELINE OF WEST FIFTH STREET AND THE NORTHWESTERLY SIDELINE OF THE SOUTH BOSTON BYPASS ROAD, AS SHOWN HEREON.  
ELEVATION=25.17  
TEMPORARY BENCH MARKS SET:  
TBM-FS1: X-CUT SET IN THE BOLT OVER MAIN OUTLET OF A HYDRANT ON THE SOUTHWESTERLY INTERSECTION OF WEST FOURTH STREET, AND A STREET, AS SHOWN HEREON.  
ELEVATION=21.16  
TBM-FS2: TOP OF SOUTHWESTERLY CORNER OF CONCRETE BASE OF A TRAFFIC CONTROL CABINET AT THE NORTHEASTERLY INTERSECTION OF WEST FOURTH STREET AND A STREET, AS SHOWN HEREON.  
ELEVATION=20.32
- 2) ELEVATIONS REFER TO BOSTON CITY BASE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OF 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C0083J CITY OF BOSTON, HAVING AN EFFECTIVE DATE OF MARCH 16, 2016.
- 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- 7) BOSTON WATER AND SEWER COMMISSION RECORDS WERE NOT AVAILABLE AT THE TIME OF THE SURVEY.

**REFERENCES**

MASSACHUSETTS LAND COURT  
LCC 786A  
LCC 30119A  
LCC 35216A  
CERTIFICATE OF TITLE  
CERT. #101174  
CERT. #95982  
CITY/TOWN ENGINEERING DEPARTMENT  
SURVEY FIELD NOTE  
BOOK 765 PAGES 92-102

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.

**DRAFT 9-11-2020**

EXISTING CONDITIONS SURVEY  
120 WEST FOURTH STREET  
**BOSTON (SOUTH BOSTON), MASS.**

FELDMAN LAND SURVEYORS SEPTEMBER 10, 2020  
152 HAMPDEN STREET PHONE: (617)357-9740  
BOSTON, MASS. 02119 www.feldmansurveyors.com



SCALE: 1"=20'

RESEARCH TI	FIELD CHIEF	PROJ MGR SDM	APPROVED	SHEET NO. 1 OF 1
CALC	CADD	FIELD CHECKED	CRD FILE 17607	JOB NO. 17607
FILENAME: S:\PROJECTS\17600\17607\DWG\17607_EC.dwg				

Google Maps 123 W Fourth St

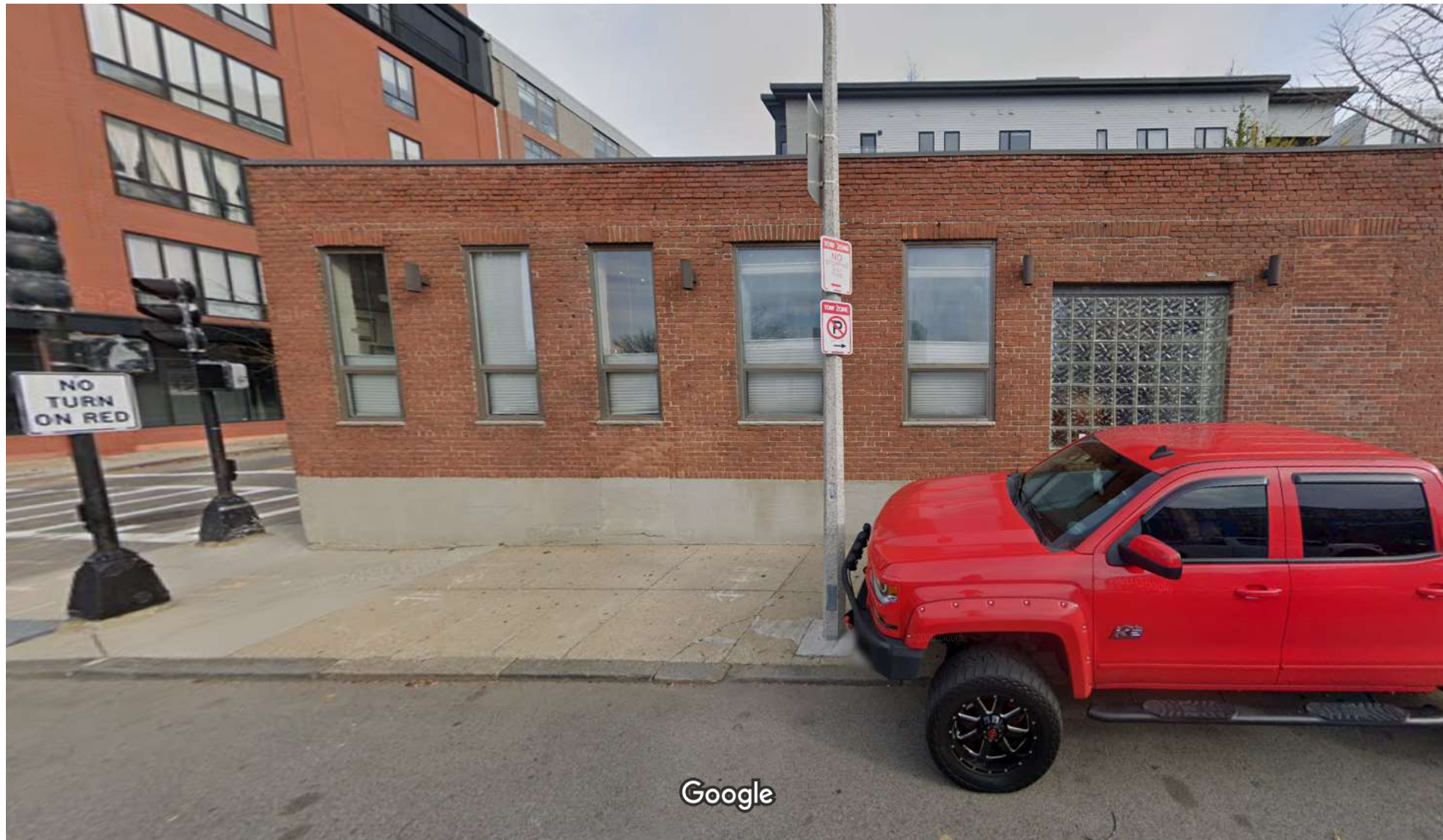


Image capture: Nov 2020 © 2022 Google

Boston, Massachusetts

Google

Street View - Nov 2020

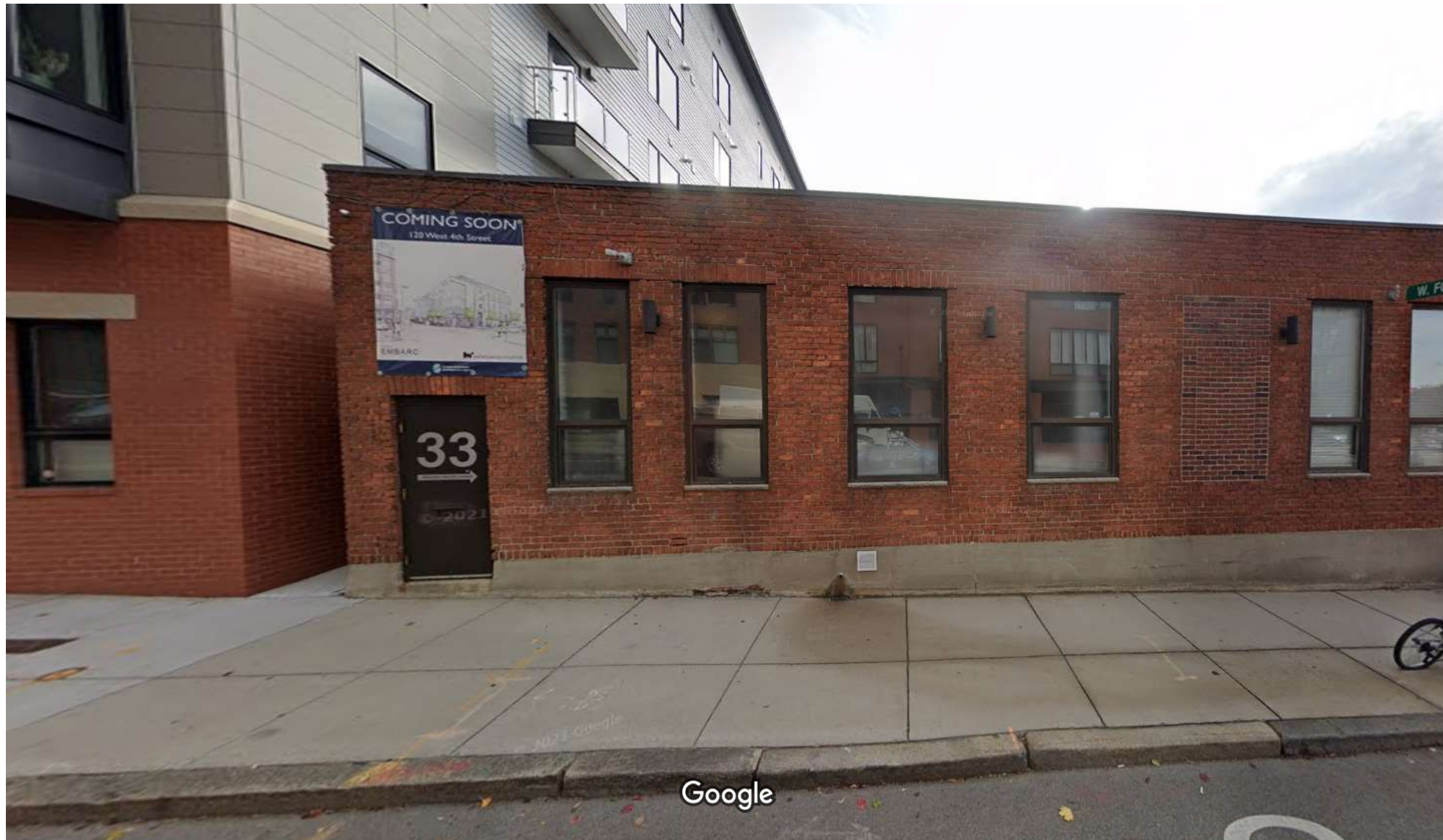


Image capture: Nov 2020 © 2022 Google

Boston, Massachusetts

Google

Street View - Nov 2020

This form approved by Commissioner of Revenue

COMMONWEALTH OF MASSACHUSETTS  
CITY OF BOSTON  
OFFICE OF THE COLLECTOR-TREASURER  
ONE CITY HALL SQUARE, BOSTON, MA 02201

COLLECTOR OF TAXES  
**JUSTIN STERRITT**



**FY 2022**

CITY OF BOSTON  
REAL ESTATE TAX

Office of the Assessor 617-635-4287  
Office of the Collector 617-635-4131

Office Hours: Monday - Friday 9:00 AM - 5:00 PM

PAYMENTS CAN BE MADE ONLINE AT:  
[www.boston.gov/taxpayments](http://www.boston.gov/taxpayments)  
credit/debit card payments are subject to fees

If you are using a payment service to pay this bill, you  
MUST indicate the **TAXYEAR** and **BILL NUMBER** on the check

33 A STREET DEVELOPMENT LLC A  
MASS LLC  
33 A STREET  
SOUTH BOSTON MA 02127

MAKE CHECKS PAYABLE TO:  
**THE CITY OF BOSTON**

MAIL CHECKS TO:  
BOX 55808  
BOSTON, MA 02205

Do not send cash

WARD	PARCEL NO.	BILL NUMBER	BANK NO.	
06	00155-000	3773		
LOCATION			AREA	
120 W FOURTH ST			8336	
RESIDENTIAL    OPEN SPACE    COMMERCIAL    INDUSTRIAL				
Tax Rate Per \$1,000    10.88    10.88    24.98    24.98				
CLASS	DESCRIPTION	ASSESSED OWNER		
11	LAND BUILDING	33 A STREET DEVELOPMENT LLC A MASS LLC		

IMPORTANT: SEE REVERSE SIDE FOR IMPORTANT INFORMATION

**TAXPAYER'S COPY**  
**4TH QUARTER**

TOTAL FULL VALUATION	688,000.00
RESIDENTIAL EXEMPTION	.00
TOTAL TAXABLE VALUATION	688,000.00
COMMUNITY PRESERVATION ACT	146.88
SPECIAL ASSESSMENT	.00
CODE VIOLATIONS	.00
TOTAL TAX & SPEC ASSMNT. DUE	17,333.12
PERSONAL EXEMPTIONS	.00
PAYMENTS TO DATE/CREDITS	12,721.93
NET TAX & SPEC. ASSMNT. DUE	4,611.19
PRELIMINARY OVERDUE	.00
1ST TAX PAYMENTS DUE BY 02/01/2022	4,611.20
2ND TAX PAYMENTS DUE BY 05/02/2022	4,611.19
TAX DUE	4,611.19
FEES	.00
INTEREST	.00
TOTAL DUE	4,611.19
Pay by 05/02/2022	

Please detach this portion and remit this slip with payment

COMMONWEALTH OF MASSACHUSETTS  
CITY OF BOSTON

**COLLECTOR'S COPY**  
**2022 REAL ESTATE TAX**  
**4TH QUARTER**

This form approved by Commissioner of Revenue

WARD	PARCEL NO.	BILL NUMBER	BANK NO.
06	00155-000	3773	
LOCATION			
120 W FOURTH ST			

COLLECTOR OF TAXES  
**JUSTIN STERRITT**

ASSESSED OWNER: 33 A STREET DEVELOPMENT  
LLC A MASS LLC

33 A STREET DEVELOPMENT LLC A  
MASS LLC  
33 A STREET  
SOUTH BOSTON MA 02127

MAKE CHECKS PAYABLE TO:  
**THE CITY OF BOSTON**

MAIL CHECKS TO:  
BOX 55808  
BOSTON, MA 02205

Do not send cash

TAX DUE	4,611.19
FEES	.00
INTEREST	.00
TOTAL DUE	4,611.19
Pay by 05/02/2022	

00182082022200003773900004611190

**FISCAL YEAR 2022 TAX:** This tax bill shows the amount of real estate taxes you owe for fiscal year 2022 (July 1, 2021 - June 30, 2022). The tax shown in this bill is based on assessments as of January 1, 2021. This bill also shows betterments, special assessments and other charges.

**PAYMENT DUE DATES:** The City of Boston has adopted Mass. Gen. Law Ch. 59 § 57C which establishes a quarterly property tax bill system. The preliminary tax was payable in two installments. The first payment was due on August 1, 2021 and the second payment was due on November 1, 2021. Your preliminary tax payments are shown on this bill as a credit against FY 2022 tax, special assessments and other charges. If tax bills were mailed on or before December 31, 2021, the balance remaining after credit for preliminary tax payments is payable in two equal installments. Your first payment is due on February 1, 2022. Your second payment is due on May 2, 2022. However, if tax bills were mailed after December 31, 2021, the entire balance remaining is due on May 2, 2022, or 30 days after the bills were mailed, whichever is later.

Payments are considered made when received by the Collector. To obtain a receipted bill, enclose a self-addressed stamped envelope and both portions of the bill with your payment.

If you have a mortgage with a real estate escrow account, it is important that you forward this bill to the mortgagee in sufficient time so that the bill can be paid timely.

**INTEREST CHARGES:** If your payments are not made by their due dates, interest at the rate of 14% will be charged on the amount of the payment that is unpaid and overdue. If tax bills were mailed on or before December 31, 2021, interest will be computed on overdue first payments from February 1, 2022 and on overdue second payments from May 2, 2022 to the date payment is made. If tax bills were mailed after December 31, 2021, interest will be computed on overdue remaining payments from May 2, 2022 or the payment due date, whichever is later, to the date payment is made. You will also be required to pay charges and fees incurred for collection if payments are not made when due.

**ABATEMENT/EXEMPTION APPLICATIONS:** You have a right to contest your assessment. To do so, you must file an application for an abatement in writing on an approved form with Assessing Department. You may apply for an abatement, if you believe your property is valued at more than its fair cash value, is not assessed fairly in comparison with other properties, or is not properly classified. The filing deadline for an abatement applications is February 1, 2022. You may be eligible for an exemption from or a deferral of all or some of your tax. In order to obtain an exemption for which you are qualified, you must file an application in writing on an approved form with the Assessing Department. The filing deadline for an exemption such as elderly, surviving spouse or minor, blind, veteran, hardship and surviving spouse or minor of a police officer or firefighter killed in the line of duty under Mass. G.L. Ch. 59 § 5, Cls. 17D, 18, 22A, 22B, 22C, 22D, 22E, 37A, 41C, 42 or 43, or a deferral under Cl. 41A is 3 months after the date tax bills were mailed. The filing deadline for all other exemptions under CH. 59 § 5 is February 1, 2022. The filing deadline for a residential exemption under Ch. 59 § 5C, if not shown on your bill, is 3 months after the date tax bills were mailed.

Application forms are available at the Assessing Department, Room 301, City Hall, Boston, MA 02201, Monday-Friday 9:00 A.M. to 5:00 P.M. Applications are considered filed when received by the Assessing Department. If your application is not received by the applicable deadline, the assessors cannot, by law, grant an abatement or exemption.

**FURTHER INFORMATION:**

TRAC:  
Taxpayer Referral & Assistance Center  
Mezzanine, Boston City Hall  
Boston, MA 02201  
617-635-4287  
[www.cityofboston.gov/trac](http://www.cityofboston.gov/trac)







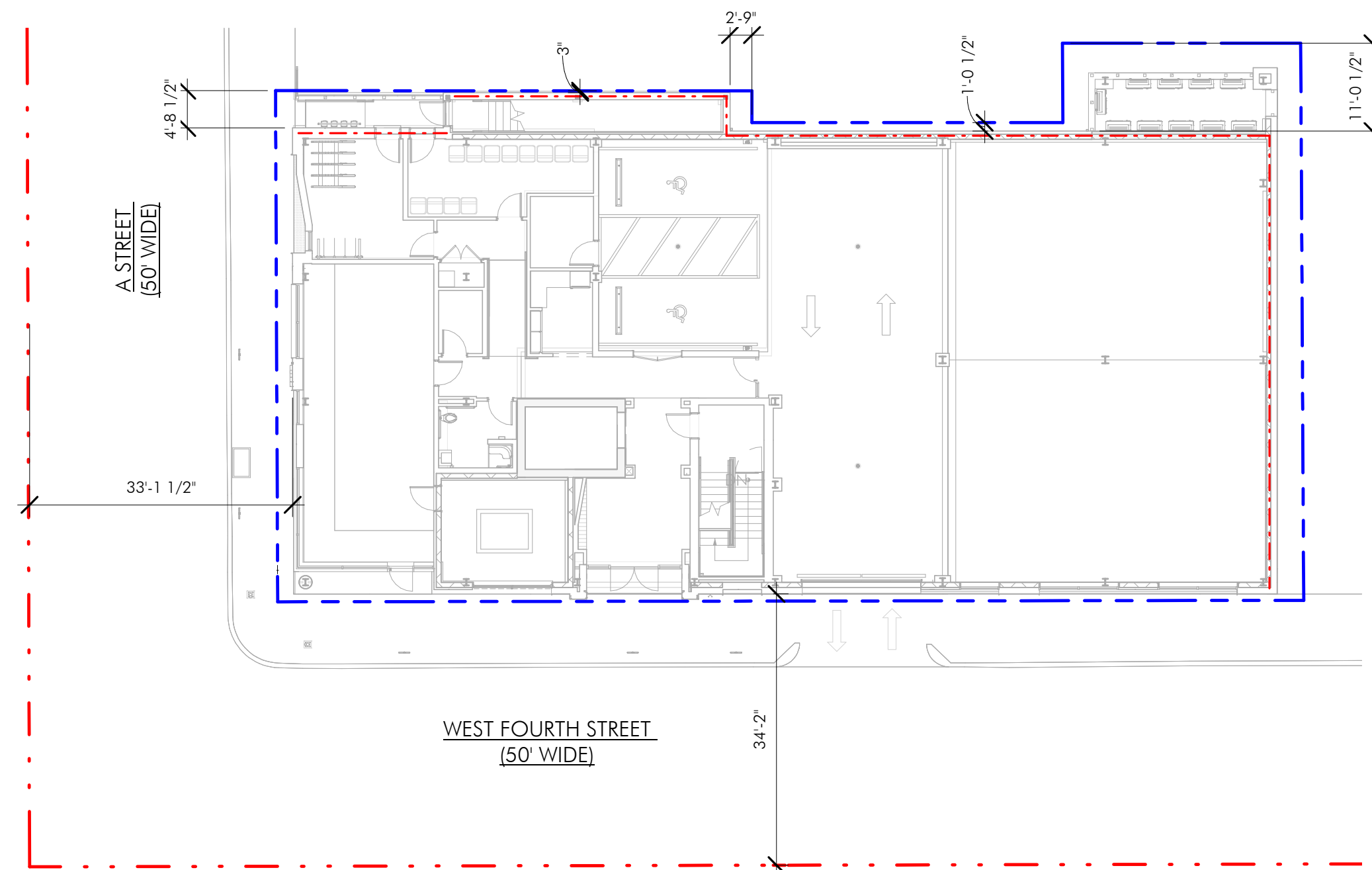


**LEGEND**

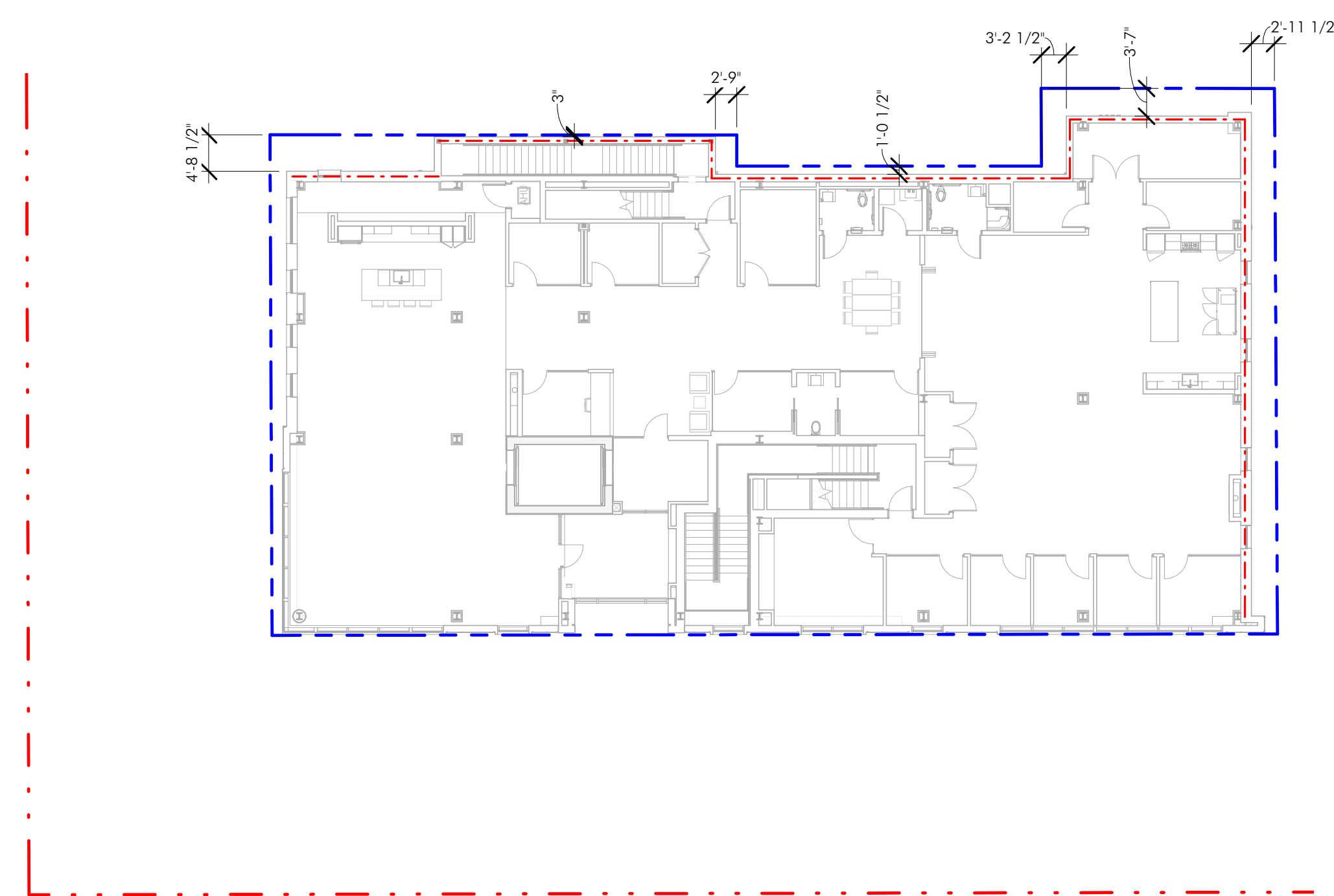
- - - PROPERTY LINE
- - - CENTER OF PUBLIC WAY
- - - 1-HOUR RATED EXTERIOR WALL

**GENERAL NOTES**

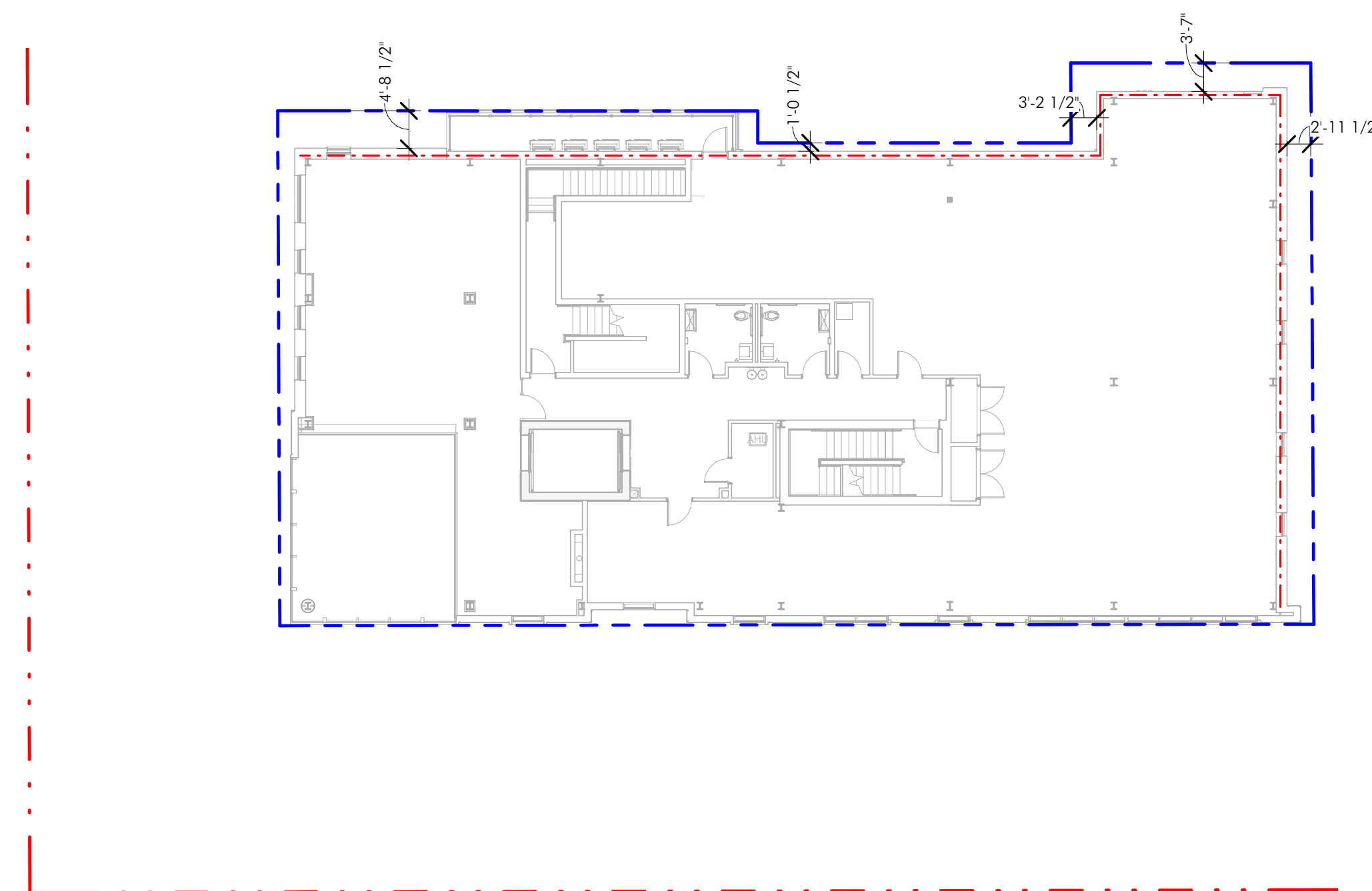
- THE EXTERIOR WALL REQUIREMENTS BASED ON FIRE SEPARATION DISTANCE ARE ONLY APPLICABLE TO NON-BEARING EXTERIOR WALLS PER 780 CMR TABLES 601 AND 602.
- THE REQUIRED FIRE RESISTIVE RATINGS OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE LESS THAN OR EQUAL TO 10'-0" FROM PROPERTY LINE SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES, PER 705.5
- REFER TO A001-1 TABLE 4 FIRE RESISTANCE RATING FOR NON-BEARING EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE



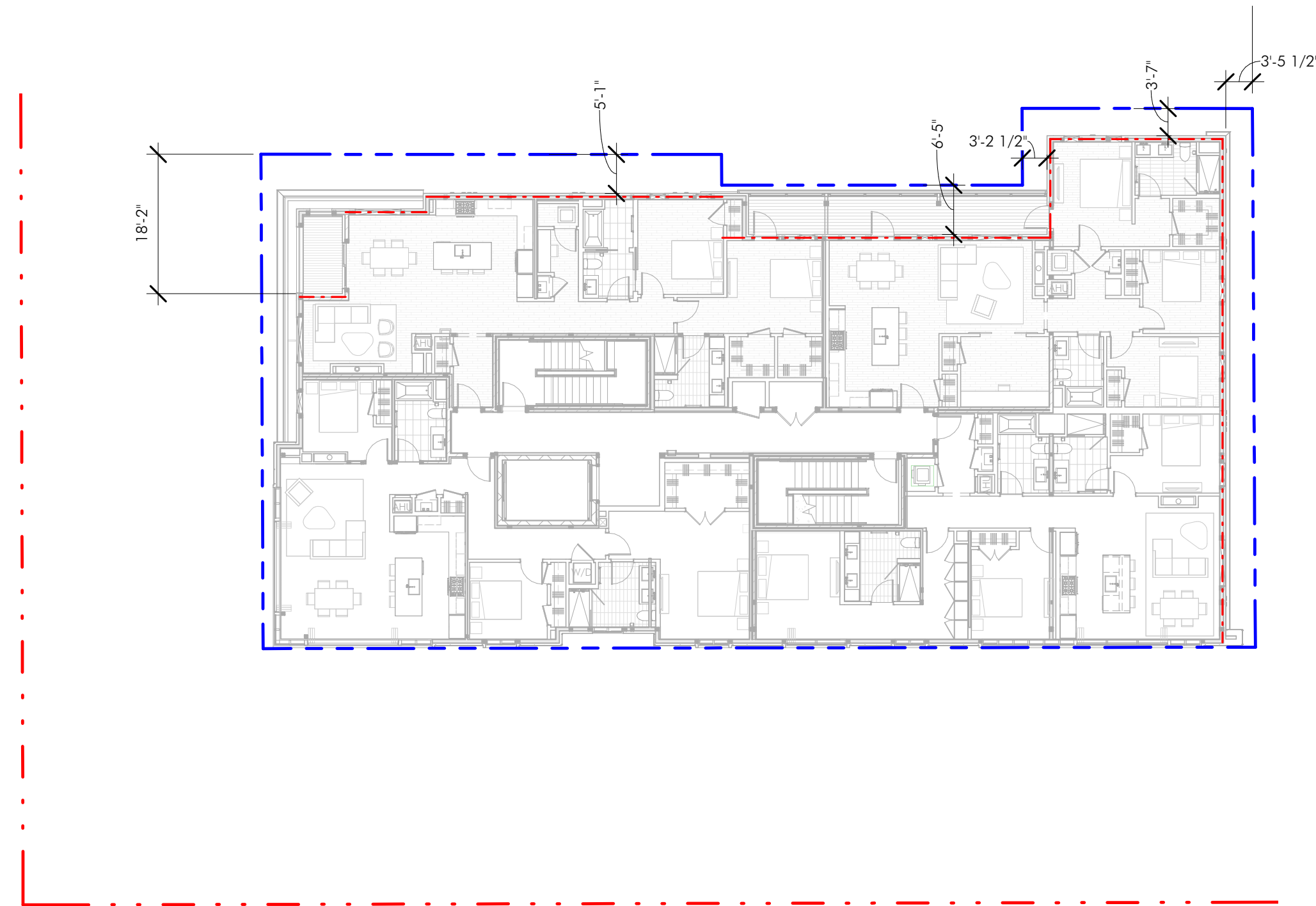
1 FIRST FLOOR - FIRE SEPARATION DISTANCE  
1/16" = 1'-0"



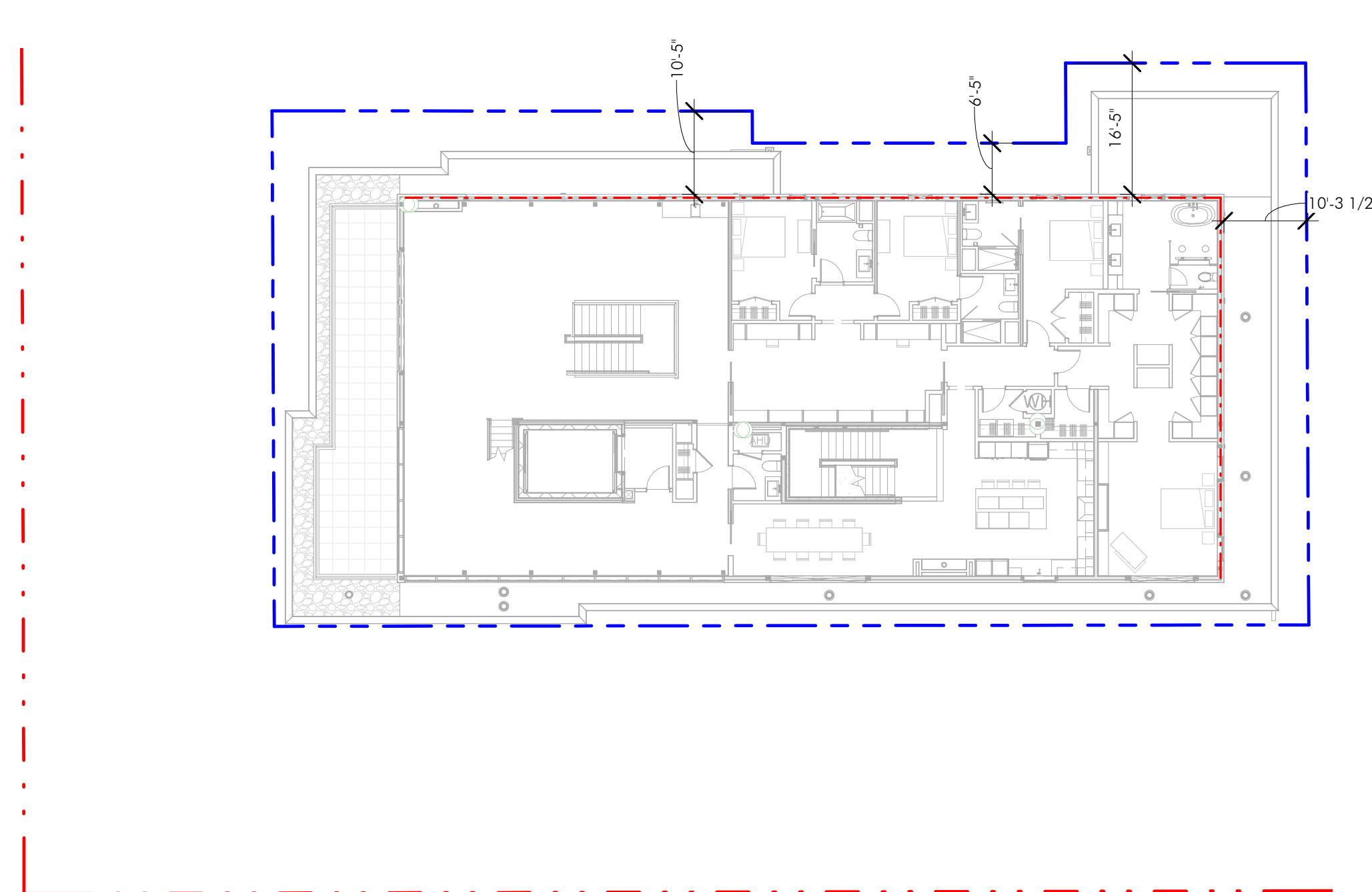
2 SECOND FLOOR - FIRE SEPARATION PLAN  
1/16" = 1'-0"



3 THIRD FLOOR - FIRE SEPARATION DISTANCE PLAN  
1/16" = 1'-0"



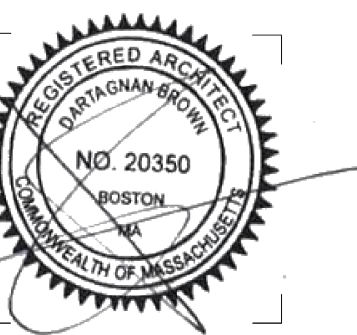
4 FOURTH FLOOR - FIRE SEPARATION DISTANCE  
1/16" = 1'-0"



5 SIXTH FLOOR - FIRE SEPARATION PLAN  
1/16" = 1'-0"

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: As indicated

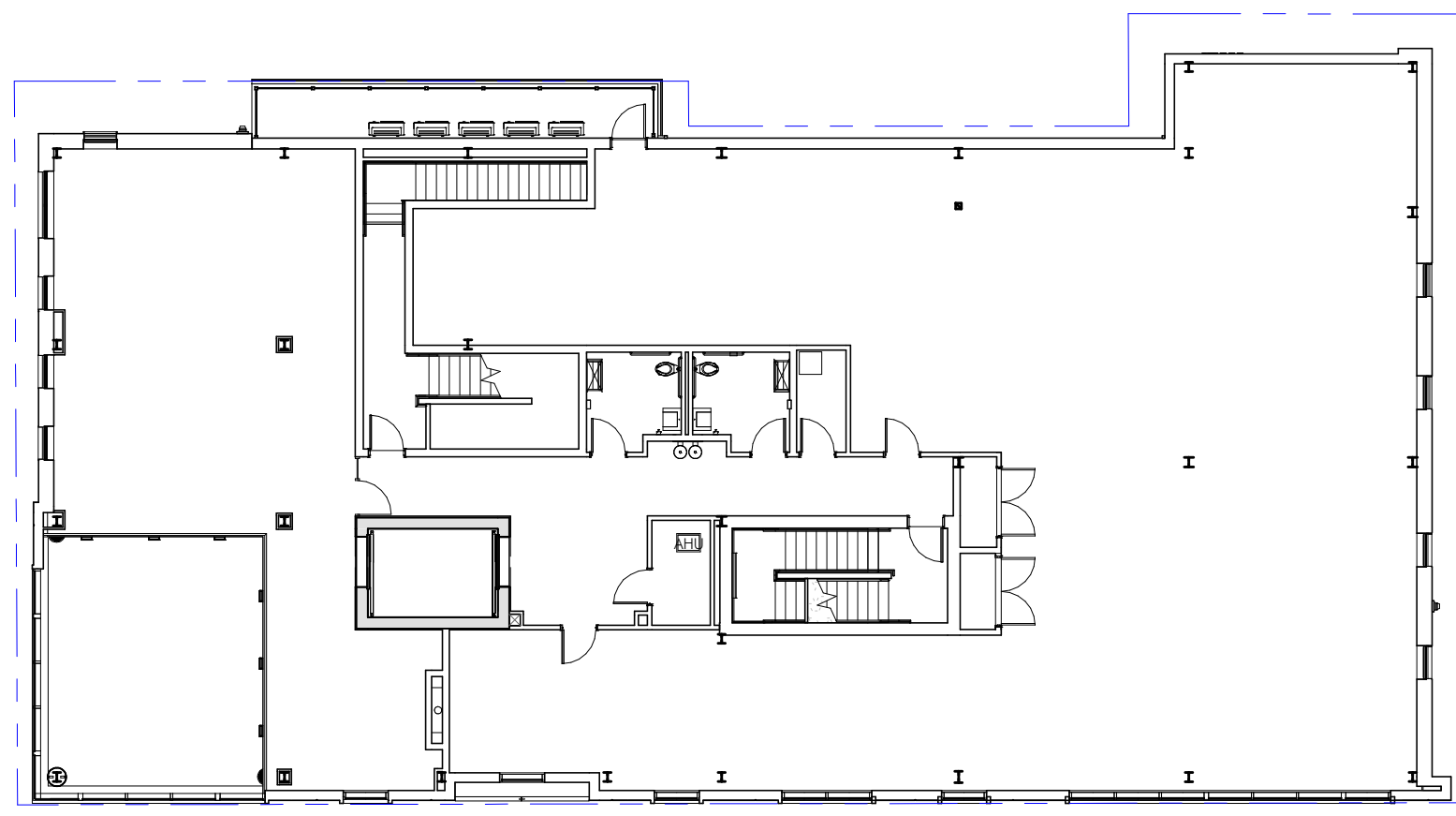
DRAWING TITLE  
**FIRE SEPARATION DISTANCE PLANS**

DRAWING NUMBER

**A001-3**

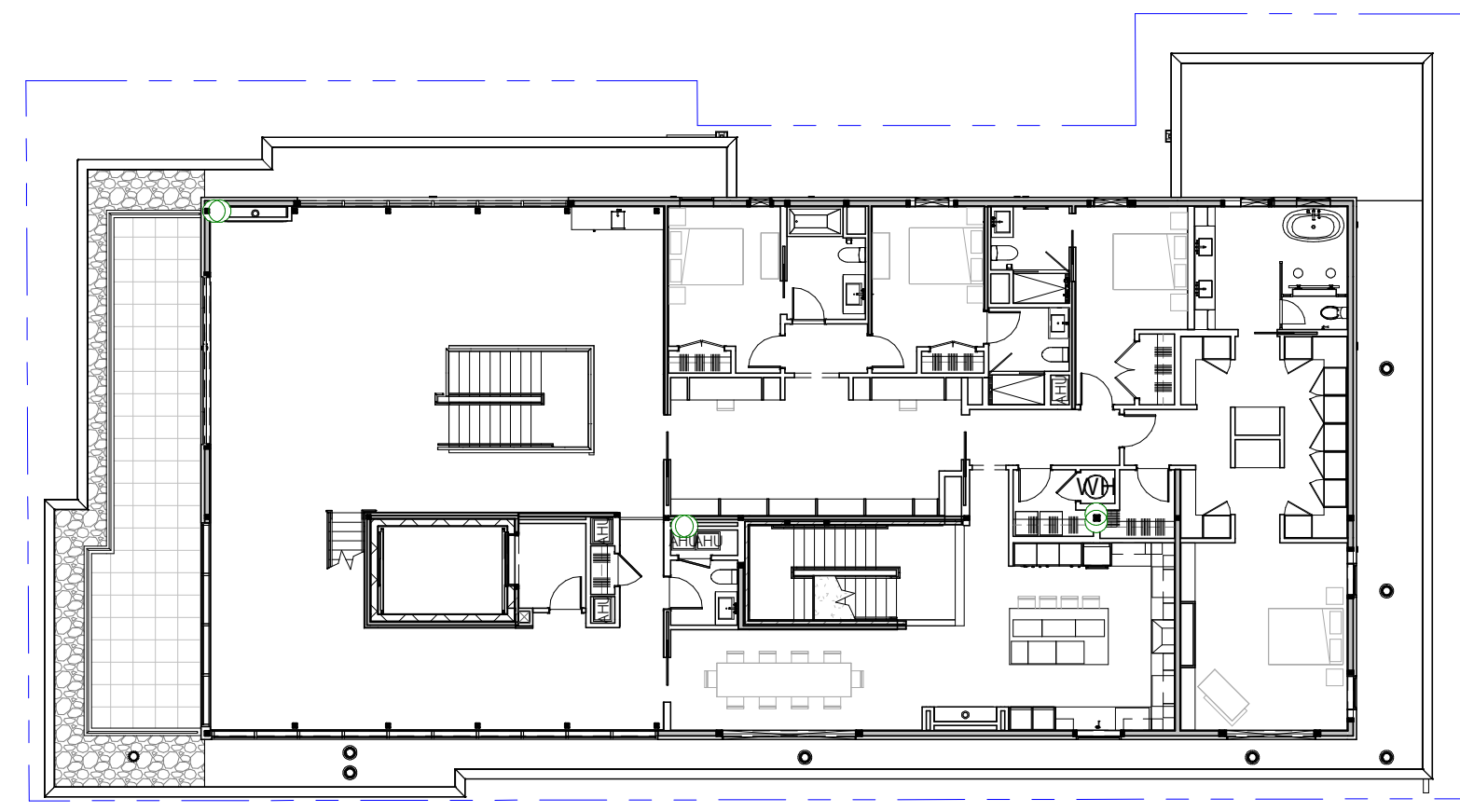
Copyright © EMBARC STUDIO, LLC

AREA SUMMARY					
FLOOR LEVEL	USE GROUP	AREA TYPE	AREA (SF)	TYPE	STATUS
BASEMENT	S-2	ACTUAL	4,120	IA	PASS
		ALLOWED	UL		
LEVEL 1	B, S-2	ACTUAL	7,085	IA	PASS
		ALLOWED	UL		
LEVEL 2	B	ACTUAL	7,220	IA	PASS
		ALLOWED	UL		
LEVEL 3	B	ACTUAL	7,090	IA	PASS
		ALLOWED	UL		
LEVEL 4	R-2	ACTUAL	6,715	VA	PASS
		ALLOWED	36,000		
LEVEL 5	R-2	ACTUAL	6,600	VA	PASS
		ALLOWED	36,000		
LEVEL 6	R-2	ACTUAL	4,755	VA	PASS
		ALLOWED	36,000		
TOTAL			43,585		
HEIGHT SUMMARY					
ELEMENT	USE GROUP	PROPOSED	ALLOWED	STATUS	
HEIGHT	R-2	X=70'-0"	70'-0"	PASS	
STORIES		3	4		



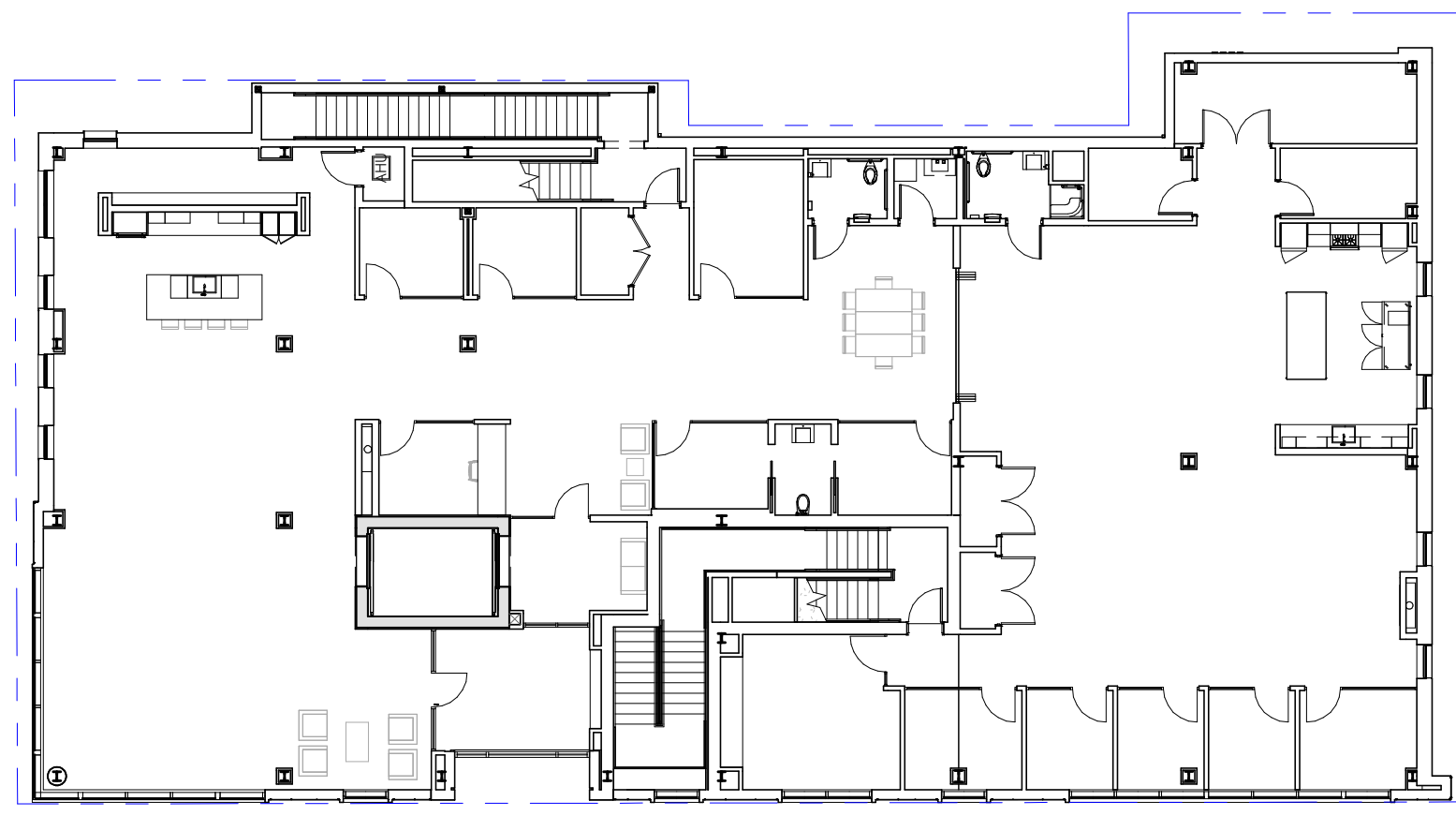
THIRD FLOOR 7,090 SF (PER IBC)

4 THIRD FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



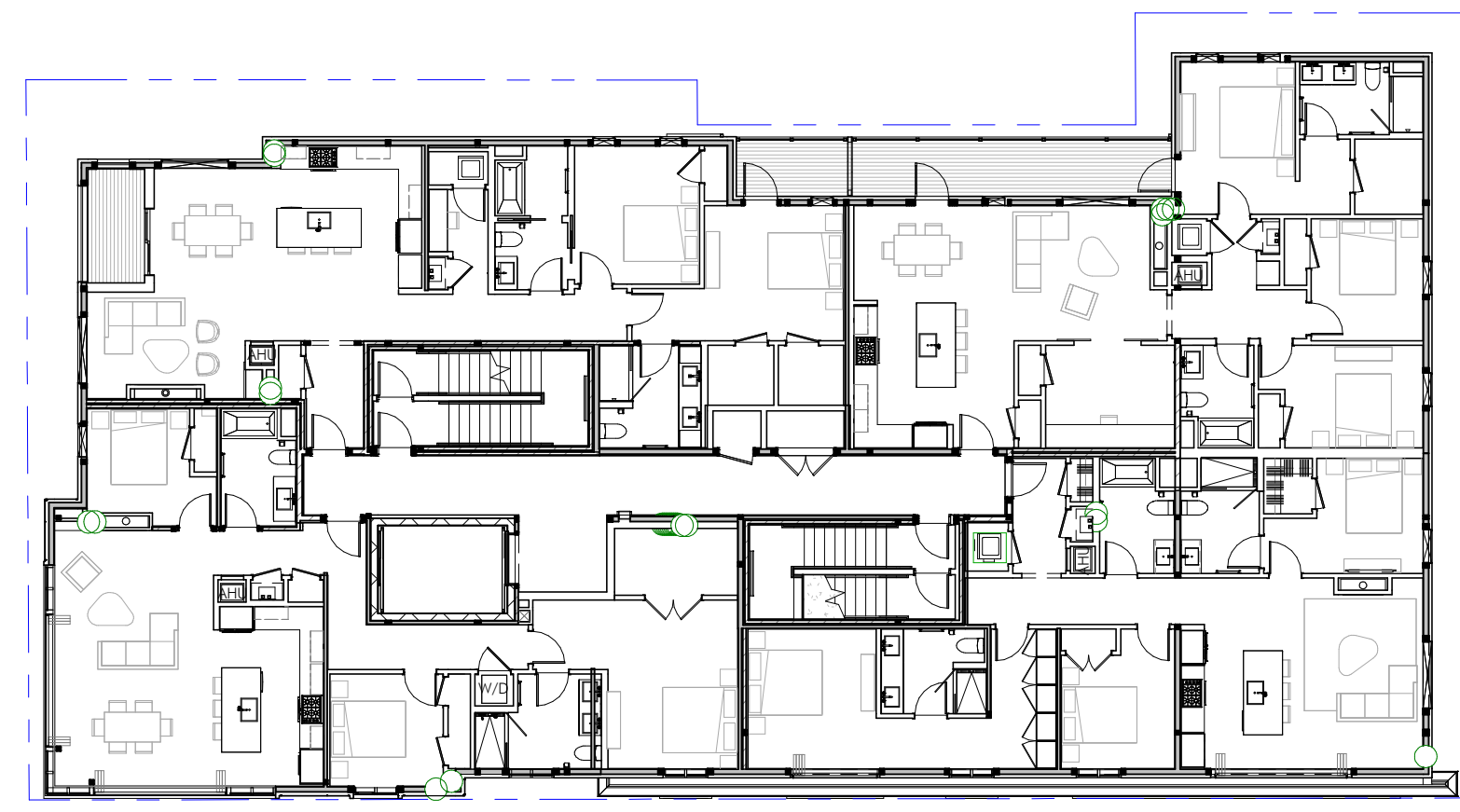
SIXTH FLOOR 4,755 SF (PER IBC)

7 SIXTH FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



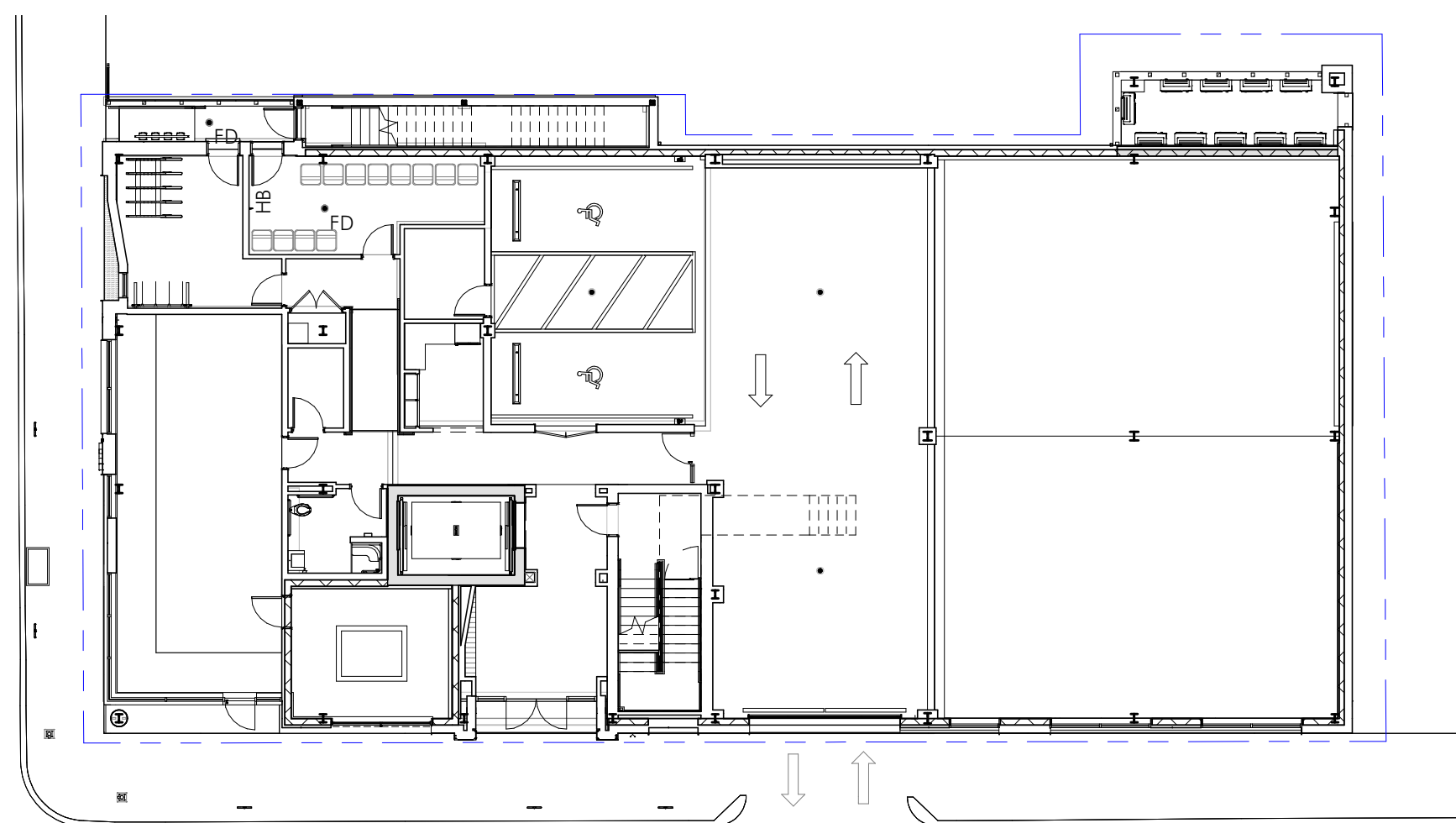
SECOND FLOOR 7,220 SF (PER IBC)

3 SECOND FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



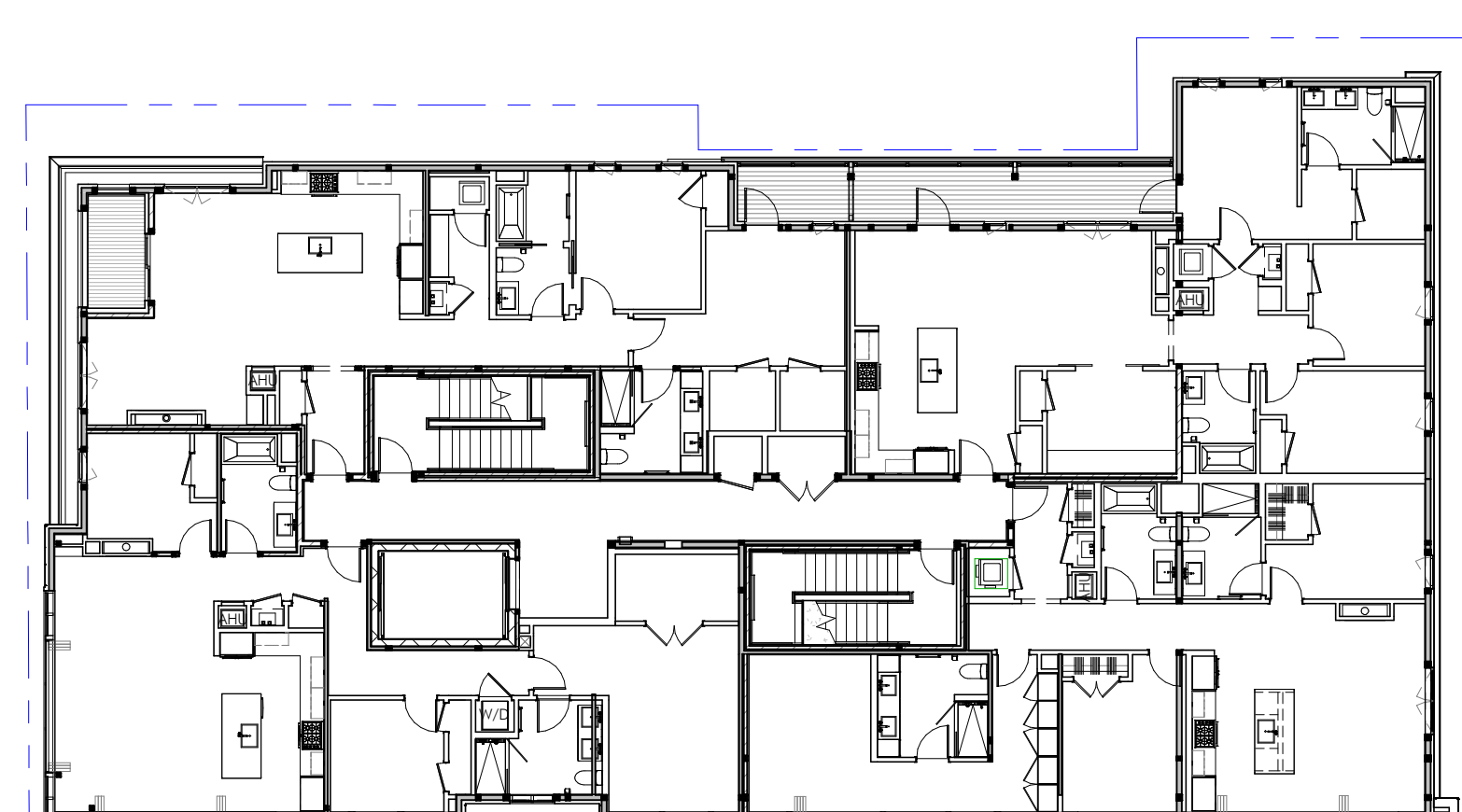
FIFTH FLOOR 6,600 SF (PER IBC)

6 FIFTH FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



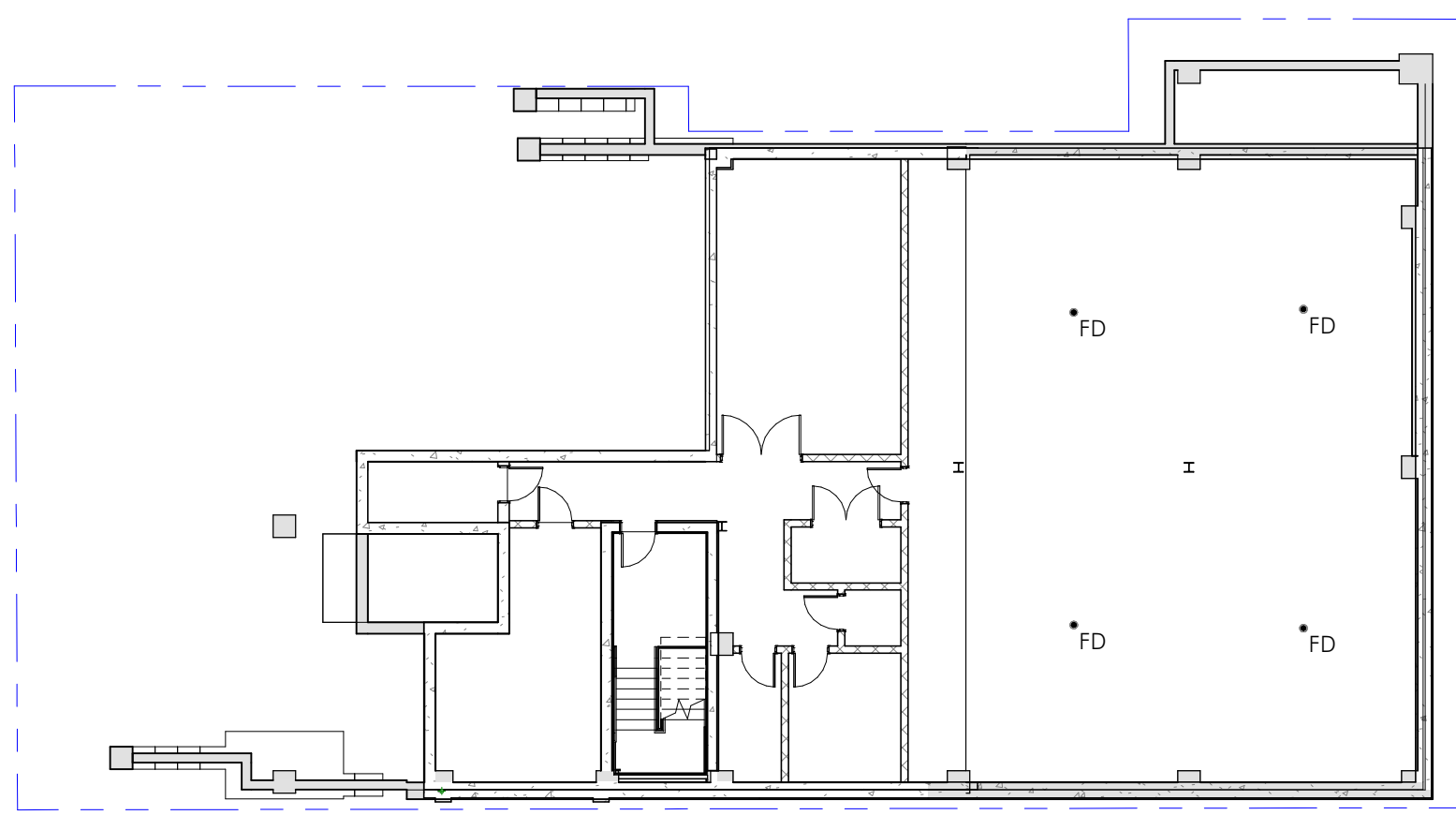
FIRST FLOOR 7,085 SF (PER IBC)

2 FIRST FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



FOURTH FLOOR 6,715 SF (PER IBC)

5 FOURTH FLOOR - HEIGHT AND AREA  
1/16" = 1'-0"



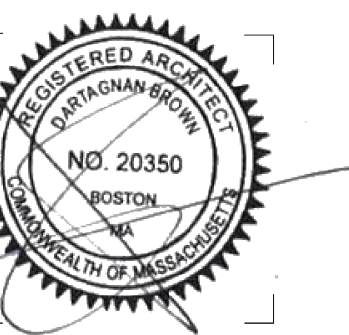
BASEMENT 4,120 SF (PER IBC)

1 BASEMENT - HEIGHT AND AREA  
1/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: As indicated

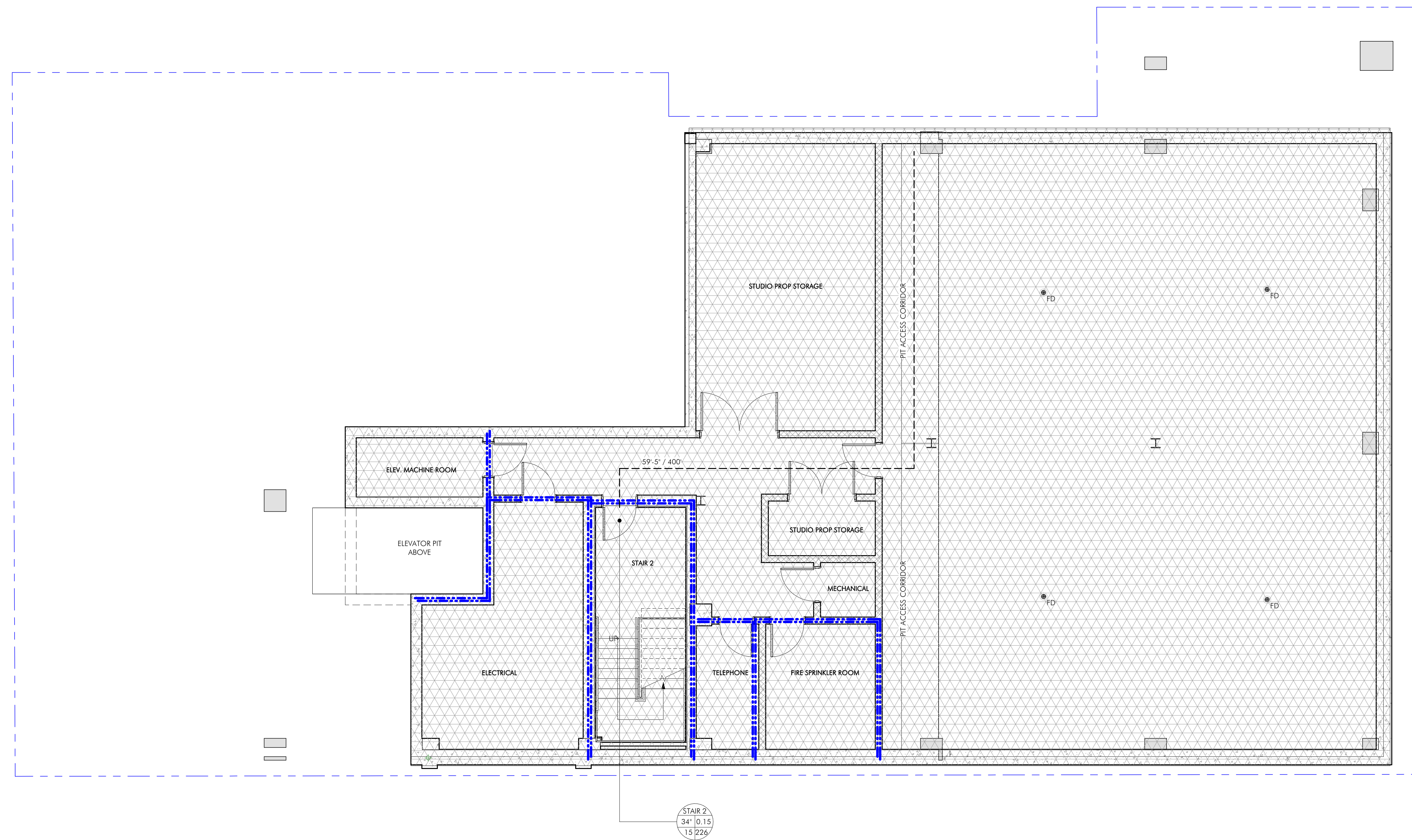
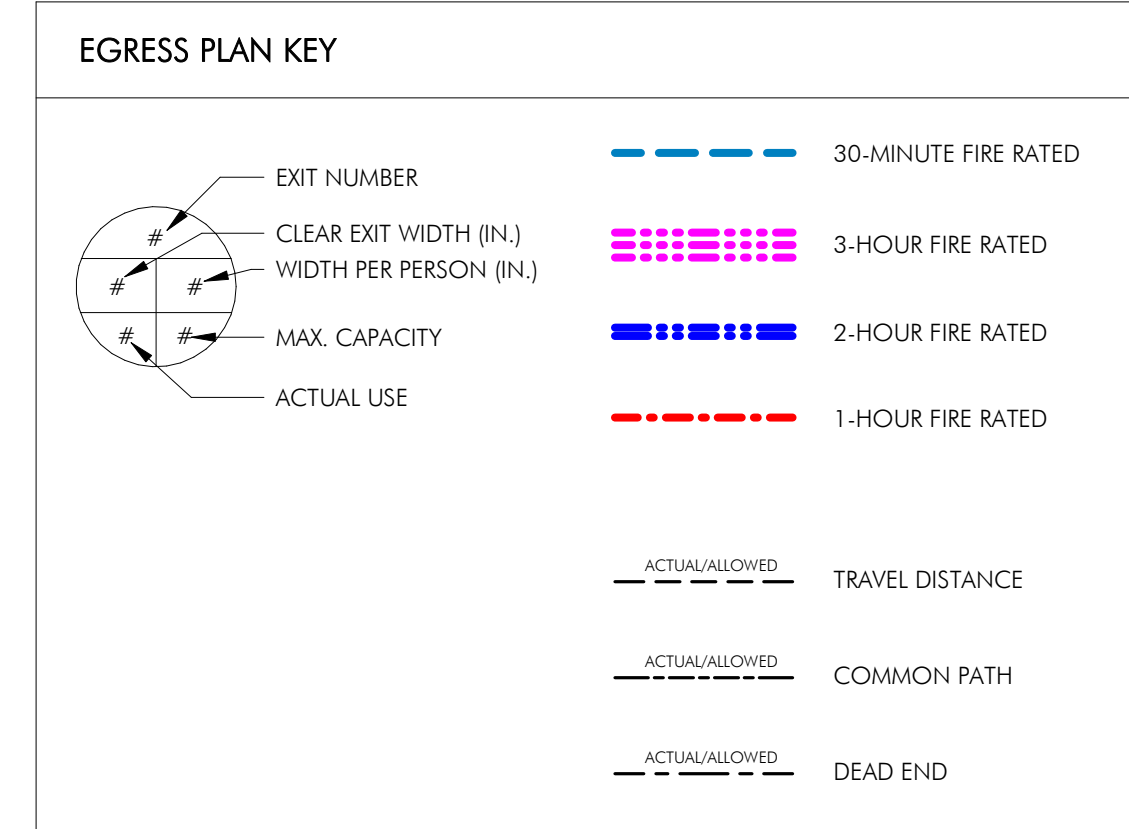
DRAWING TITLE  
HEIGHT & AREA  
PLANS

DRAWING NUMBER

A001-4

OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	0	15 NET	0
[Pattern]	PARKING	0	200 GROSS	0
[Pattern]	RESIDENTIAL	0	200 GROSS	0
[Pattern]	BUSINESS	0	100 GROSS	0
[Pattern]	STORAGE	4,520	300 GROSS	15
			TOTAL:	15

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 2	34"	0.15	226	48"	0.2	240	226	15



1 BASEMENT - LIFE SAFETY PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

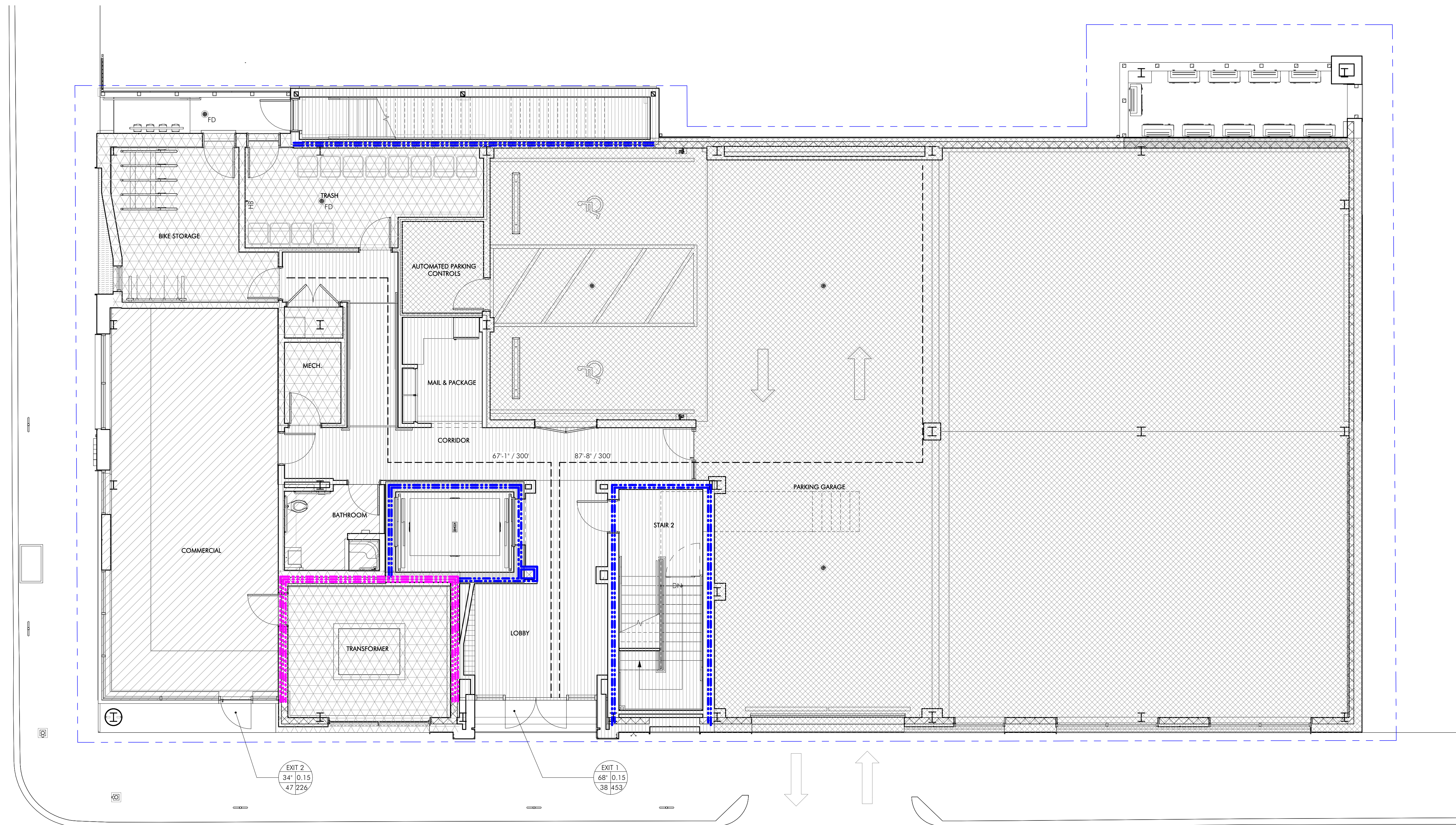
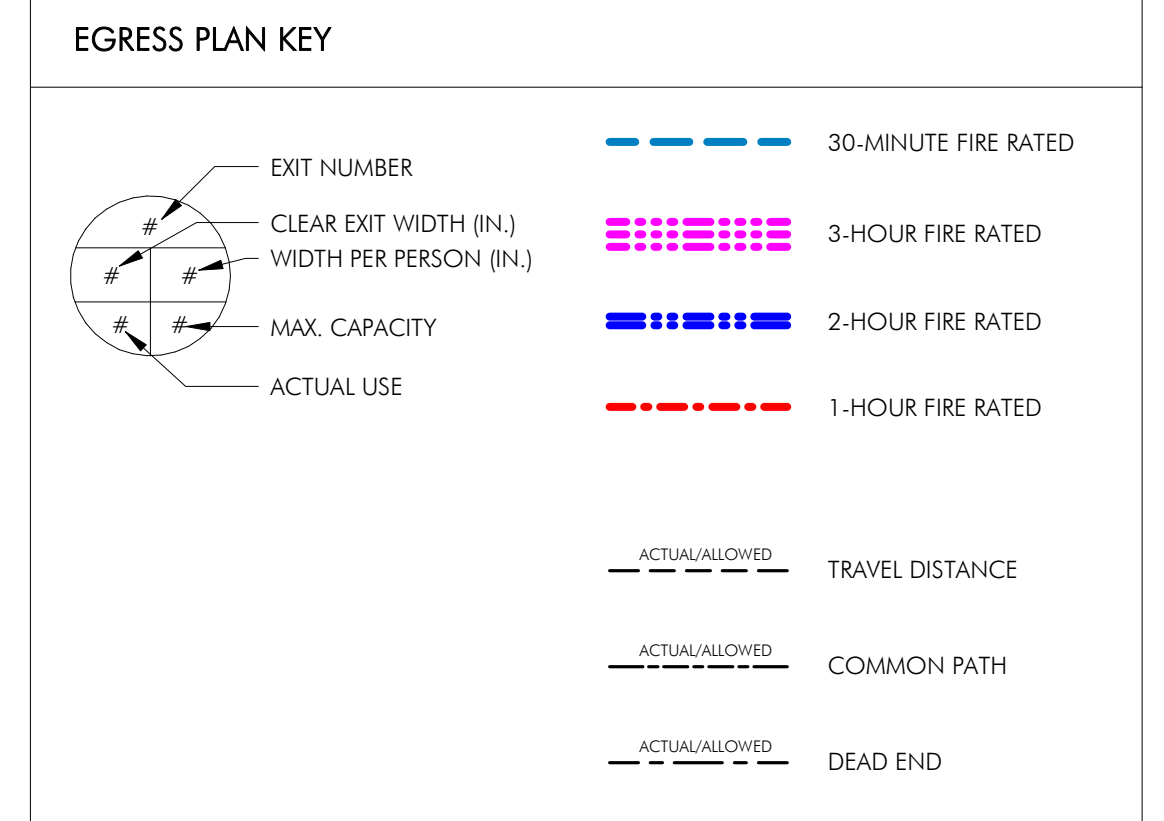
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
PARKING GARAGE  
- LIFE SAFETY &  
EGRESS PLAN

DRAWING NUMBER  
**A001-5**

OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	705	15 NET	47
[Pattern]	PARKING	4,399	200 GROSS	22
[Pattern]	RESIDENTIAL	0	200 GROSS	0
[Pattern]	BUSINESS	1,283	100 GROSS	13
[Pattern]	STORAGE	827	300 GROSS	3
	TOTAL:			85

EXIT CAPACITY TABLE							
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)
EXIT 1	68"	0.15	453				453
EXIT 2	34"	0.15	226				226

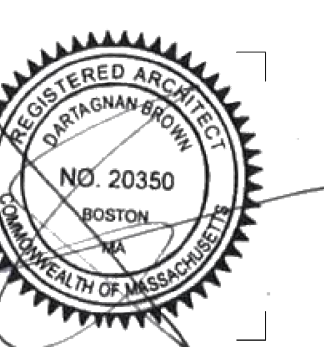


1 FIRST FLOOR - LIFE SAFETY PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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REVISIONS

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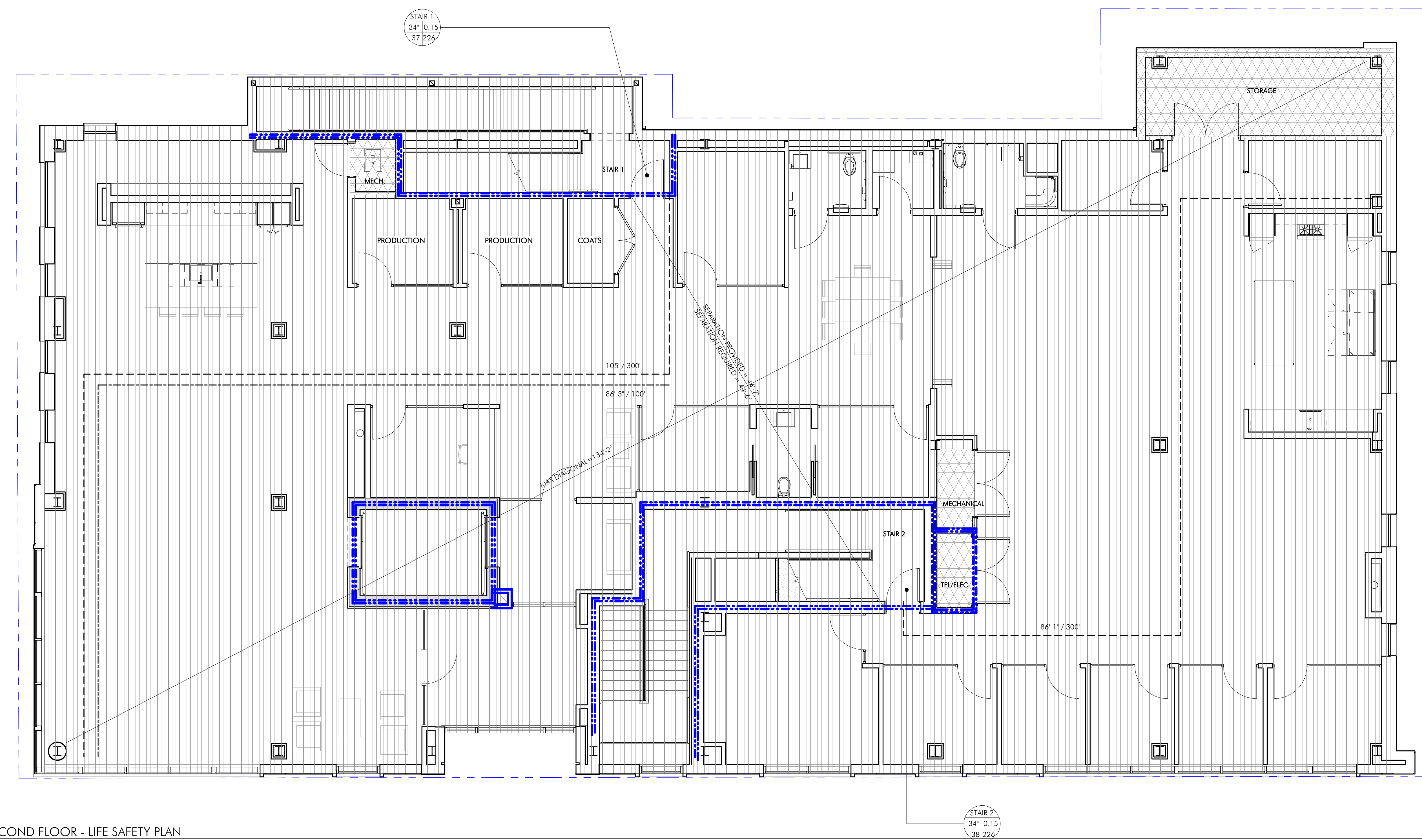
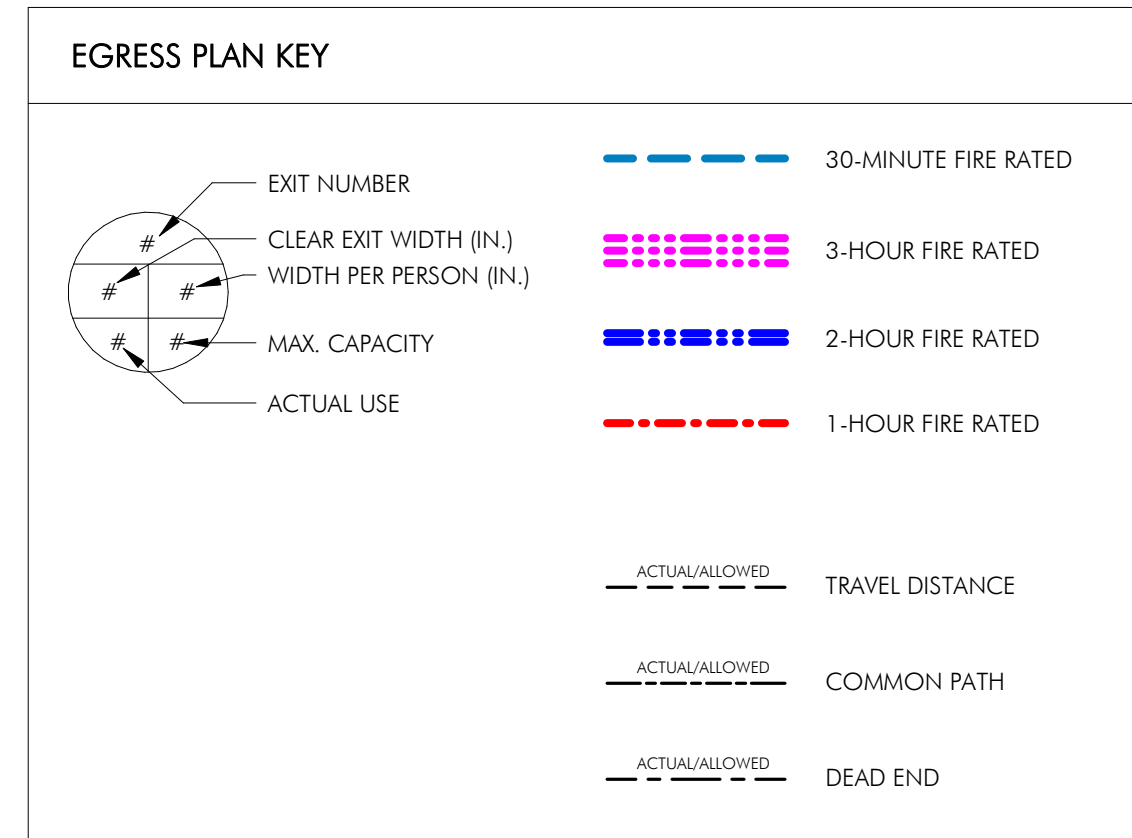
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 1 LIFE  
SAFETY & EGRESS  
PLAN

DRAWING NUMBER  
**A001-6**

OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	0	1.5 NET	0
[Pattern]	PARKING	0	200 GROSS	0
[Pattern]	RESIDENTIAL	0	200 GROSS	0
[Pattern]	BUSINESS	7,330	100 GROSS	74
[Pattern]	STORAGE	270	300 GROSS	1
			TOTAL:	75

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSONS)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 1	34"	0.15	226	48"	0.2	240	226	37
STAIR 2	34"	0.15	226	48"	0.2	240	226	38



1 SECOND FLOOR - LIFE SAFETY PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

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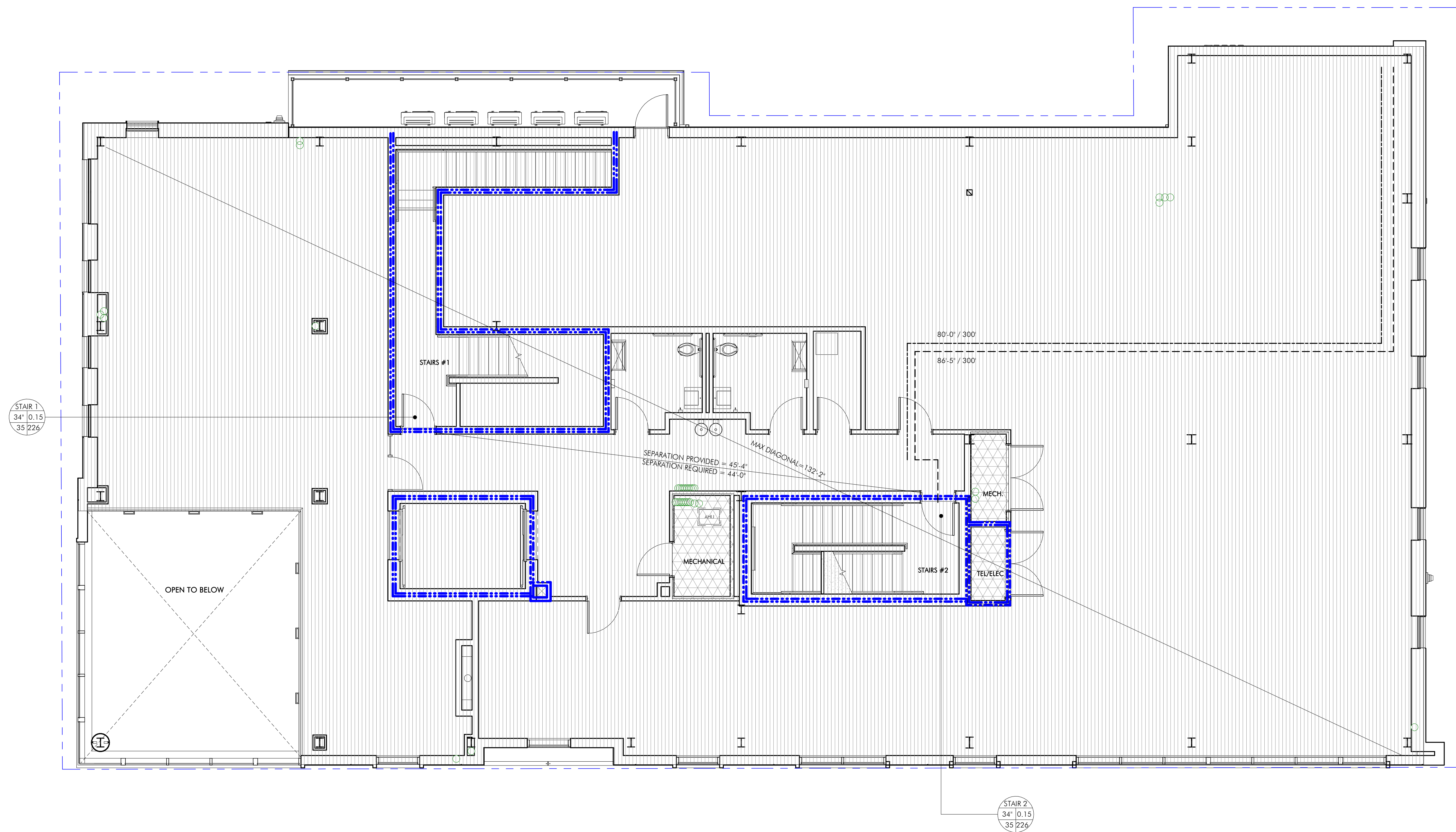
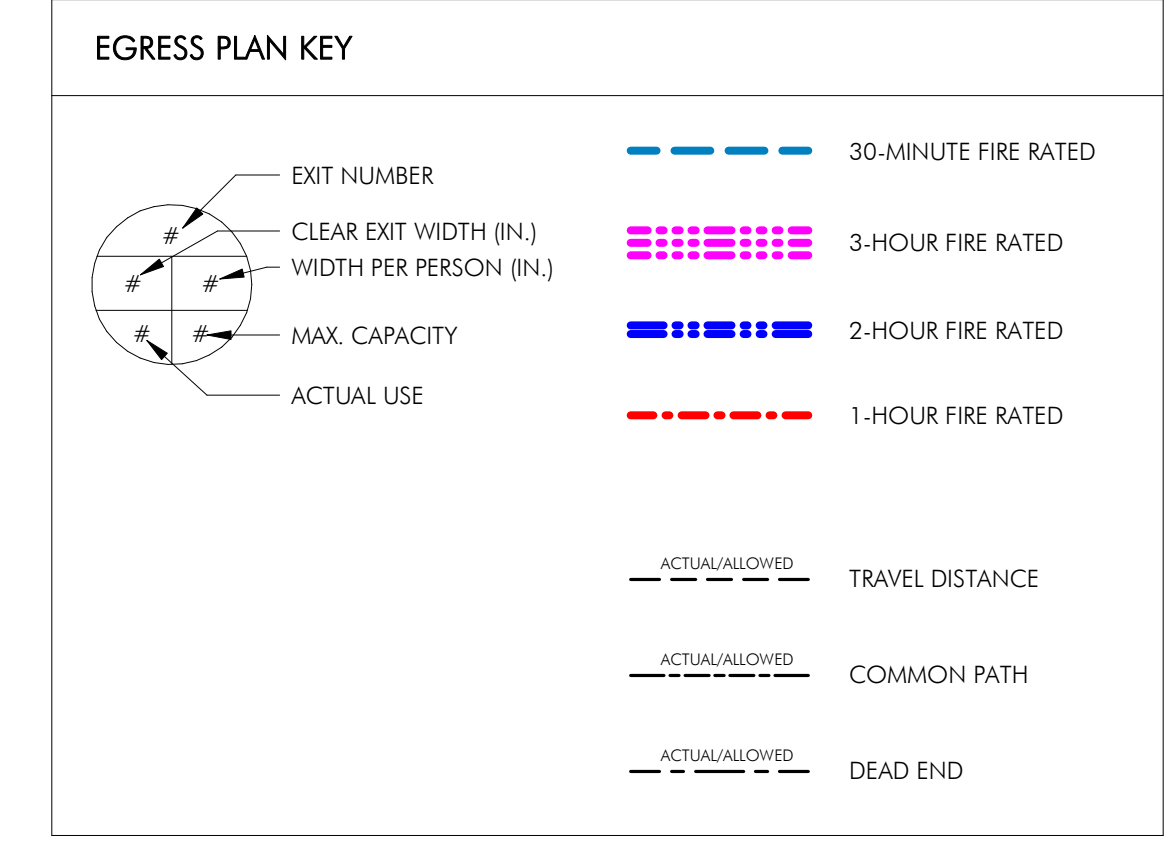
DRAWING TITLE  
LEVEL 2 LIFE  
SAFETY & EGRESS  
PLAN

DRAWING NUMBER  
**A001-7**



OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	0	1.5 NET	0
[Pattern]	PARKING	0	200 GROSS	0
[Pattern]	RESIDENTIAL	0	200 GROSS	0
[Pattern]	BUSINESS	6,860	100 GROSS	69
[Pattern]	STORAGE	113	300 GROSS	1
	TOTAL:			70

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSONS)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 1	34"	0.15	226	48"	0.2	240	226	35
STAIR 2	34"	0.15	226	48"	0.2	240	226	35



1 THIRD FLOOR - LIFE SAFETY PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



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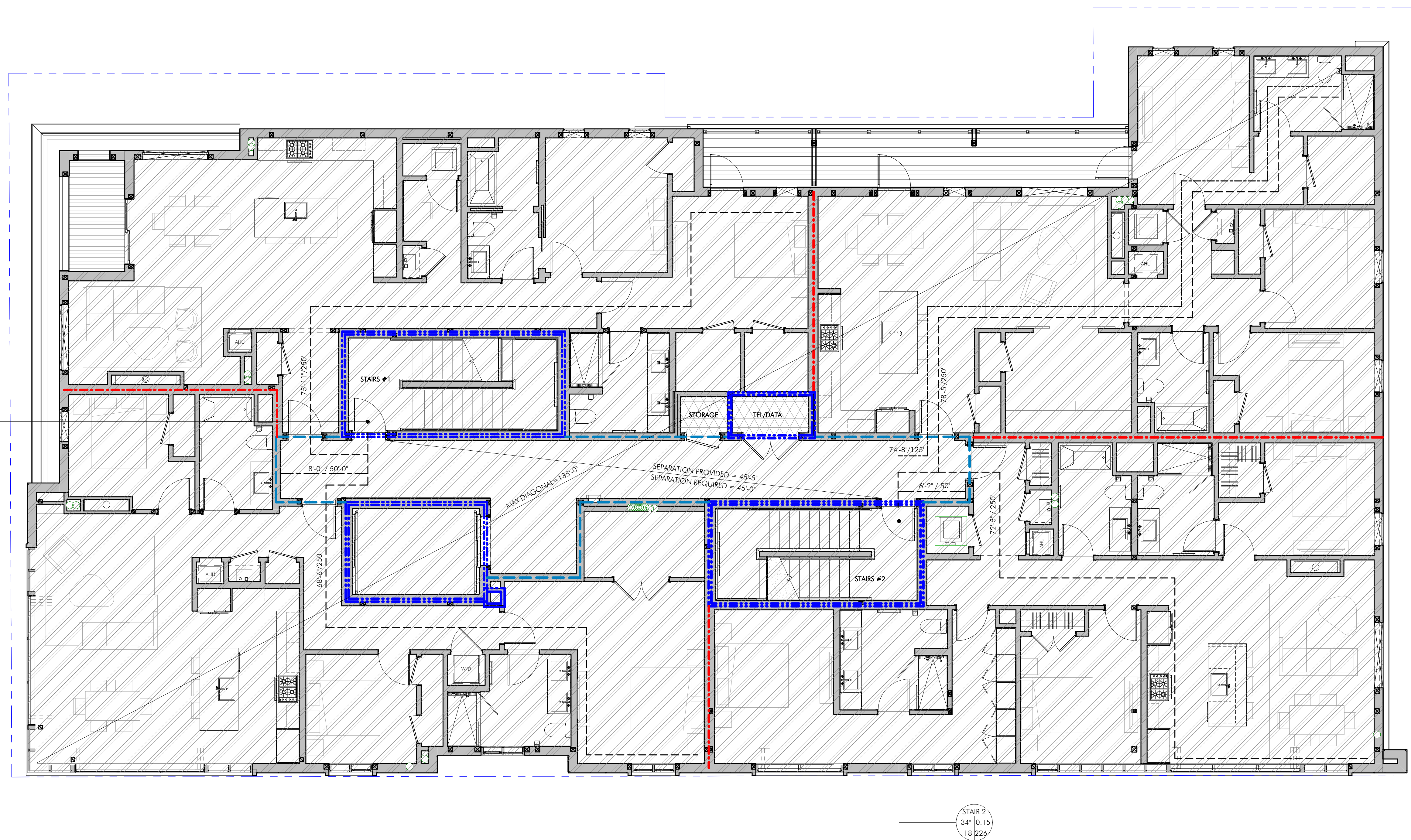
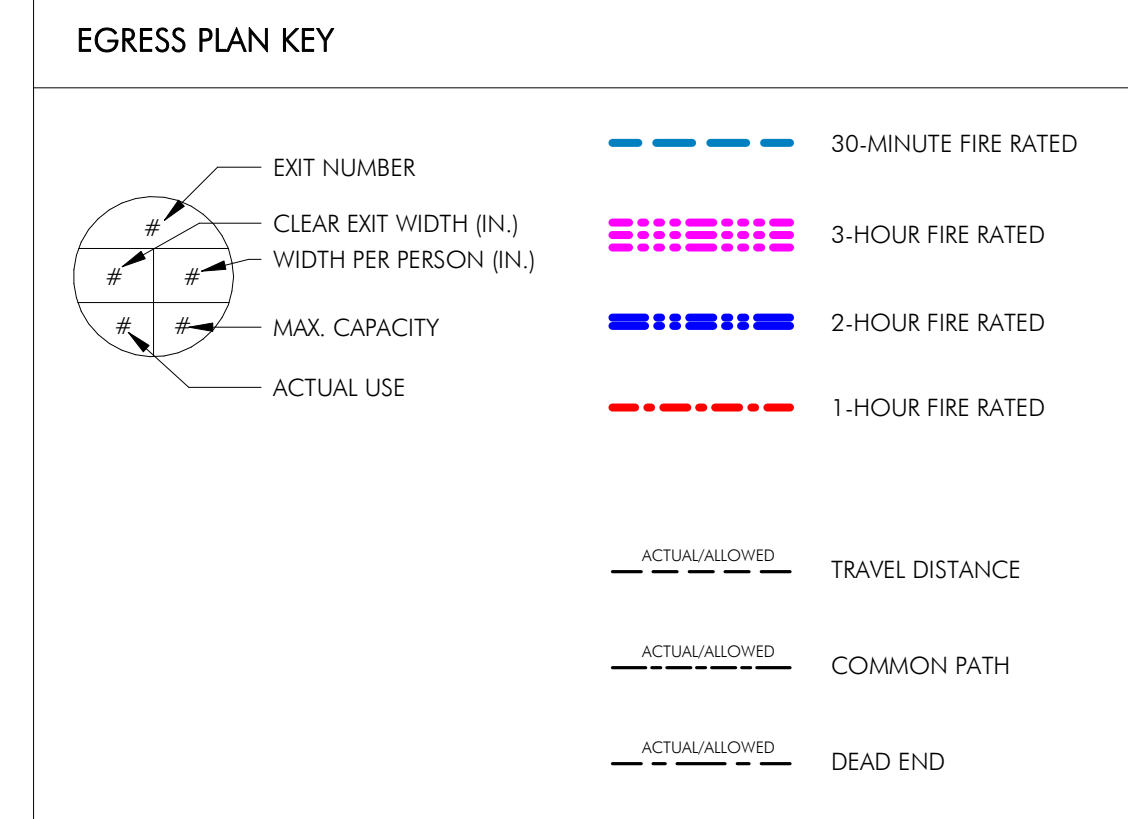
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 3 LIFE  
SAFETY & EGRESS  
PLAN

DRAWING NUMBER  
**A001-8**

OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ. FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	0	15 NET	0
[Pattern]	PARKING	0	200 GROSS	0
[Pattern]	RESIDENTIAL	6,992	200 GROSS	35
[Pattern]	BUSINESS	0	100 GROSS	0
[Pattern]	STORAGE	123	300 GROSS	1
			TOTAL:	36

EXIT CAPACITY TABLE							
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSONS)	LIMITING CAPACITY (PERSONS)
STAIR 1	34"	0.15	226	48"	0.2	240	226
STAIR 2	34"	0.15	226	48"	0.2	240	226



**1** FOURTH FLOOR - LIFE SAFETY PLAN  
3/16" = 1'-0"

**33 A STREET**  
 SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

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ISSUE:	ISSUED FOR CONSTRUCTION
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SCALE:	As Indicated

DRAWING TITLE  
**LEVEL 4 LIFE SAFETY & EGRESS PLAN**

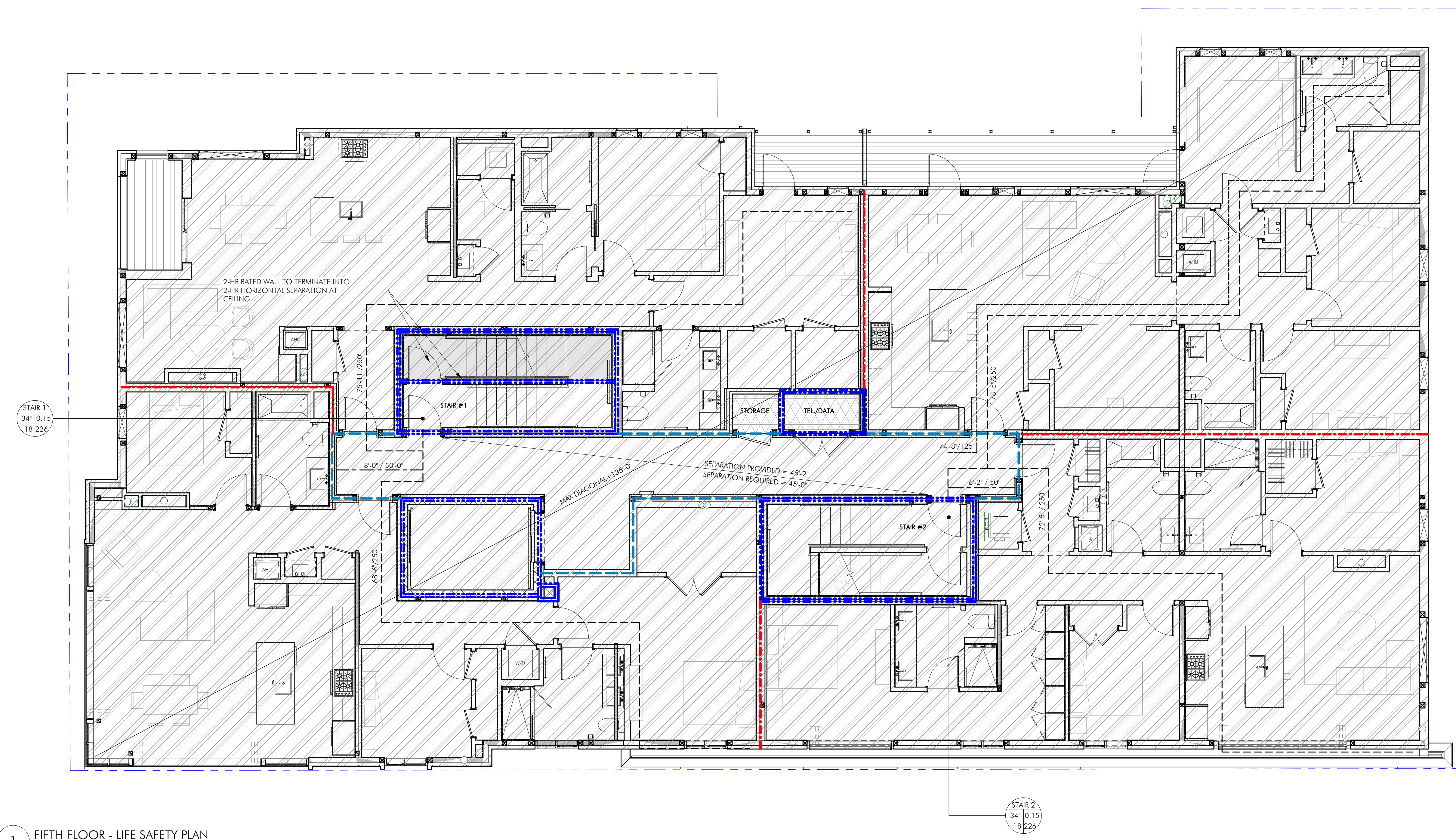
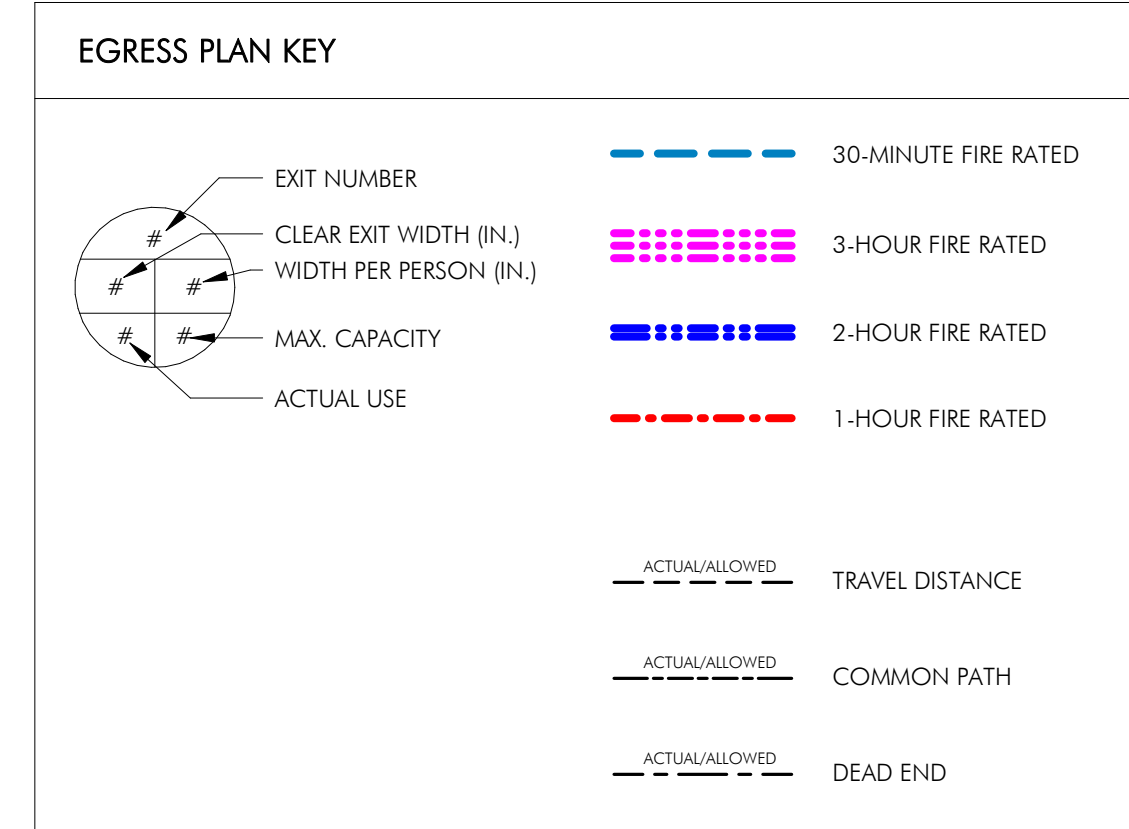
DRAWING NUMBER

**A001-9**

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OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ. FT.)	LOAD FACTOR	OCCUPANTS
[Pattern]	UNCONCENTRATED ASSEMBLY	0	15 NET	0
[Pattern]	PARKING	0	200 GROSS	0
[Pattern]	RESIDENTIAL	6,876	200 GROSS	35
[Pattern]	BUSINESS	0	100 GROSS	0
[Pattern]	STORAGE	123	300 GROSS	1
TOTAL:				36

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSONS)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 1	34"	0.15	226	48"	0.2	240	226	18
STAIR 2	34"	0.15	226	48"	0.2	240	226	18



1 FIFTH FLOOR - LIFE SAFETY PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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ISSUE:	ISSUED FOR CONSTRUCTION
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SCALE:	As Indicated

DRAWING TITLE  
LEVEL 5 LIFE SAFETY & EGRESS PLAN

DRAWING NUMBER  
A001-10

PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
	UNCONCENTRATED ASSEMBLY	0	15 NET	0
	PARKING	0	200 GROSS	0
	RESIDENTIAL	4,955	200 GROSS	25
	BUSINESS	0	100 GROSS	0
	STORAGE	40	300 GROSS	1
	TOTAL:			26

EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 1				48"	0.2	240	240	13
STAIR 2				48"	0.2	240	240	13

**EGRESS PLAN KEY**

- EXIT NUMBER
- CLEAR EXIT WIDTH (IN.) WIDTH PER PERSON (IN.)
- MAX. CAPACITY
- ACTUAL USE
- 30-MINUTE FIRE RATED
- 3-HOUR FIRE RATED
- 2-HOUR FIRE RATED
- 1-HOUR FIRE RATED
- ACTUAL ALLOWED TRAVEL DISTANCE
- ACTUAL ALLOWED COMMON PATH
- ACTUAL ALLOWED DEAD END

**ARCHITECT**  
**EMBARC**  
 550 HARRISON AVE, SUITE 2W  
 BOSTON, MA 02118  
 O: 617.765.8000  
 www.embarcdesign.com

**OWNER**  
 MICHAEL INDRESANO  
 33 A ST, BOSTON, MA 02127

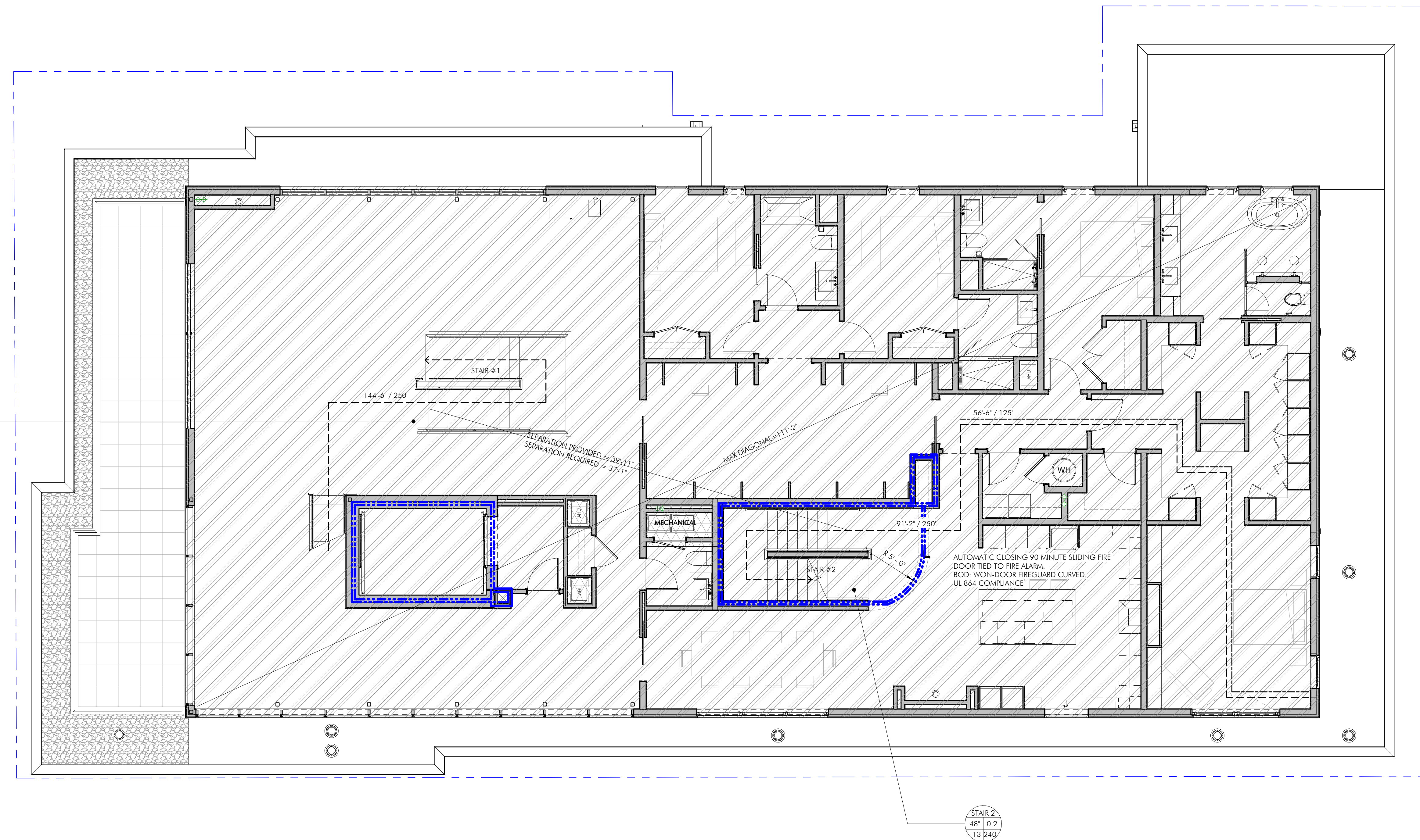
**CONSULTANTS**

**CIVIL**  
 COLUMBIA DESIGN GROUP  
 14 UPMAN AVE.  
 DORCHESTER, MA 02125  
 617.506.1474

**STRUCTURAL**  
 H+O STRUCTURAL ENGINEERING  
 180 SUMNER ST, SUITE 1800  
 BOSTON, MA 02210  
 617.938.3349

**MEP/FP**  
 EDE, INC.  
 135 BEAVER STREET, SUITE 404  
 WALTHAM, MA 02452  
 617.969.7700

**ENERGY MODELING**  
 ENENERGY STUDIO  
 831 BEACON ST, #115  
 NEWTON CENTRE, MA 02459  
 617.446.3114



**1** SIXTH FLOOR - LIFE SAFETY PLAN  
 3/16" = 1'-0"

**33 A STREET**  
 SOUTH BOSTON, MA  
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**DRAWING TITLE**  
 LEVEL 6 LIFE SAFETY & EGRESS PLAN

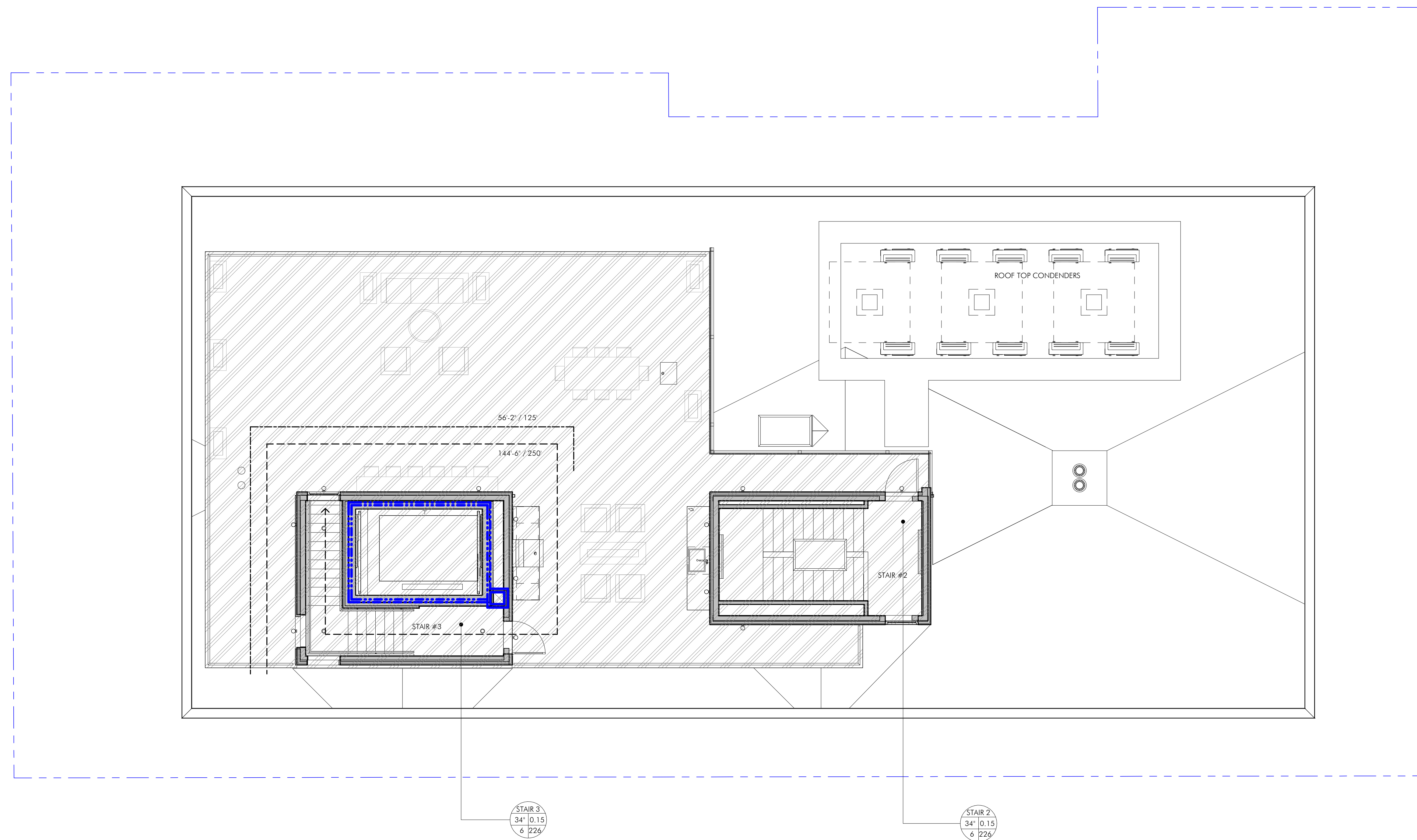
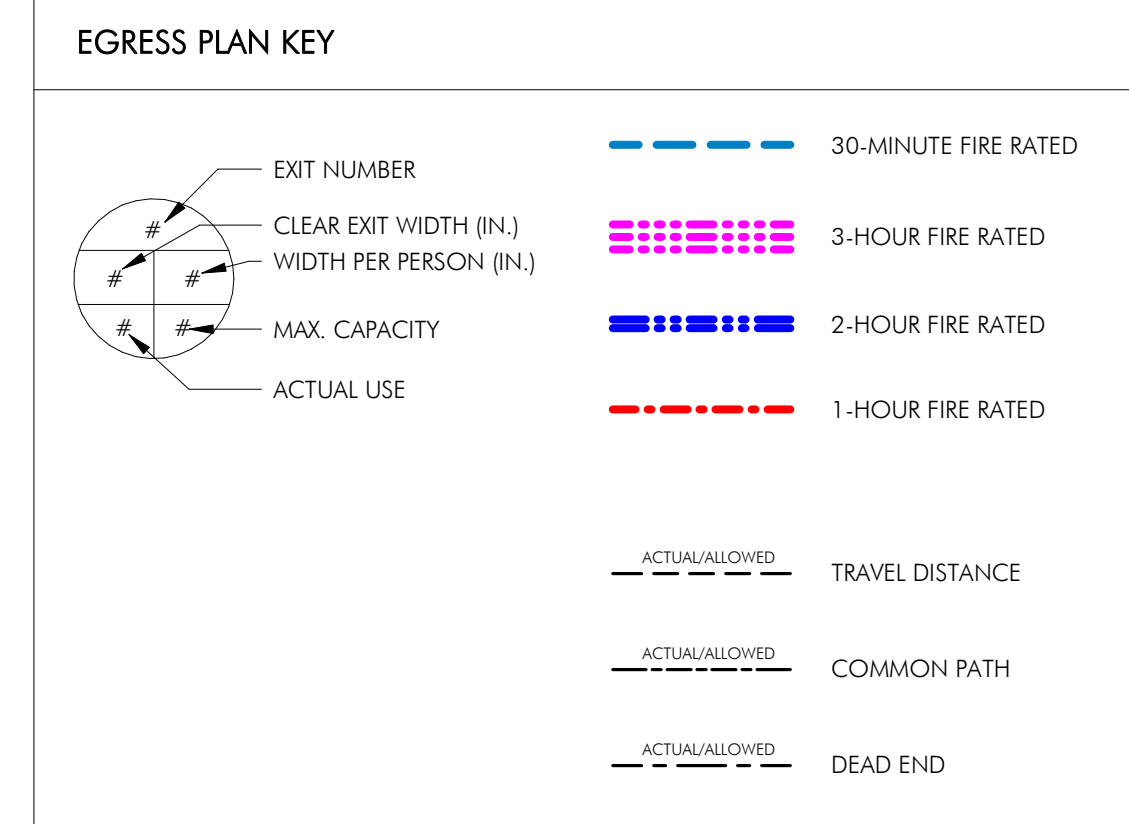
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OCCUPANT SUMMARY TABLE				
PATTERN	OCCUPANCY	AREA (SQ.FT.)	LOAD FACTOR	OCCUPANTS
	UNCONCENTRATED ASSEMBLY	0	1.5 NET	0
	PARKING	0	200 GROSS	0
	RESIDENTIAL	2,200	200 GROSS	11
	BUSINESS	0	100 GROSS	0
	STORAGE	0	300 GROSS	0
	TOTAL:			11

EXIT CAPACITY TABLE								
EXIT	DOOR WIDTH (IN.)	FACTOR (IN. PER PERSON)	DOOR CAPACITY (PERSONS)	STAIR WIDTH (IN.)	FACTOR (IN. PER PERSON)	STAIR CAPACITY (PERSON)	LIMITING CAPACITY (PERSONS)	ACTUAL USE
STAIR 2	34"	0.15	226	48"	0.2	240	226	6
STAIR 3	34"	0.15	226	48"	0.2	240	226	6



1 ROOF - LIFE SAFETY AND EGRESS PLAN  
3/16" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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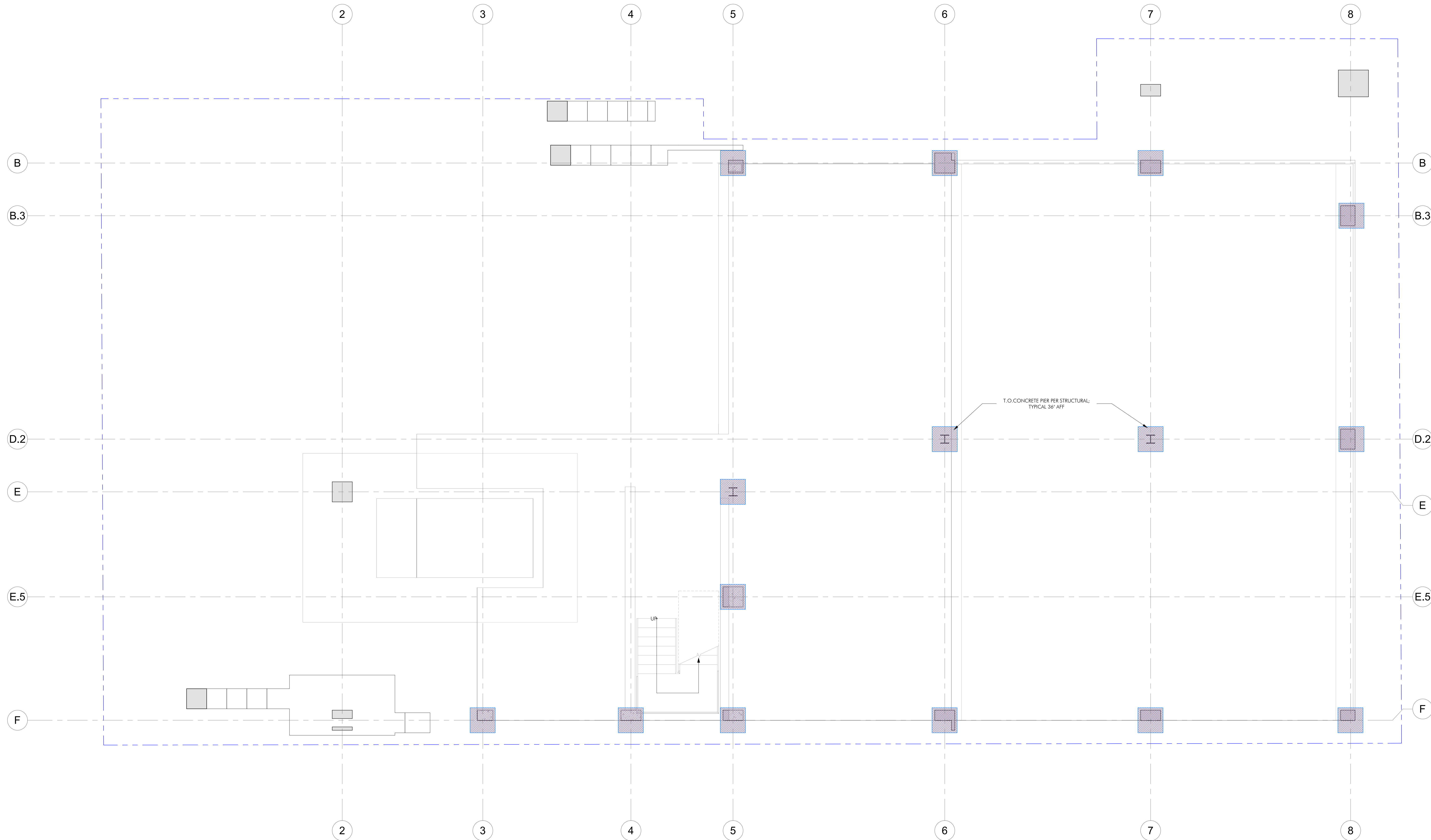
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As Indicated

DRAWING TITLE  
ROOF LIFE SAFETY & EGRESS PLAN

DRAWING NUMBER  
A001-12

STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES	
<p><b>INTUMESCENT PAINT COATING, SHOP-APPLIED</b></p> <ul style="list-style-type: none"> <li>2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING</li> <li>2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING</li> </ul>	<p><b>CEMENTITIOUS FIREPROOFING, FIELD-APPLIED</b></p> <ul style="list-style-type: none"> <li>2 HR RATED COLUMN, UL DESIGN NO. X708</li> <li>2 HR RATED BEAM, UL DESIGN NO. N708</li> <li>3 HR RATED COLUMN, UL DESIGN NO. X708</li> <li>3 HR RATED BEAM, CROSS-BRACES &amp; GUSSET PLATES, UL DESIGN NO. N708</li> <li>3 HR COLUMN W/ CONCRETE ENCASEMENT TO UNDERSIDE OF BEAM CONNECTION; 3" COVERAGE PER STRUCTURAL</li> </ul>	<p>1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES.</p> <p>2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING.</p> <p>6. ALL PENETRATIONS THROUGH SLAB AND/ OR WALL SHOULD BE INFILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/ OR VERTICAL RATING.</p>	<p>7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATINGS AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE.</p> <p>8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATINGS AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE.</p> <p>9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS &amp; GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS.</p> <p>10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL TO BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE Z-146 OR EQUAL.</p>



1 BASEMENT - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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








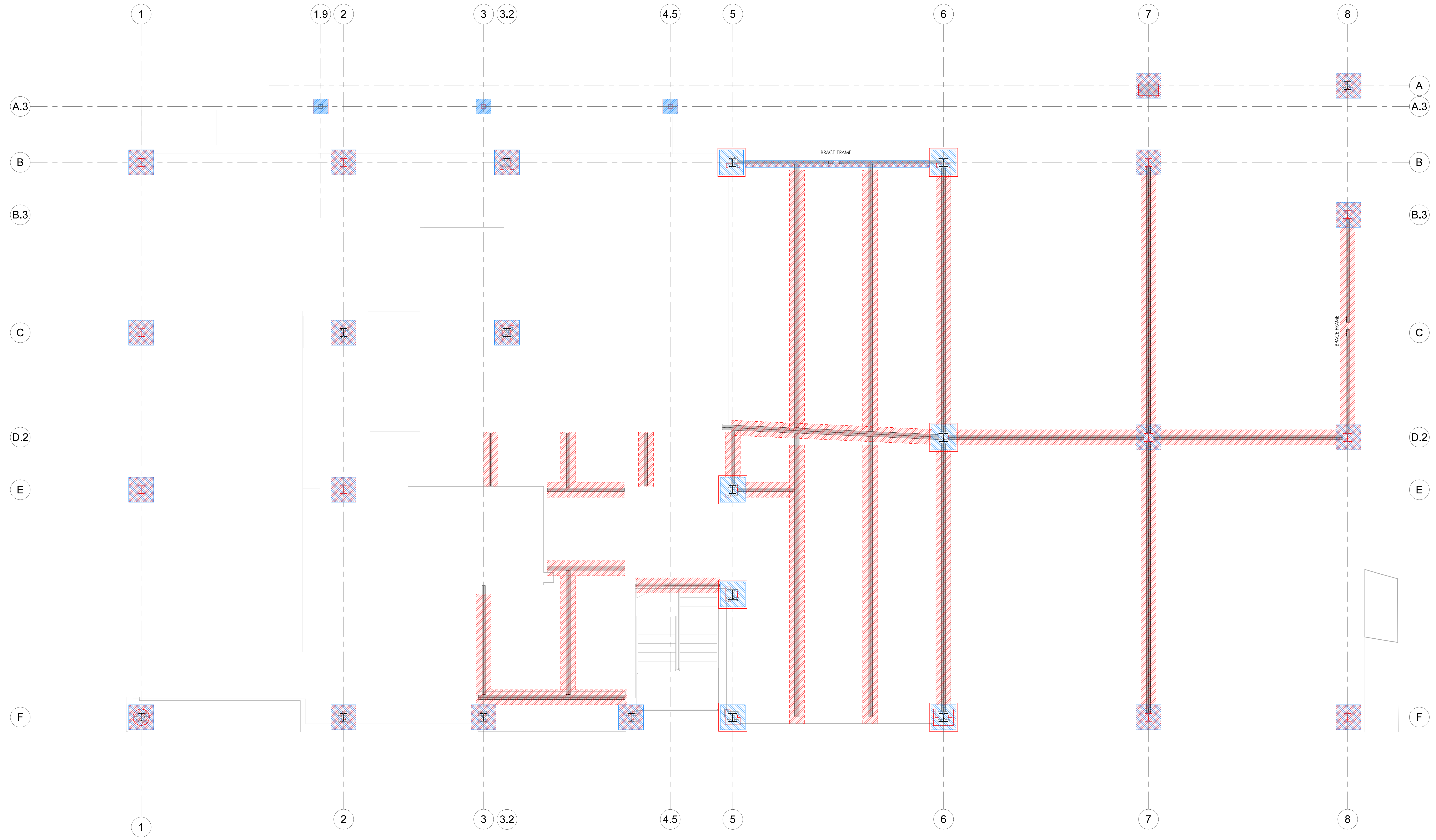
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DRAWING TITLE  
BASEMENT  
FIREPROOFING  
DIAGRAMS

DRAWING NUMBER  
A001-13

STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING, SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING, FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASUREMENT TO UNDERSIDE OF BEAM CONNECTION; 3" COVERAGE PER STRUCTURAL		1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE INFILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATING.	7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708; THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708; THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE Z-146 OR EQUAL.



1 1 ST LEVEL - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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








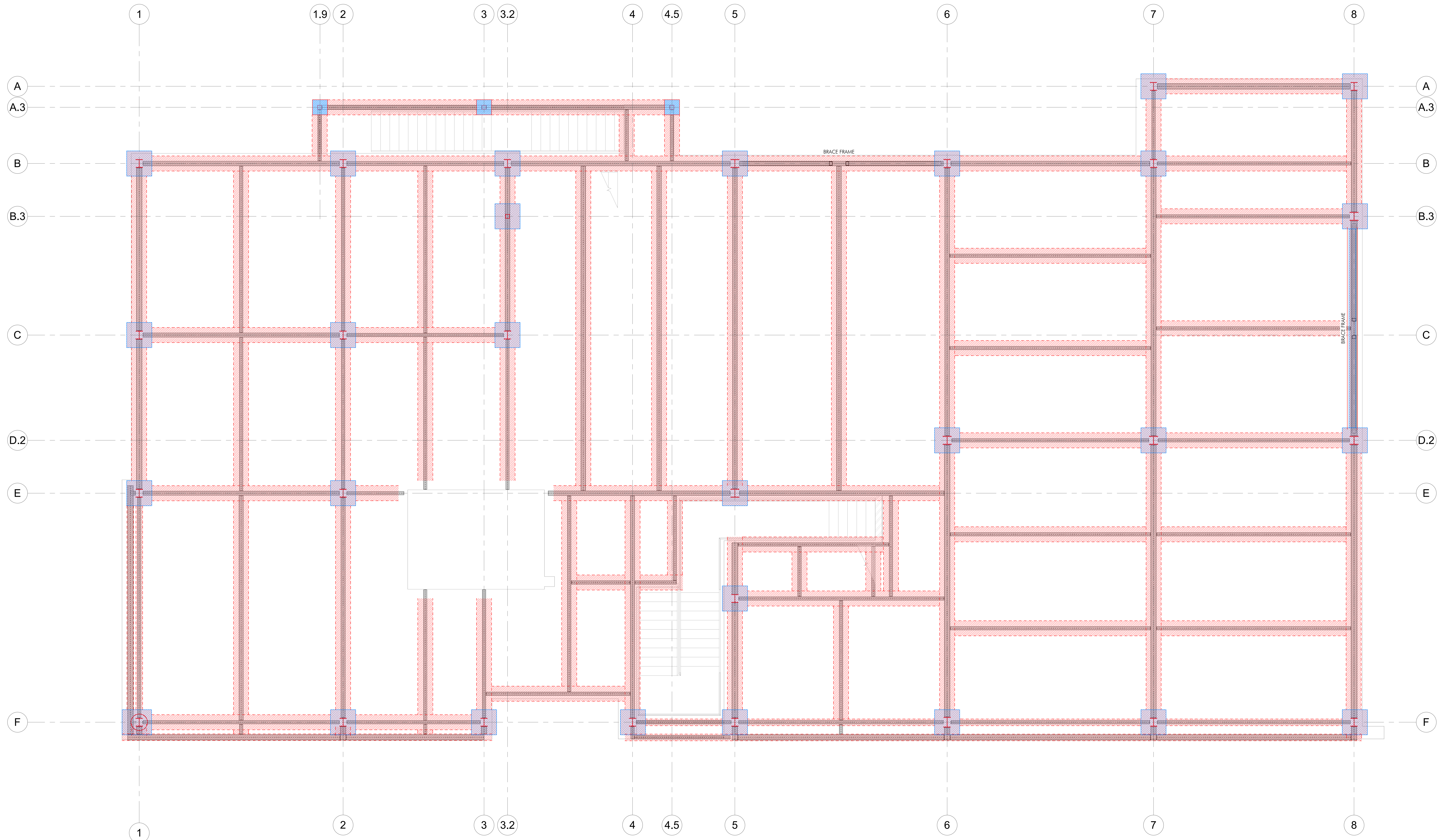
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 1  
FIREPROOFING  
DIAGRAM  
DRAWING NUMBER

A001-14  
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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING: SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING: FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASUREMENT TO UNDERSIDE OF BEAM CONNECTION; 3" COVERAGE PER STRUCTURAL		<b>GENERAL STRUCTURAL FIREPROOFING NOTES</b> 1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE INFILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATINGS. 7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL TO BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GGP MONOKOTE Z-146 OR EQUAL.	



1 2ND LEVEL - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION








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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

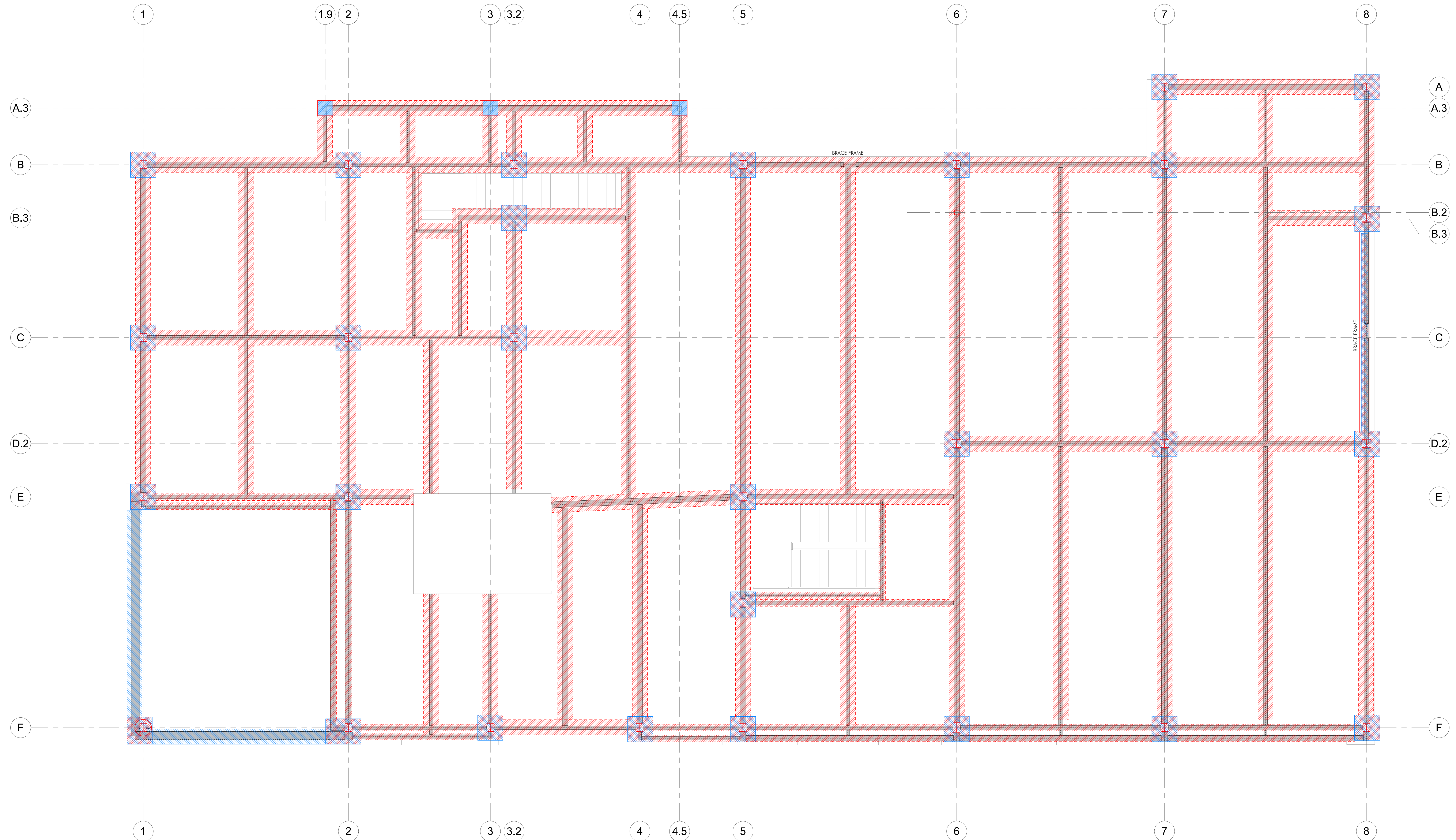
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LEVEL 2  
FIREPROOFING  
DIAGRAM  
DRAWING NUMBER

A001-15  
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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
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		7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE Z-146 OR EQUAL.			



1 3RD LEVEL - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE










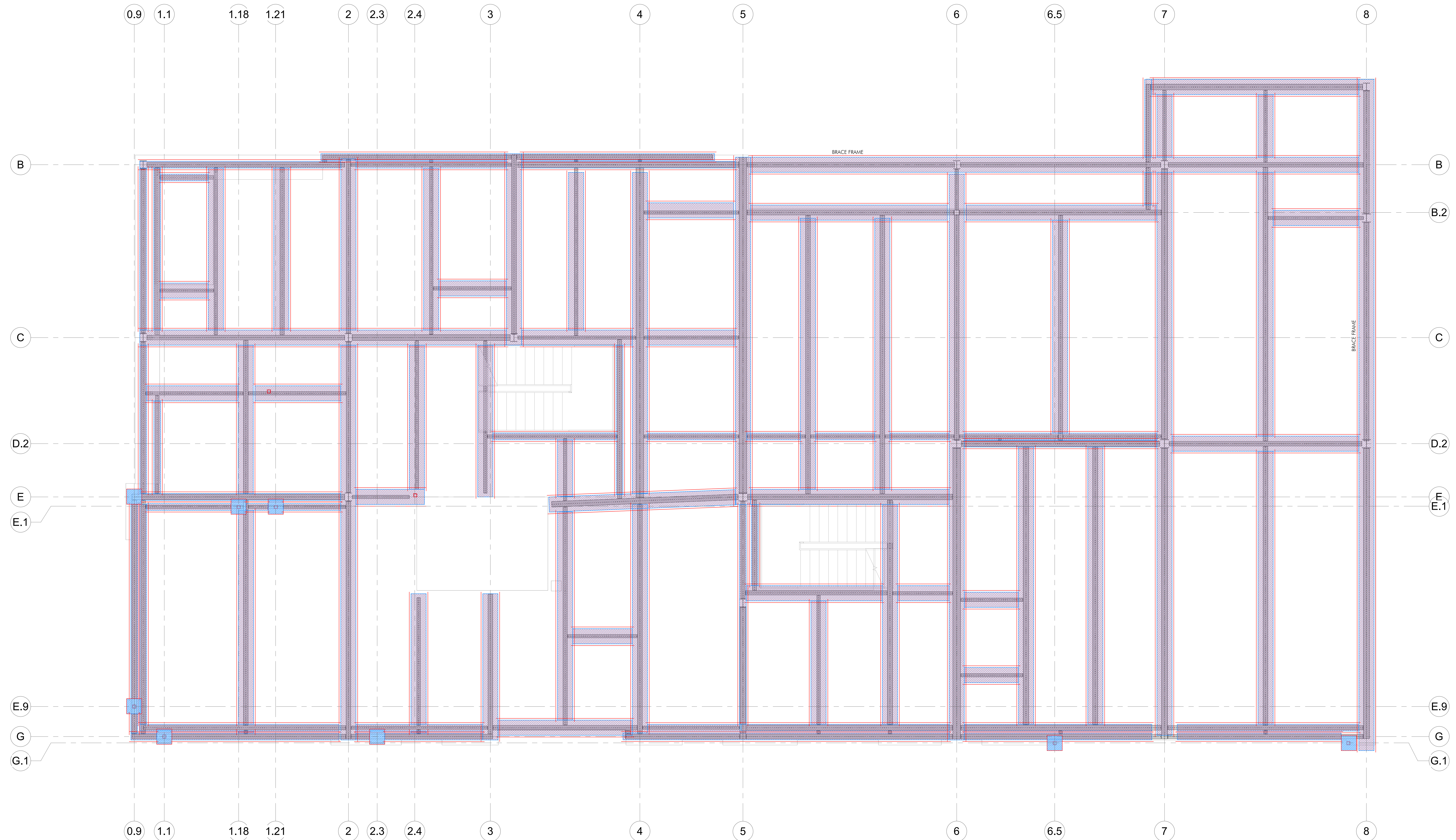
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 3  
FIREPROOFING  
DIAGRAM  
DRAWING NUMBER  
A001-16

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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING: SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING: FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASEMENT TO UNDERSIDE OF BEAM CONNECTION; 3' COVERAGE PER STRUCTURAL		<b>GENERAL STRUCTURAL FIREPROOFING NOTES</b> 1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE INFILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATING. 7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708; THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708; THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL TO BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE 2-146 OR EQUAL.	



1 4TH LEVEL - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE










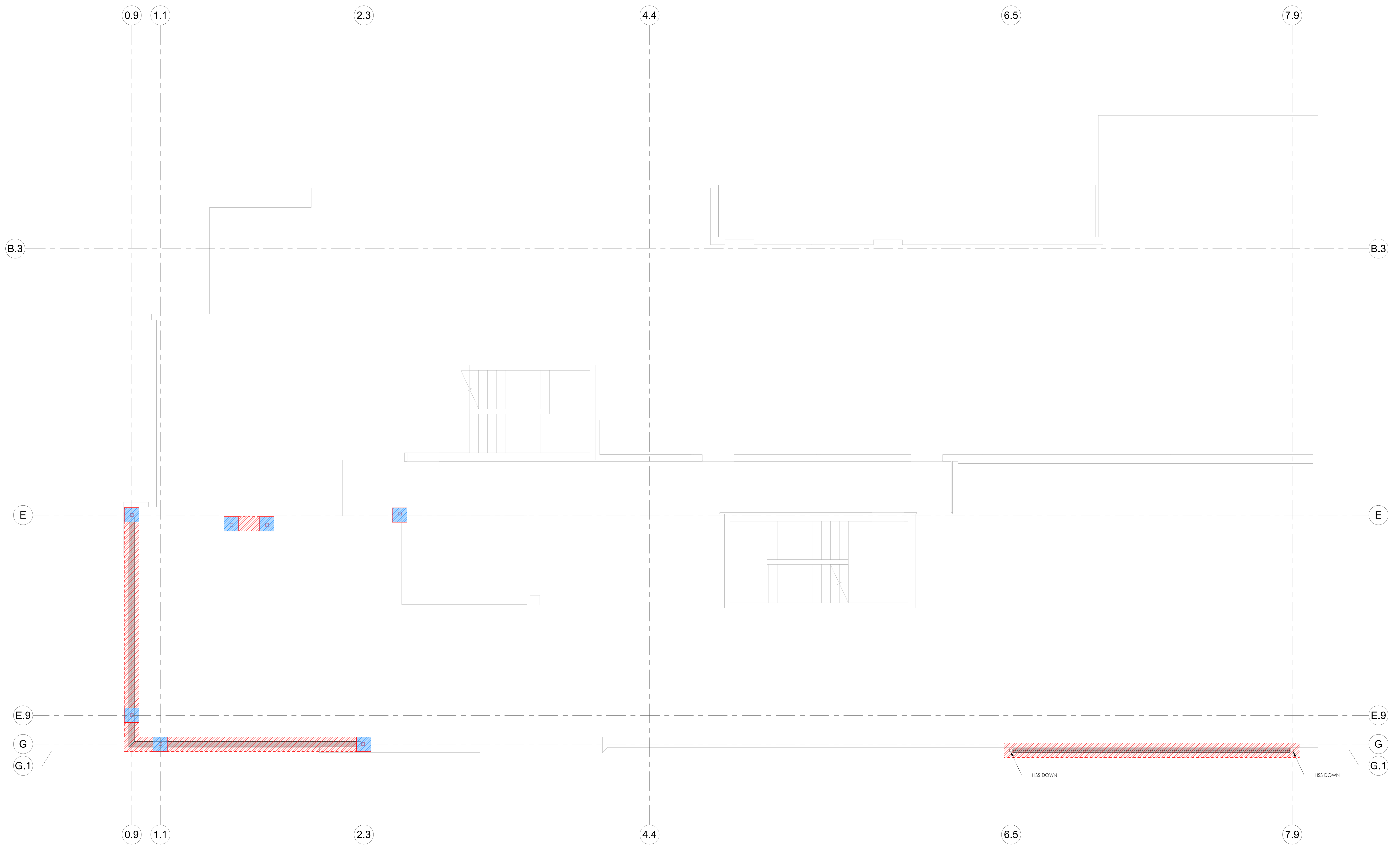
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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 4  
FIREPROOFING  
DIAGRAM  
DRAWING NUMBER

A001-17  
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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING, SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING, FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASUREMENT TO UNDERSIDE OF BEAM CONNECTION; 3" COVERAGE PER STRUCTURAL		1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE FILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATINGS.	7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE Z-146 OR EQUAL.



1 5TH LEVEL - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

ARCHITECT  
**EMBARC**  
 580 HARRISON AVE, SUITE 2W  
 BOSTON, MA 02118  
 O: 617.765.8000  
 www.embarcdesign.com

OWNER  
 MICHAEL INDRESANO  
 33 A ST, BOSTON, MA 02127

CONSULTANTS

**CIVIL**  
 COLUMBIA DESIGN GROUP  
 14 UPRHAM AVE  
 DORCHESTER, MA 02125  
 617.506.1474

**STRUCTURAL**  
 H+O STRUCTURAL ENGINEERING  
 180 SUMNER ST, SUITE 1800  
 BOSTON, MA 02210  
 617.938.3349

**MEP/FP**  
 EDE, INC.  
 135 BEAVER STREET, SUITE 404  
 WALTHAM, MA 02452  
 617.969.7700

**ENERGY MODELING**  
 ENENERGY STUDIO  
 831 BEACON ST, #115  
 NEWTON CENTRE, MA 02459  
 617.446.3114

33 A STREET  
 SOUTH BOSTON, MA  
 ISSUED FOR CONSTRUCTION

MARK	ISSUE	DATE










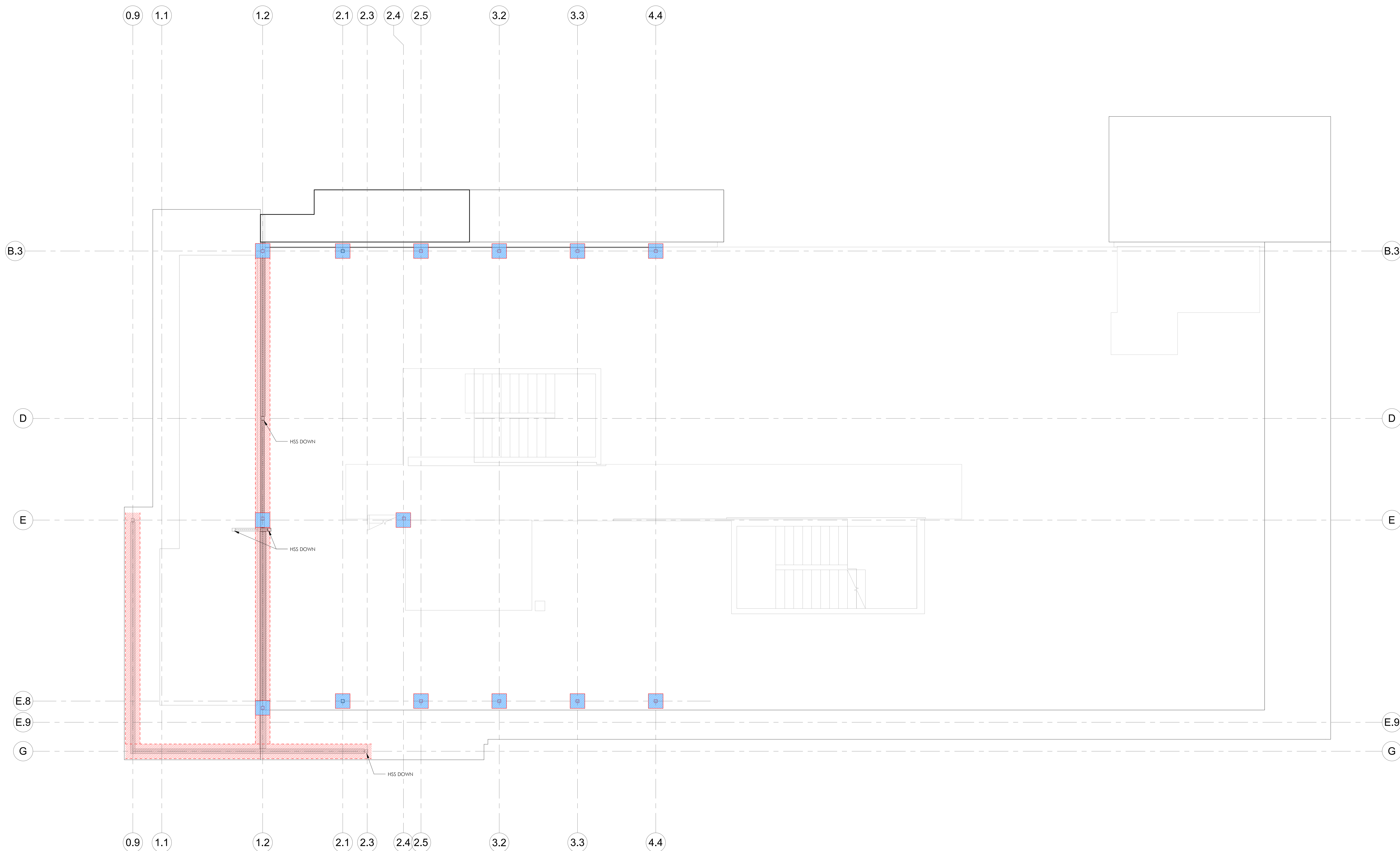
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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
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 FIREPROOFING  
 DIAGRAM

DRAWING NUMBER  
**A001-18**

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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING, SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING, FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASMENT TO UNDERSIDE OF BEAM CONNECTION; 3" COVERAGE PER STRUCTURAL		1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE FILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATINGS.	7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL BE TO HIGH DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE Z-146 OR EQUAL.



1 6TH FLOOR - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

MARK	ISSUE	DATE










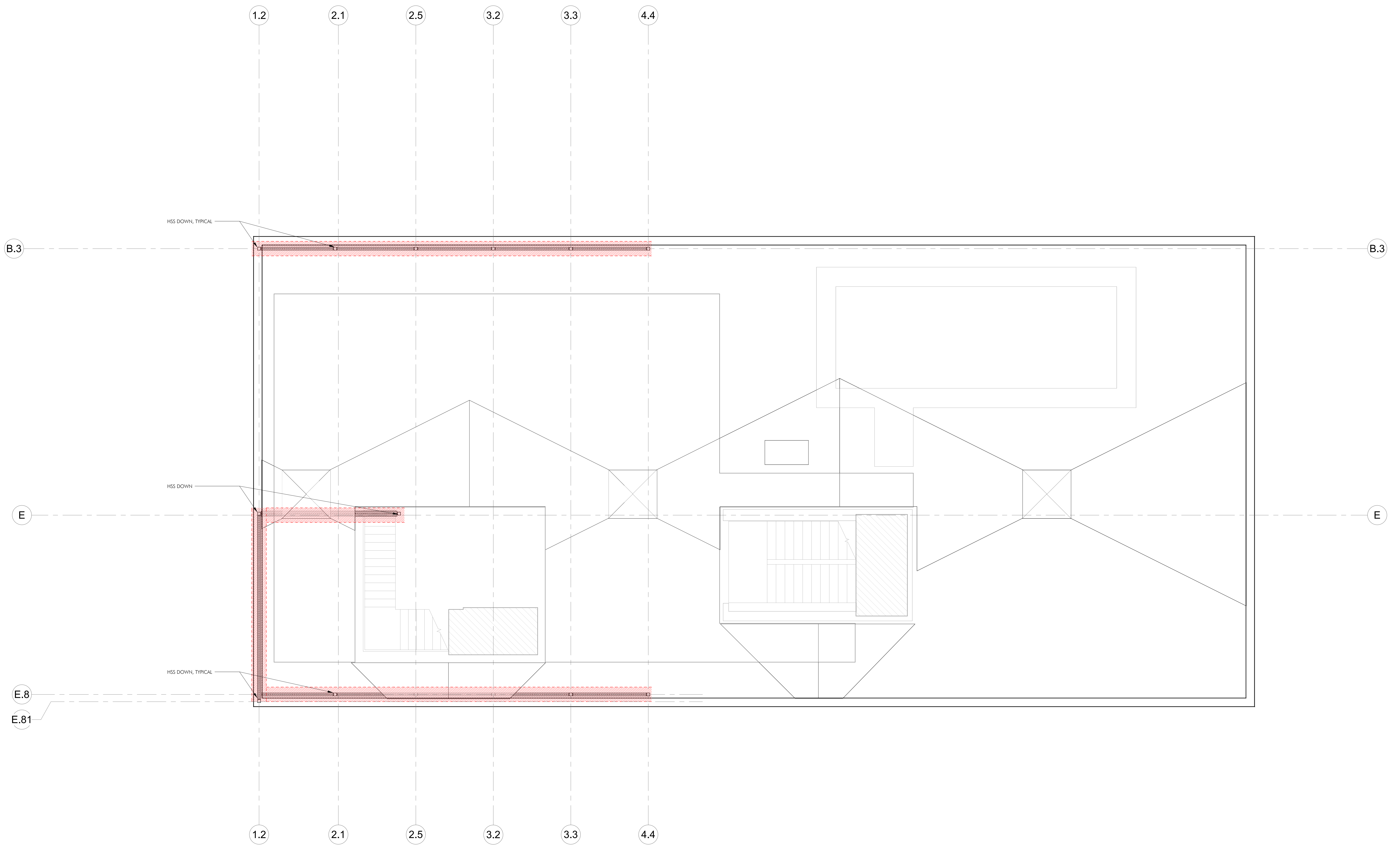
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
LEVEL 6  
FIREPROOFING  
DIAGRAM

DRAWING NUMBER  
**A001-19**

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STRUCTURAL FIREPROOFING LEGEND		GENERAL STRUCTURAL FIREPROOFING NOTES			
<b>INTUMESCENT PAINT COATING: SHOP-APPLIED</b>  2 HR RATED COLUMN, SHOP-APPLIED INTUMESCENT COATING  2 HR RATED BEAM, SHOP-APPLIED INTUMESCENT COATING		<b>CEMENTITIOUS FIREPROOFING: FIELD-APPLIED</b>  2 HR RATED COLUMN, UL DESIGN NO. X708  2 HR RATED BEAM, UL DESIGN NO. N708  3 HR RATED COLUMN, UL DESIGN NO. X708  3 HR RATED BEAM, CROSS-BRACES & GUSSET PLATES, UL DESIGN NO. N708  3 HR COLUMN W/ CONCRETE ENCASMENT TO UNDERSIDE OF BEAM CONNECTION, 3" COVERAGE PER STRUCTURAL		1. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE LAYOUT AND QUANTITY FOR STEEL FRAMING MEMBERS AND SIZES. 2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS LOCATED ABOVE THE PODIUM LEVEL (FLOORS 4-7) TO RECEIVE 2-HOUR SHOP-APPLIED INTUMESCENT FIREPROOFING COATING, UNLESS SPECIFICALLY NOTED OTHERWISE. 3. ALL COLUMNS FROM THE THIRD FLOOR DOWN, INCLUDING THE PARKING PIT, TO RECEIVE 3-HOUR SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 4. ALL BEAMS LOCATED AT THE SECOND FLOOR TO RECEIVE 2-HOUR FIRE SPRAY-APPLIED FIREPROOFING, UNLESS SPECIFICALLY NOTED OTHERWISE. 5. UNDERSIDE OF METAL DECK FLOORS DO NOT REQUIRE FIREPROOFING. 6. ALL PENETRATIONS THROUGH SLAB AND/OR WALL SHOULD BE INFILLED WITH UL RATED JOINT FIRESTOPPING SYSTEM NOT LESS THAN 1-HR OR EQUAL TO REQUIRED HORIZONTAL AND/OR VERTICAL RATINGS.	7. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR BEAMS TO MEET UL DESIGN NO. N708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE. 8. SPRAY-APPLIED FIRE RESISTIVE MATERIAL AT 2 AND 3-HOUR COLUMNS TO MEET UL DESIGN NO. X708, THICKNESS OF COATING AS REQUIRED FOR THE HOUR RATING REQUIRED AND THE MEMBER SIZE, UNLESS NOTED OTHERWISE. 9. DIAGONAL MEMBERS OF CROSS-BRACED BAYS & GUSSET PLATES TO RECEIVE FIRE PROOFING FOR 3-HOUR RATING, TO MATCH RATING OF COLUMNS. 10. ALL CEMENTITIOUS SPRAY-APPLIED FIREPROOFING EXPOSED TO THE ELEMENTS SHALL TO BE TO HIGH-DENSITY PORTLAND CEMENT BASED TYPE EQUAL TO GCP MONOKOTE 2-146 OR EQUAL.



1 ROOF - FIREPROOFING DIAGRAM  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

MARK	ISSUE	DATE



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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
ROOF  
FIREPROOFING  
DIAGRAM  
DRAWING NUMBER  
A001-20

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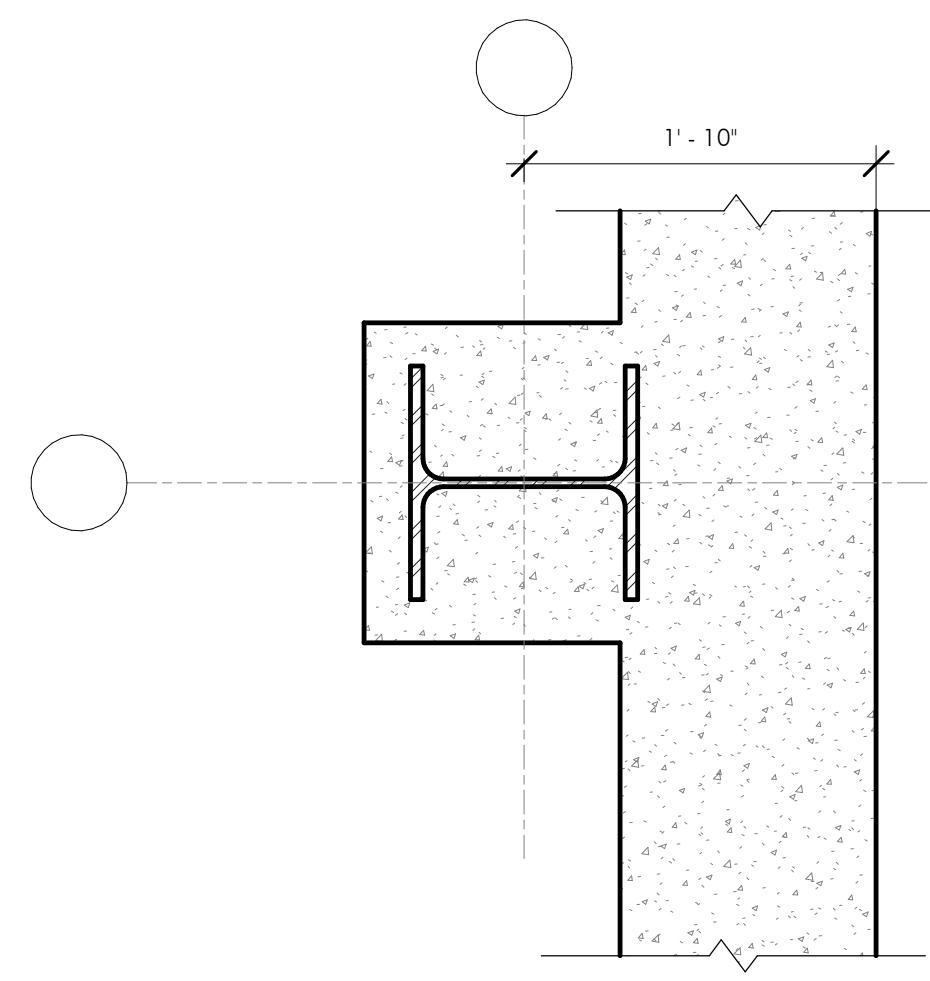
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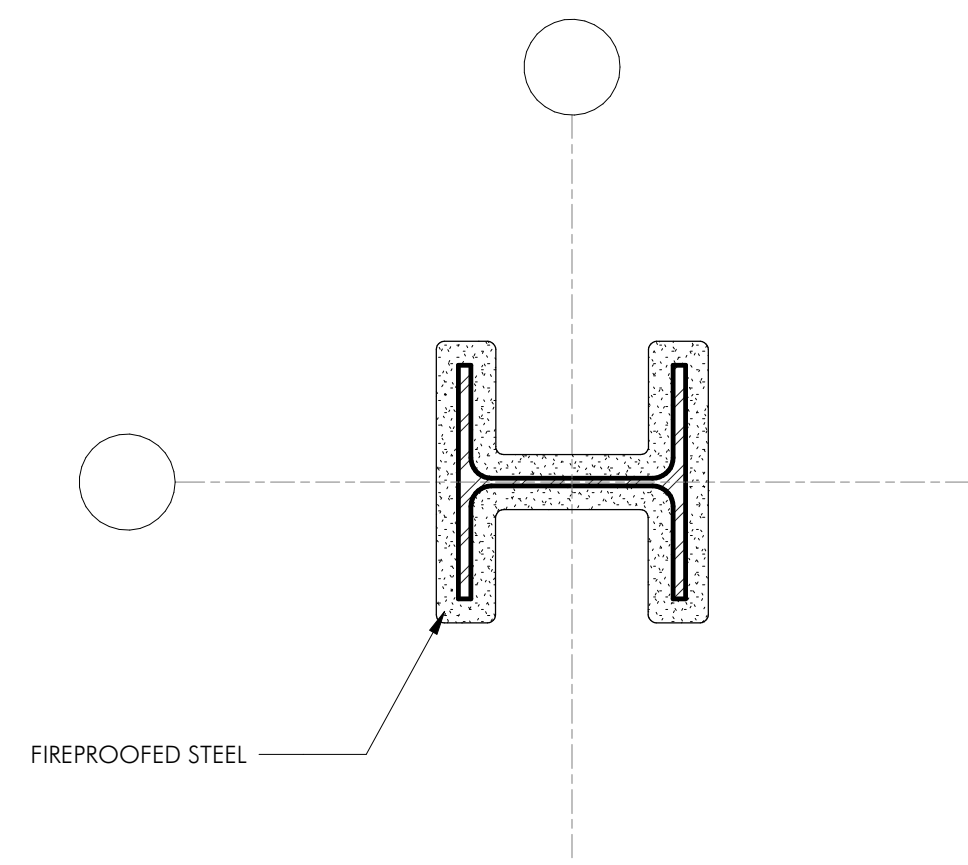
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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1" = 1'-0"

DRAWING TITLE  
**TYPICAL  
 FIREPROOFING  
 DETAILS**

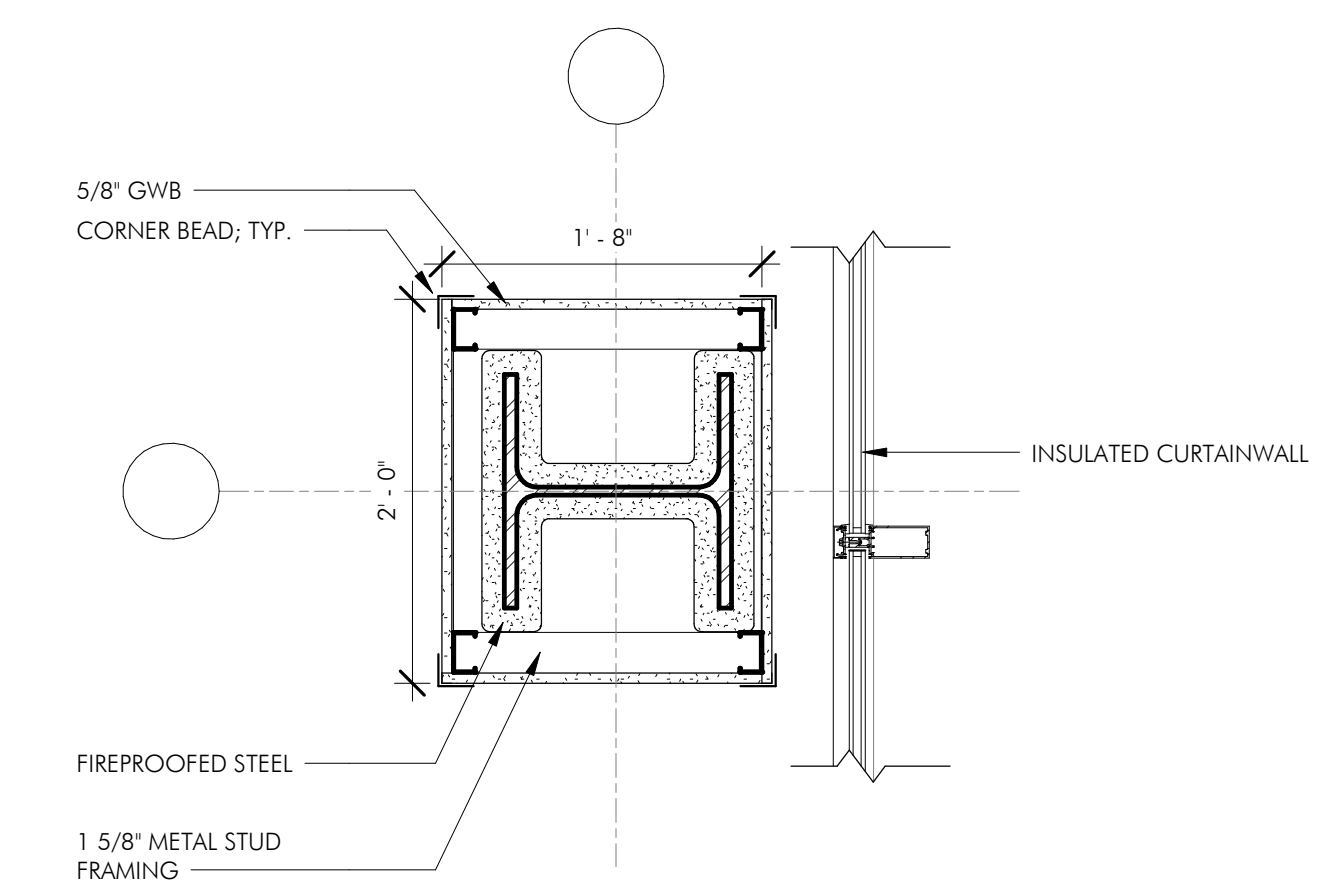
DRAWING NUMBER  
**A001-21**



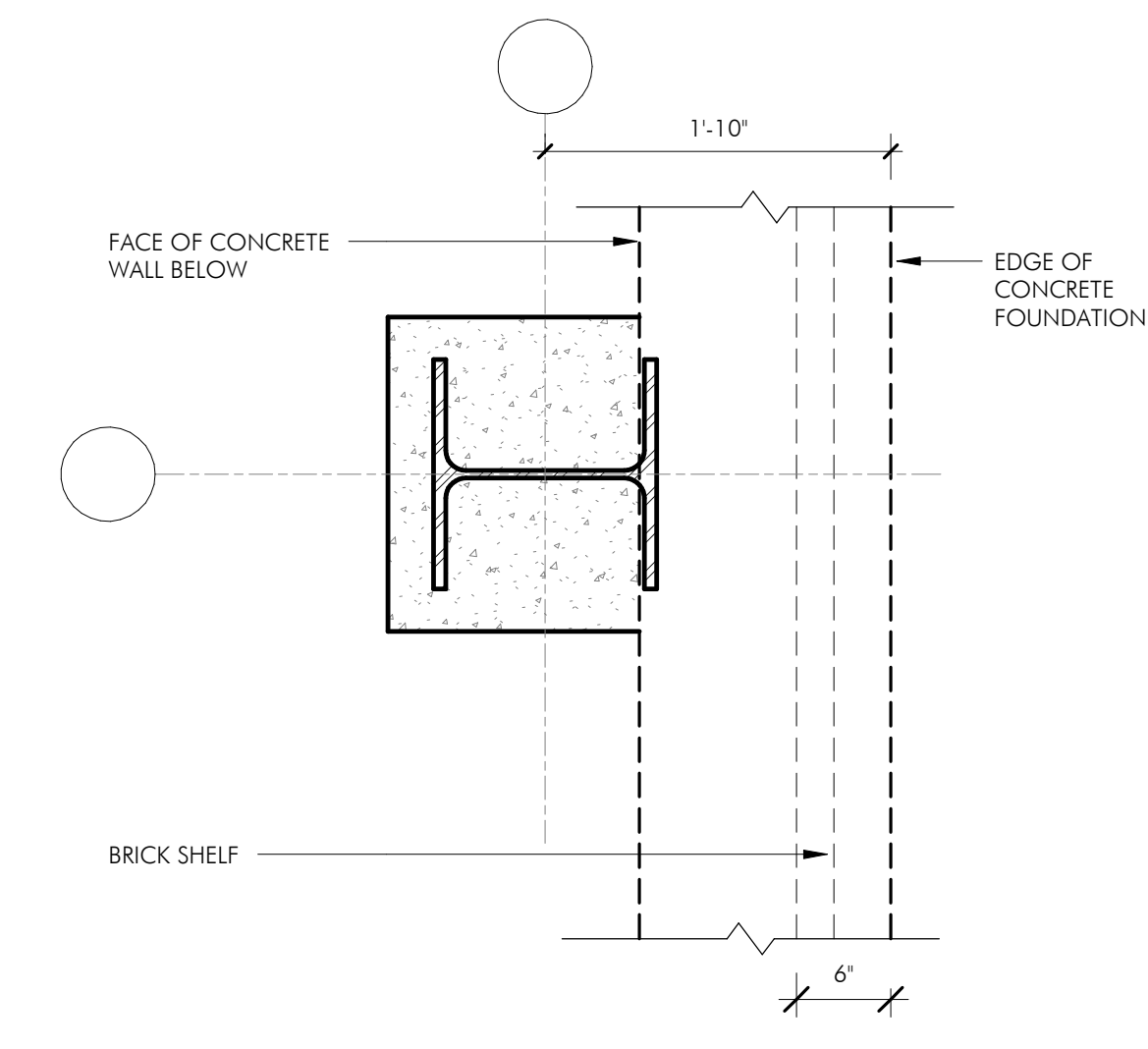
1 TYP. COLUMN AT GARAGE  
 1" = 1'-0"



2 TYP. COLUMN DETAIL AT GARAGE AND BASEMENT  
 1" = 1'-0"



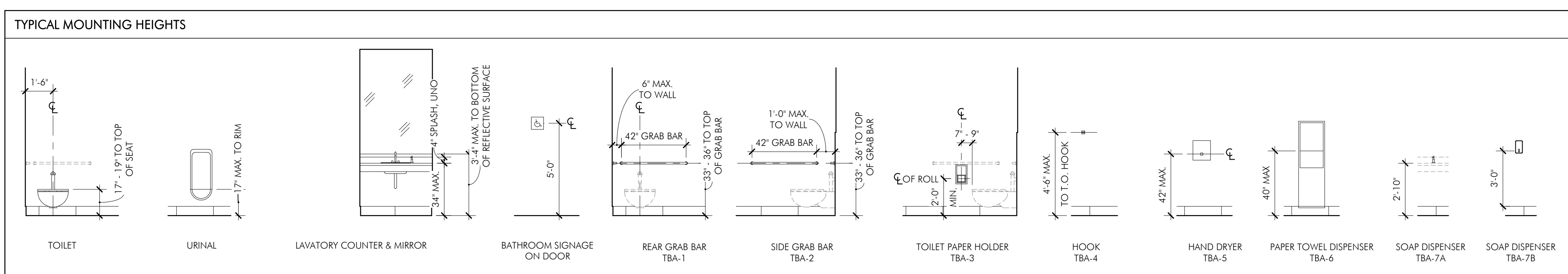
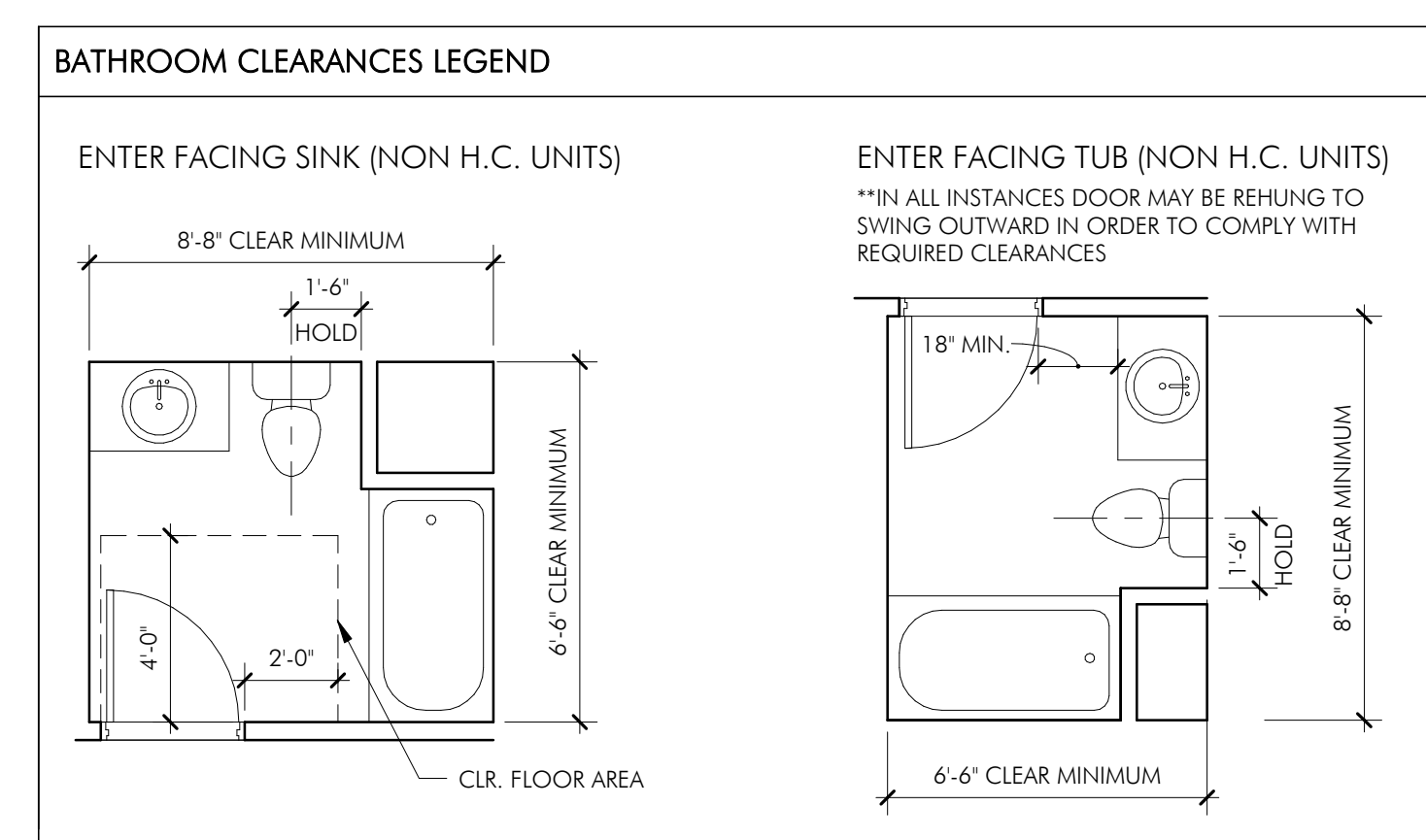
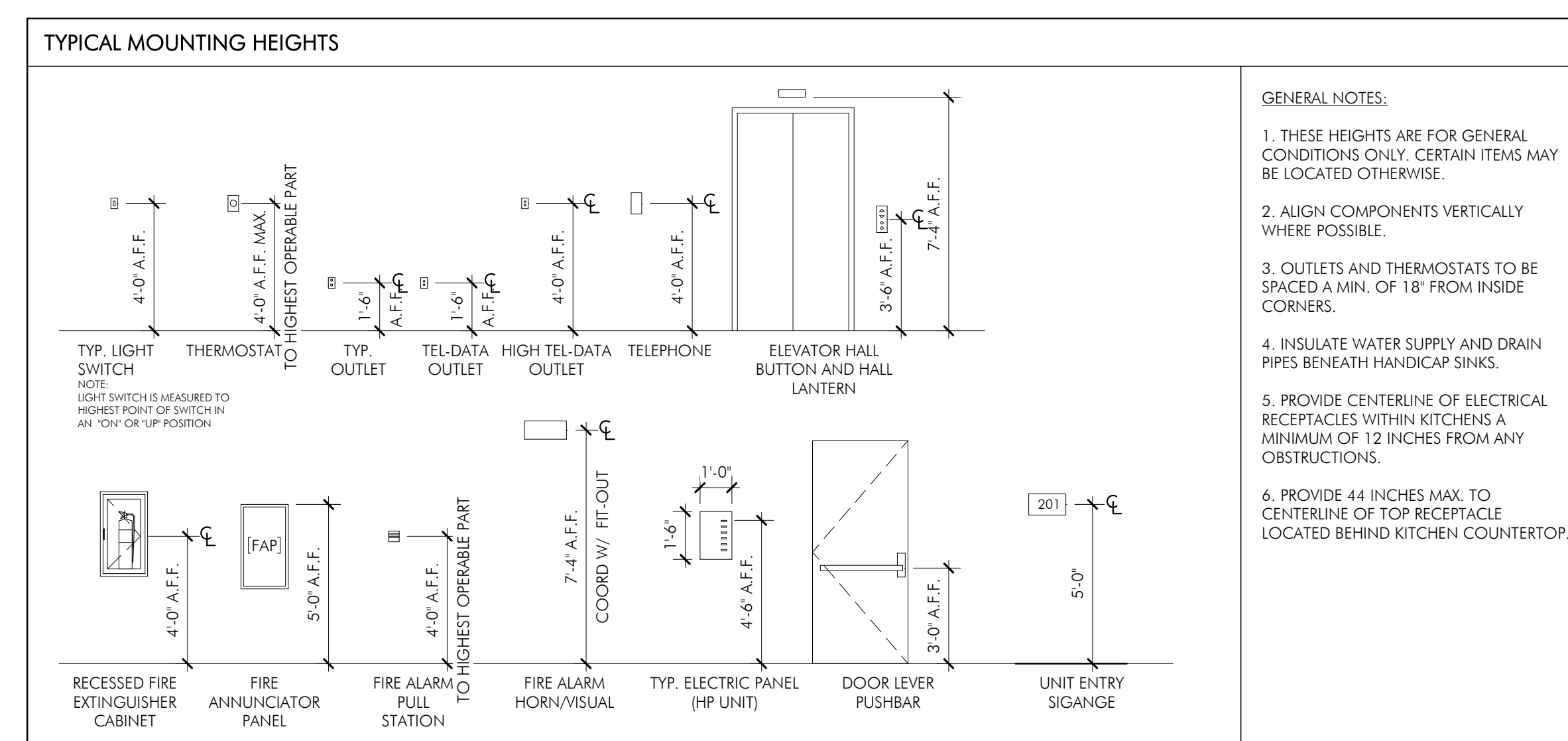
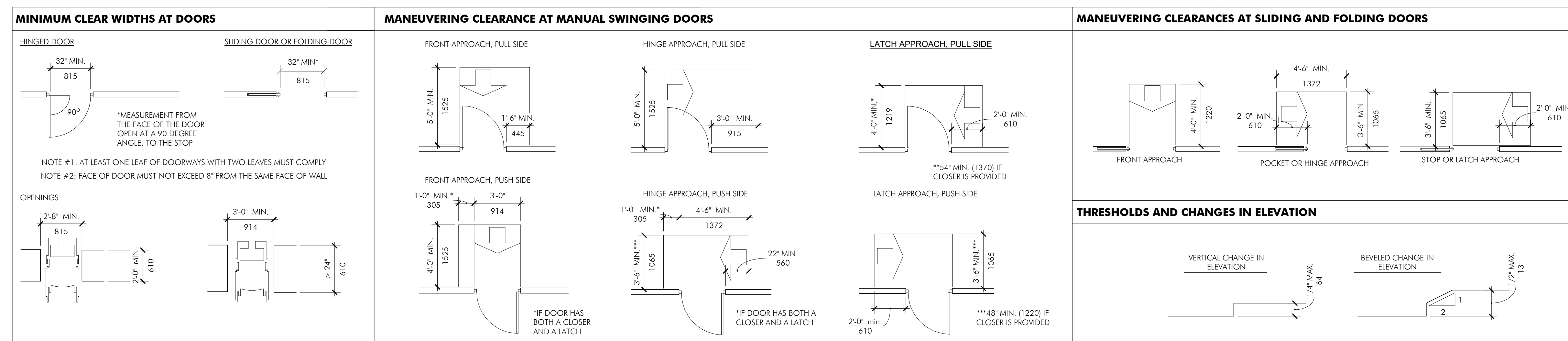
3 TYP. COLUMN ENCLOSURE  
 1" = 1'-0"



4 TYP. ENLARGED COLUMN DETAIL AT FIRST FLOOR  
 1" = 1'-0"

**GENERAL INFORMATION**

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.



**REVISIONS**

MARK	ISSUE	DATE

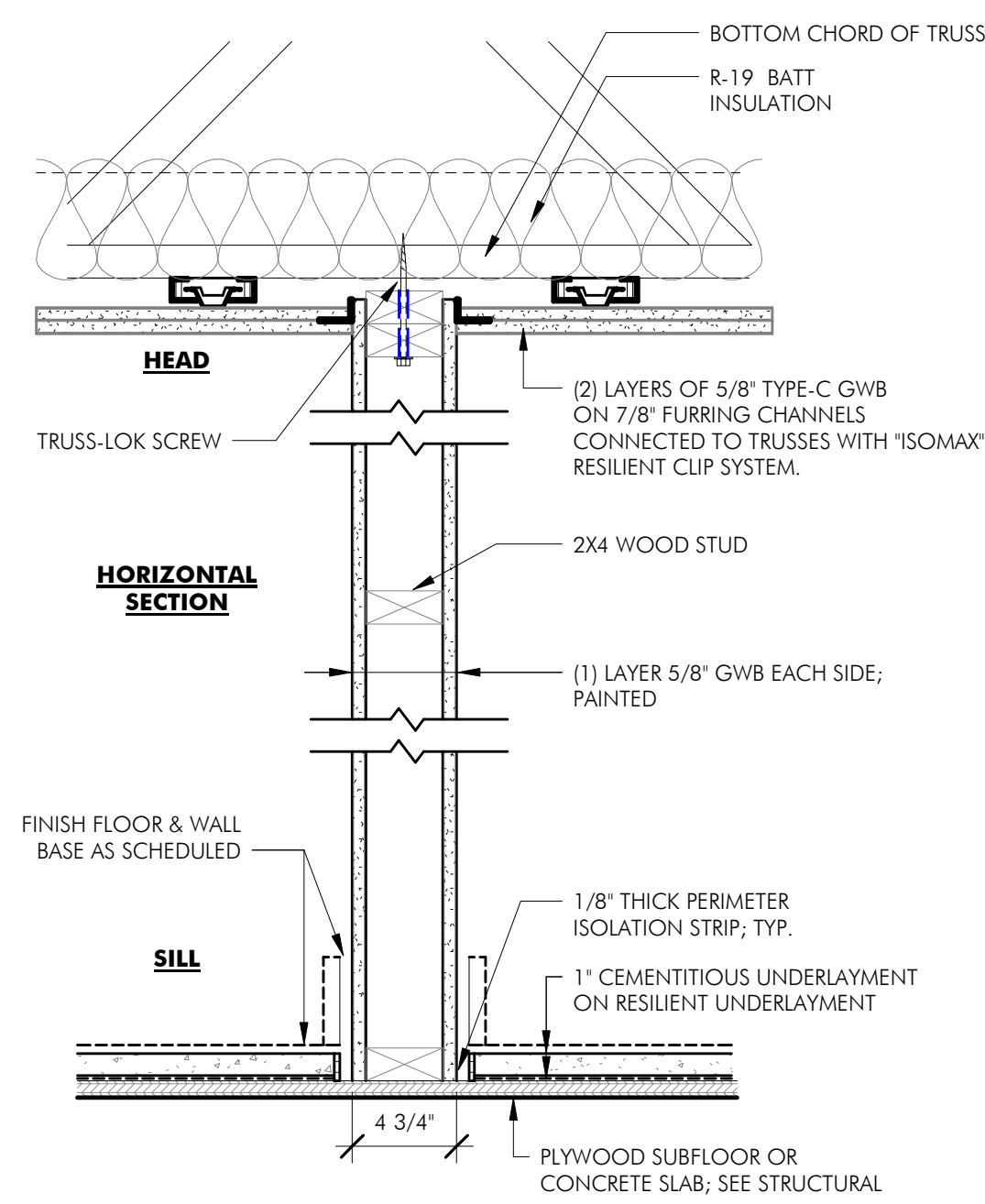


**DRAWING INFORMATION**

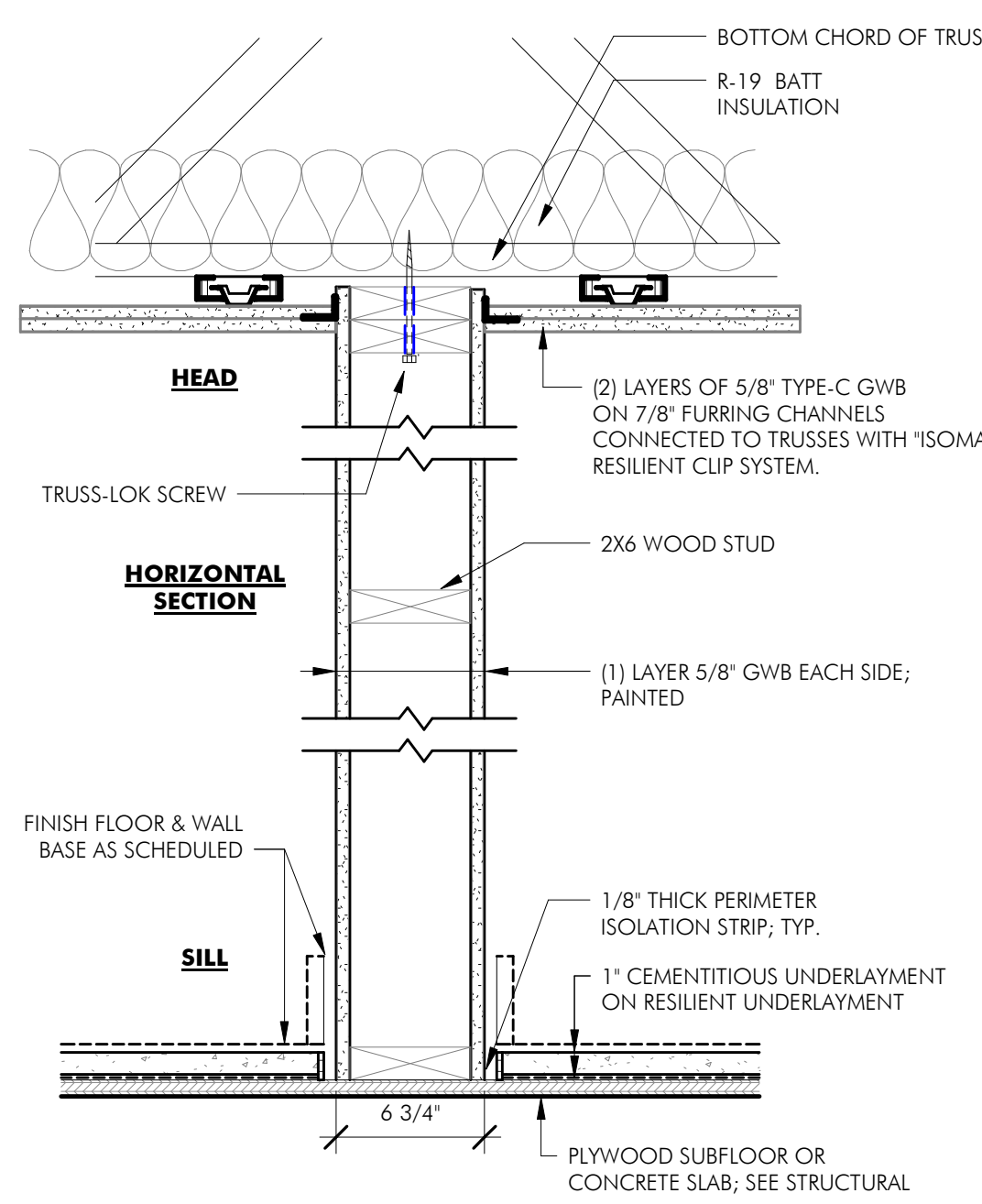
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

**DRAWING TITLE**  
LEGENDS, ABBREVIATIONS & GENERAL NOTES

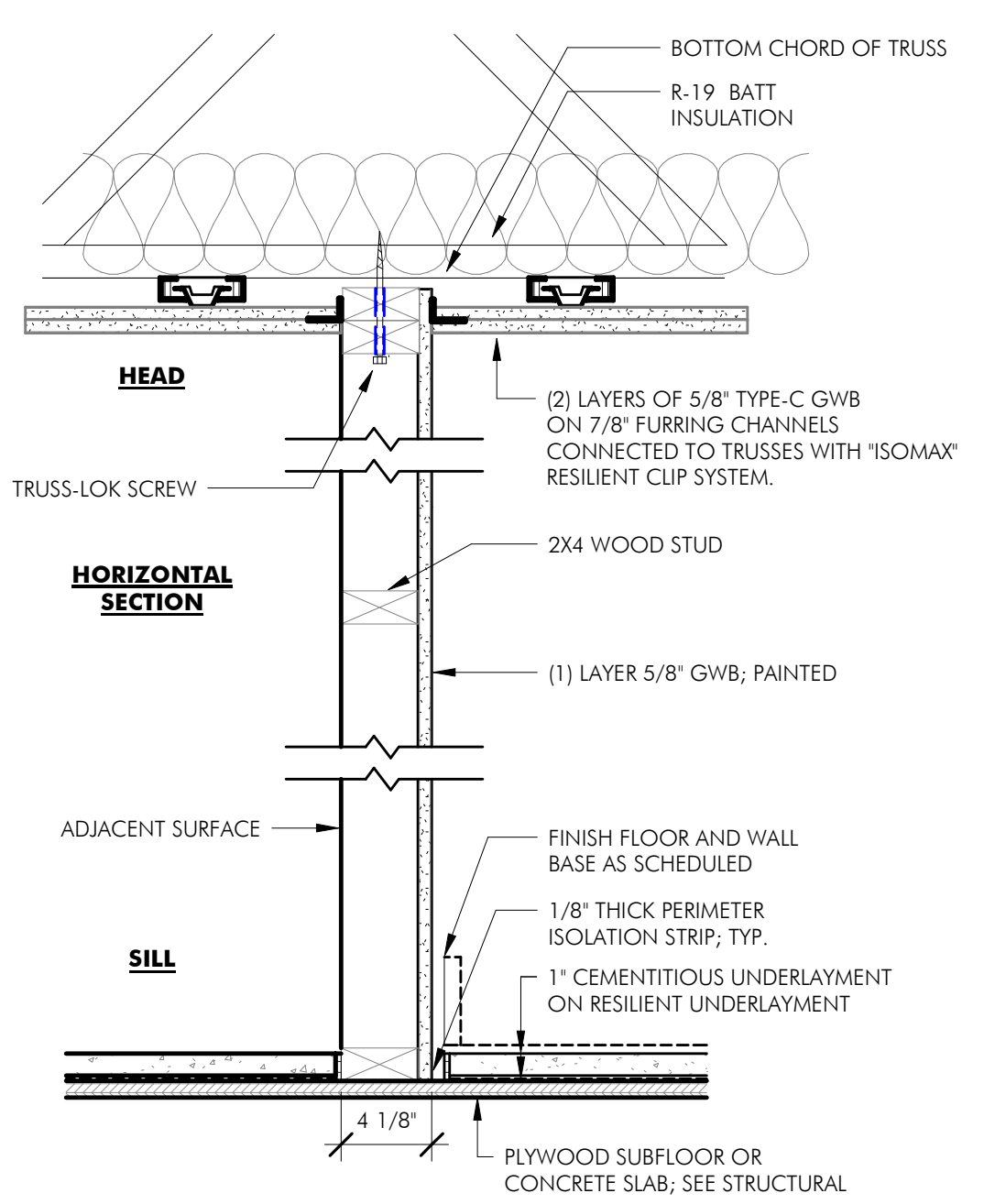
**DRAWING NUMBER**  
A002



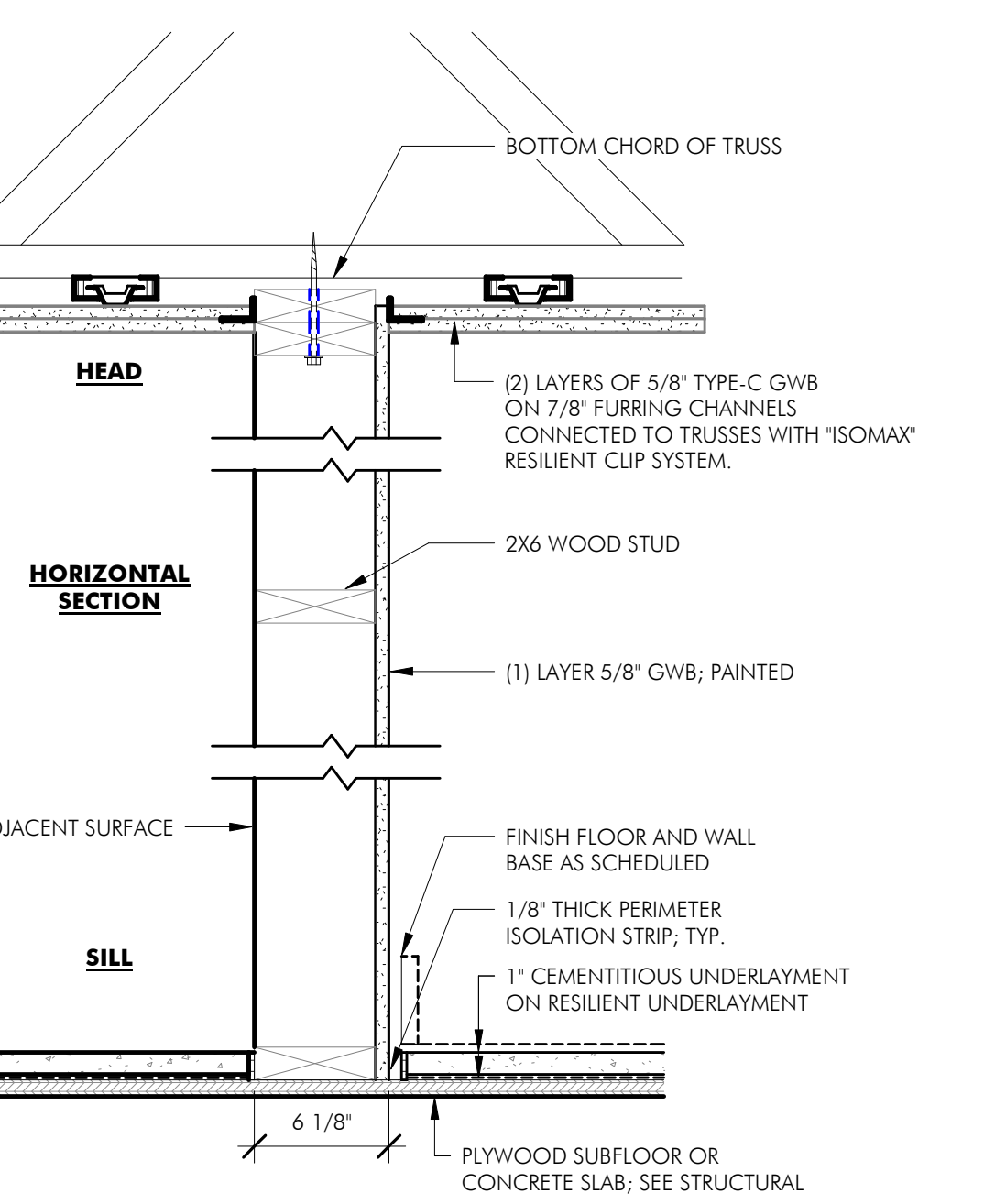
**W010** NON-LOAD BEARING PARTITION (2X4)1



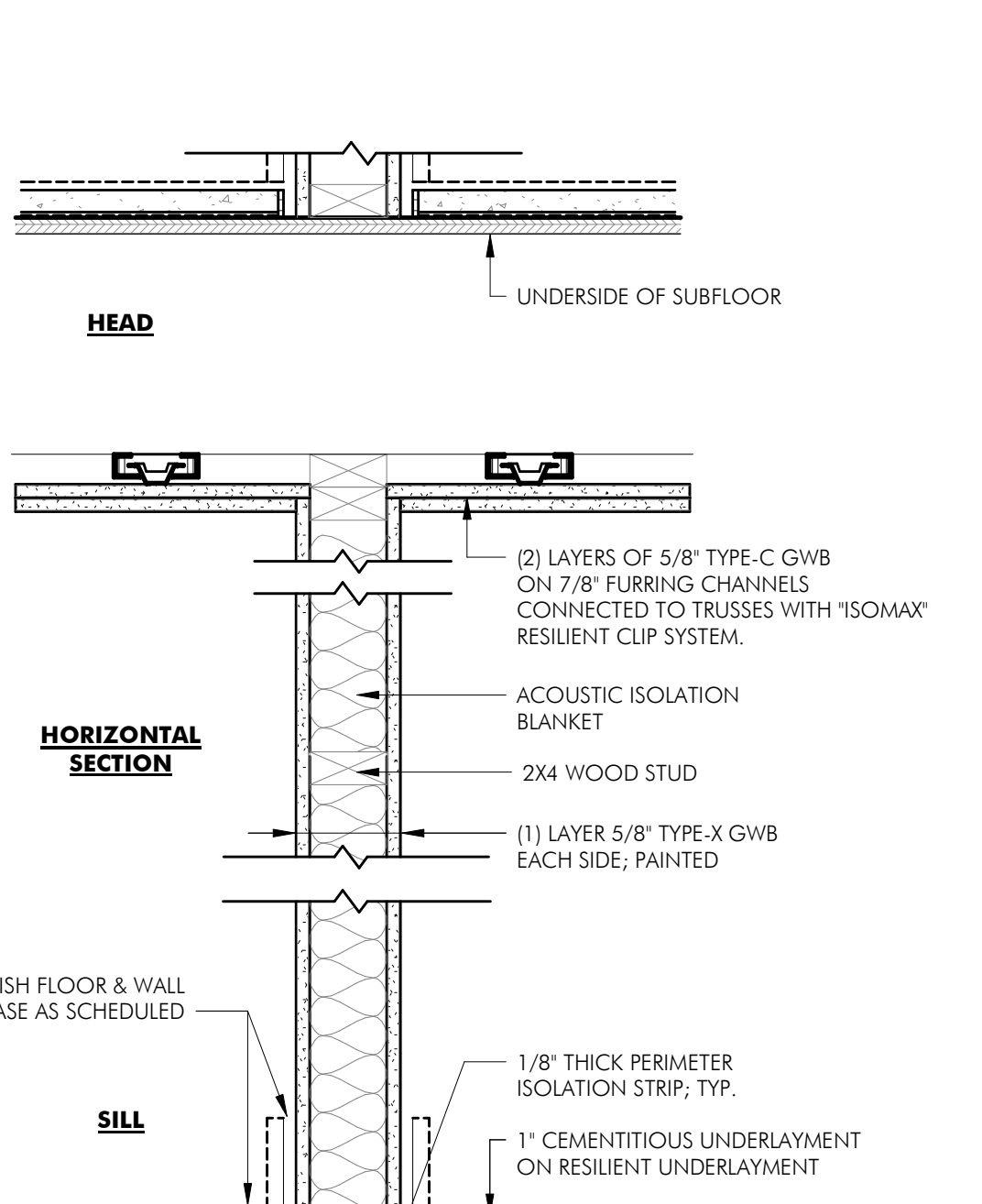
**W011** NON-LOAD BEARING PARTITION (2X6)1



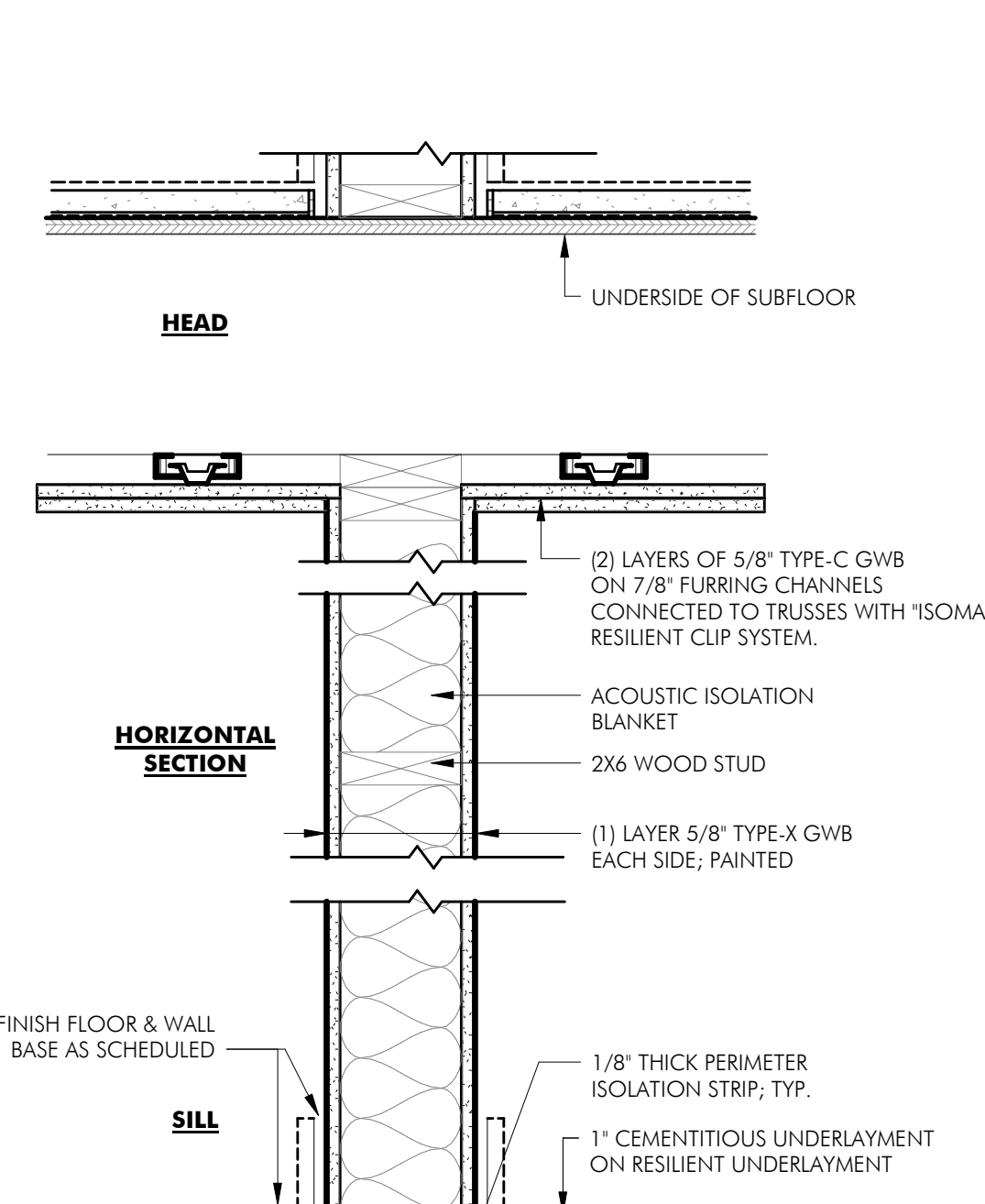
**W001** NON-LOAD BEARING FURRING WALL (2X4)1



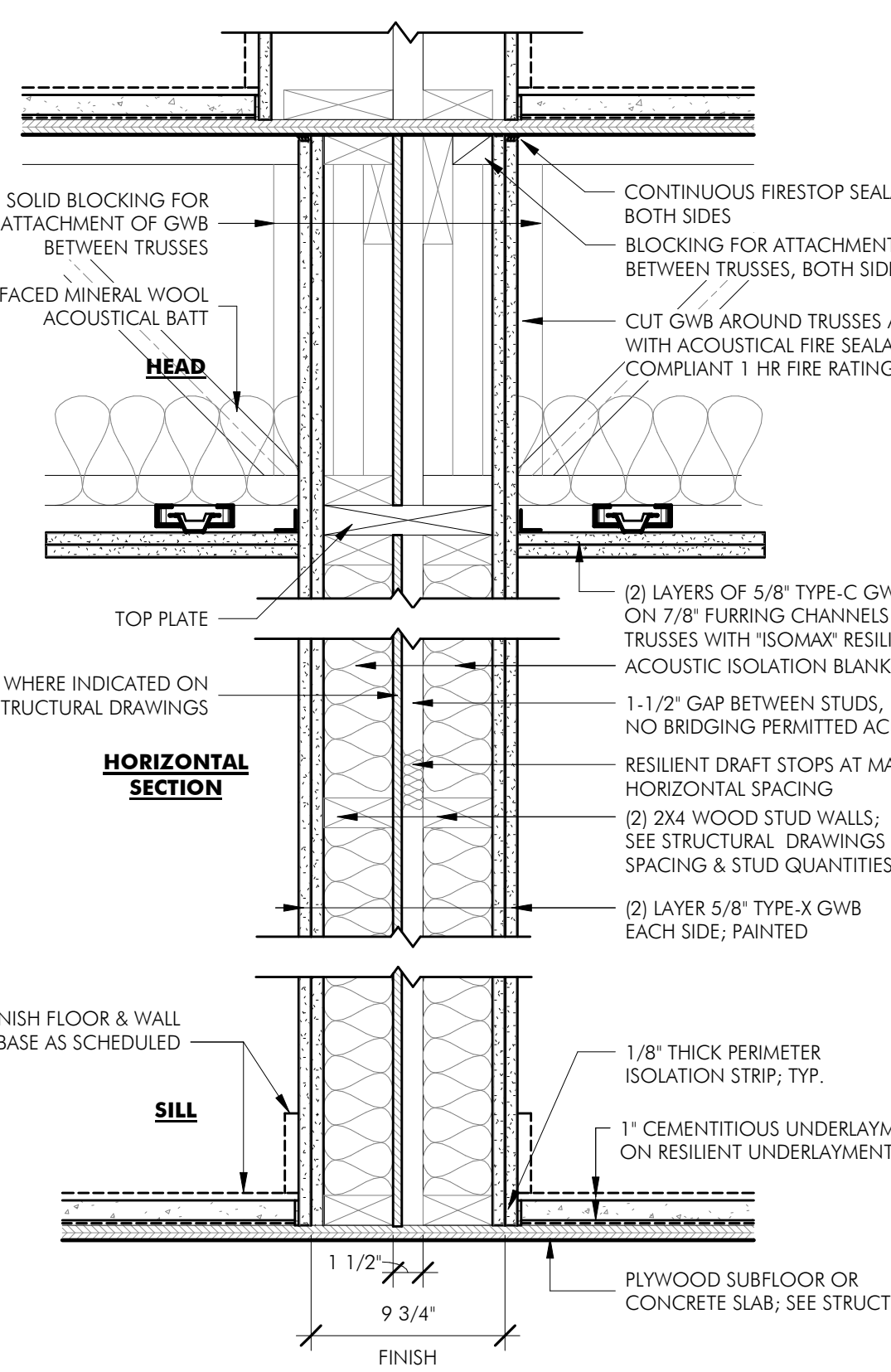
**W004** NON-LOAD BEARING FURRING WALL (2X6)1



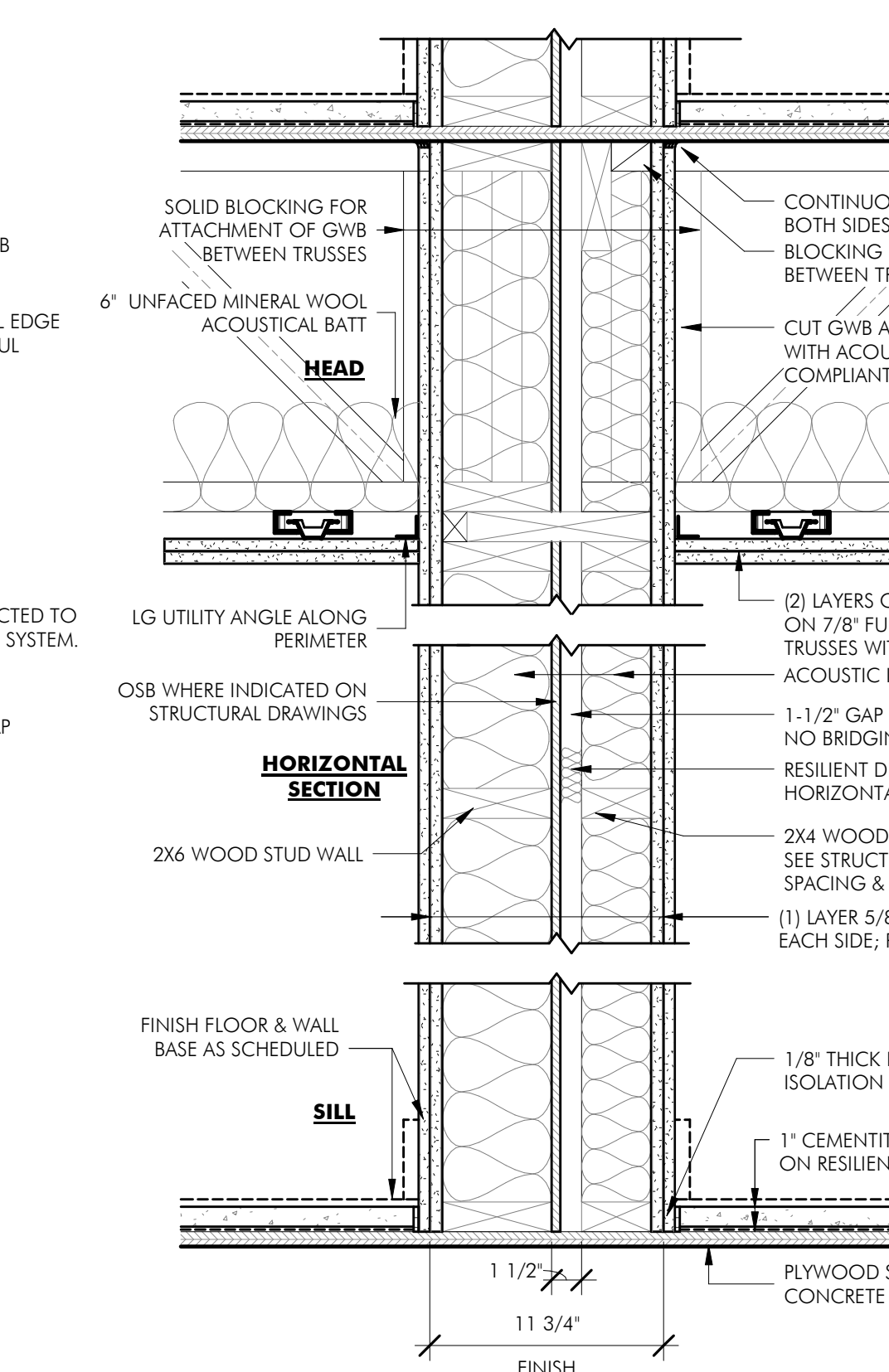
**W101A** LOAD BEARING PARTITION (2X4)1  
UL U305 1-HOUR RATED



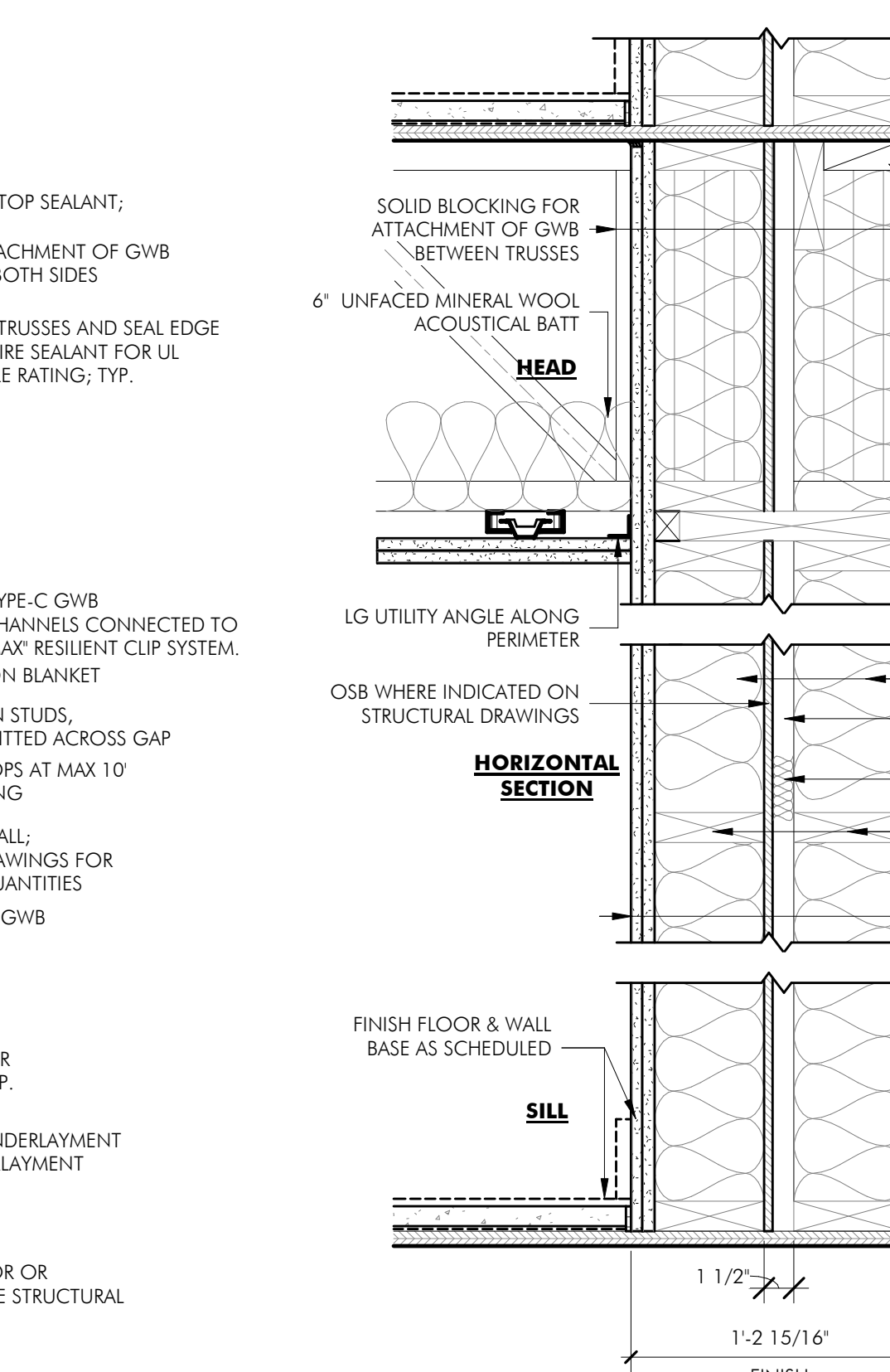
**W102** LOAD BEARING PARTITION (2X6)1  
UL U305 1-HOUR RATED



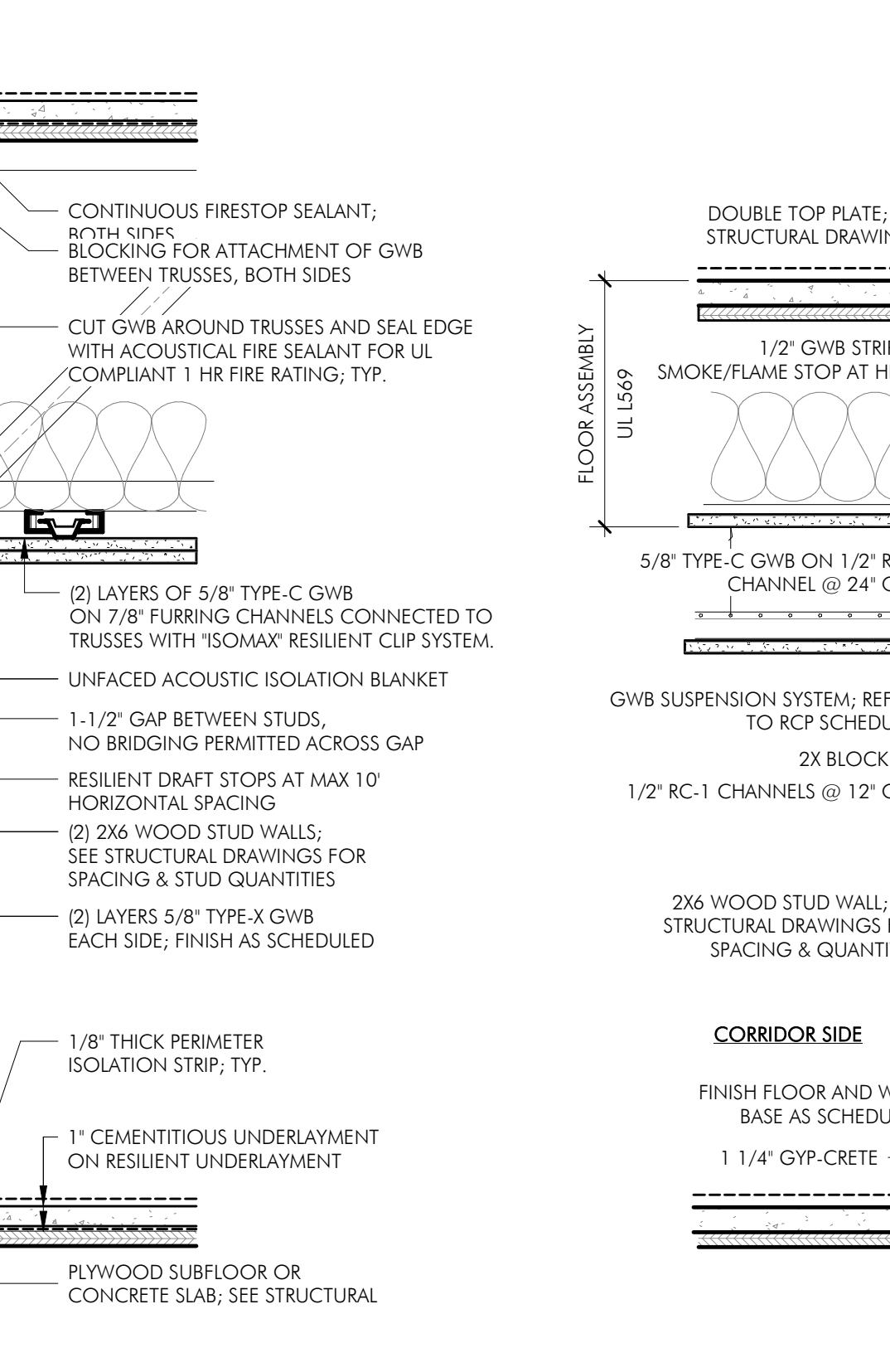
**W103** DEMISING/LOAD BEARING PARTITION (2X4, 2X4)1  
UL U341 1-HOUR RATED



**W104** DEMISING/LOAD BEARING PARTITION (2X4, 2X6)1  
UL U341 1-HOUR RATED

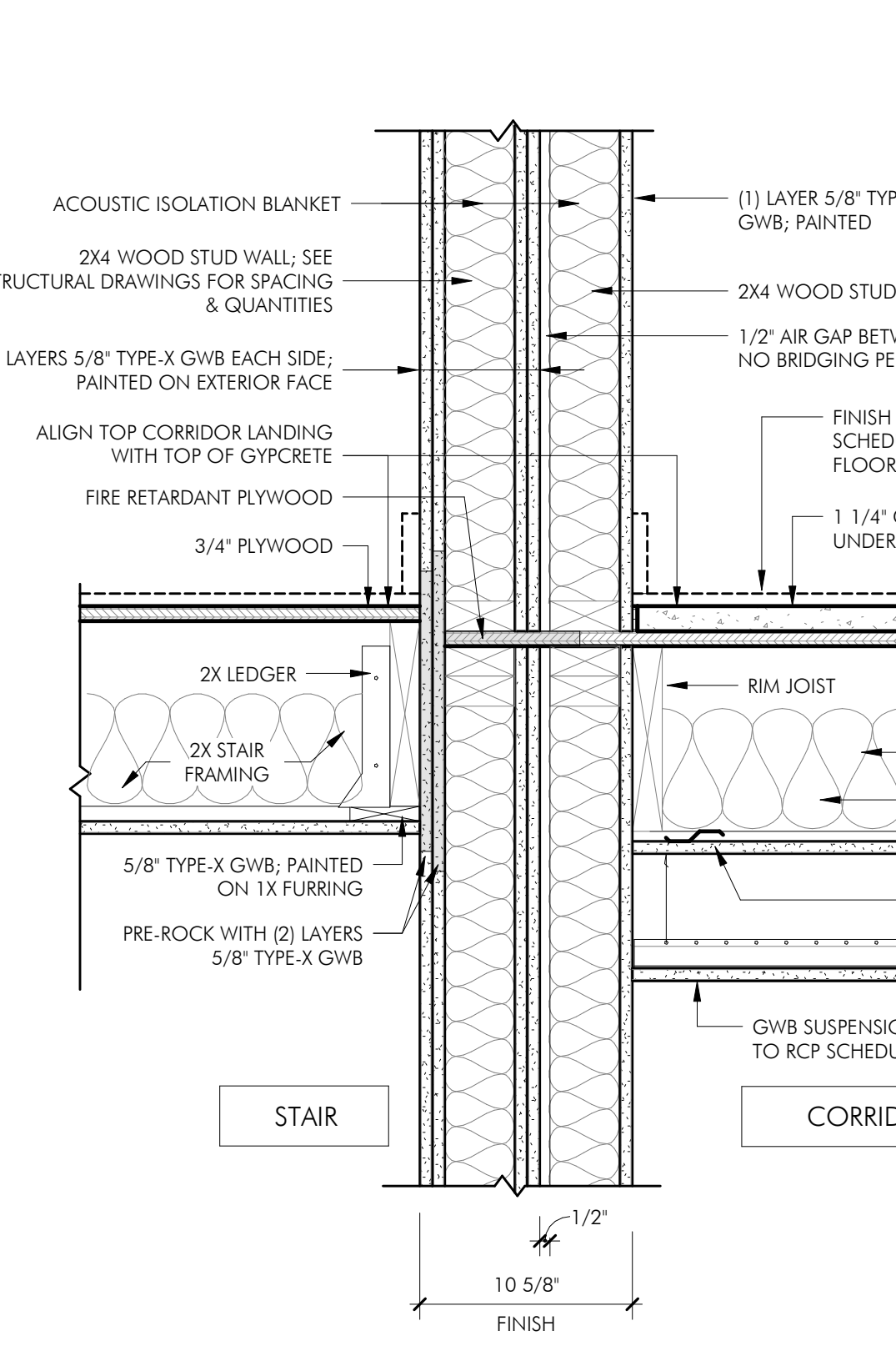


**W105** DEMISING/LOAD BEARING PARTITION (2X6, 2X6)1  
UL U341 1-HOUR RATED

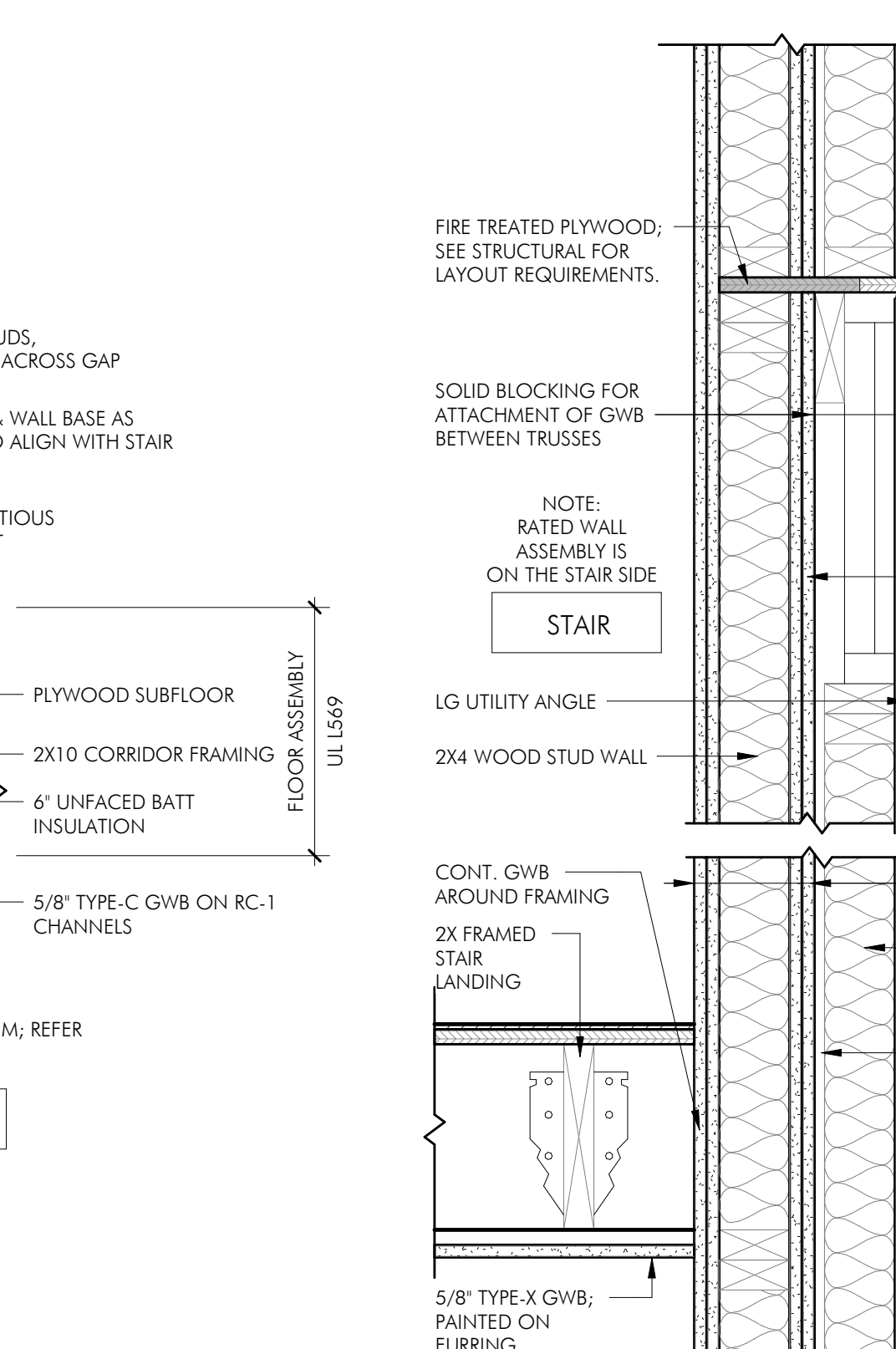


**W106** 1 HR CORRIDOR TO UNIT (2X6)1  
UL U311 1-HOUR RATED

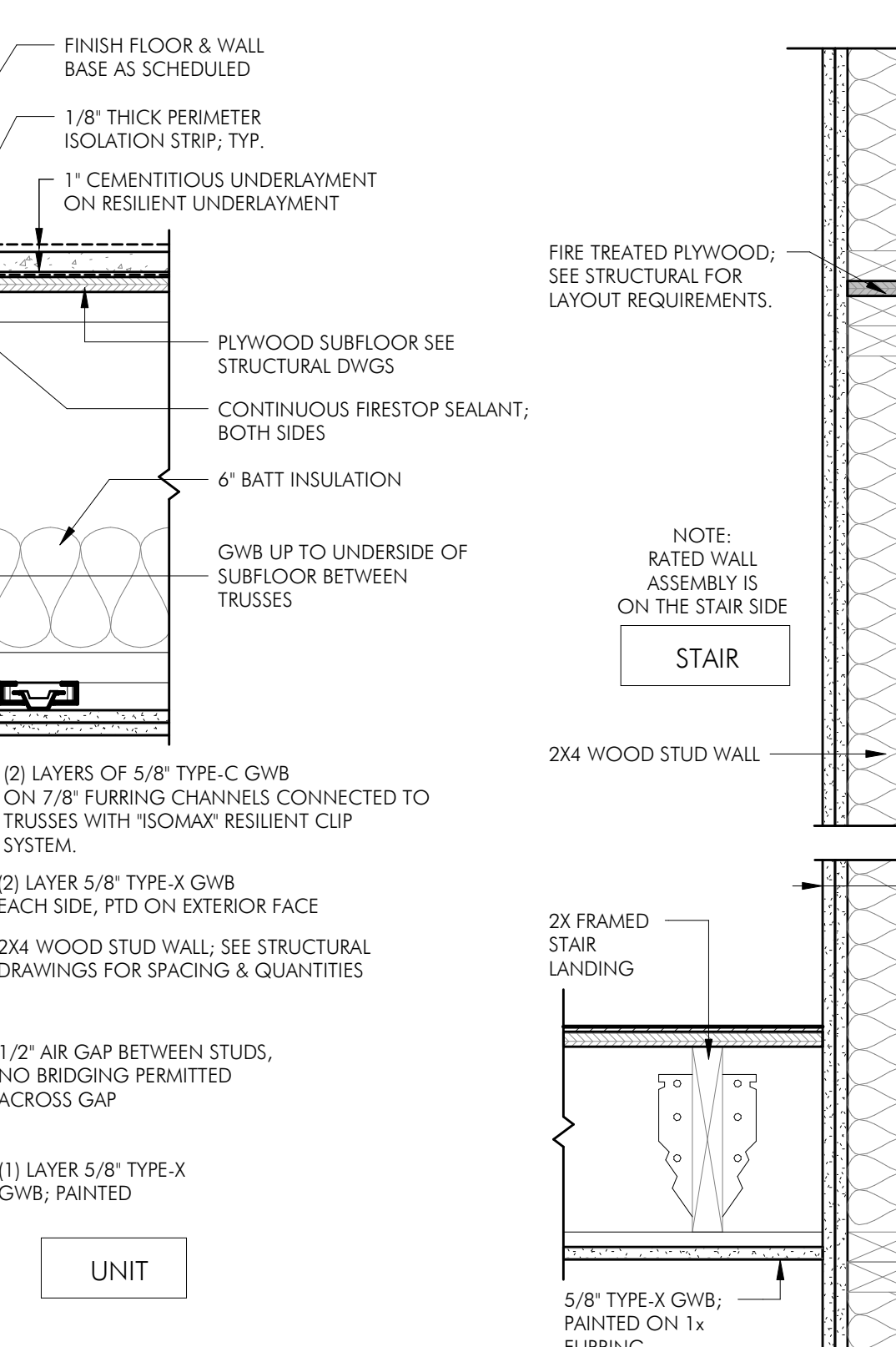
- GENERAL NOTES**
- SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
  - SEE FLOOR PLANS FOR LOCATIONS OF RATED PARTITIONS AND SEPARATIONS.
  - PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
  - RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEA-LANT, AND FILL MATERIAL OF THE SAME RATING.
  - ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THROUGH A FIRE-RATED PARTITION, AN ACOUSTICAL FIRE-RATED CAULK SHALL BE USED.
  - SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL REQUIREMENTS.
  - PROVIDE LATERAL BRACING AND CROSS-BRIDDING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION.
  - COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.
  - PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASework, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC., WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
  - SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS NOT SCHEDULED TO RECEIVE TILE. USE CEMENTITIOUS BACKER BOARD AT TILE LOCATIONS.
  - WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.
  - GLASS FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.



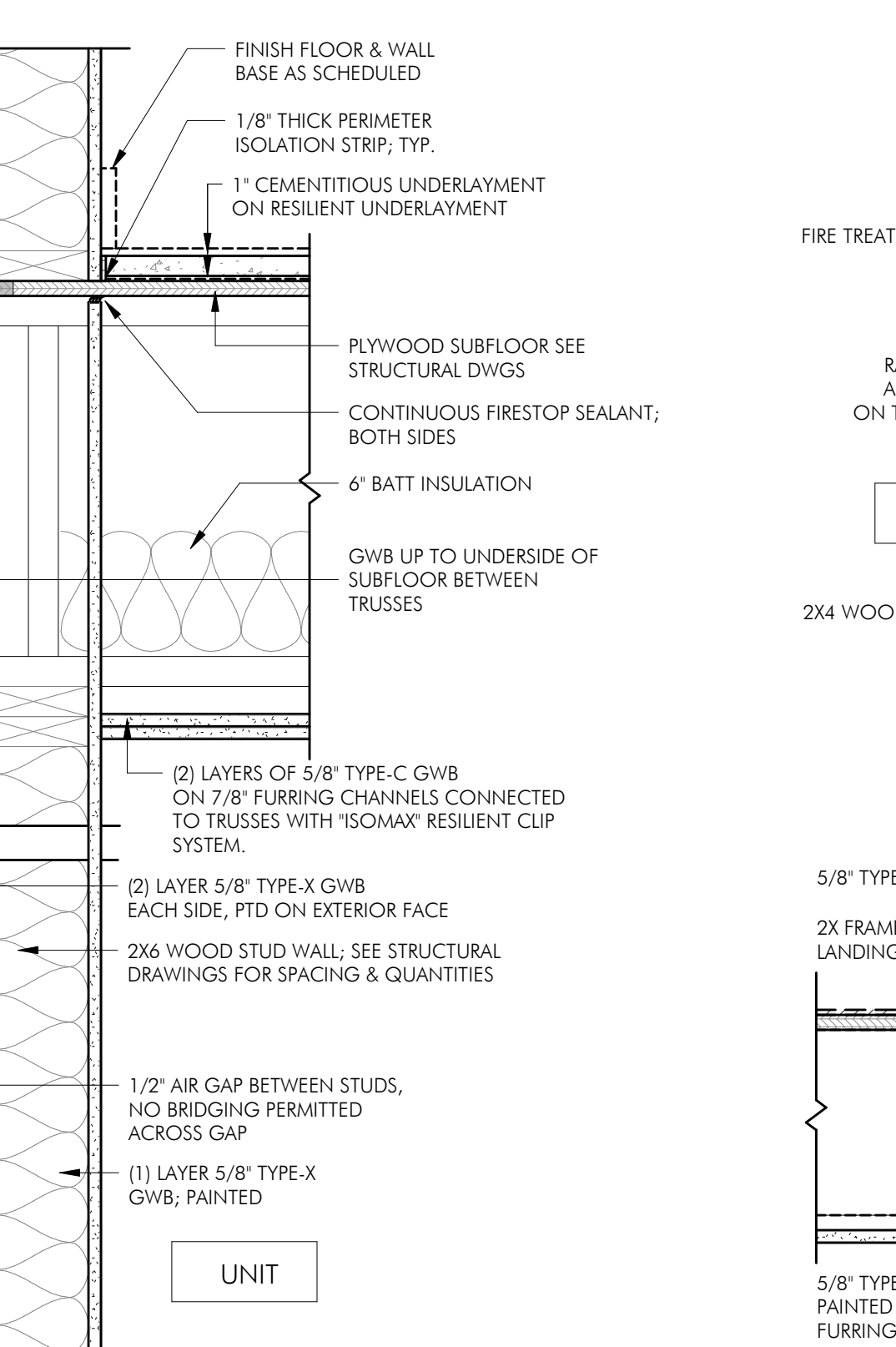
**W202** 2 HR RATED CORRIDOR STAIR WALL  
UL U301 2-HOUR RATED STAIR WALL  
UL L569 1-HOUR RATED (CORRIDOR FLOOR)



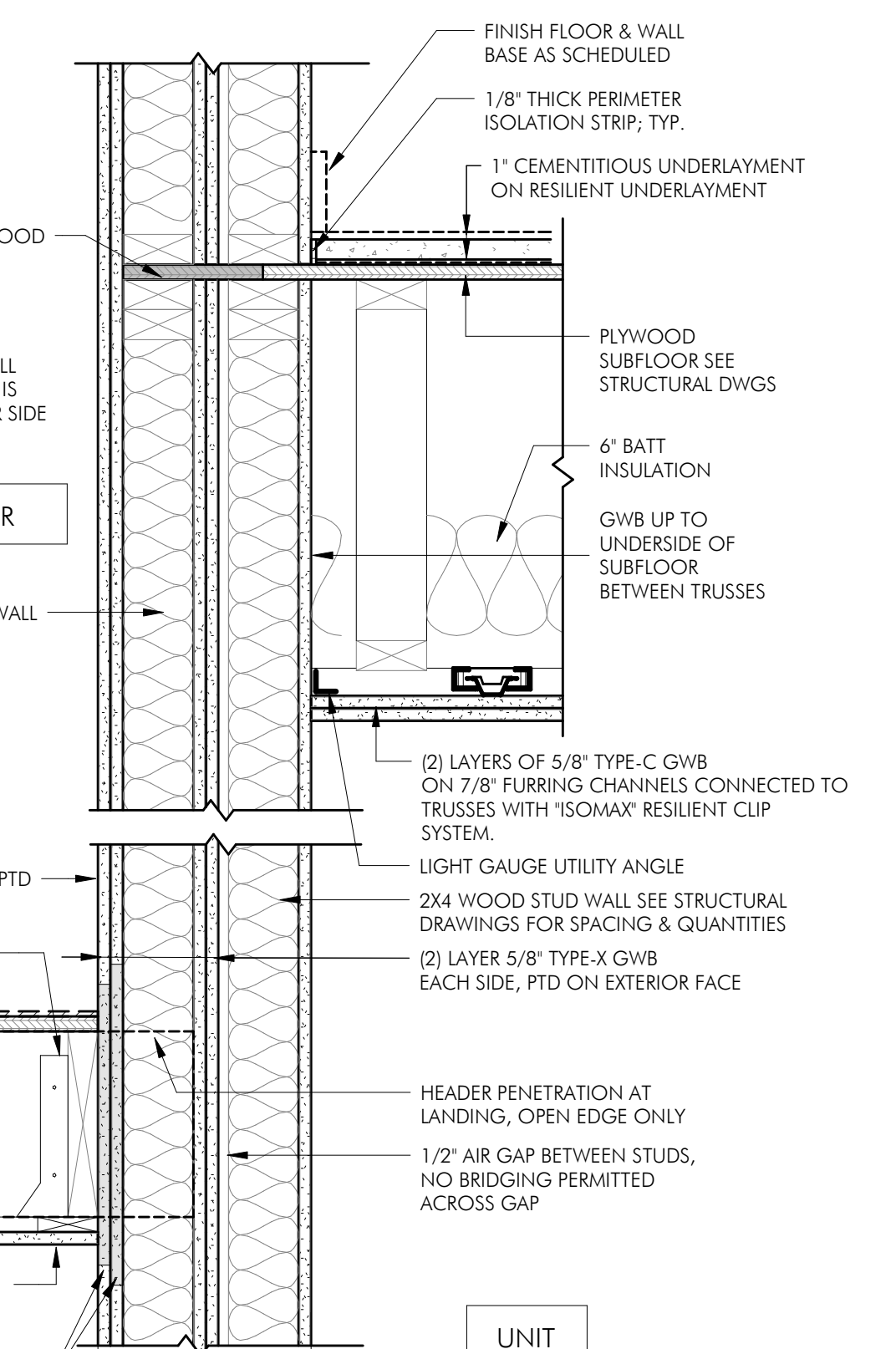
**W203** 2 HR RATED STAIR WALL (2x4, 2x4) PERPENDICULAR TO TRUSSES  
UL U301 2-HOUR RATED



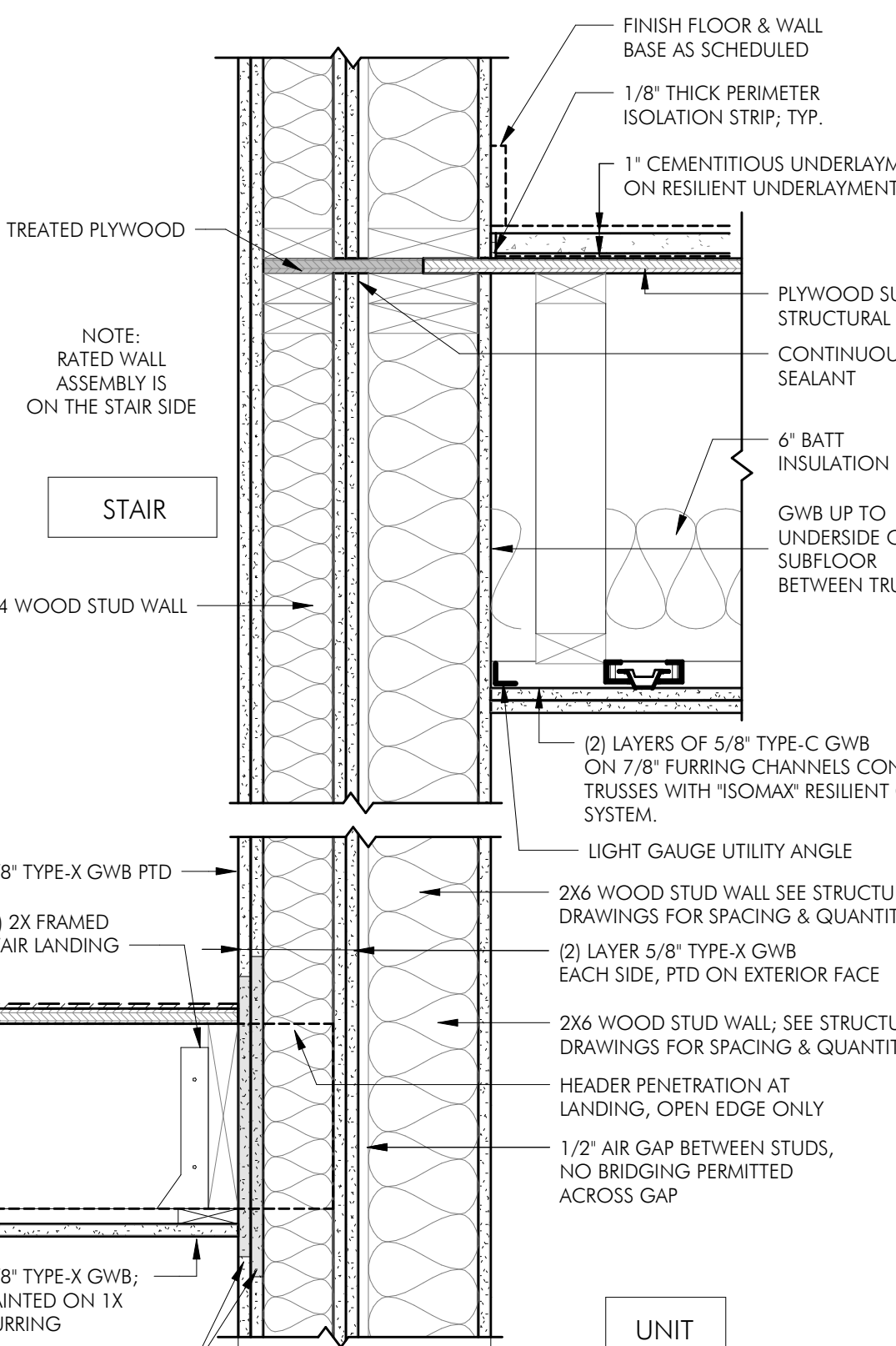
**W204** 2 HR RATED STAIR WALL 1 (2x4, 2X6) PERPENDICULAR TO TRUSSES  
UL U301 2-HOUR RATED



**W205** 2 HR RATED STAIR WALL (2X4, 2X4) PARALLEL TO TRUSSES  
UL U301 2-HOUR RATED



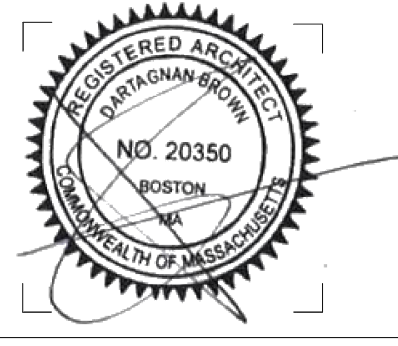
**W206** 2 HR RATED STAIR WALL (2X4, 2X6) PARALLEL TO TRUSSES  
UL U301 2-HOUR RATED



**W206** 2 HR RATED STAIR WALL (2X4, 2X6) PARALLEL TO TRUSSES  
UL U301 2-HOUR RATED

REVISIONS

MARK	ISSUE	DATE



**DRAWING INFORMATION**  
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: As indicated

**DRAWING TITLE**  
WOOD FRAMED PARTITION TYPES

**DRAWING NUMBER**  
A003



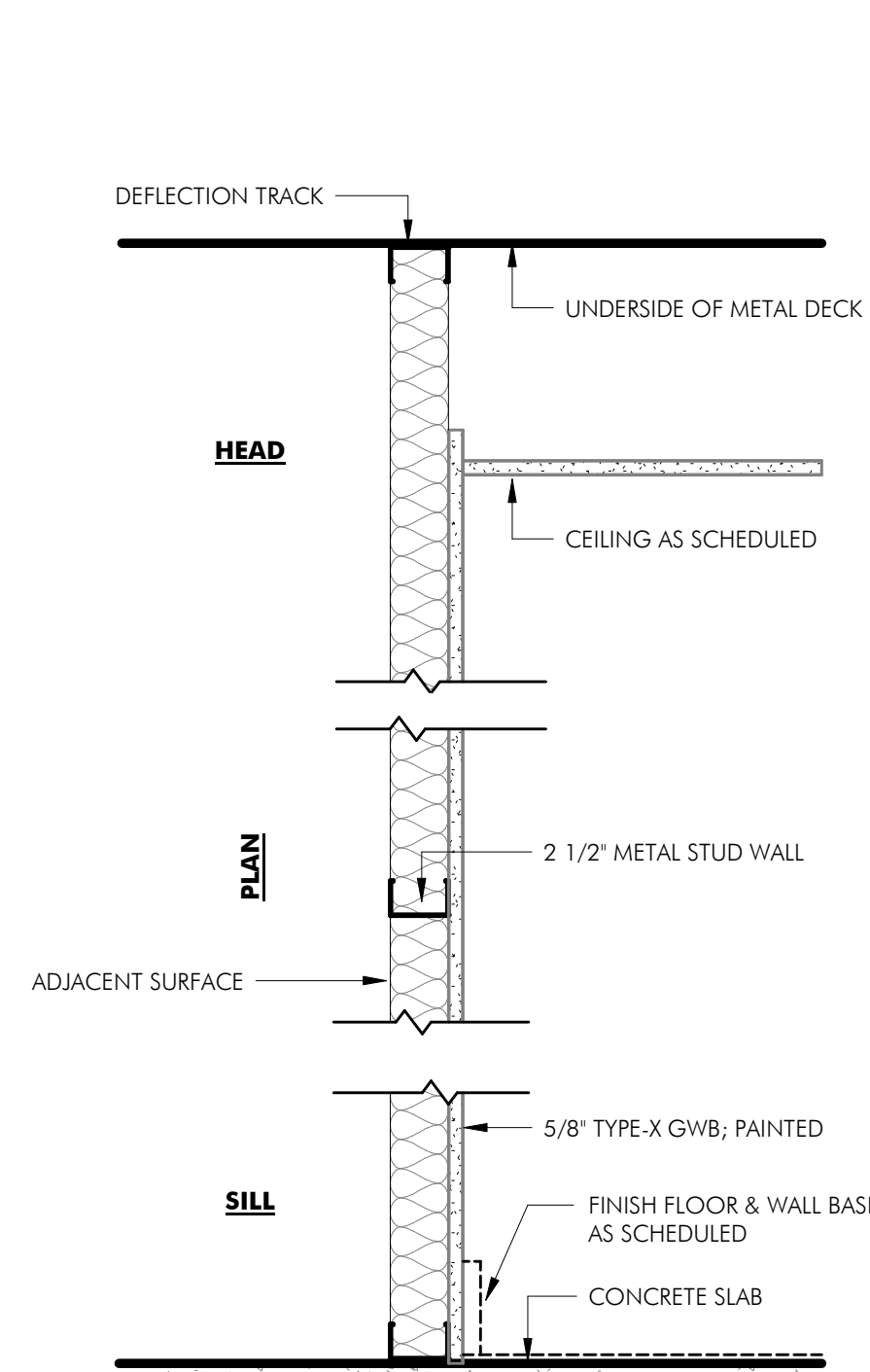
CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPRHAM AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

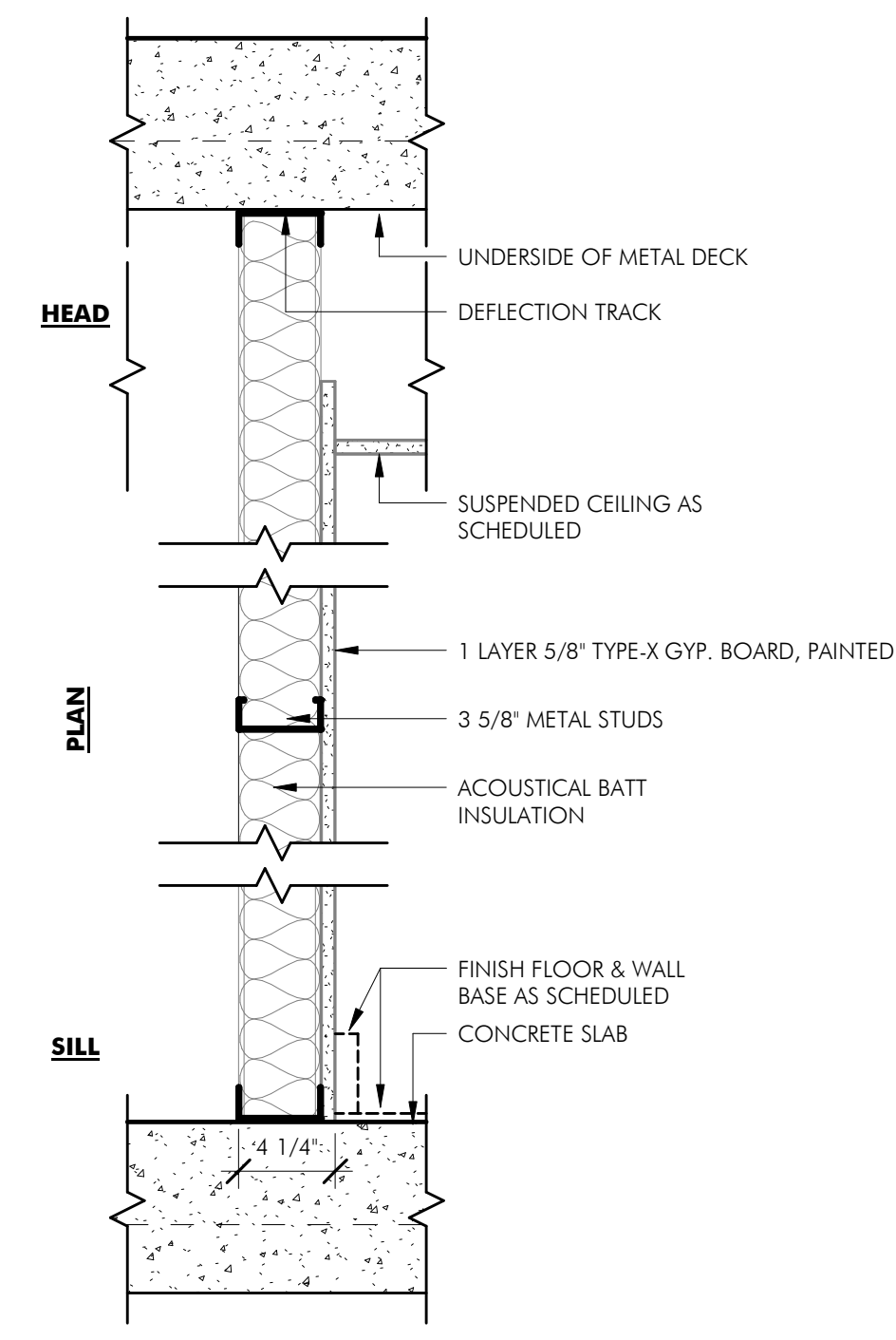
**ENERGY MODELING**  
ENVENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114



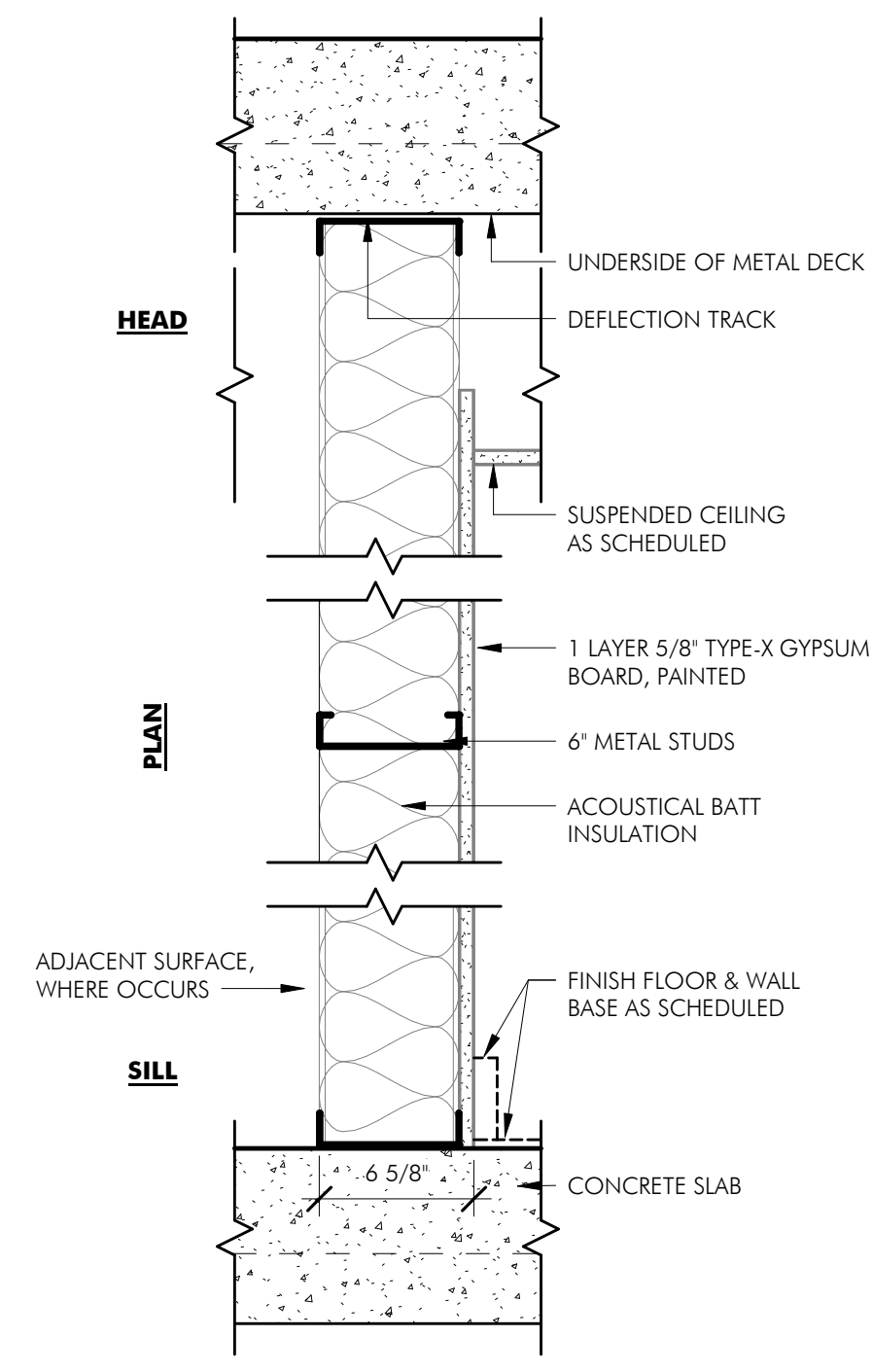
**M001** NON-LOAD BEARING FURRING PARTITION (2 1/2" METAL STUD)

**M001A** NON-LOAD BEARING FURRING PARTITION (7/8" METAL STUD)

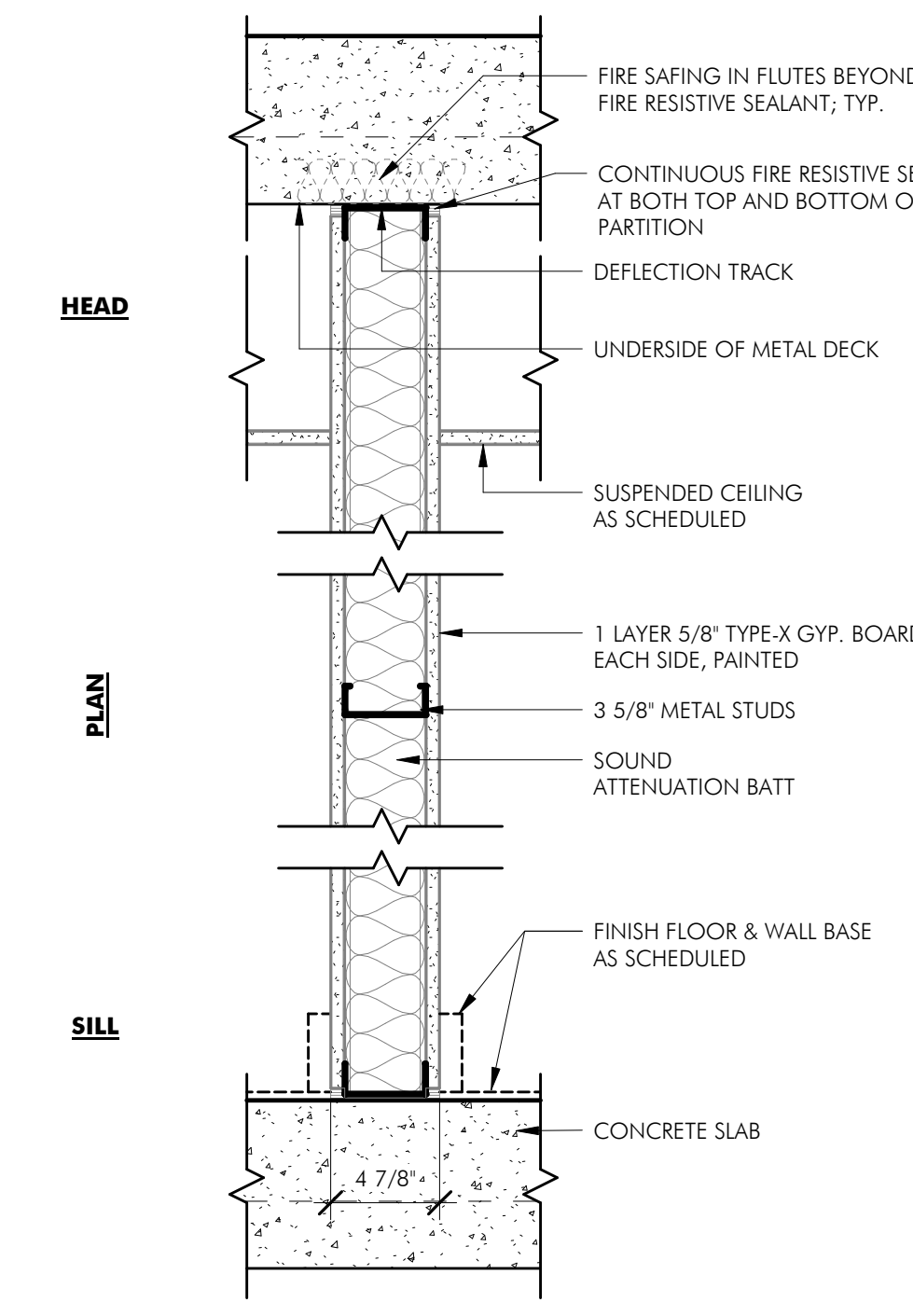
**M001B** NON-LOAD BEARING FURRING PARTITION (1 1/2" METAL STUD)



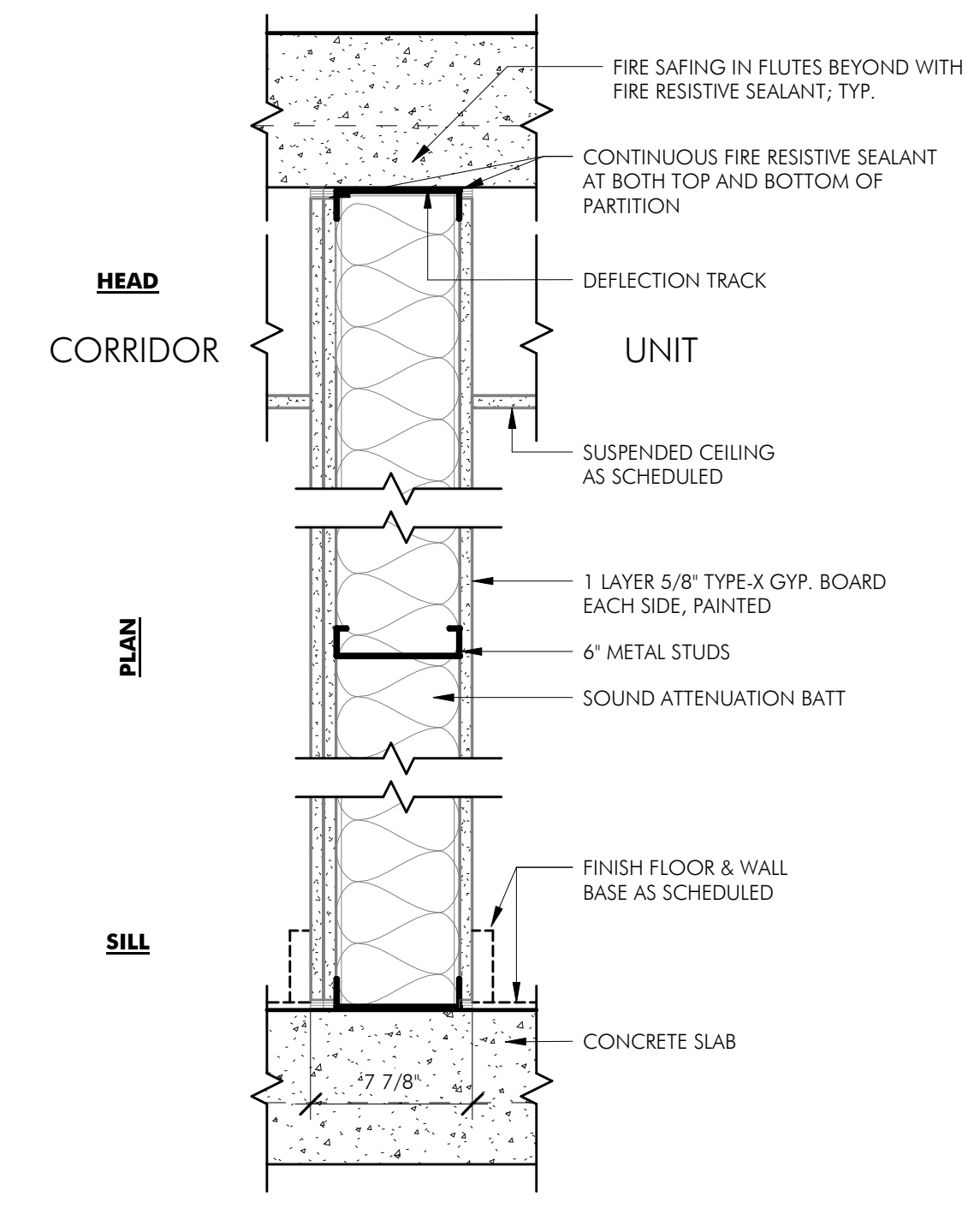
**M002** NON-LOAD BEARING FURRING PARTITION (3 5/8" METAL STUD)



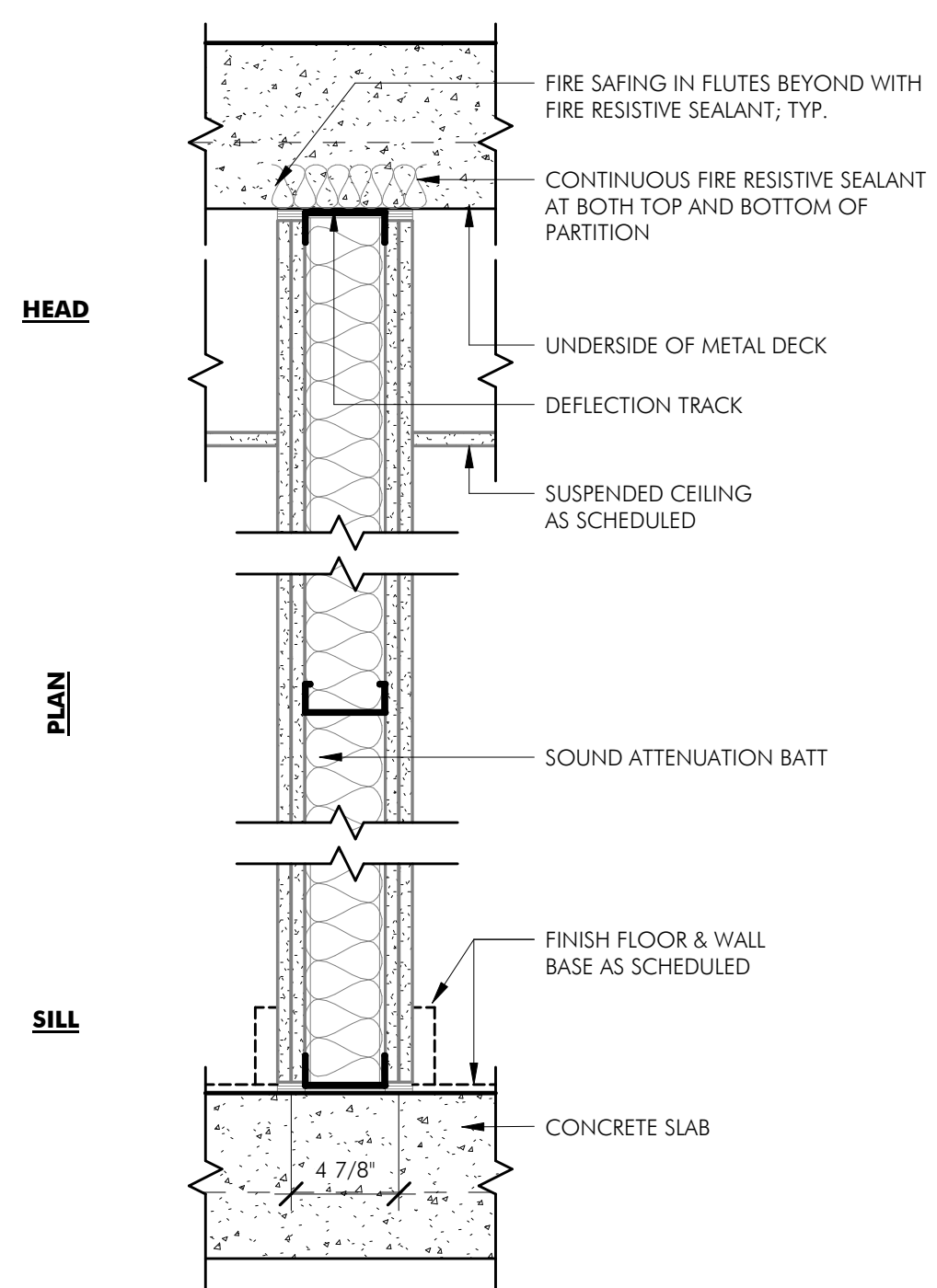
**M003** NON-LOAD BEARING FURRING PARTITION (6" METAL STUD)



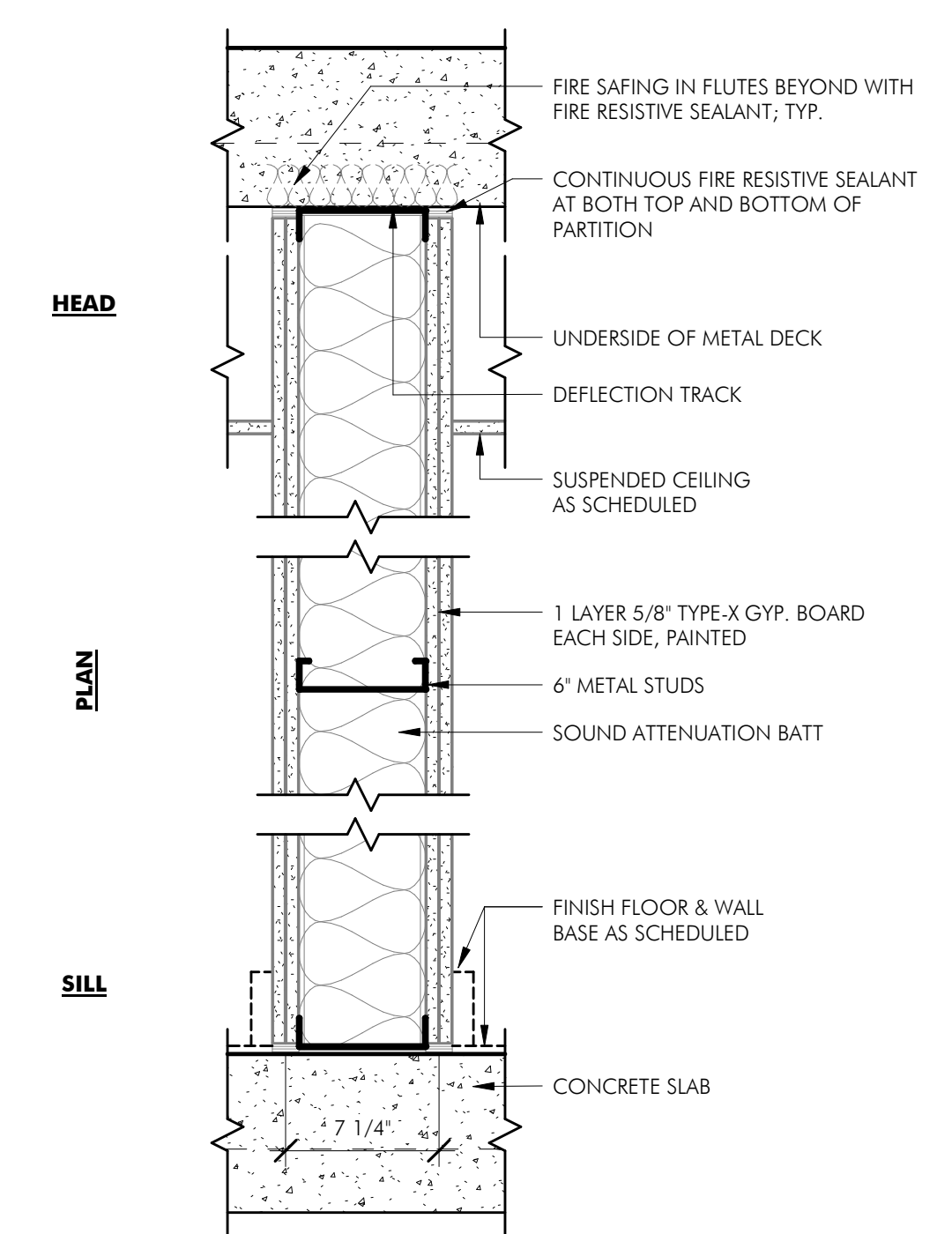
**M104** NON-LOAD BEARING 1 HR. RATED PARTITION (3 5/8" METAL STUD)  
UL U419



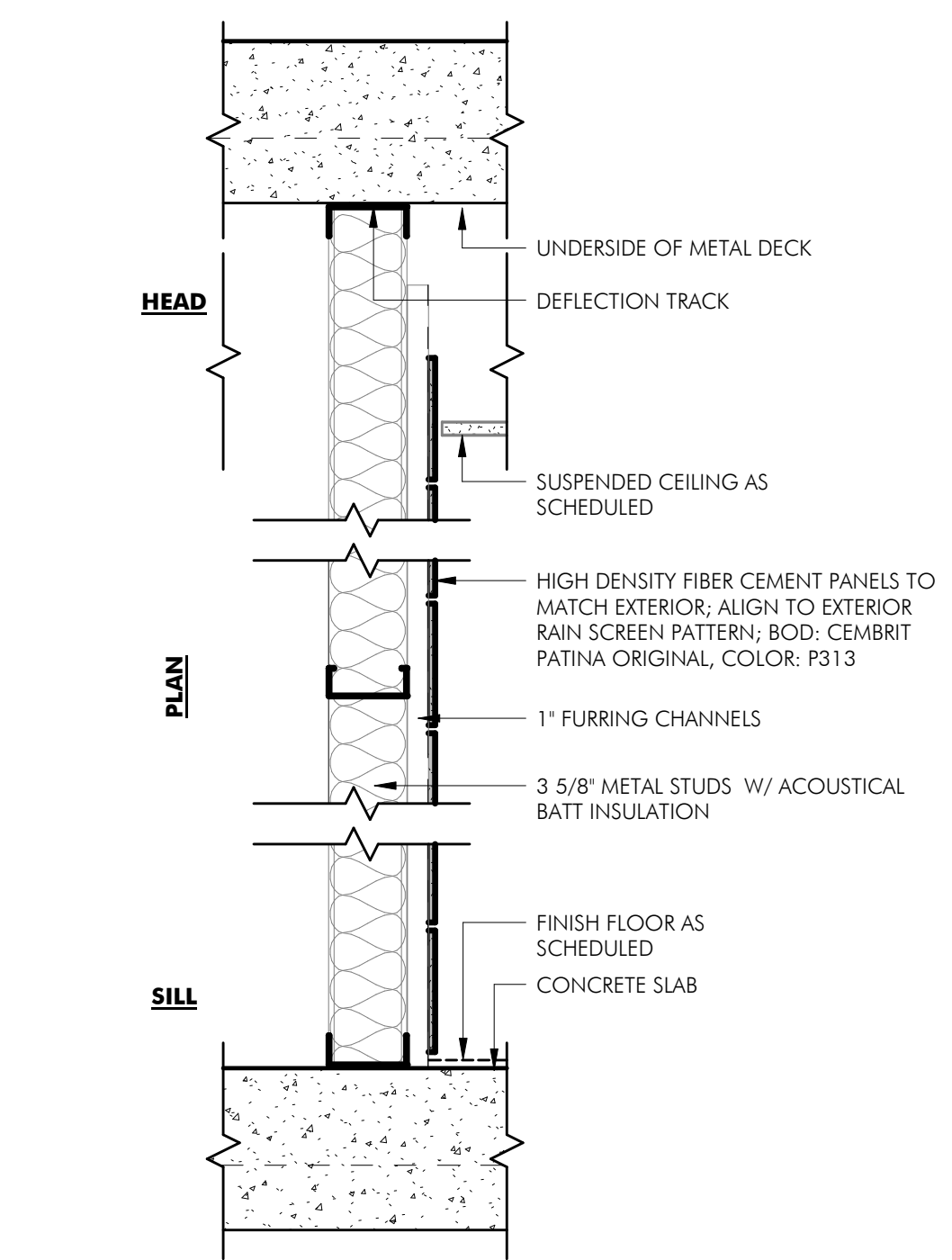
**M106** NON-LOAD BEARING 1 HR. RATED PARTITION (6" METAL STUD)  
UL U419



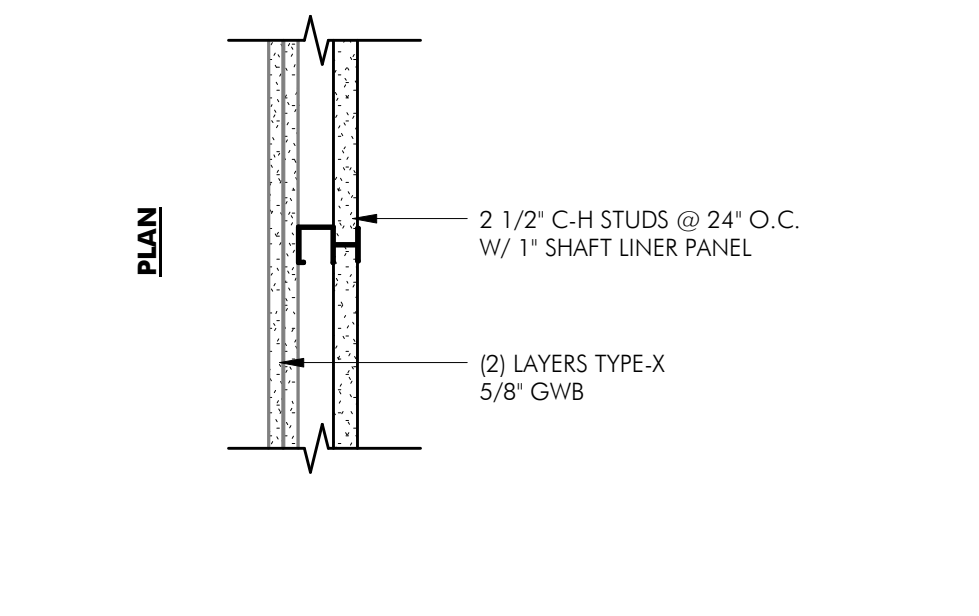
**M201** NON-LOAD BEARING 2 HR. RATED PARTITION (4" METAL STUD)  
UL U419



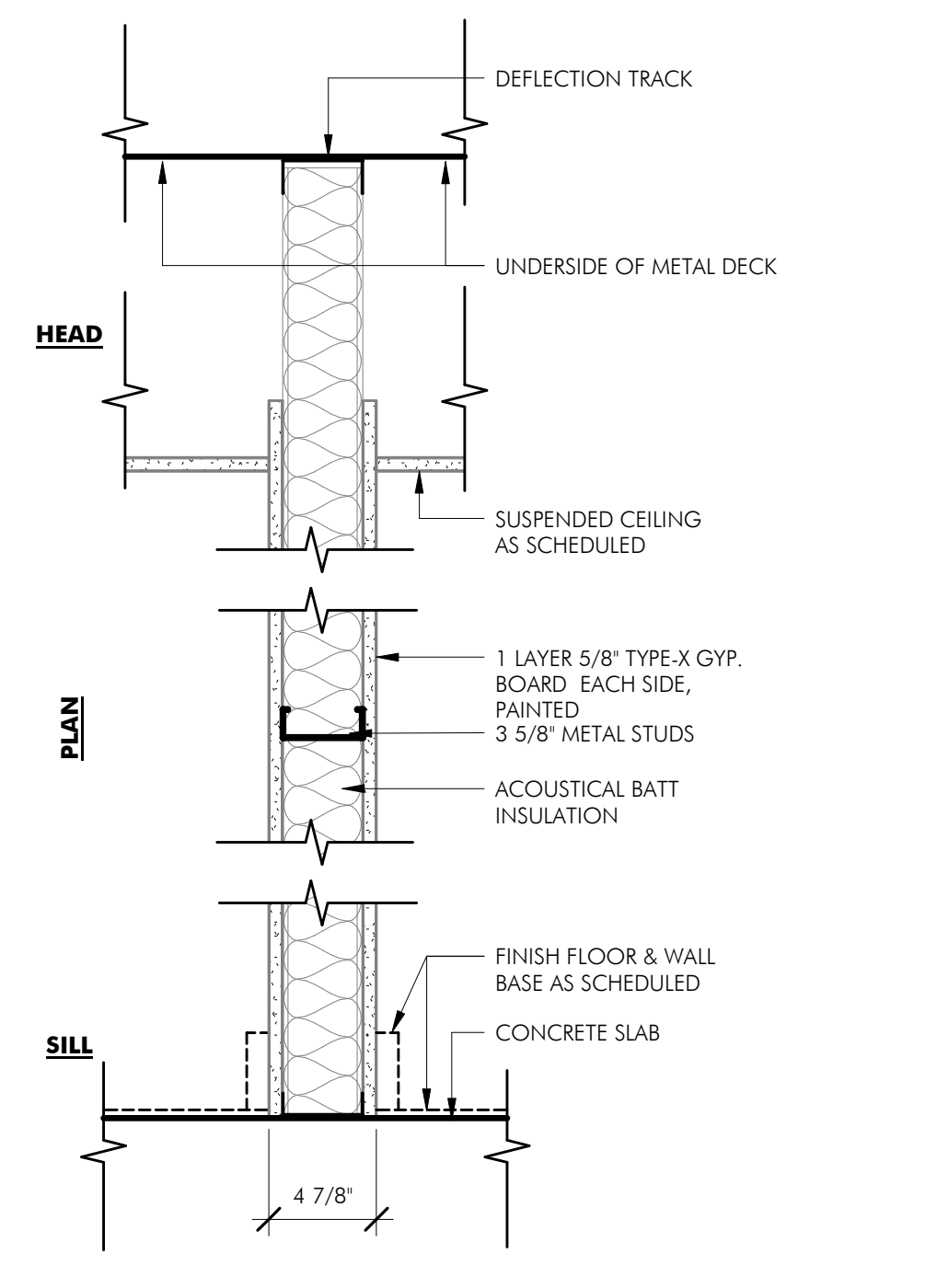
**M202** NON-LOAD BEARING 2 HR. RATED PARTITION (6" METAL STUD)  
UL U404



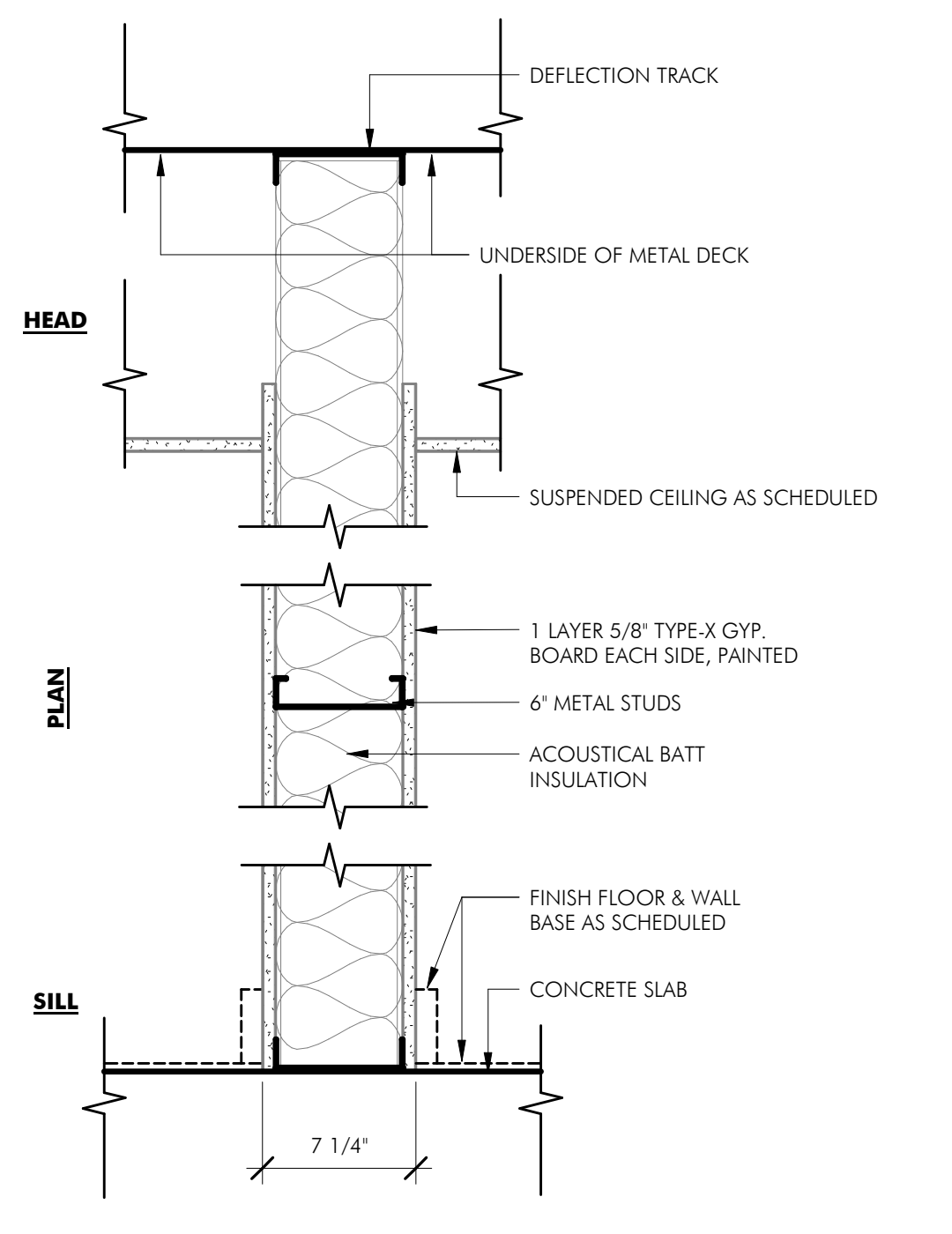
**M004** NON-LOAD BEARING FURRING PARTITION WOOD-LIKE PANEL (3 5/8" METAL STUD)



**M203** 2 HR. RATED SHAFT WALL  
UL U415 SYSTEM B



**M010** NON-LOAD BEARING PARTITION (3 5/8" METAL STUD)



**M011** NON-LOAD BEARING PARTITION (6" METAL STUD)

GENERAL NOTES

- SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
- SEE FLOOR PLANS FOR LOCATIONS OF RATED PARTITIONS AND SEPARATIONS.
- PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
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- PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
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- WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.
- GLASS FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.

33 A STREET  
SOUTH BOSTON, MA

ISSUED FOR CONSTRUCTION

MARK	ISSUE	DATE



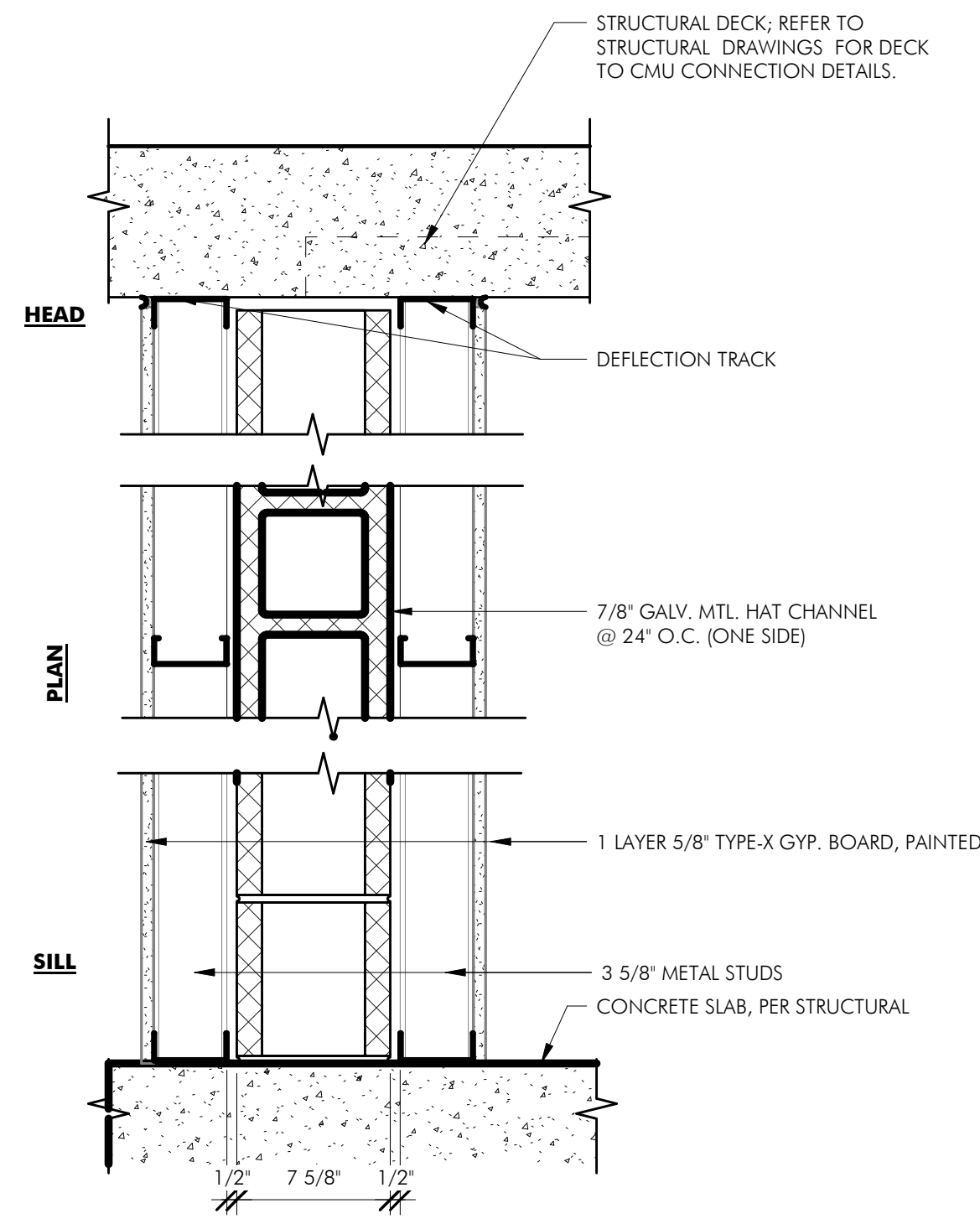
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**METAL FRAMED PARTITION TYPES**

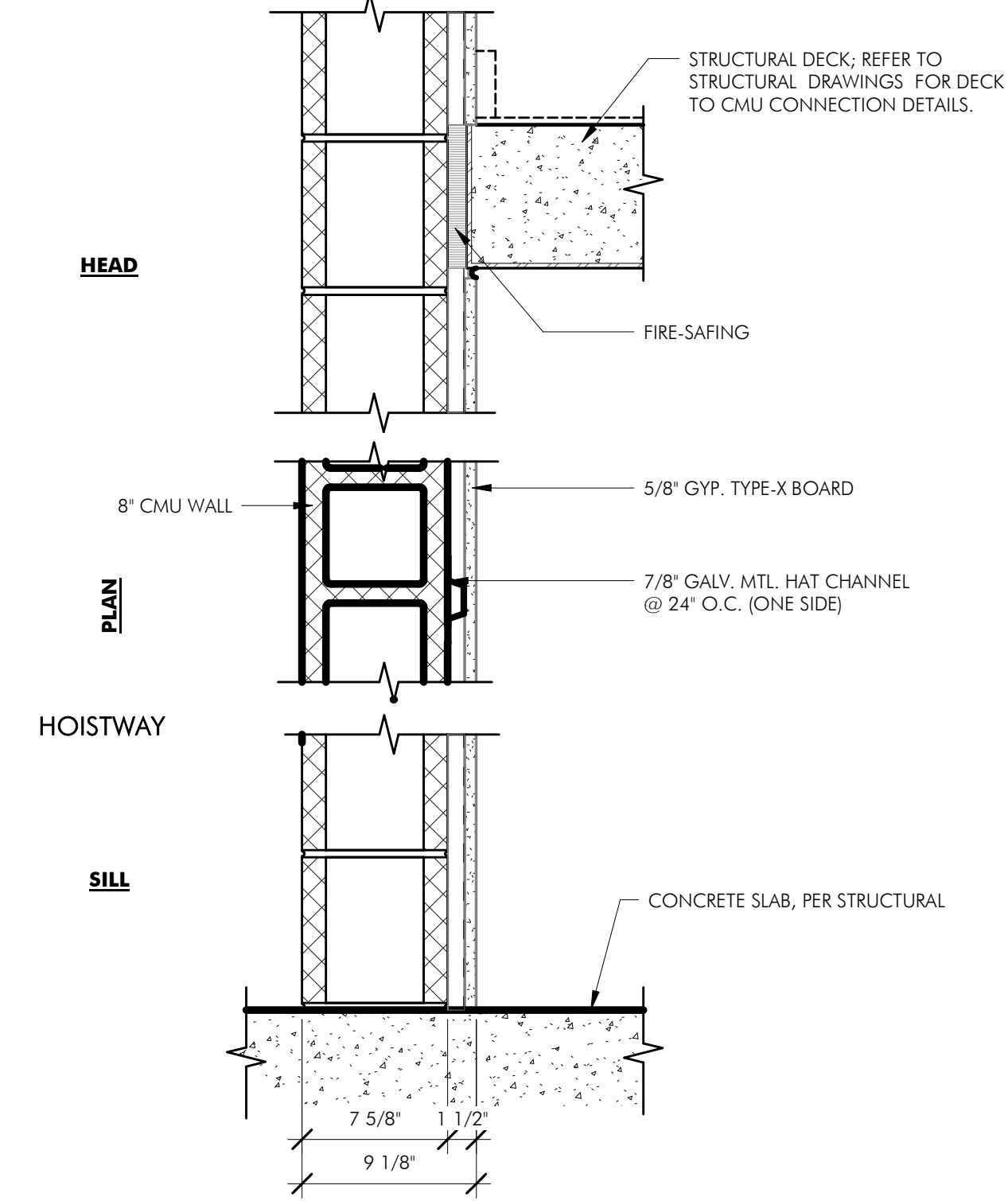
DRAWING NUMBER  
**A004**

GENERAL NOTES

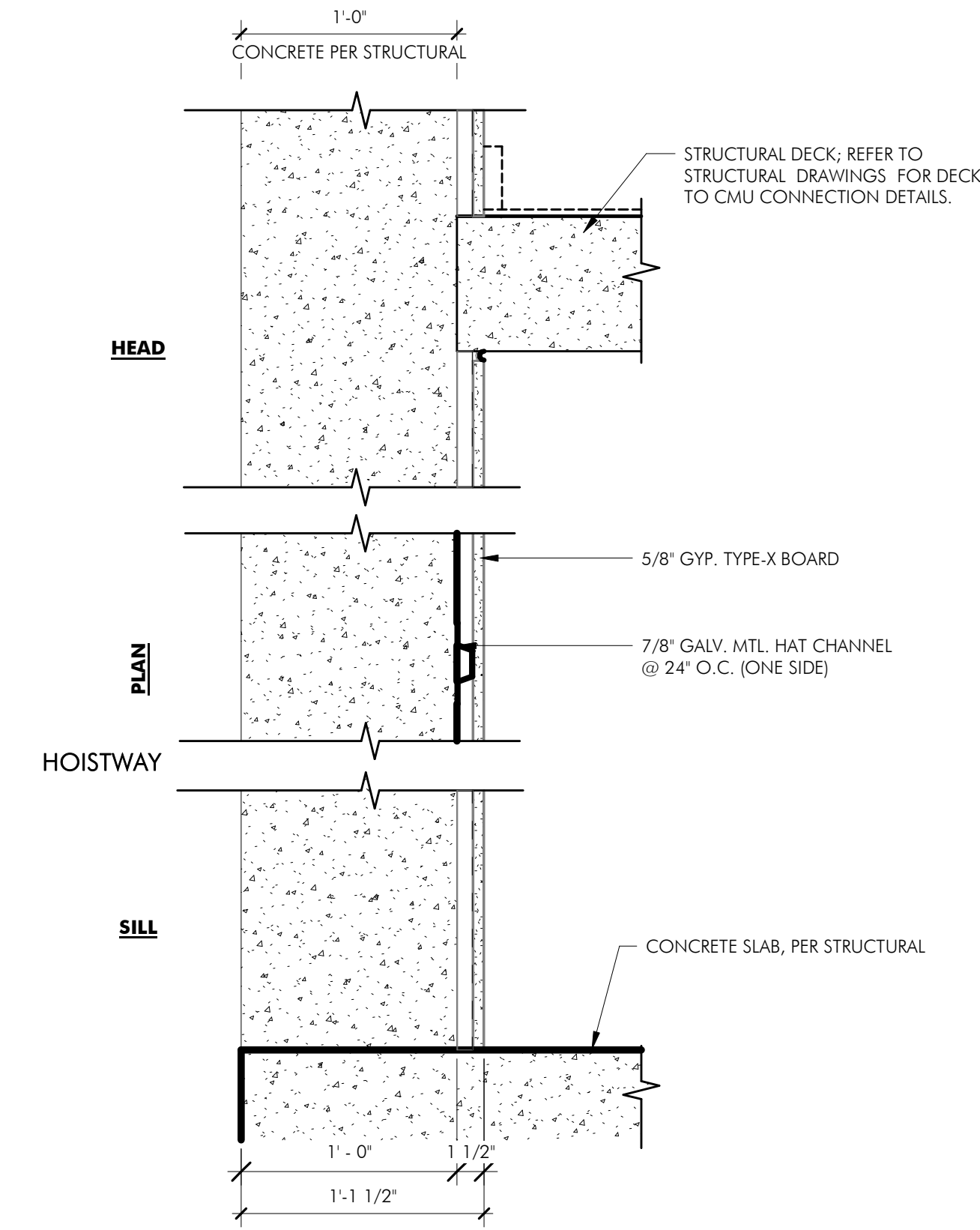
- SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
- SEE FLOOR PLANS FOR LOCATIONS OF RATED PARTITIONS AND SEPARATIONS.
- PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS. RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
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**C209** 2 HR CMU WALL WITH METAL STUD FURRING ON BOTH SIDES (3 5/8\"/>



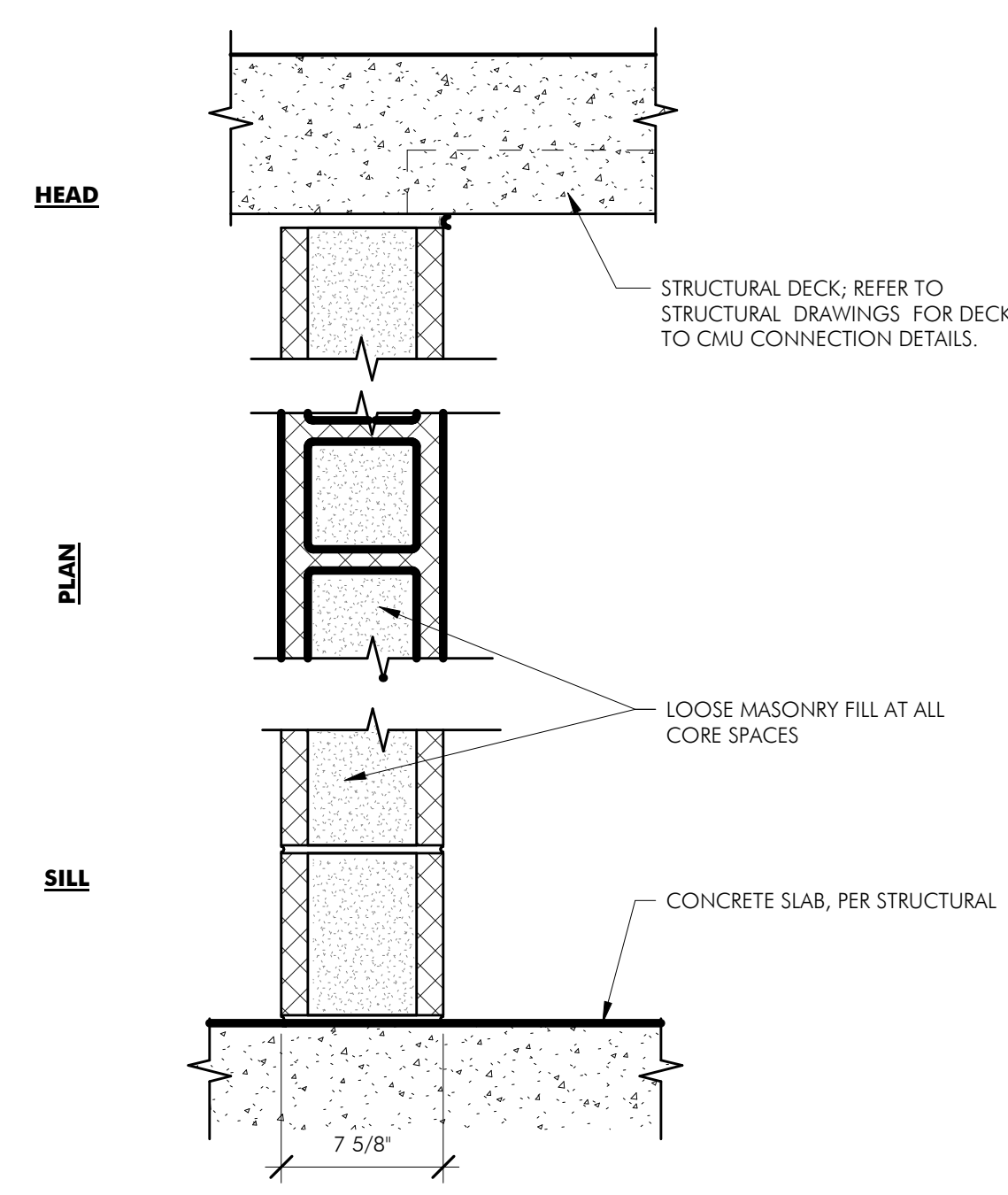
**C210** 2HR CMU ELEVATOR SHAFT WALL (7/8\"/>



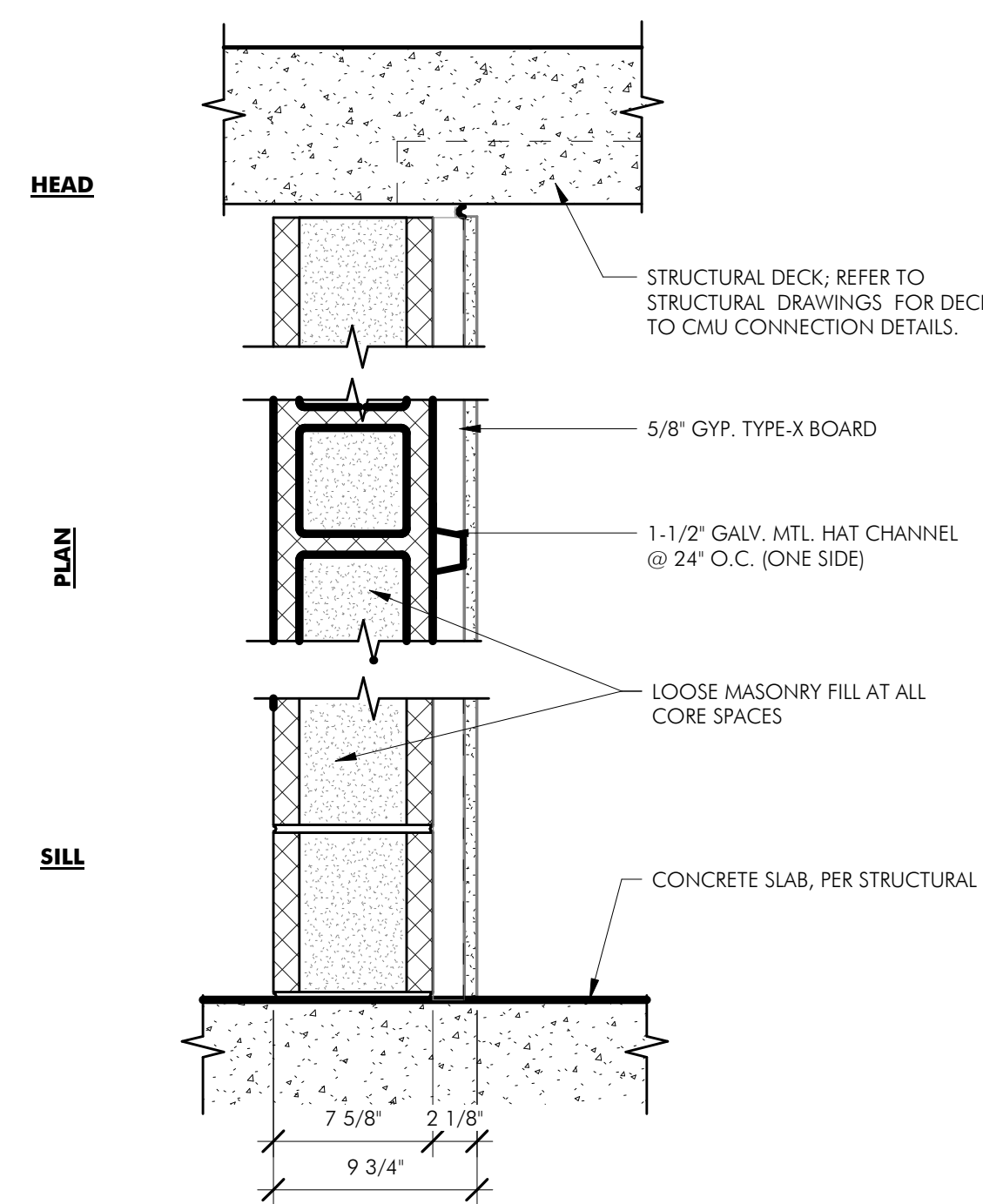
**C211** 2HR 12\"/>

**C212** 2HR 10\"/>

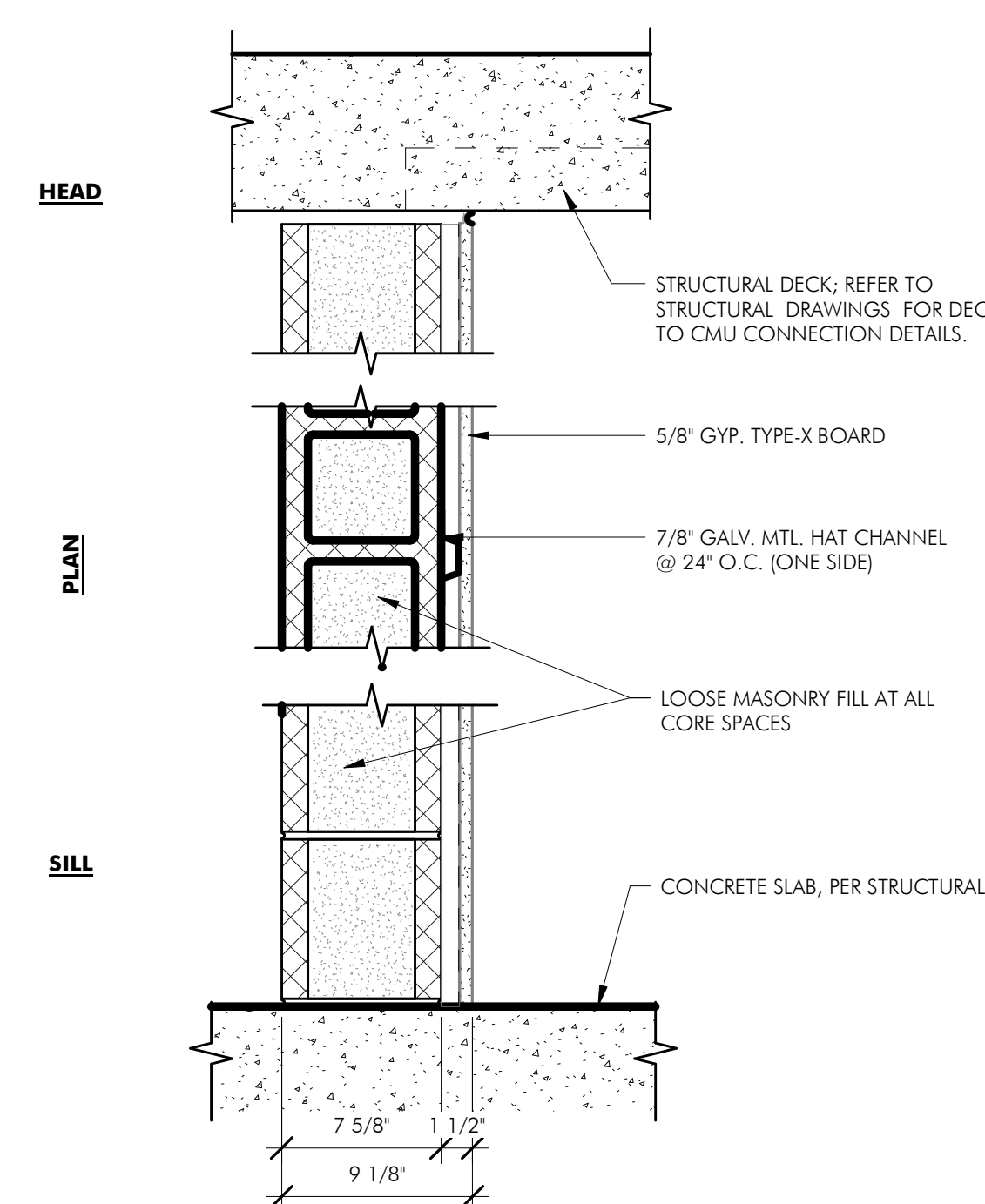
**C213** 2HR 10\"/>



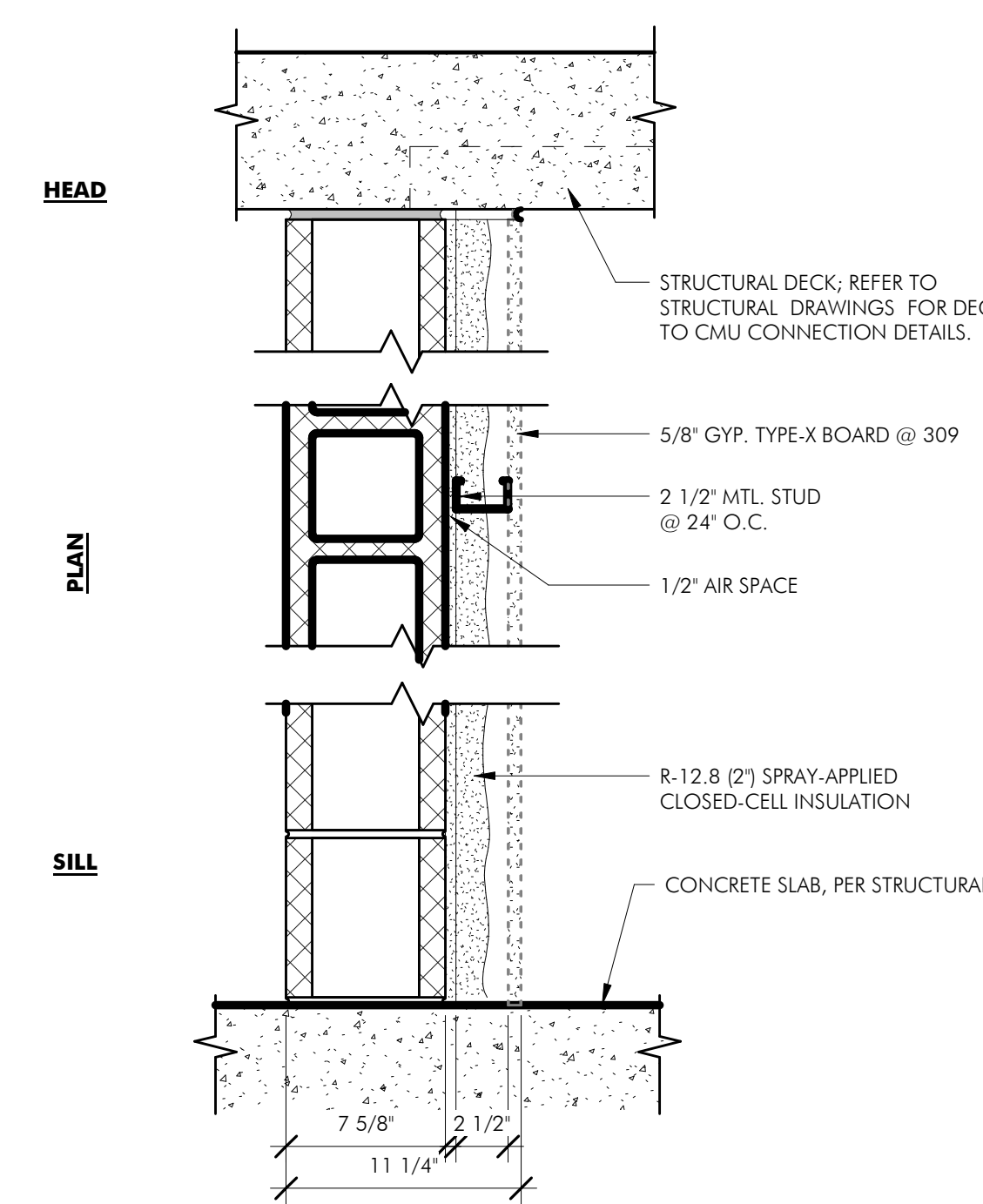
**C306** 3HR CMU WALL  
UL U904



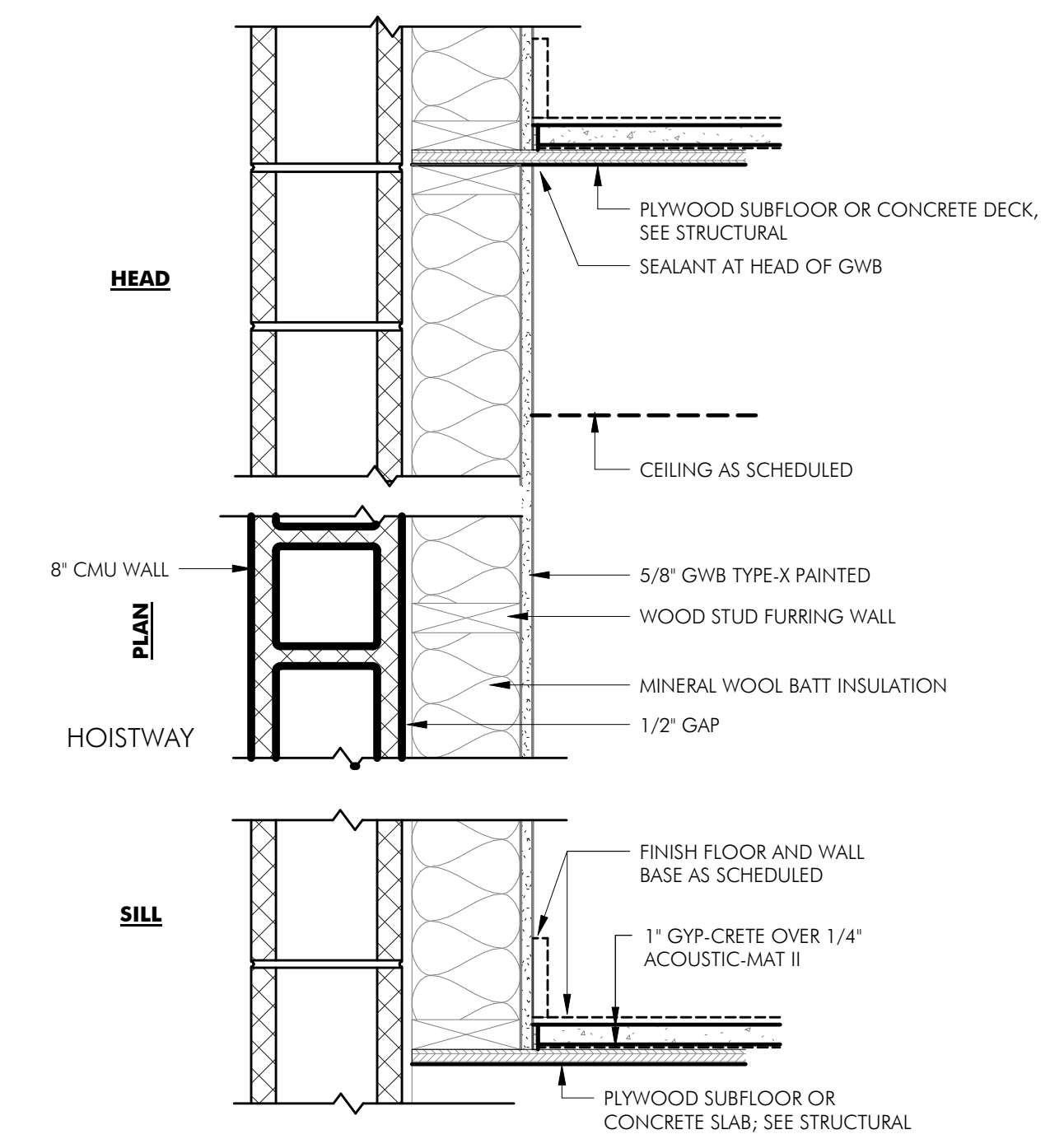
**C307** 3HR CMU WALL WITH 1-1/2\"/>



**C308** 3HR CMU WALL WITH 7/8\"/>



**C309** 3HR INSULATED CMU WALL WITH 2 1/2\"/>



**C202A** CMU ELEVATOR WALL PARTITION (2X3 FURRING)  
UL U905

**C202B** CMU ELEVATOR WALL PARTITION (2X4 FURRING)  
UL U905

**C202C** CMU ELEVATOR WALL PARTITION (2X6 FURRING)  
UL U905

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE

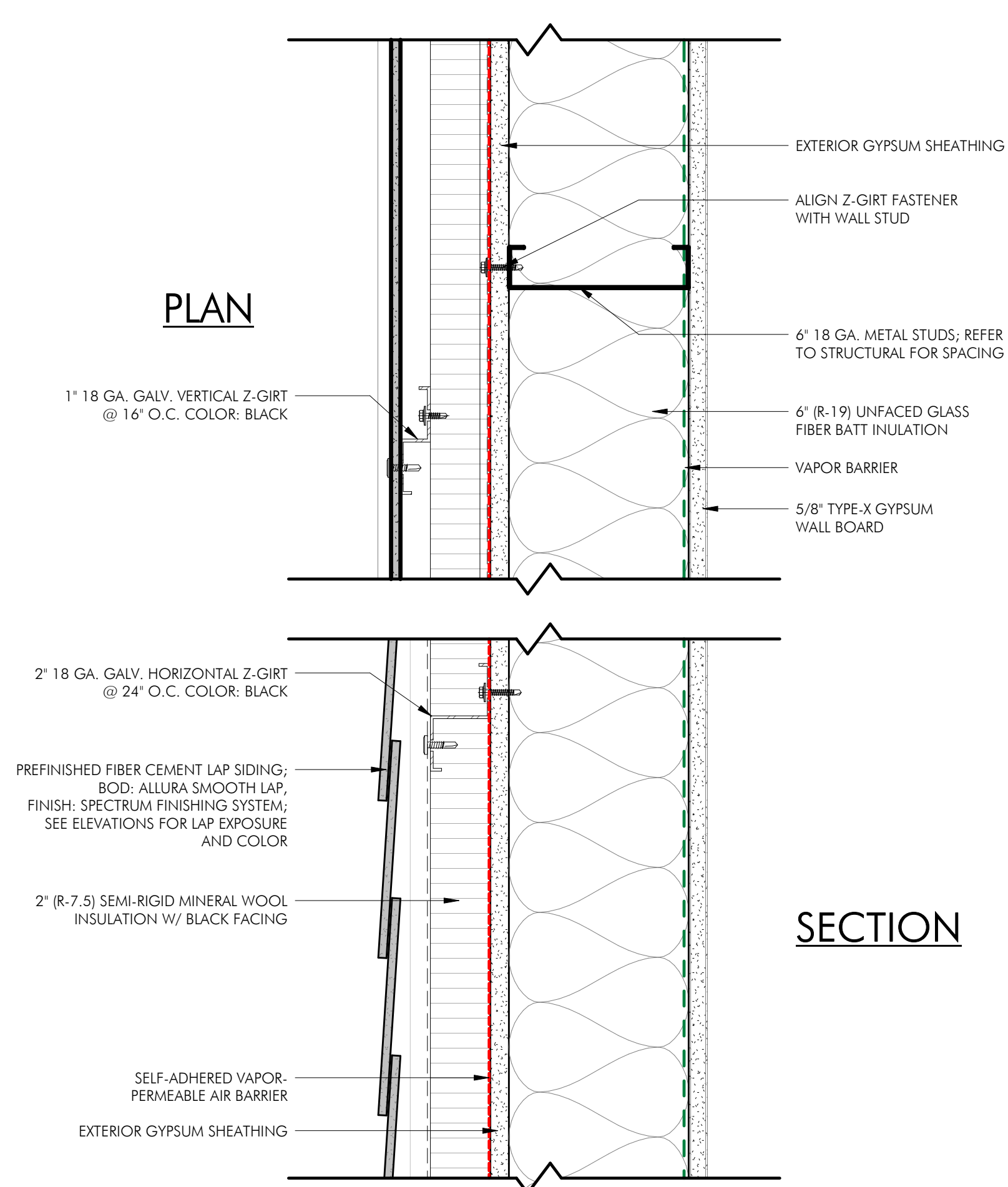


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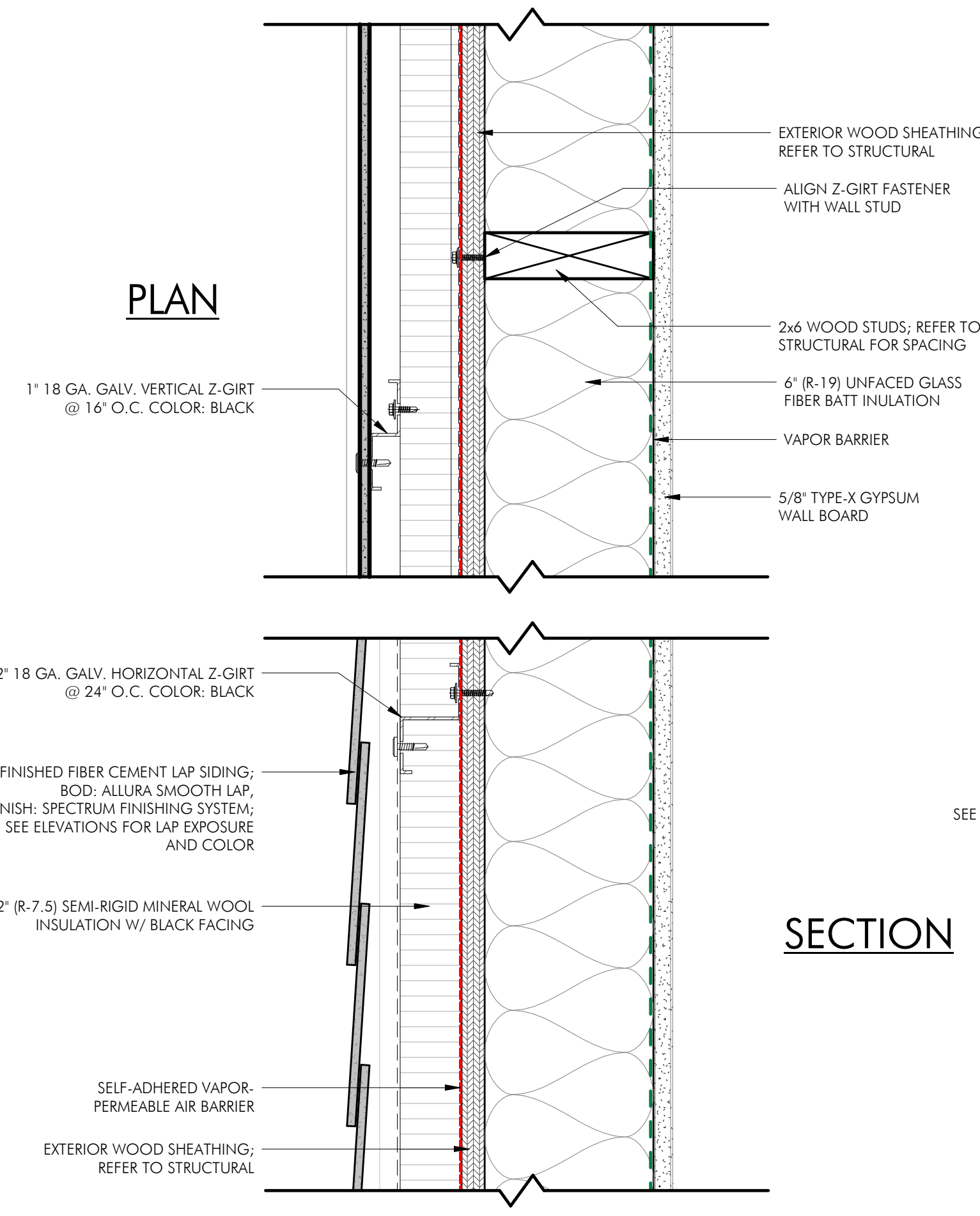
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
MASONRY  
PARTITION TYPES

DRAWING NUMBER  
**A005**

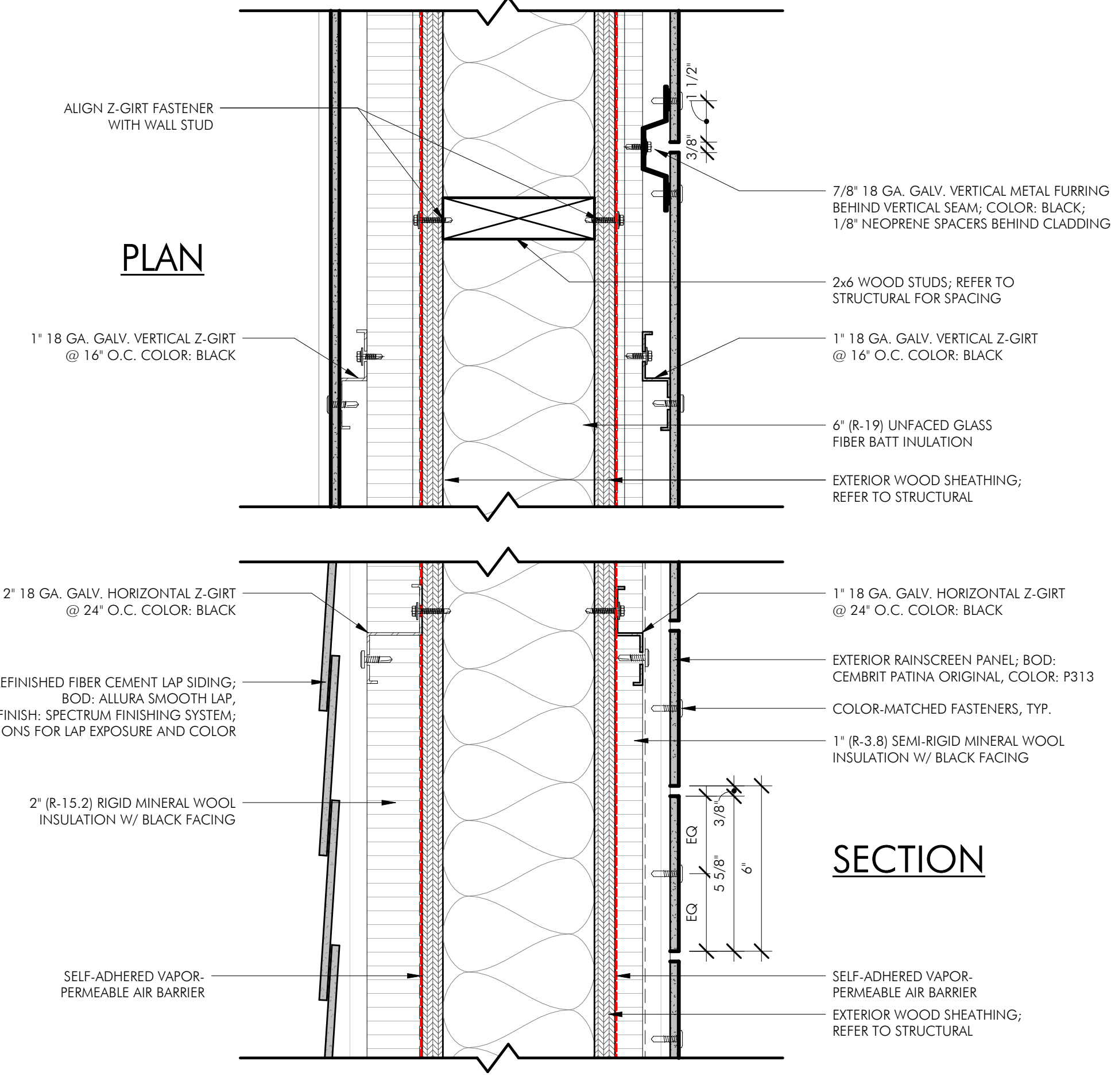


**EWA1** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 6" LIGHT GAUGE METAL FRAMING - 4" EXPOSURE

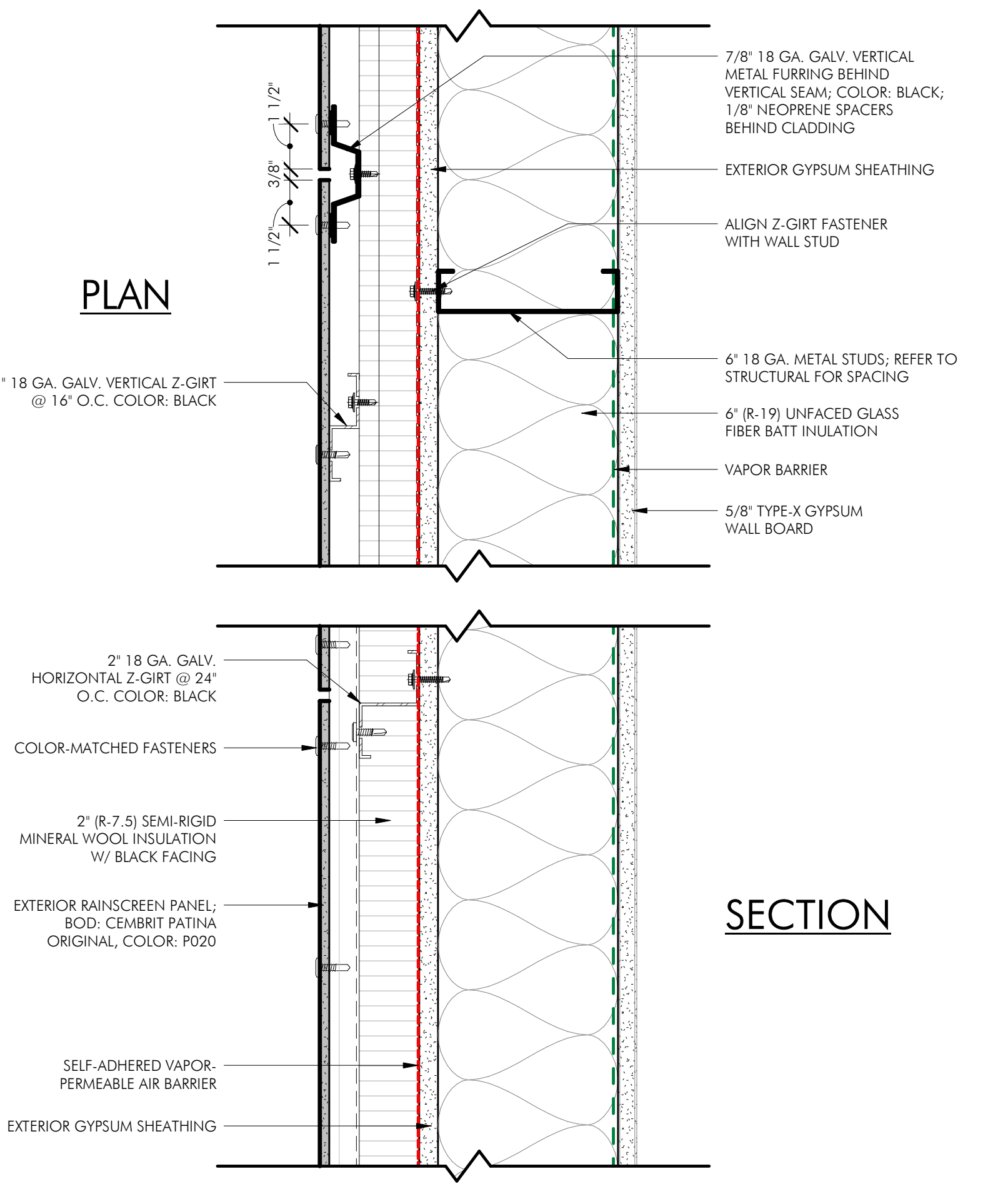


**EWA1.1** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 2x6 WOOD FRAMING - 4" EXPOSURE

**EWA1.1a** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 2x6 WOOD FRAMING - 8" EXPOSURE

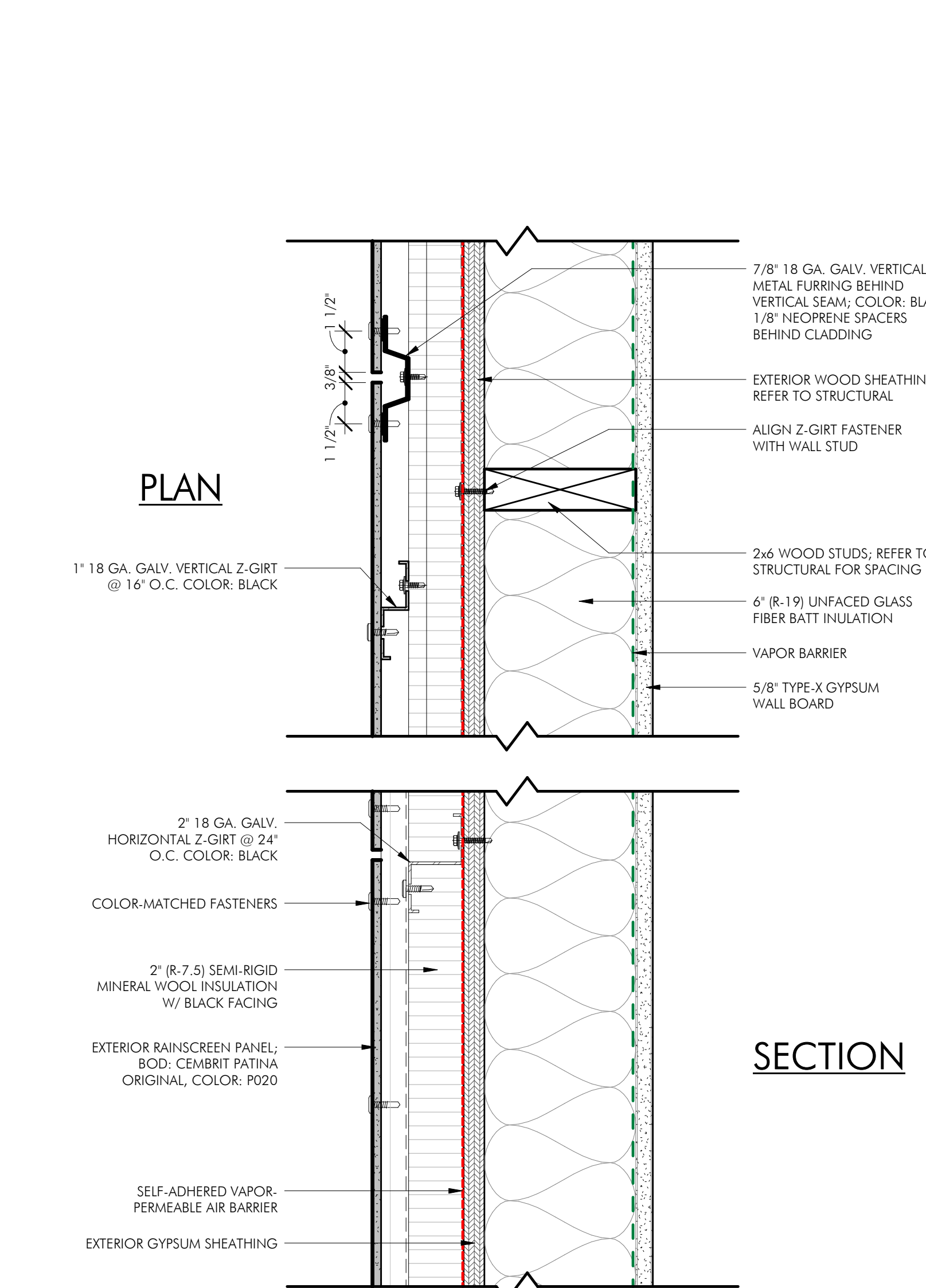


**EWA1.2** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 2x6 WOOD STUD FRAMING W/ SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANELS

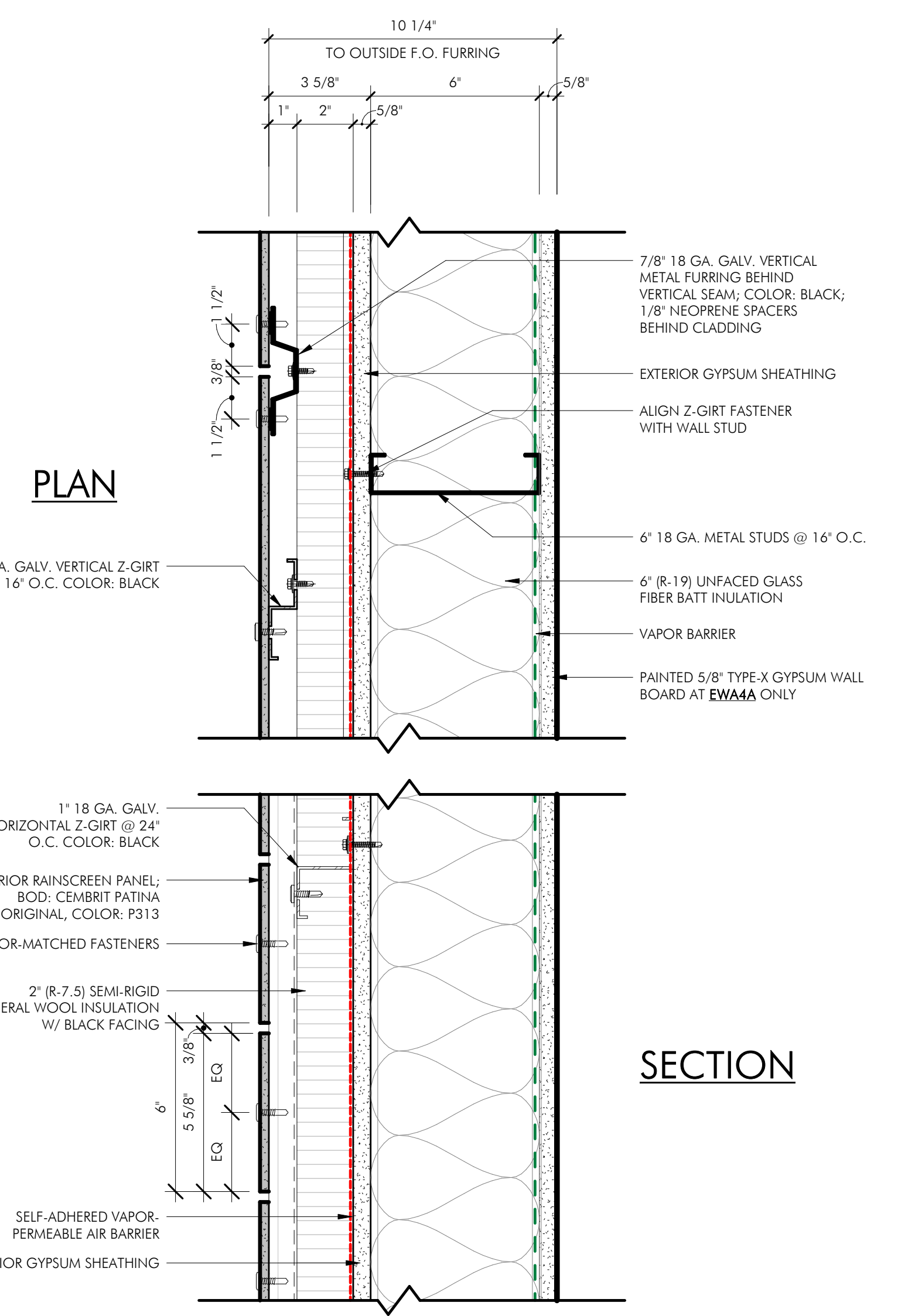


**EWA2** LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 6" LIGHT GAUGE METAL FRAMING  
1-HOUR: GA WP 8122

GENERAL NOTES:  
**ALTERNATE #1:**  
FOR STUD WALL TYPES:  
SUBSTITUTE 2" GALV. Z-GIRT FOR THERMAL BREAK TYPE.  
BOD: ARMATHERN Z-GIRT OR SMARTGI GREENGIRT

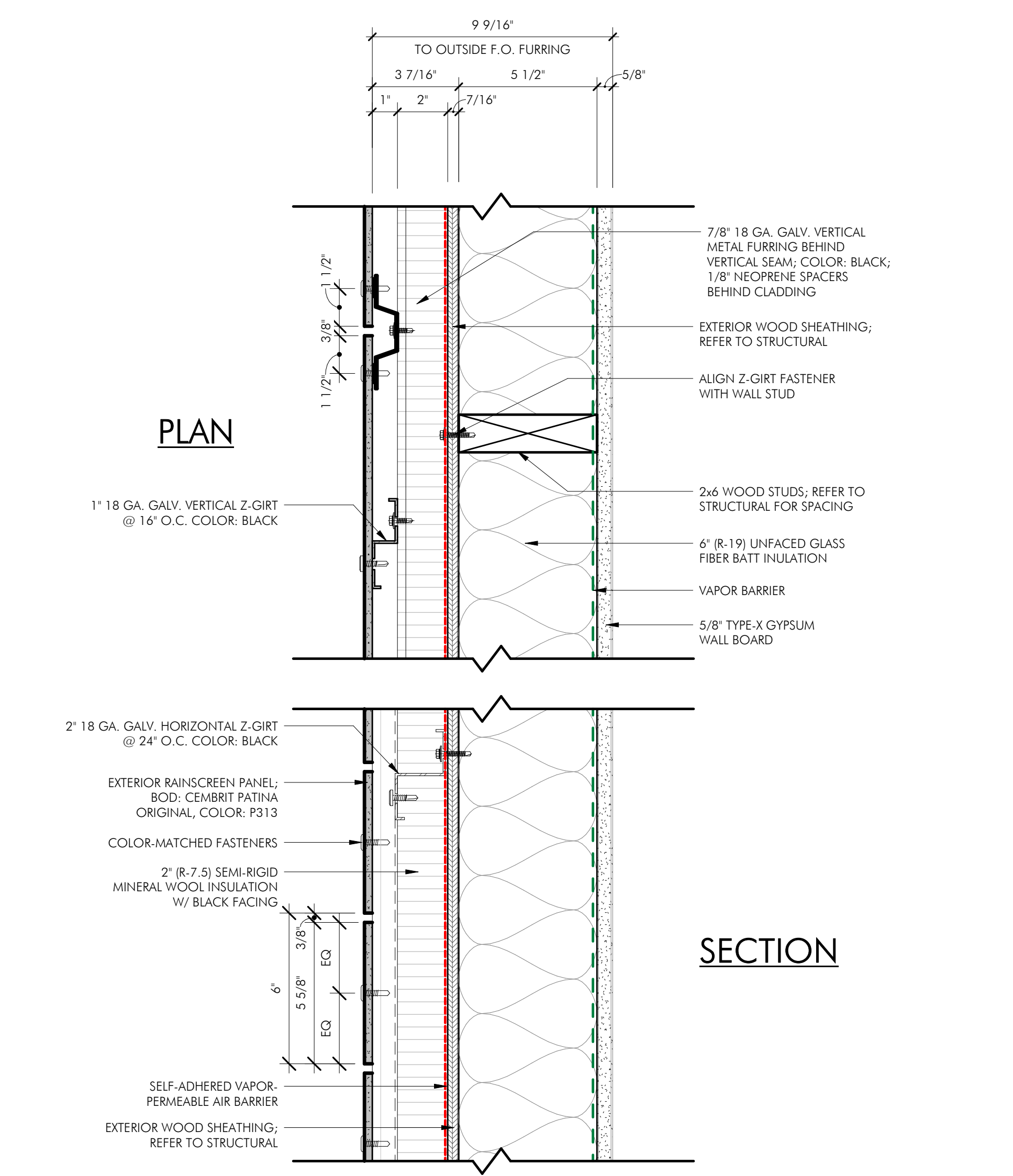


**EWA2.1** LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 2x6 WOOD STUD FRAMING



**EWA4** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 6" LIGHT GAUGE METAL FRAMING  
1 HR. GA WP 8122  
2" (R-7.5) SEMI-RIGID MINERAL WOOL

**EWA4A** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 6" LIGHT GAUGE METAL FRAMING W/ INTERIOR GYPSUM WALL BOARD



**EWA4.1** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL ON 2x6 WOOD STUD FRAMING

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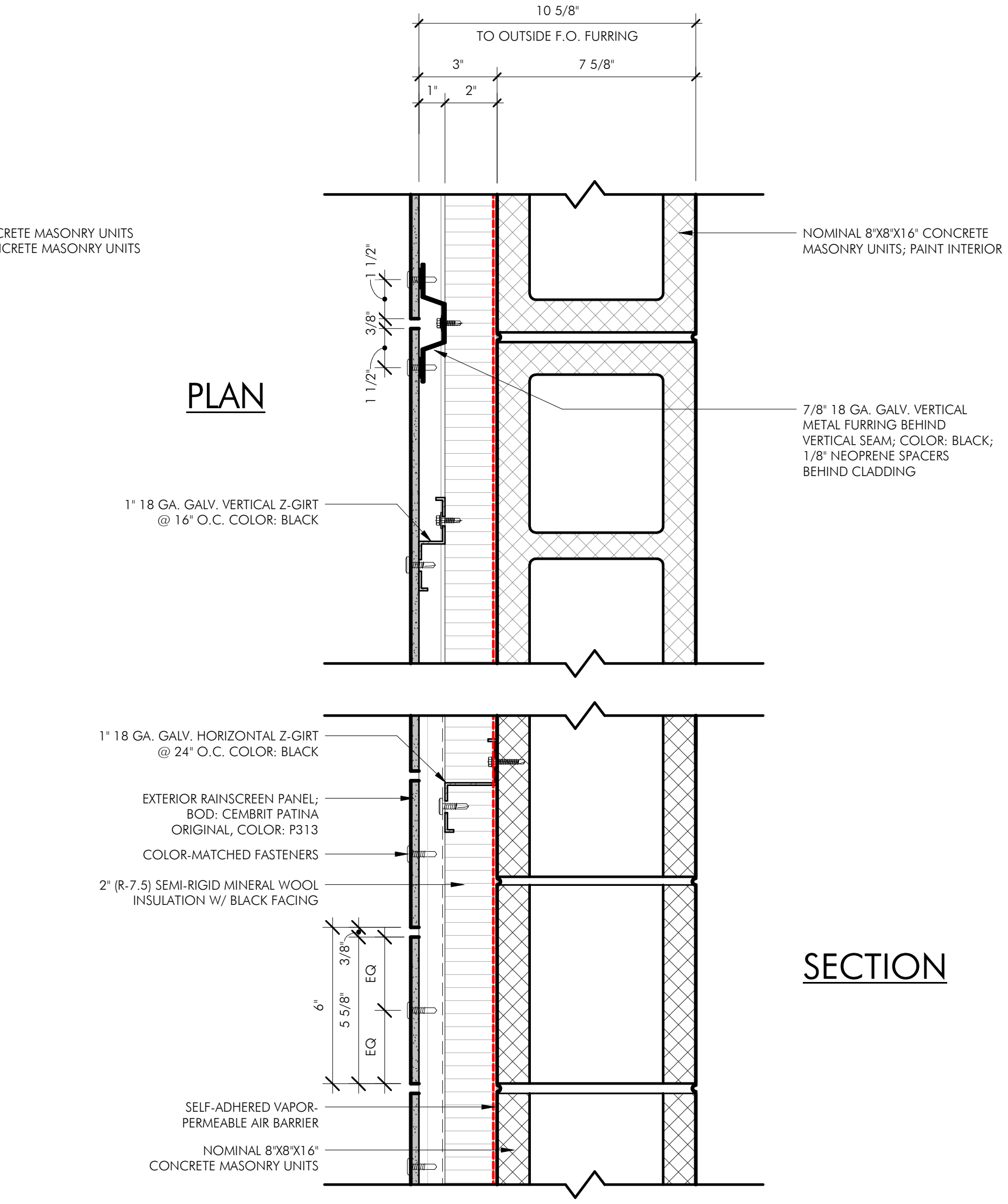
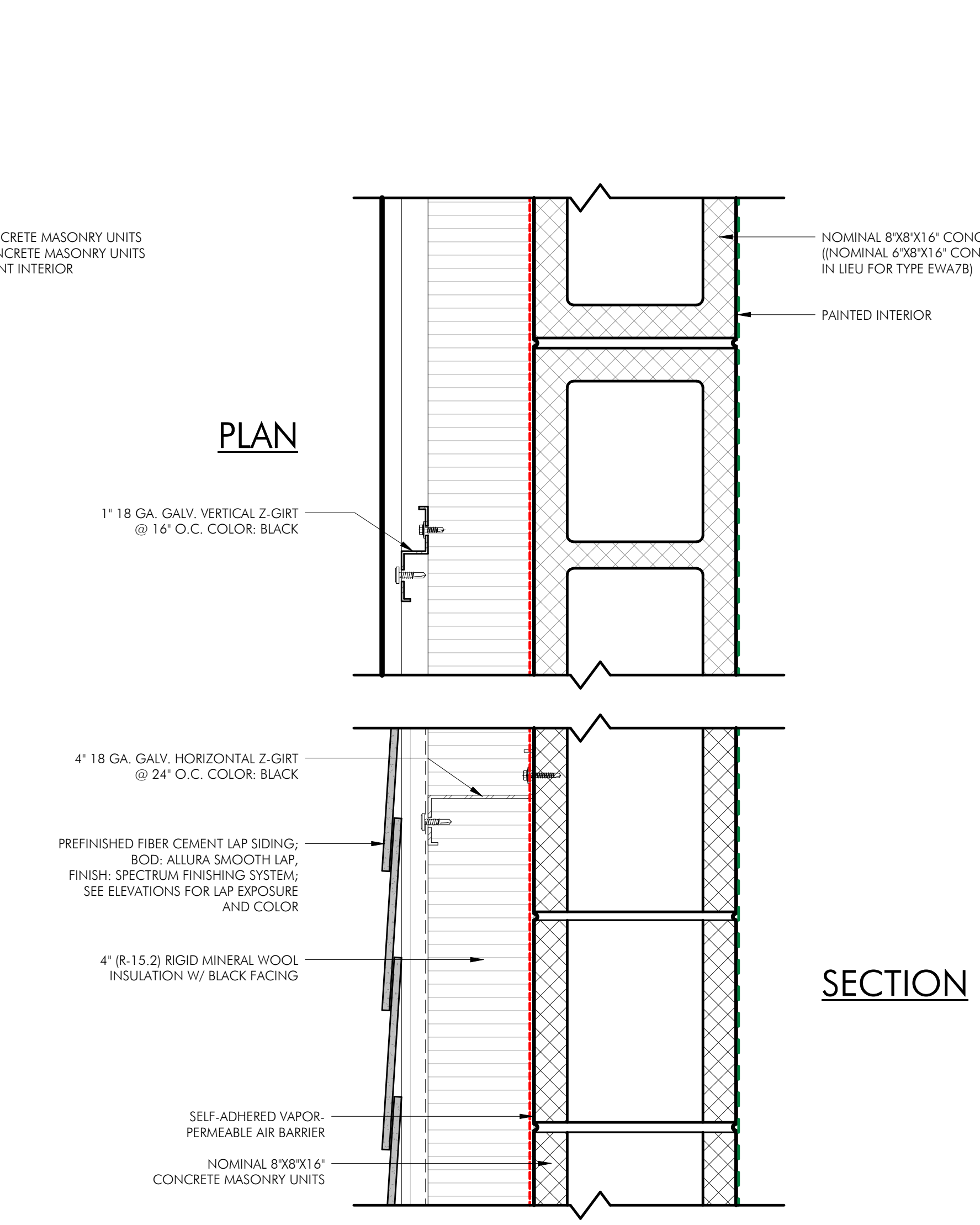
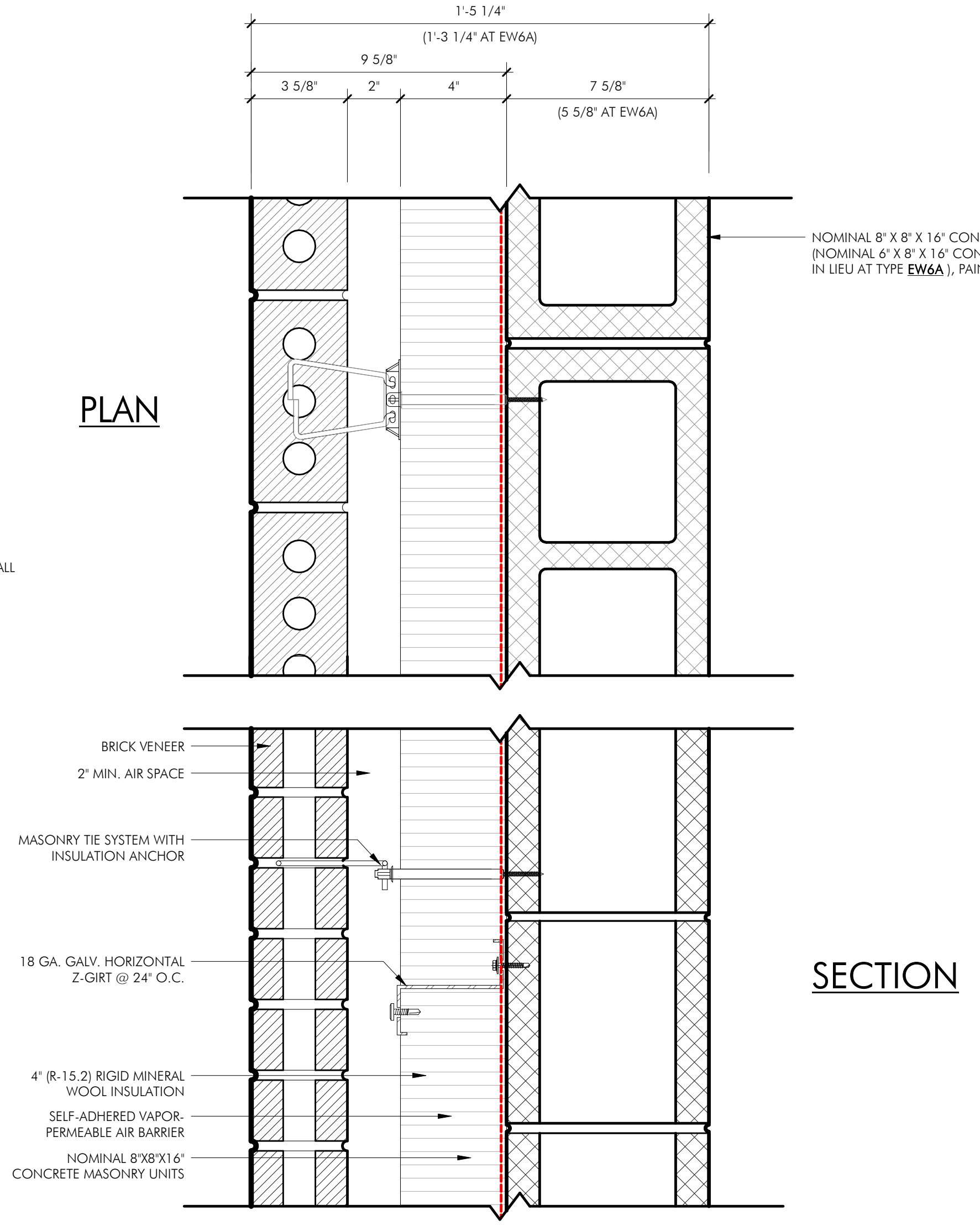
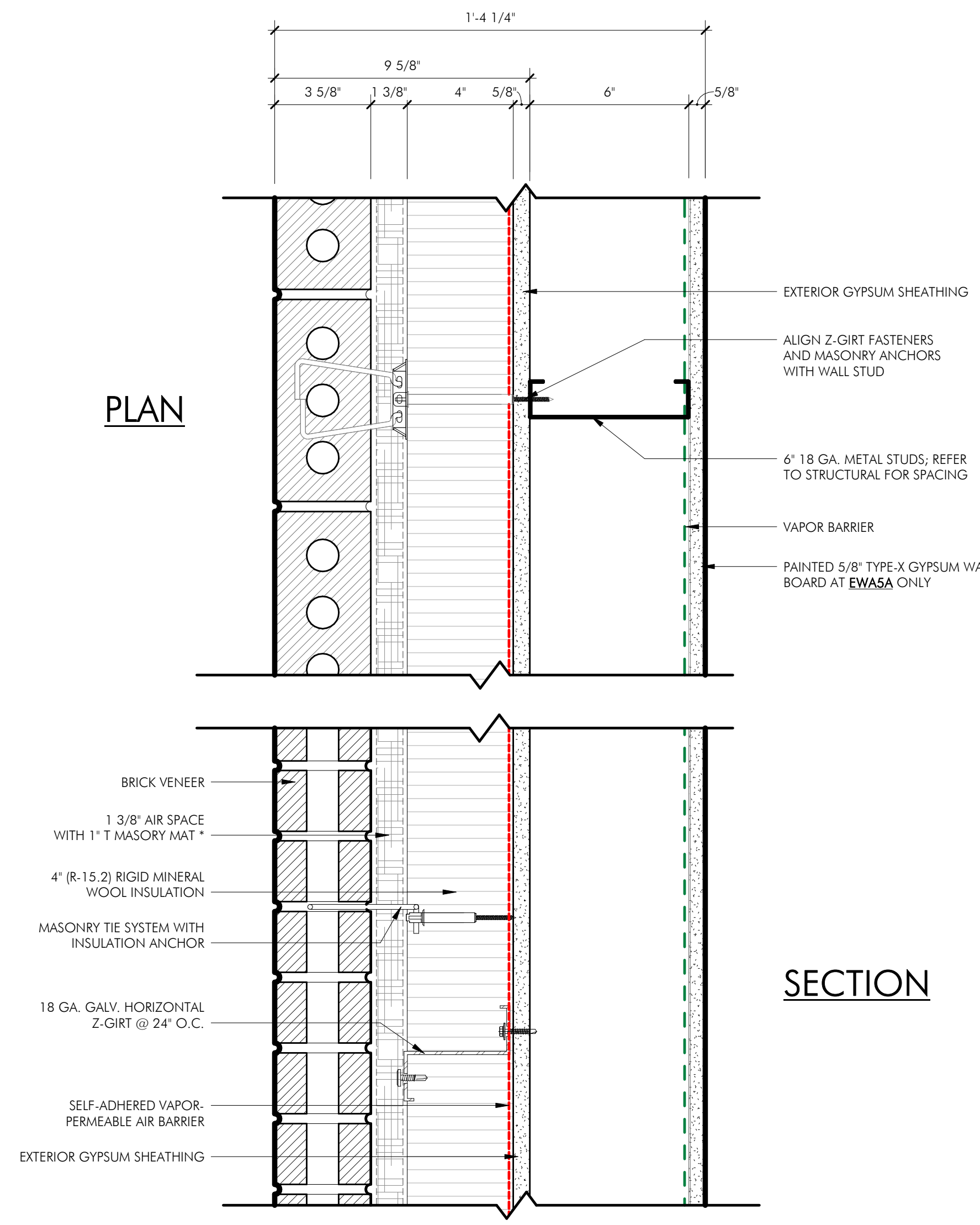


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ISSUE:	ISSUED FOR CONSTRUCTION
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PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**EXTERIOR WALL ASSEMBLIES**

DRAWING NUMBER  
**A006A**



\* NOTE: FULL HEIGHT 1" T MASORY MAT IN AIR SPACE LESS THAN 1 3/4" ONLY

- EWA5** BRICK VENEER ON 6" LIGHT-GAUGE METAL FRAMING
- EWA5A** BRICK VENEER ON 6" LIGHT GAUGE METAL FRAMING W/ INTERIOR GYPSUM WALL BOARD

- EWA6** BRICK VENEER ON 8" CMU  
1-HOUR: UL U905
- EWA6A** BRICK VENEER ON 6" CMU  
1-HOUR: UL U906

- EWA7** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 8" CMU  
1-HOUR: UL U905
- EWA7B** MEDIUM-DENSITY FIBER CEMENT LAP SIDING ON 6" CMU  
1 HR: UL U905

- EWA8** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL W/ 1" FURRING ON 8" CMU, PAINTED INTERIOR
- EWA8a** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL W/ 1-1/2" FURRING ON 8" CMU  
1 HR: UL U905
- EWA8b** SMALL-FORMAT HIGH-DENSITY FIBER CEMENT PANEL W/ 3-5/8" FURRING ON 8" CMU  
1 HR: UL U905

GENERAL NOTES:  
**ALTERNATE #1:**  
FOR STUD WALL TYPES:  
SUBSTITUTE 2" GALV. Z-GIRT FOR THERMAL BREAK TYPE.  
BOD: ARMATHERN Z-GIRT OR SHARTGI GREENGIRT

33 A STREET  
SOUTH BOSTON, MA  
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MARK	ISSUE	DATE

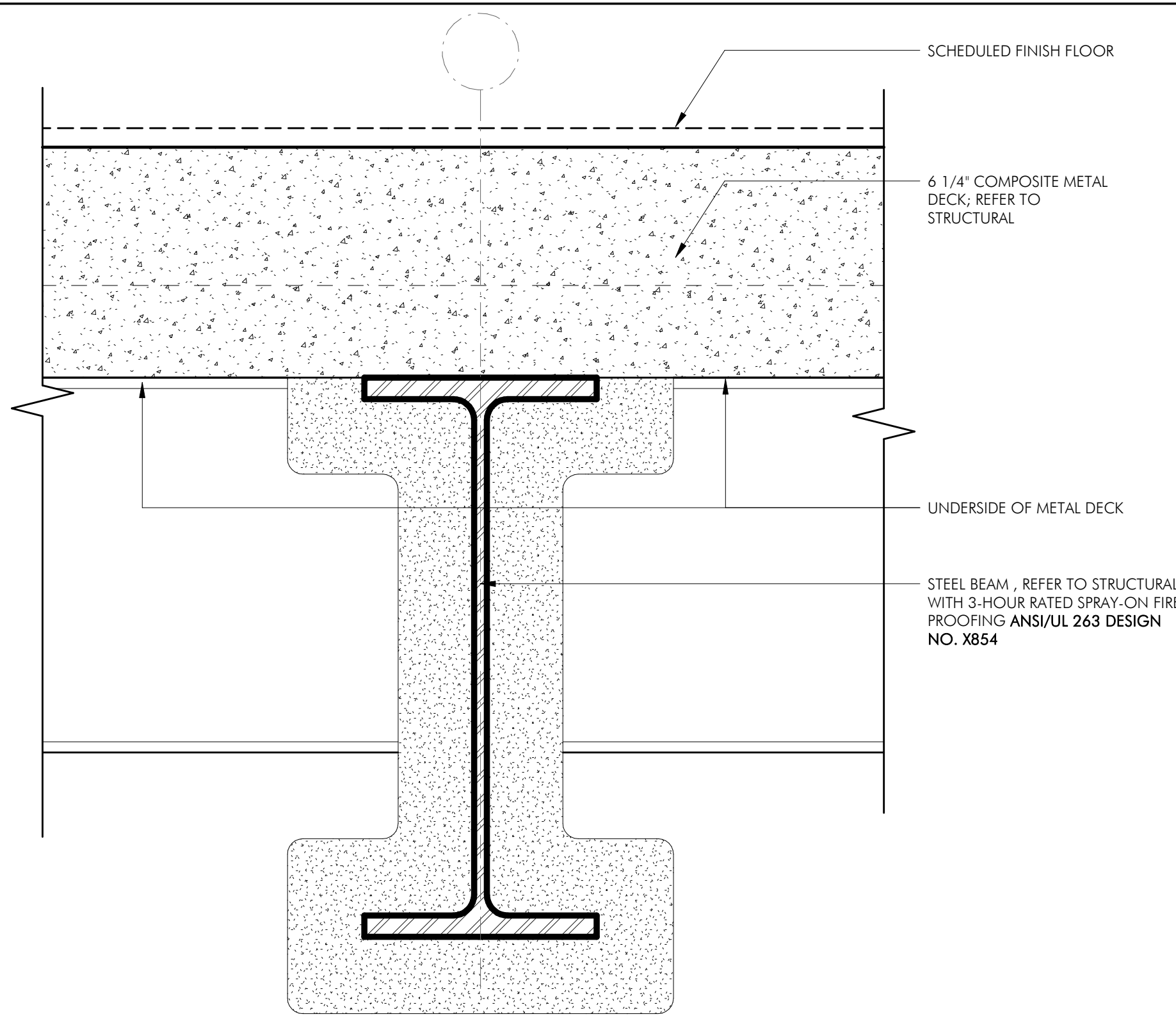


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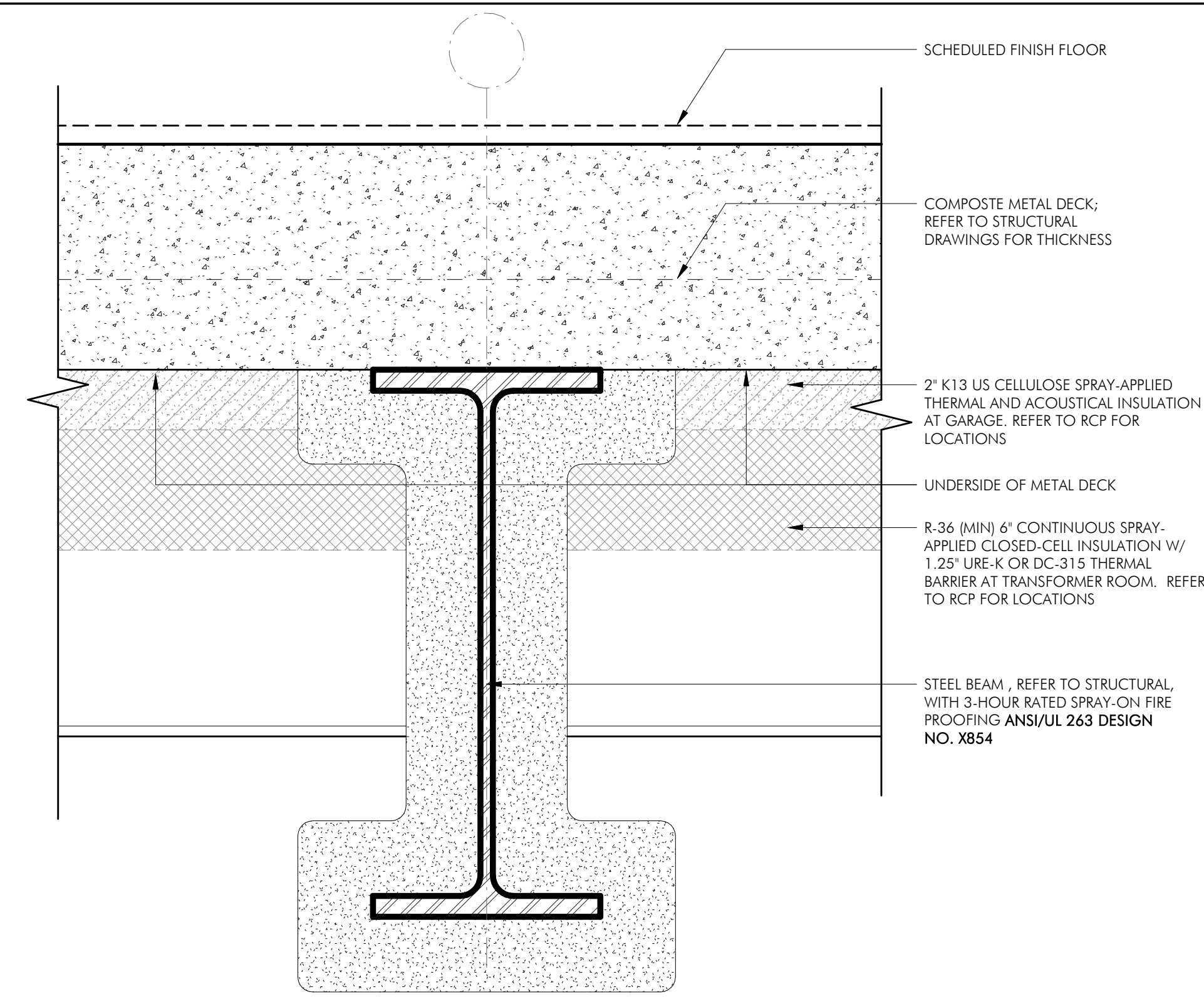
ISSUE:	ISSUED FOR CONSTRUCTION
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PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**EXTERIOR WALL ASSEMBLIES**

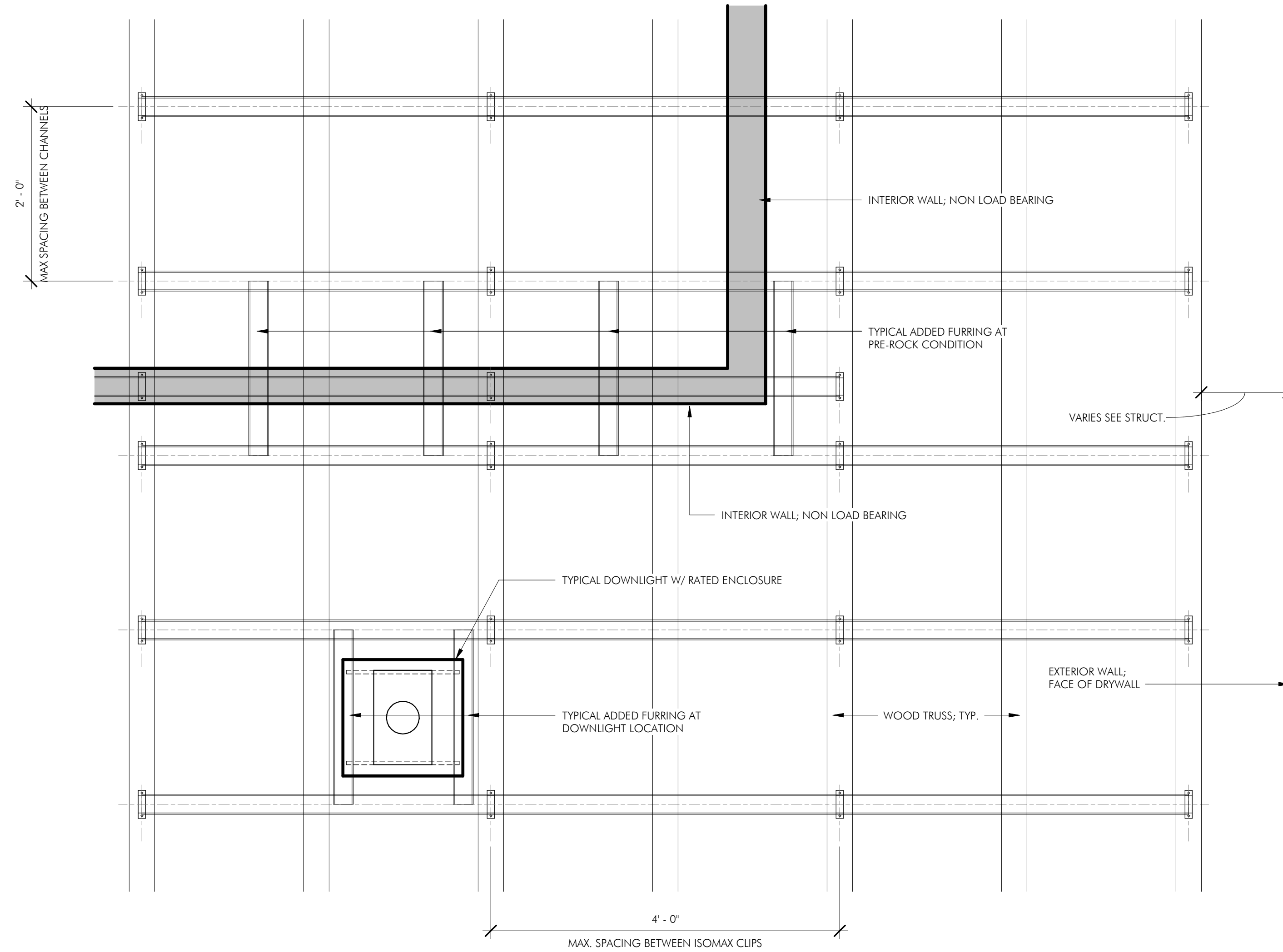
DRAWING NUMBER  
**A006B**



**F02A** 2HR RATED FLOOR CEILING DETAIL AT SECOND AND THIRD FLOOR- UL- D906  
3" = 1'-0"

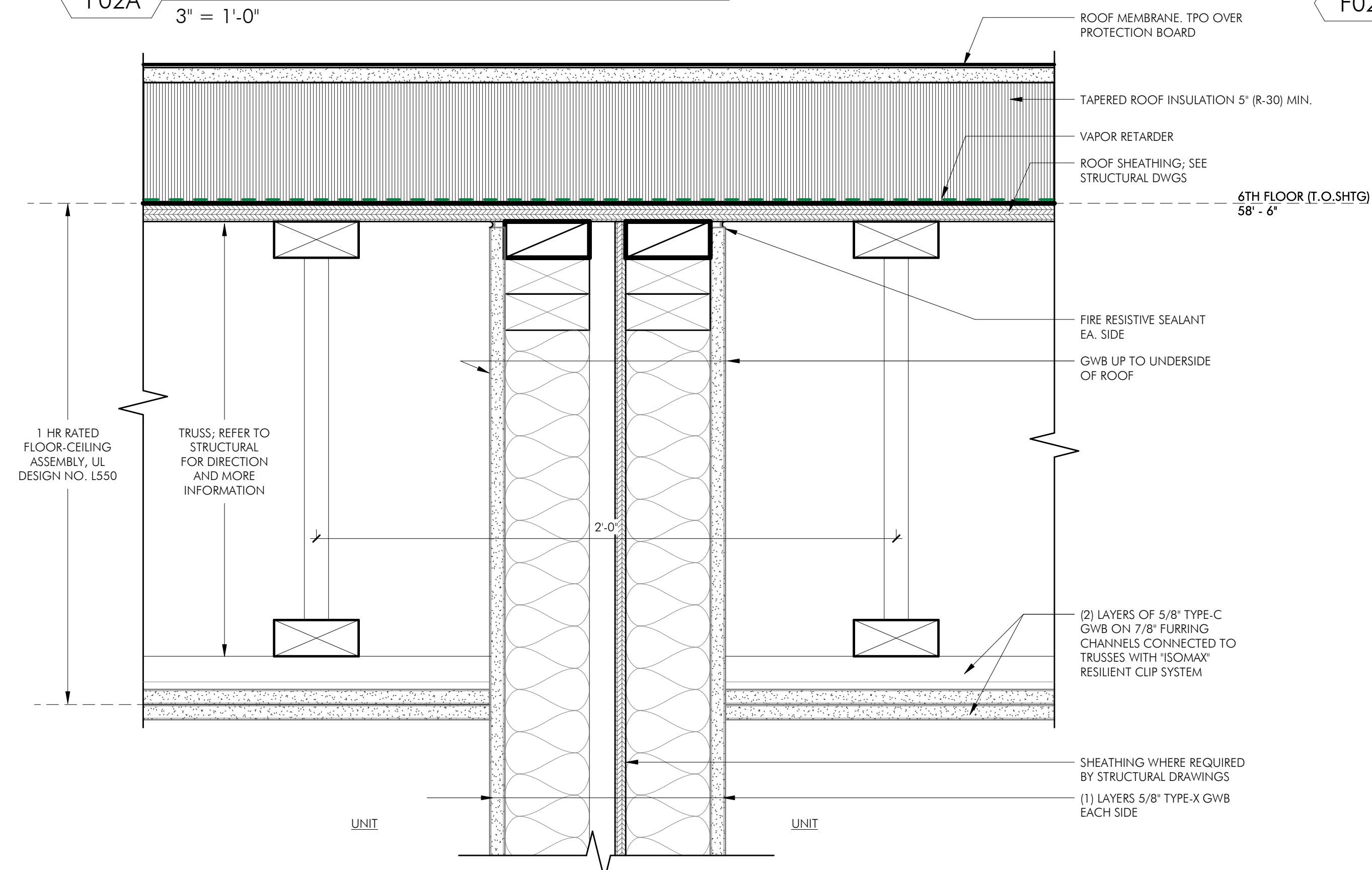


**F02B** 2HR RATED MIN. FLOOR CEILING DETAIL AT FIRST AND FOURTH FLOOR- UL- D925  
3" = 1'-0"

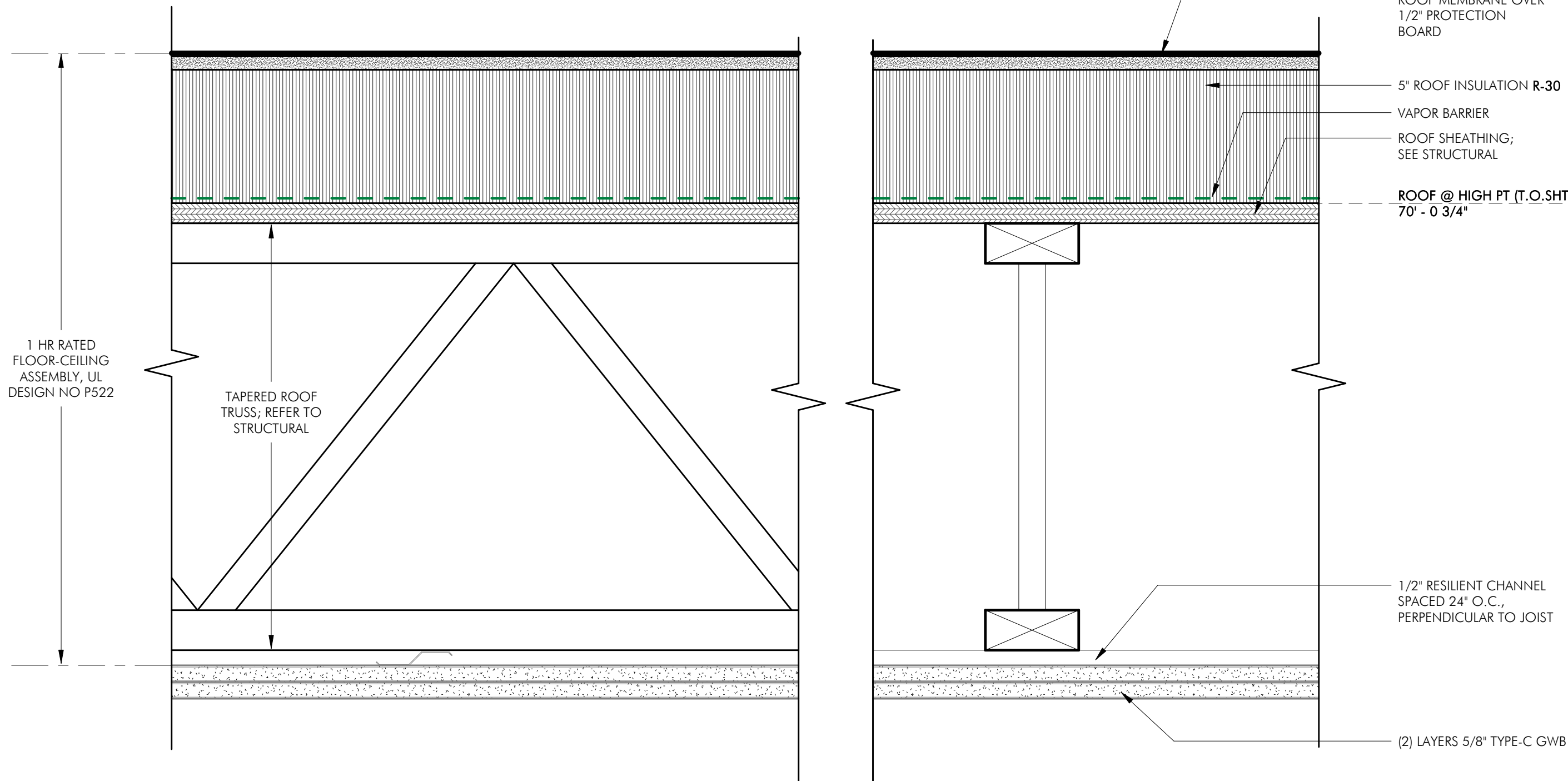


ISOMAX BY KINETICS NOISE CONTROL	
UL DESIGN:	L583
FIRE RATING:	1 HOUR
SUB-FLOORING:	SEE STRUCTURAL
STRUCTURAL MEMBERS:	PARALLEL CHORD TRUSSES
INSULATION:	6' FIBER GLASS BLANKET DRAPED OVER FURRING CHANNEL
FURRING CHANNEL SPACING:	24" O.C.
CLIP SPACING:	48" O.C ALONG FURRING CHANNEL
CEILING:	(2) LAYERS; 5/8" TYPE 'C'

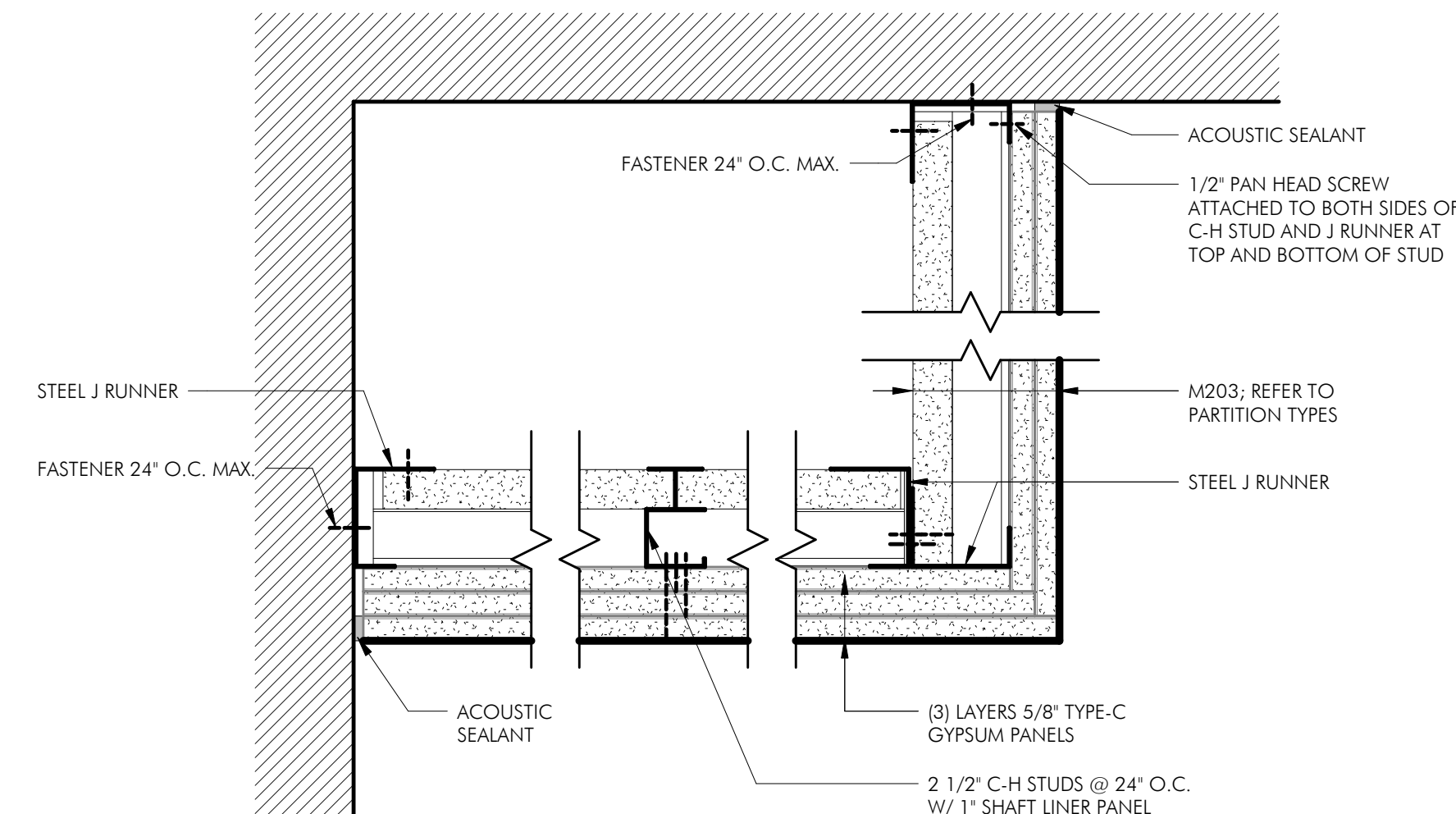
**1** TYPICAL RCP - TYP. ISOMAX DETAILS WITHIN DWELLING UNITS  
1" = 1'-0"



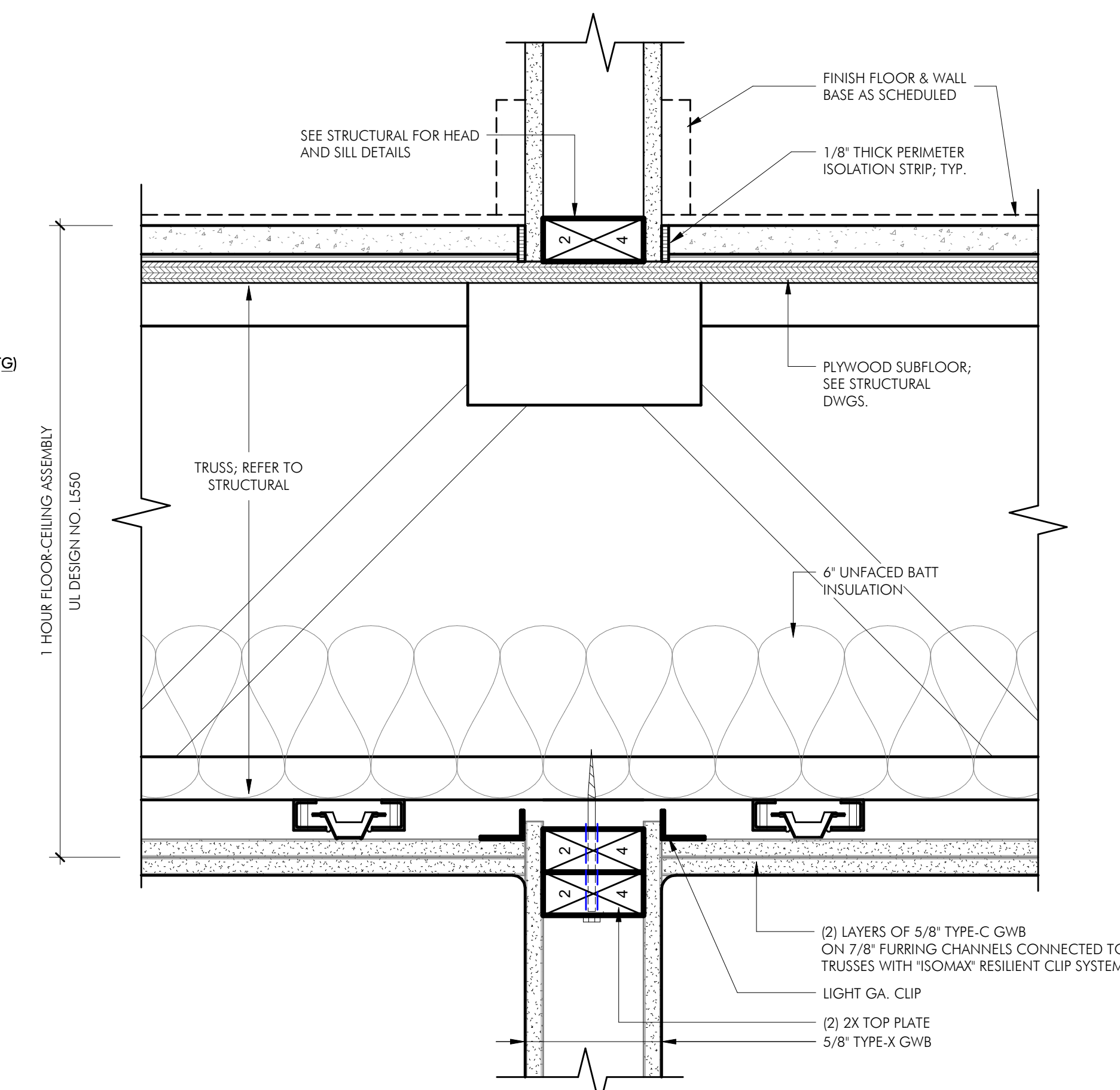
**RF01** SECTION DETAIL AT DEMISING WALL TO UNDERSIDE OF 6TH FLOOR ROOF SHEATHING BETWEEN UNIT 5&8  
3" = 1'-0"



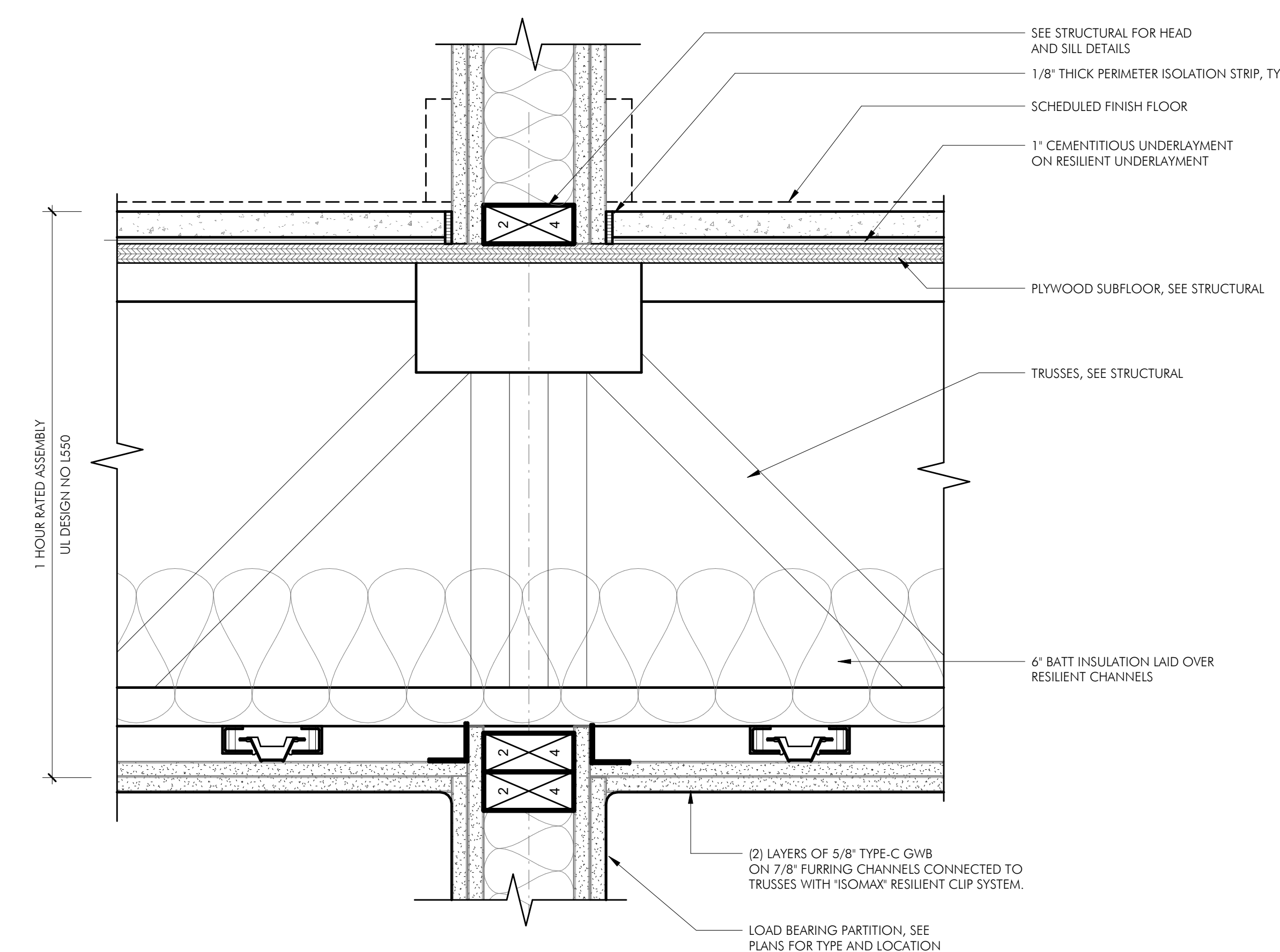
**RF02** TYPICAL ROOF ASSEMBLY - UL P522  
3" = 1'-0"



**F03** TWO-HOUR RATED HORIZONTAL ASSEMBLY DETAIL. UL U415 SYSTEM B  
3" = 1'-0"

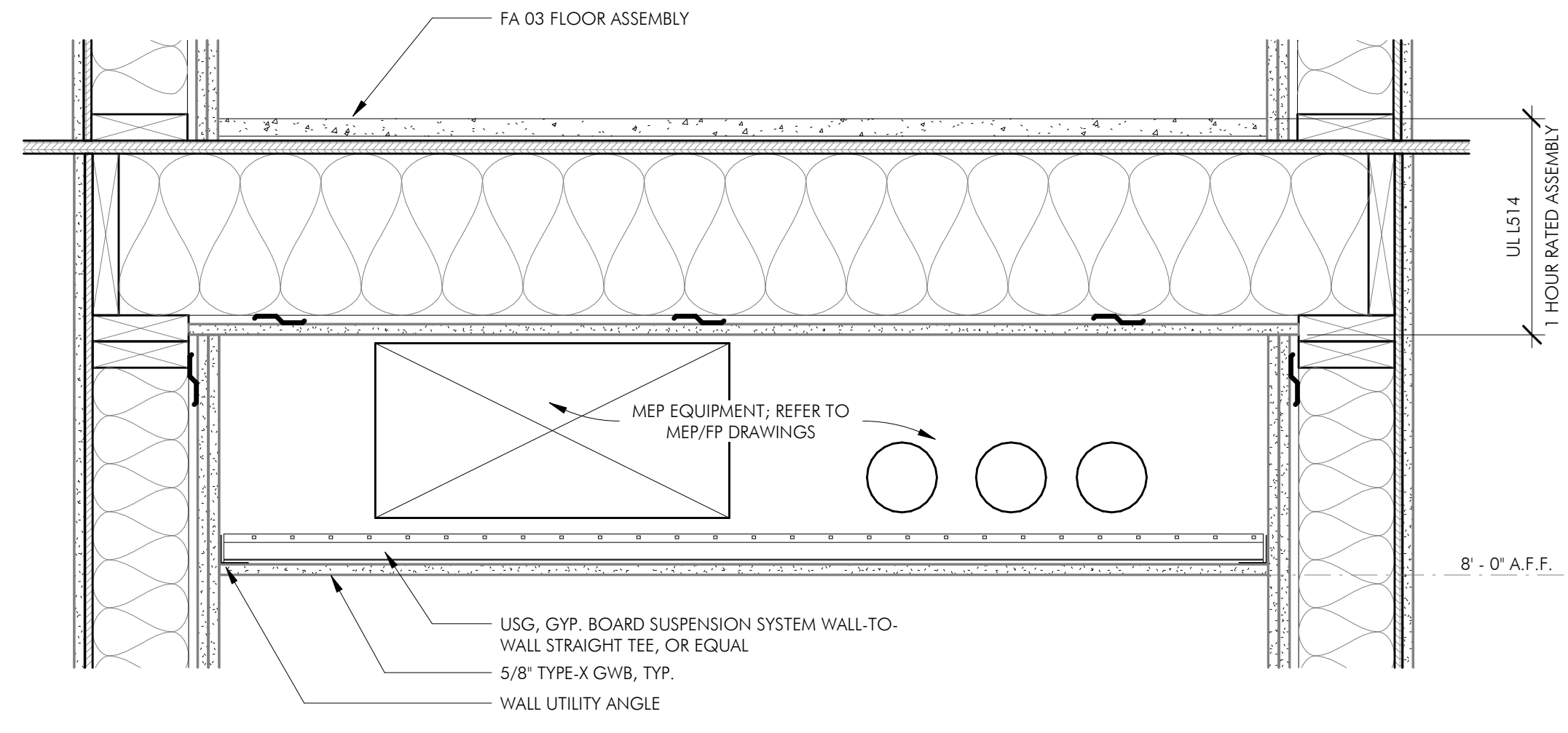


**F01.** TYPICAL FLOOR /CEILING ASSEMBLY - NON BEARING WALL  
3" = 1'-0"

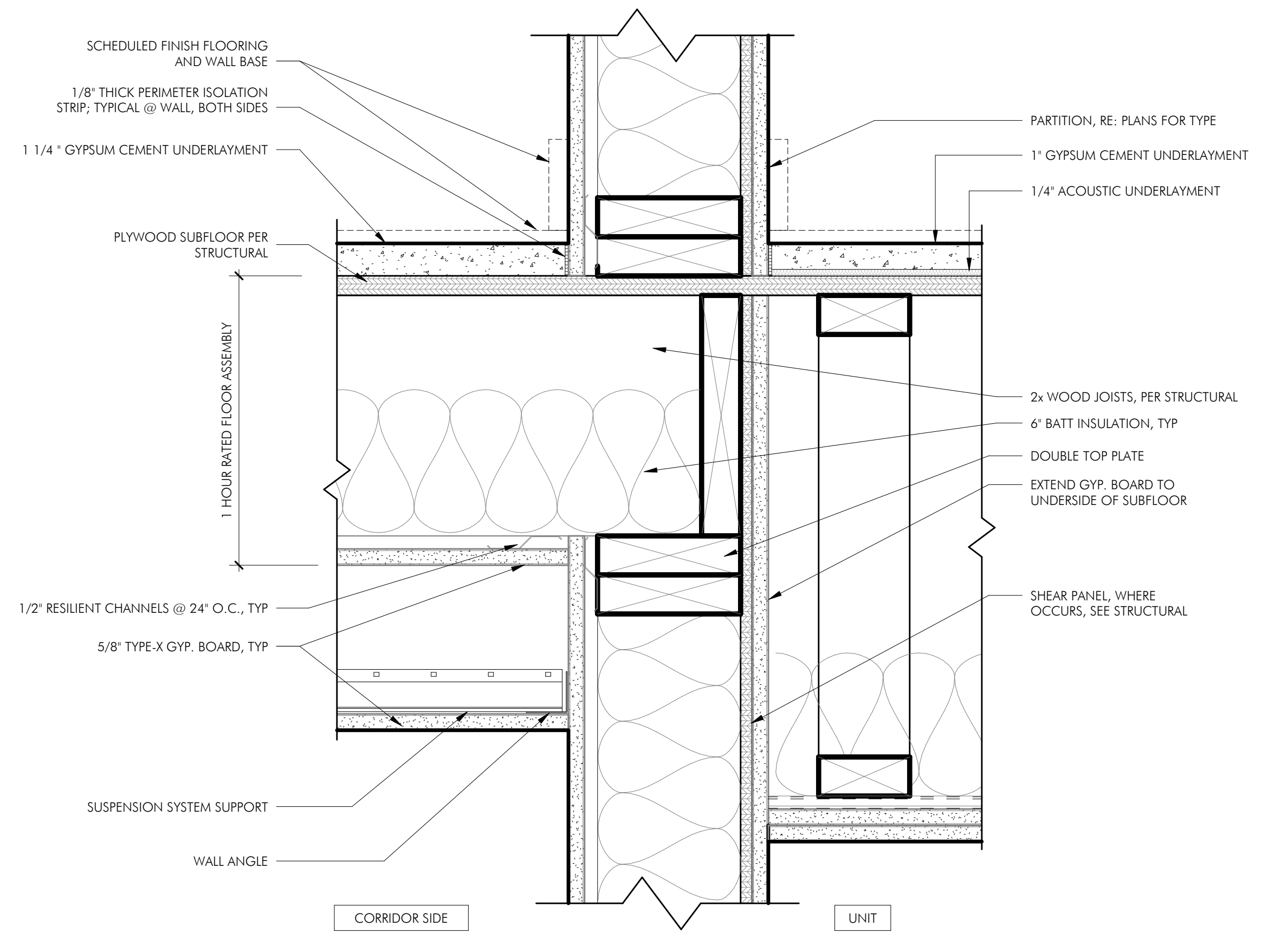


**F01** TYPICAL FLOOR/CEILING ASSEMBLY WITHIN UNITS- BEARING WALL  
3" = 1'-0"





F04 FA 04 - CEILING DETAIL @ CORRIDOR



FA04-1 CORRIDOR FLOOR/CEILING ASSEMBLY

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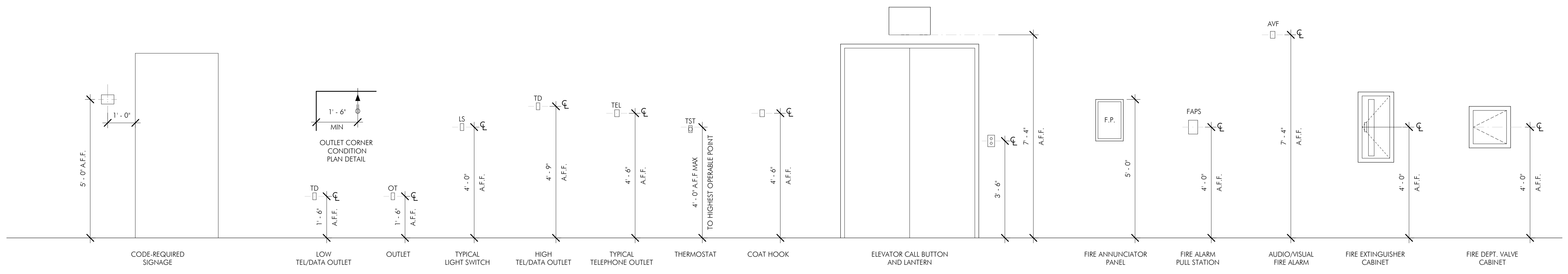
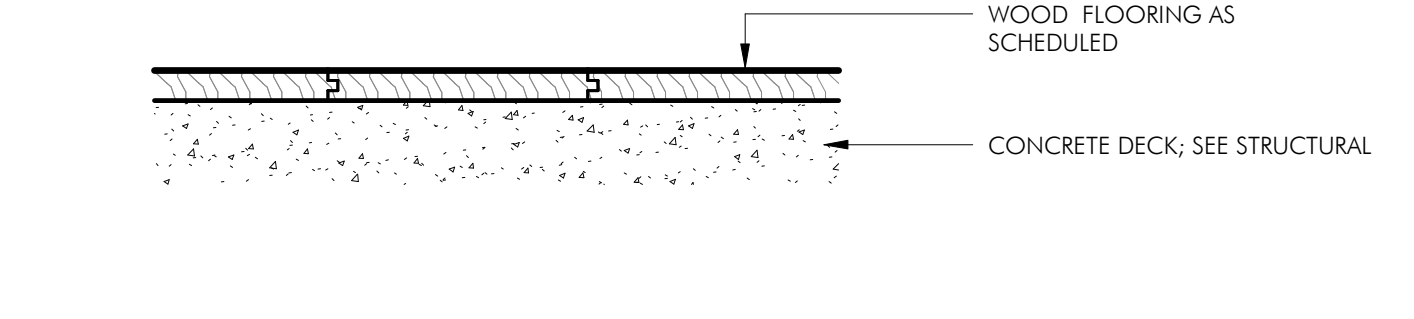
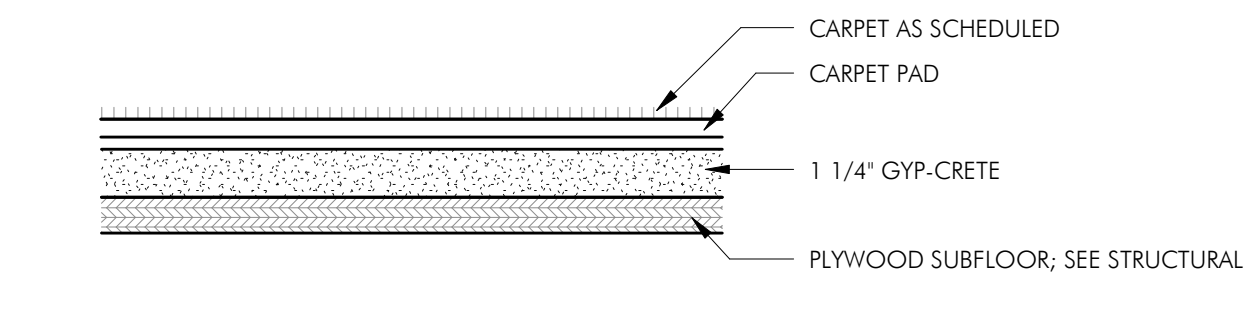
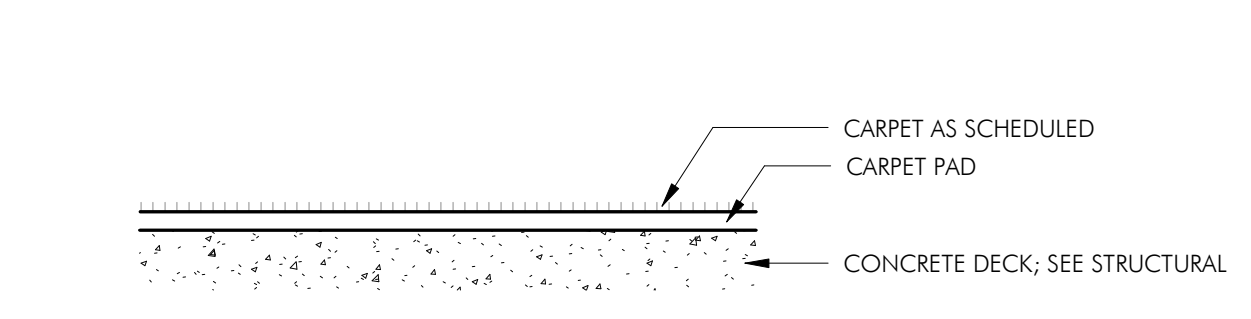
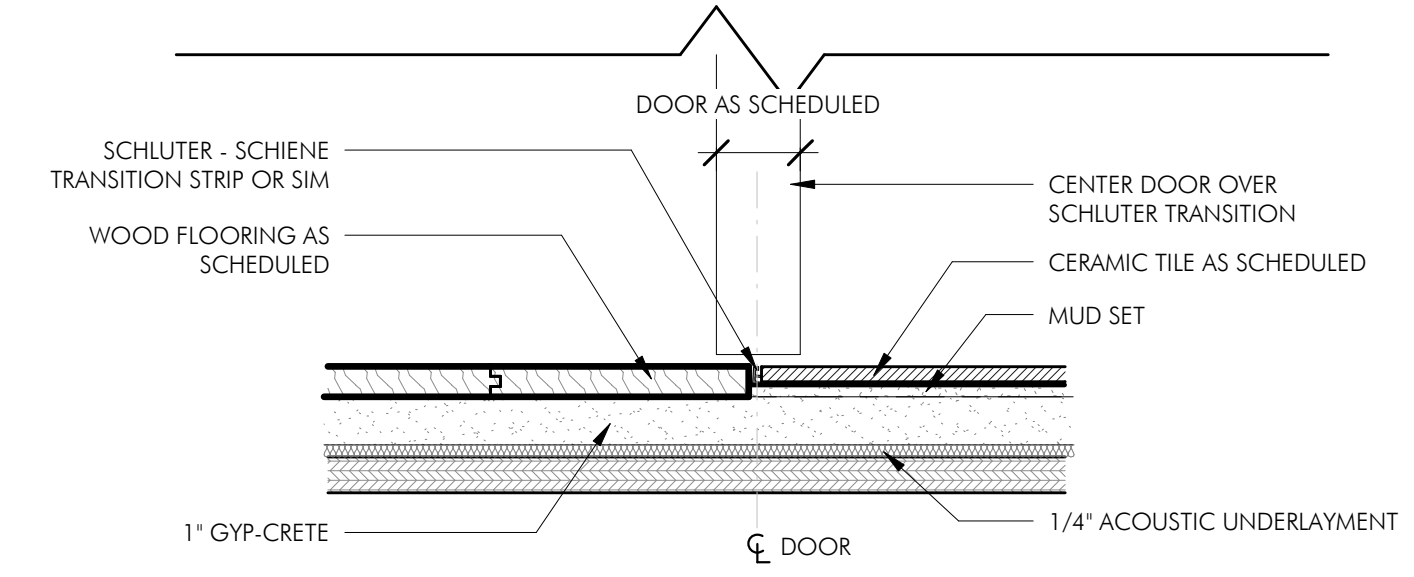
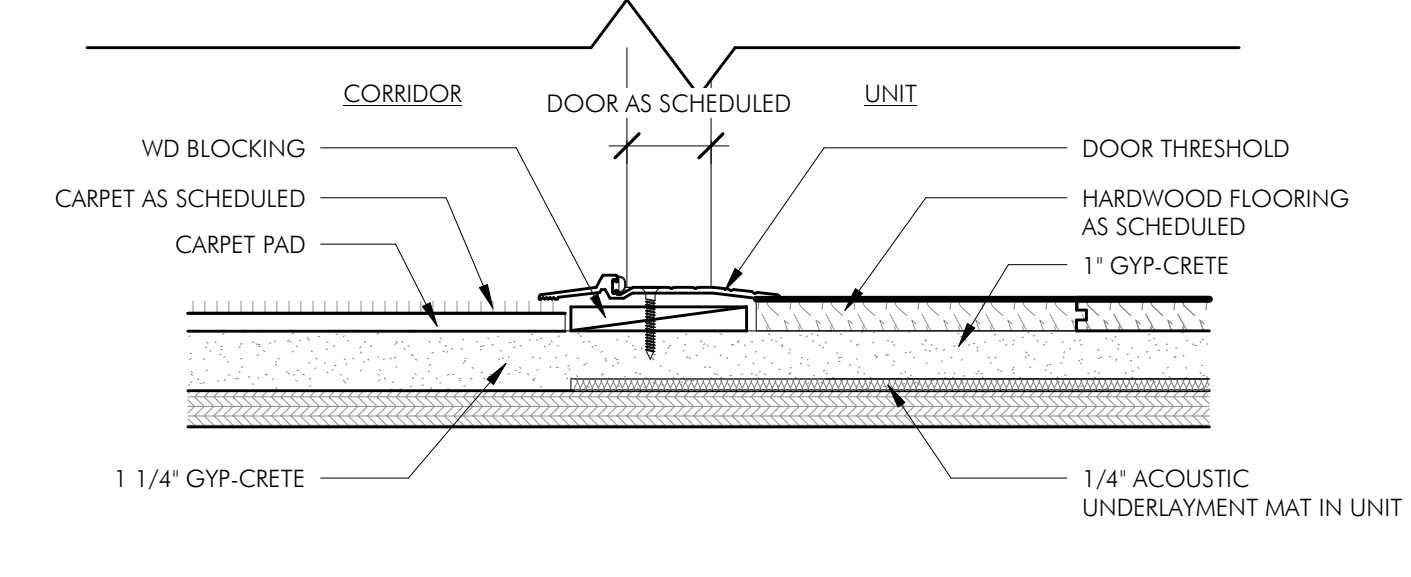
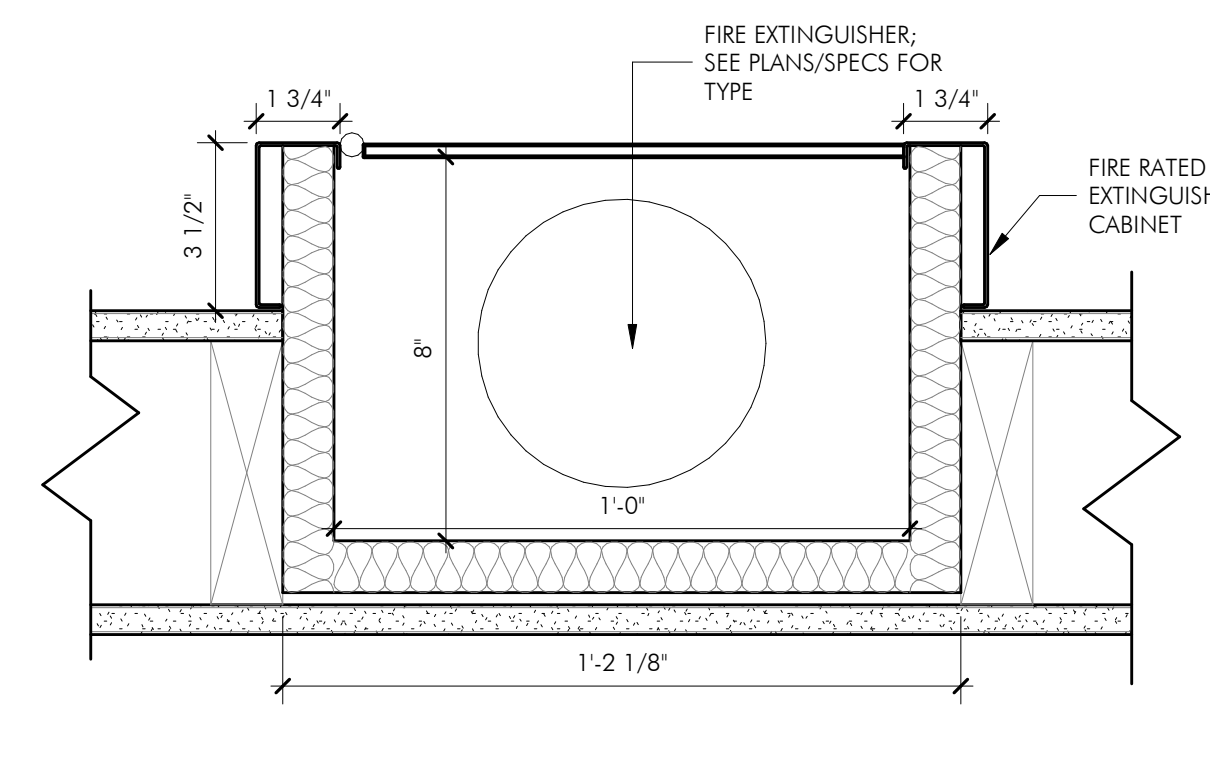
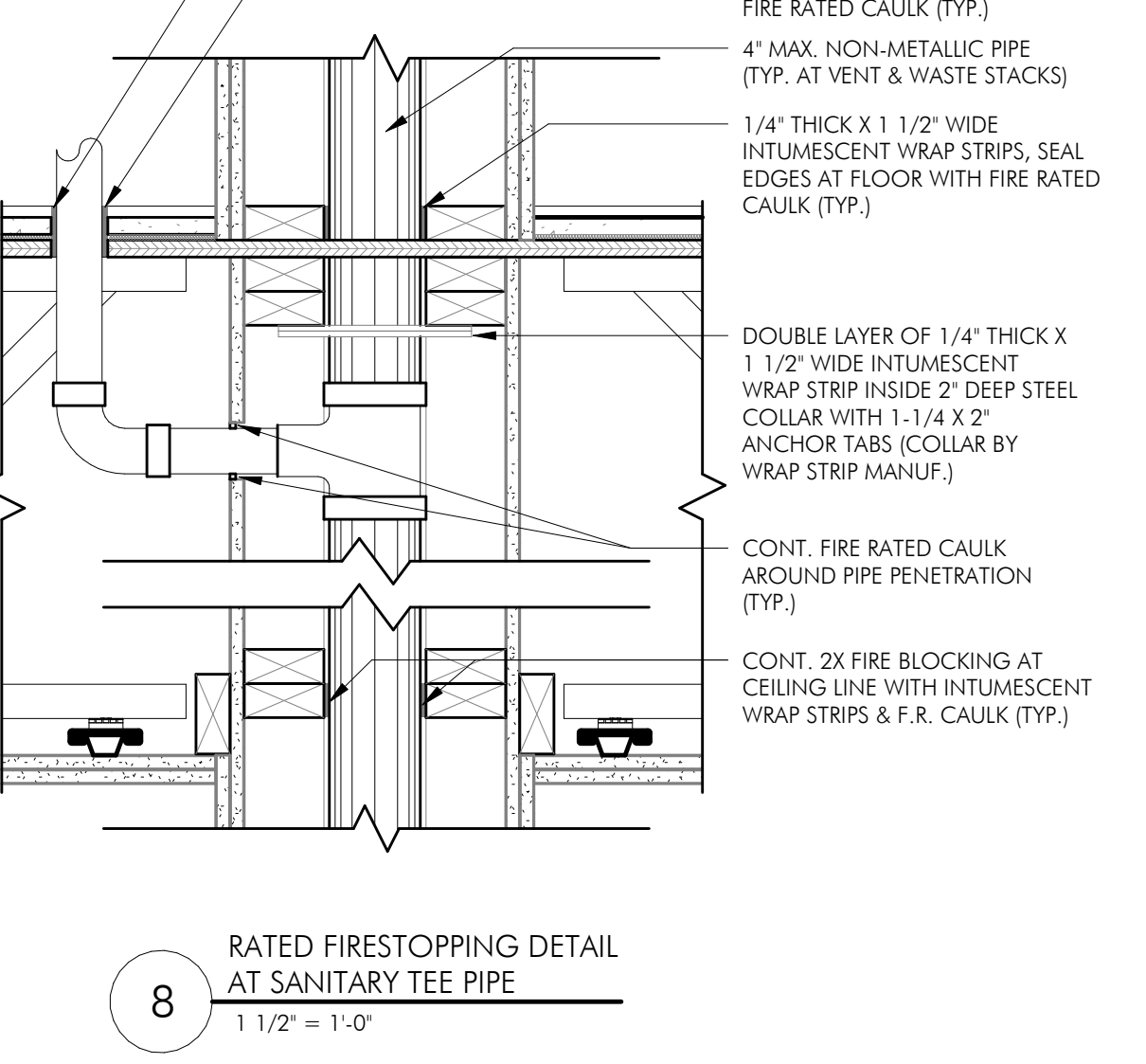
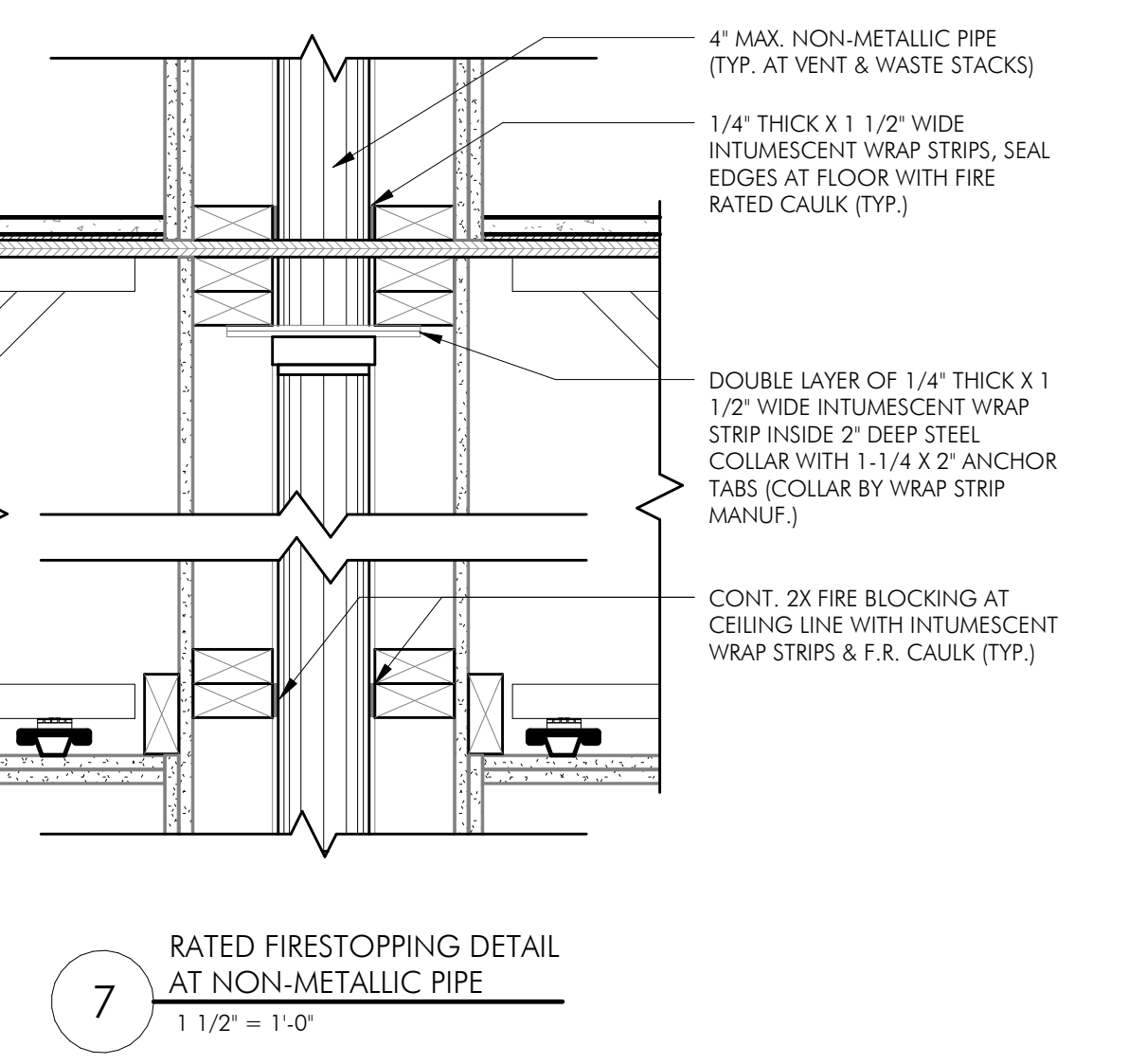
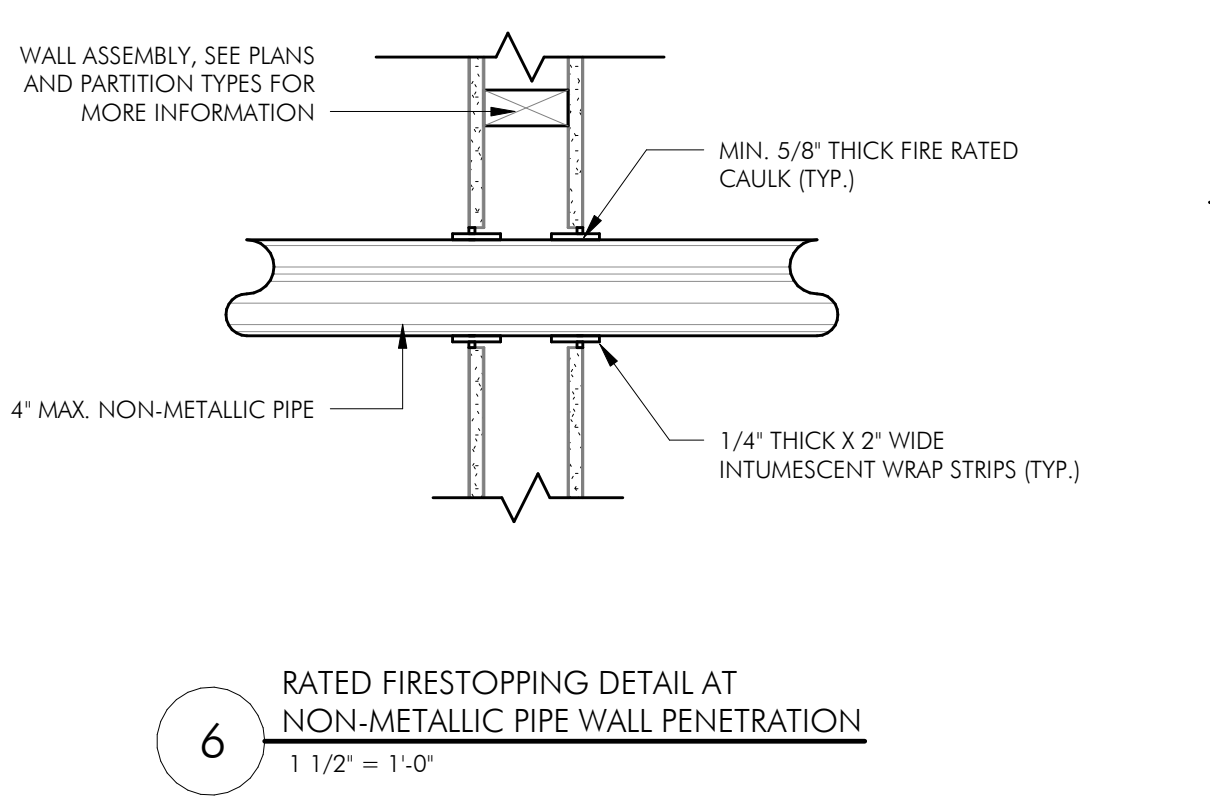
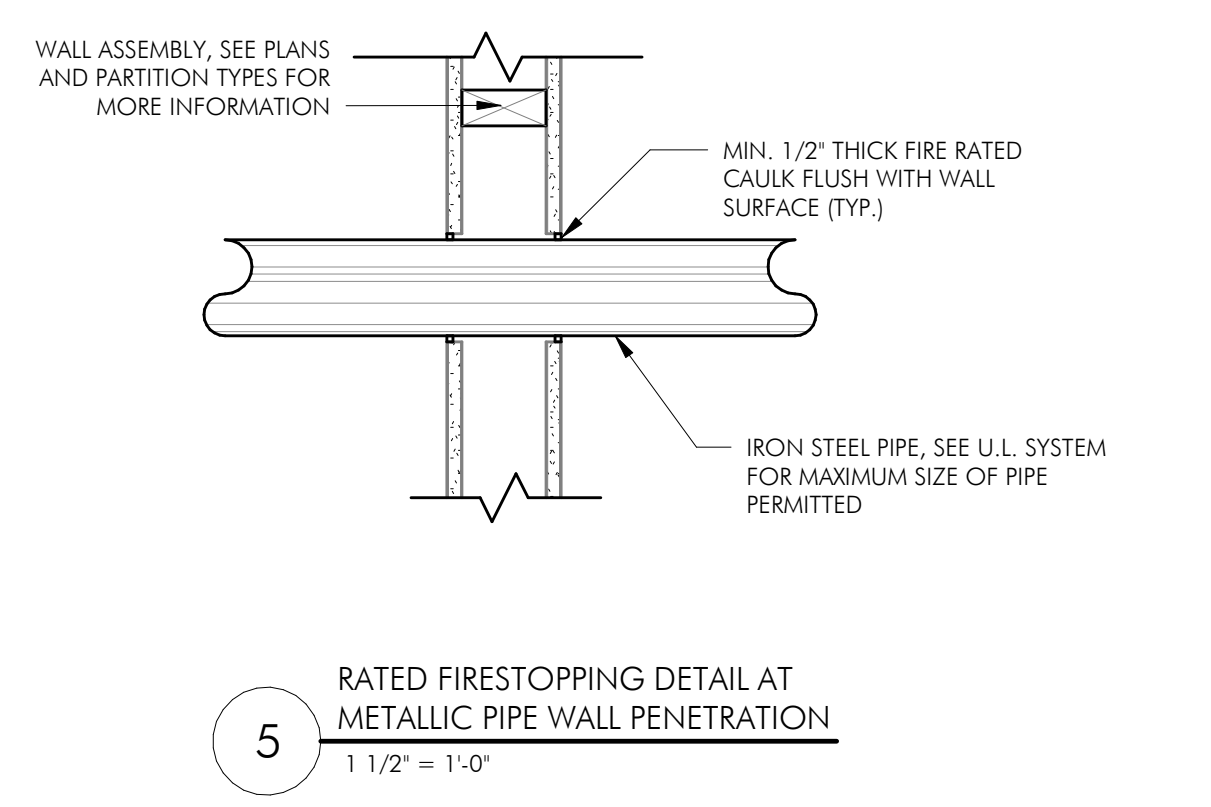
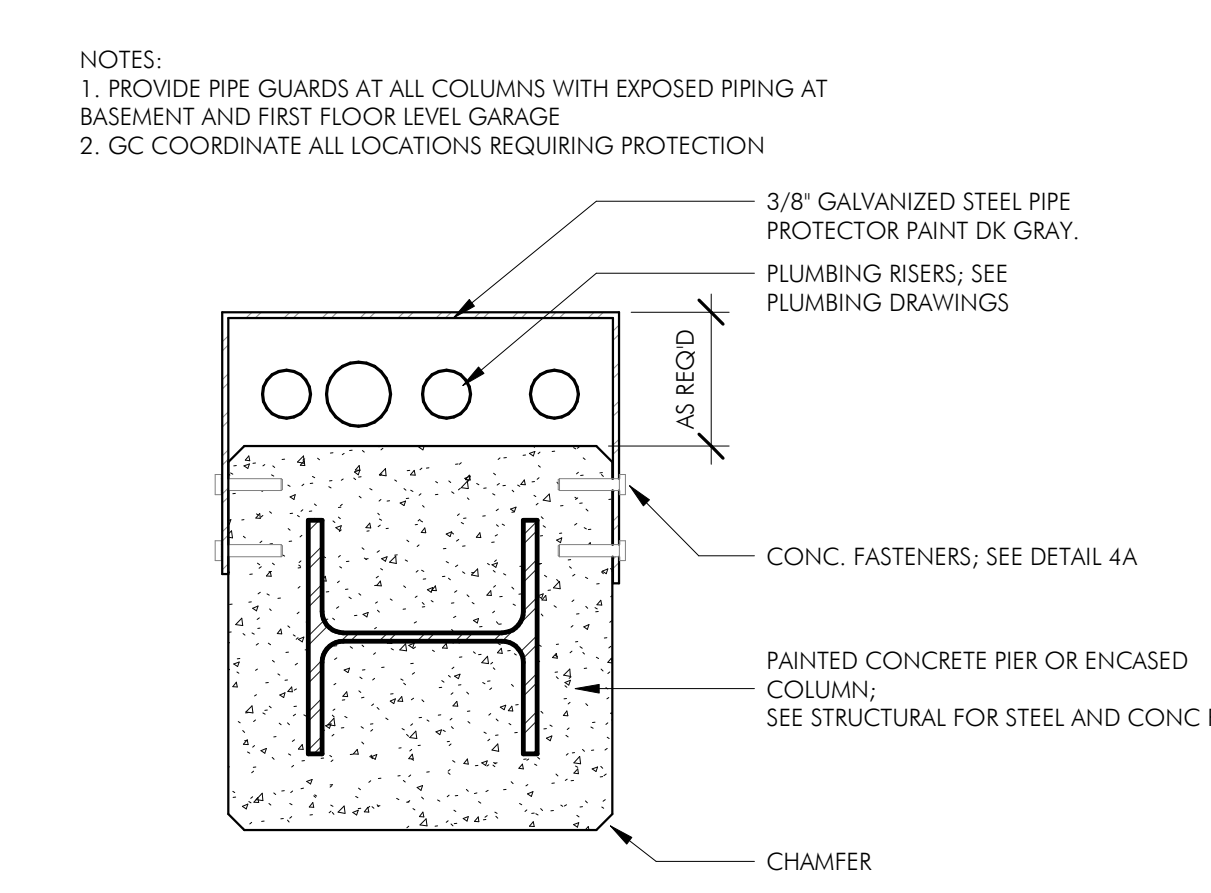
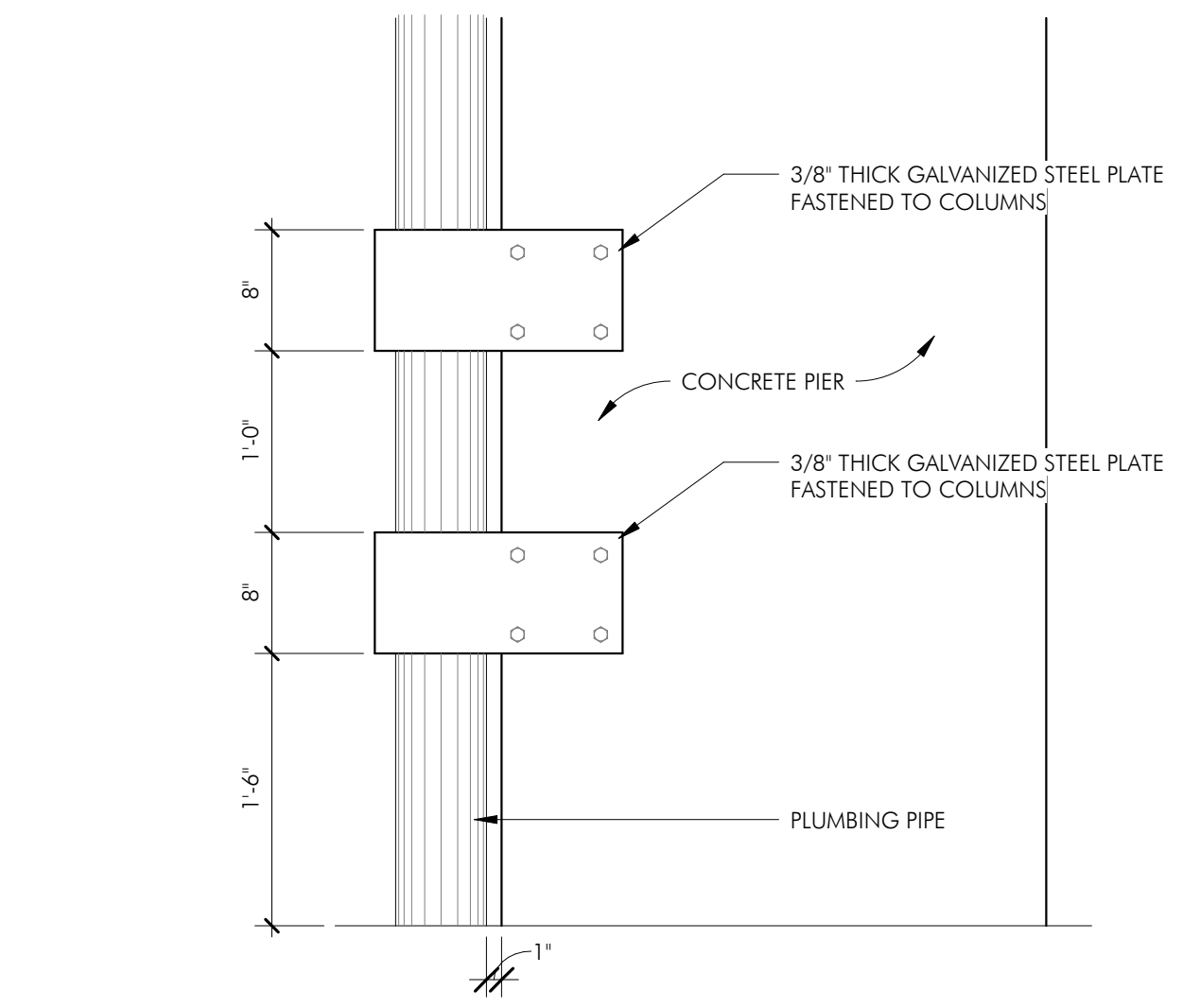
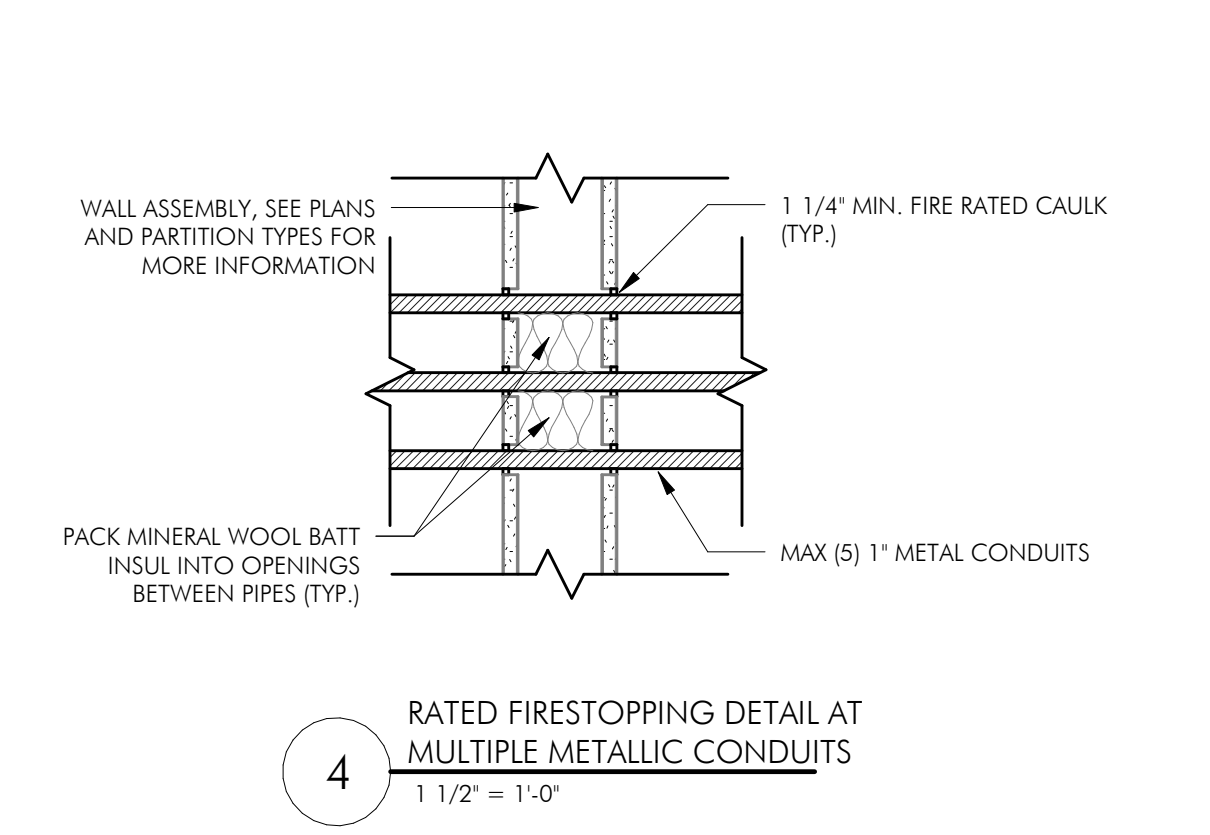
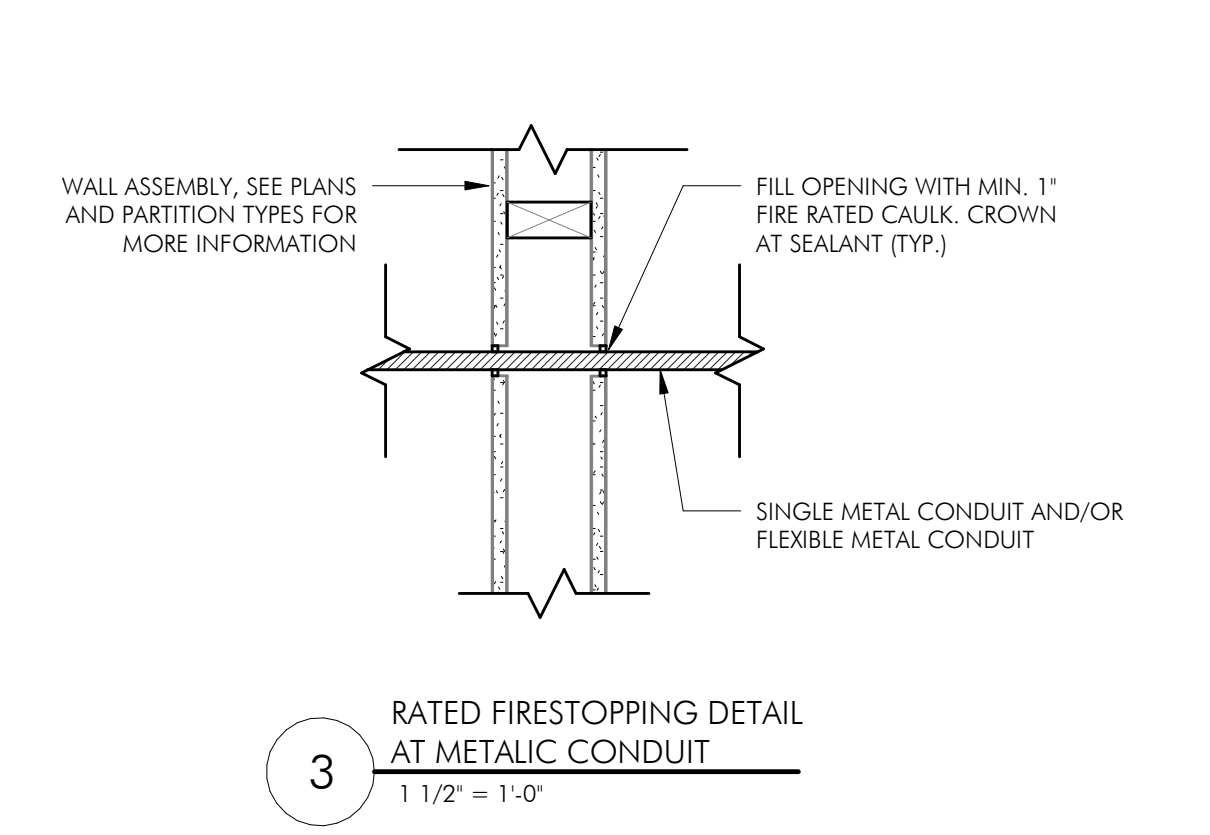
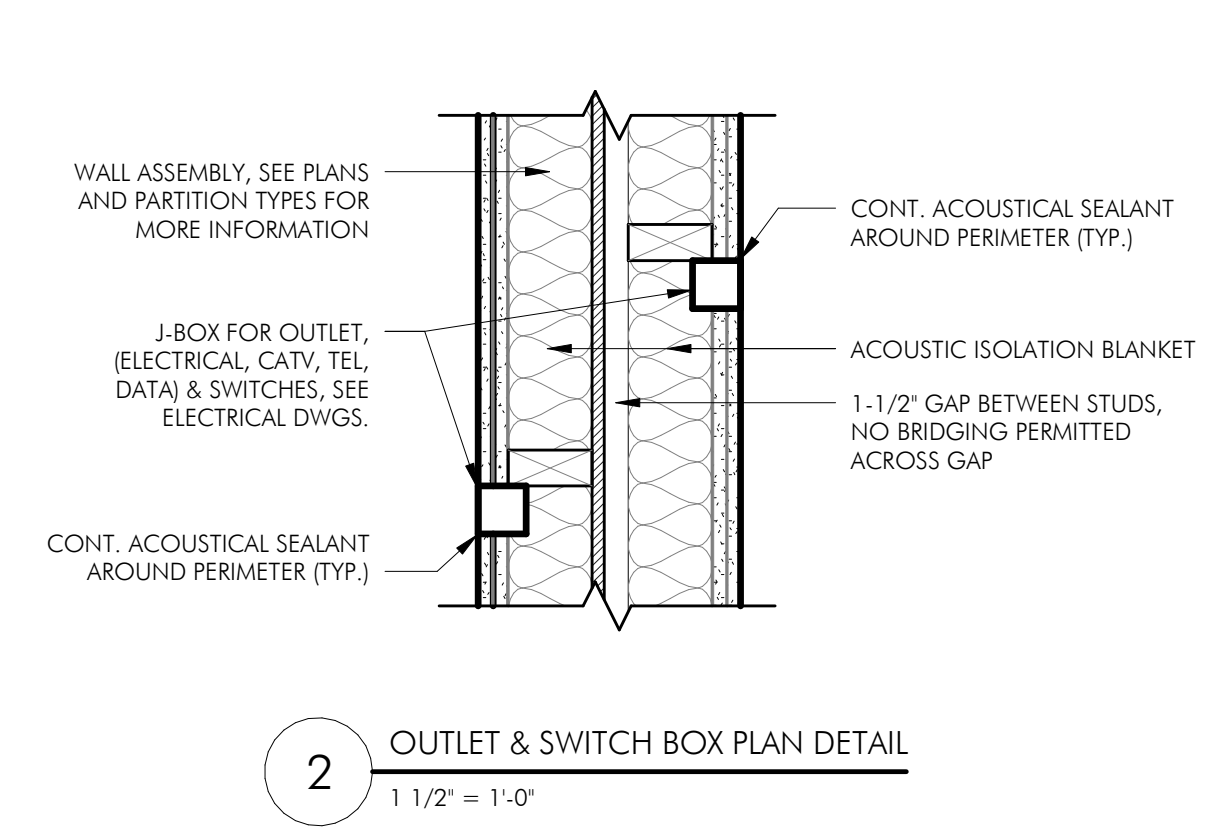
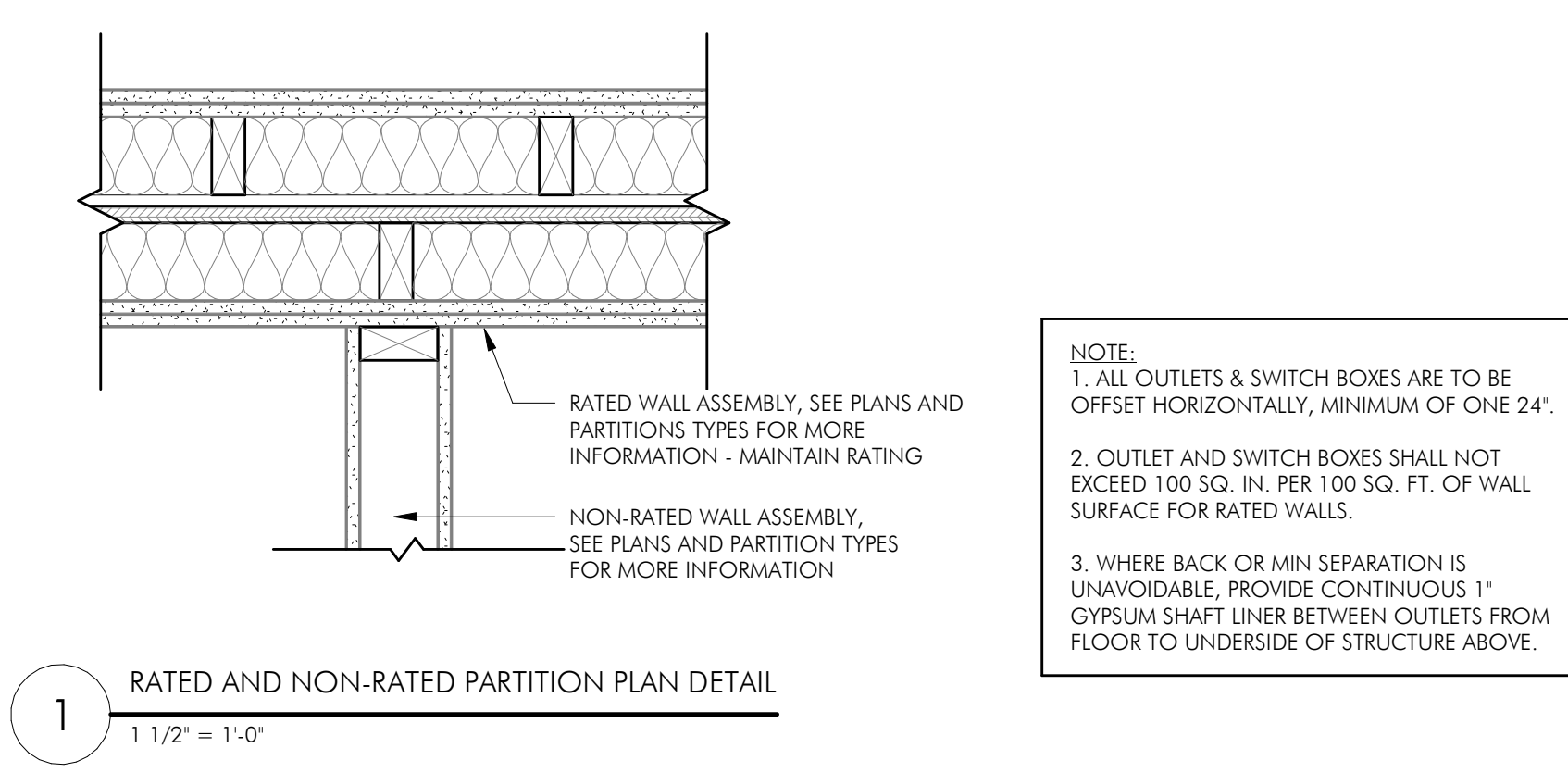


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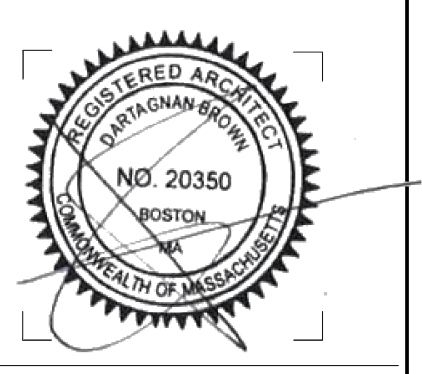
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
 TYPICAL  
 HORIZONTAL  
 ASSEMBLIES

DRAWING NUMBER  
**A008**



MARK	ISSUE	DATE



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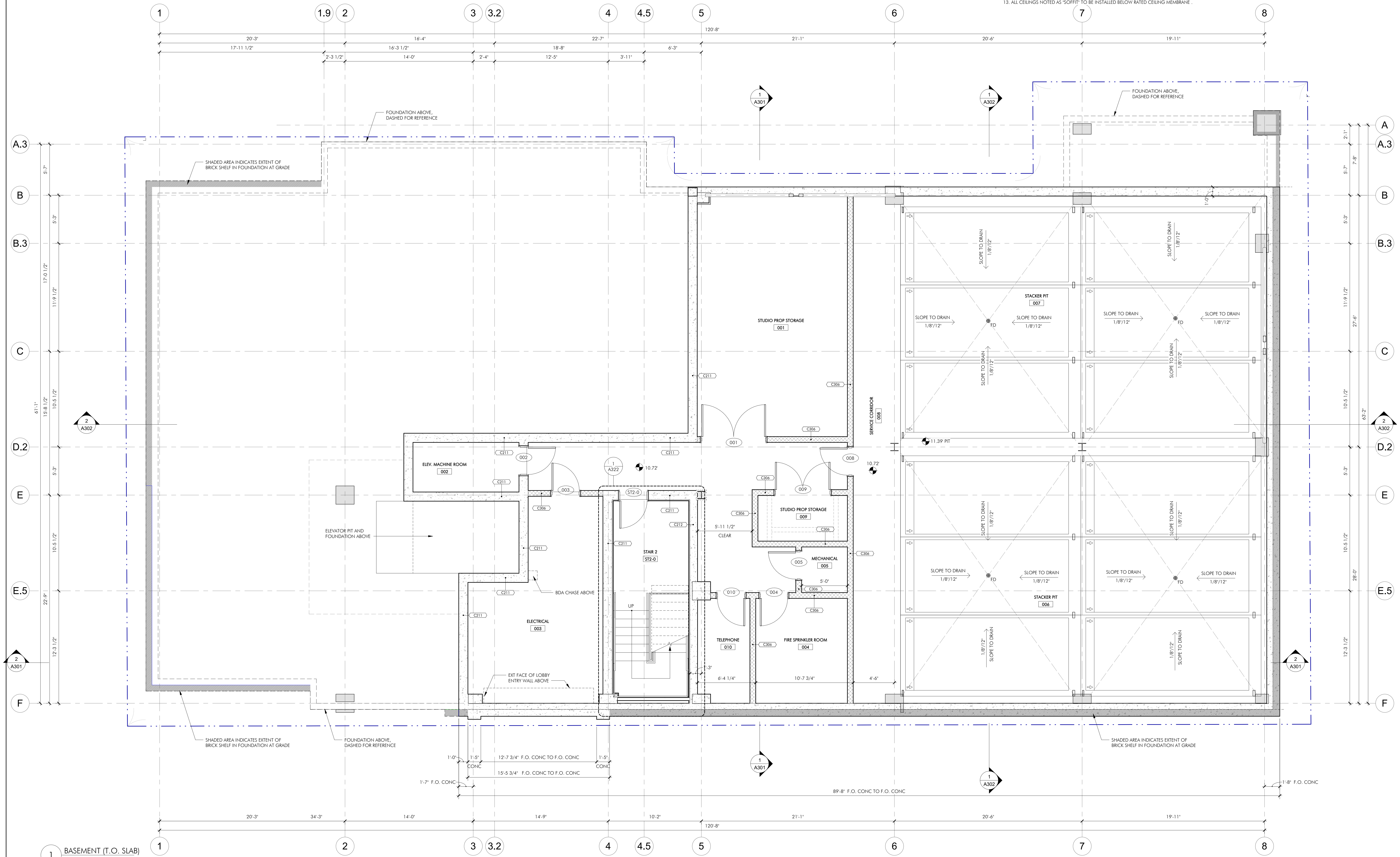
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**TYPICAL DETAILS**

DRAWING NUMBER  
**A009**

GENERAL PLAN NOTES

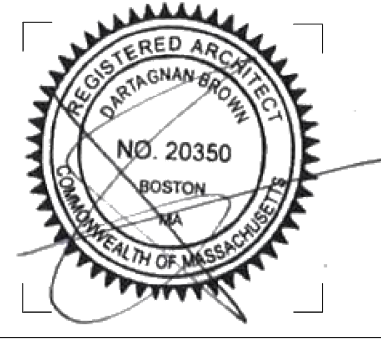
1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC.). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO INDIVIDUAL UNITS FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR, REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
12. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
13. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING MEMBRANE.



33 A STREET  
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REVISIONS

MARK	ISSUE	DATE
2	A301	
2	A302	



DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**BASEMENT FLOOR PLAN**

DRAWING NUMBER  
**A100**

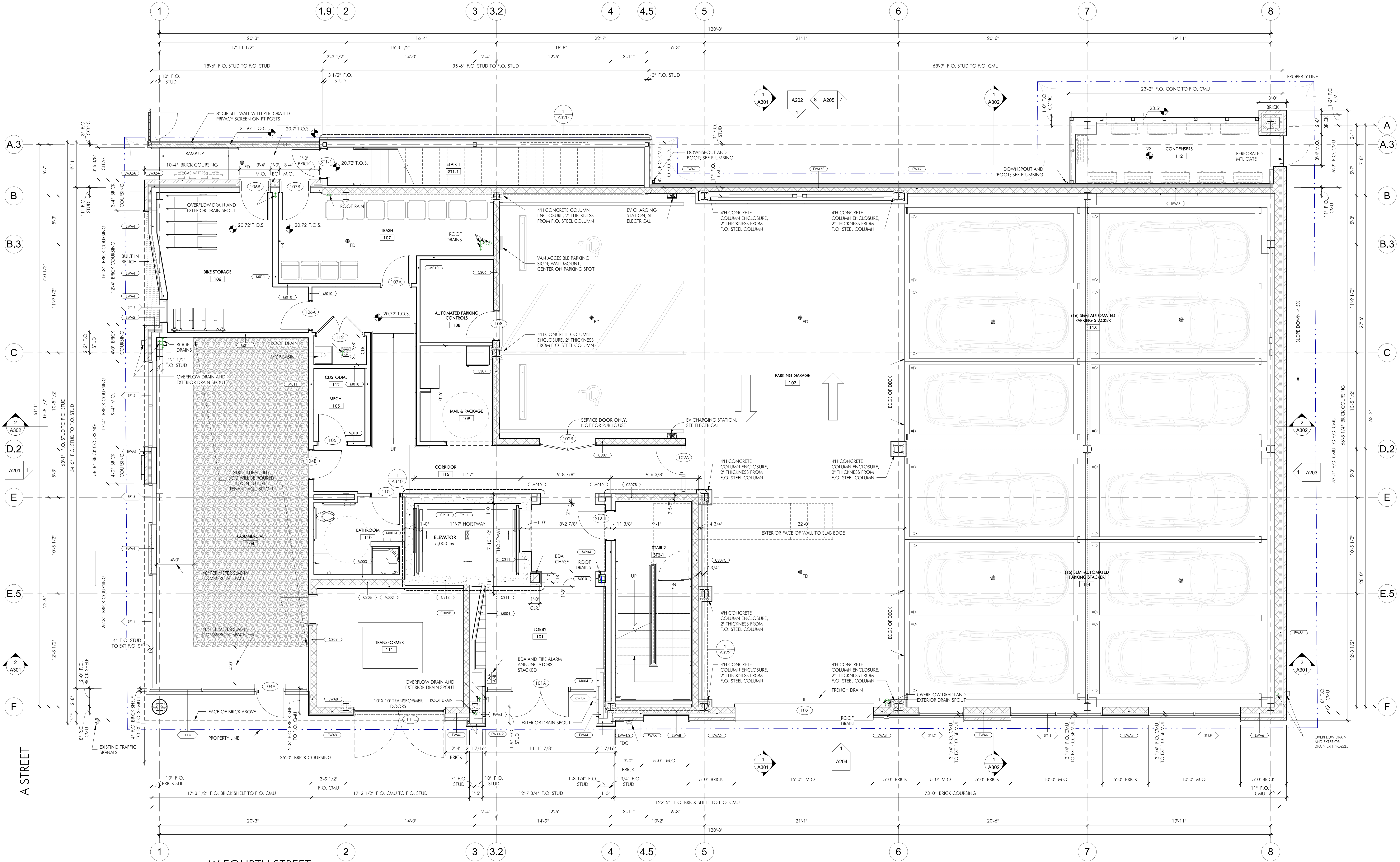


GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OR "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO INDIVIDUAL UNITS FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
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6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
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10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 1' FROM AN INTERIOR CORNER.
12. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
13. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING MEMBRANE.

GENERAL PLAN LEGEND

- SEMI-RECESSED FIRE EXTINGUISHER



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 SOUTH BOSTON, MA  
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REVISIONS

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DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
 DATE: 09/07/2022  
 PROJECT #: 202020  
 SCALE: As indicated

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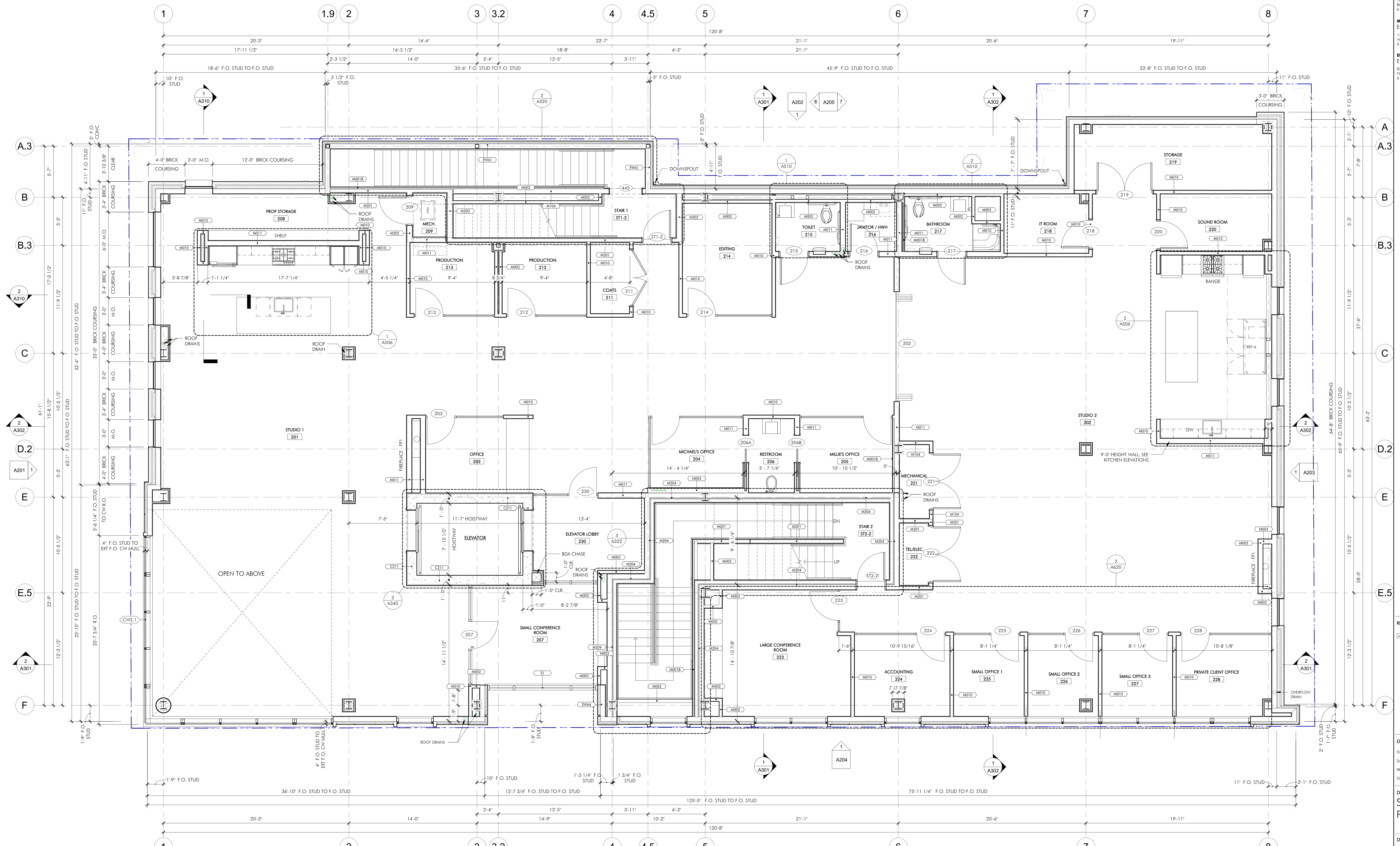
**FIRST FLOOR PLAN**

DRAWING NUMBER

**A101**

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OR "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC.) IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO INDIVIDUAL UNITS FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION.
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5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
12. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
13. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING MEMBRANE.



**33 A STREET**  
SOUTH BOSTON, MA

**ISSUED FOR CONSTRUCTION**

MARK	ISSUE	DATE

**DRAWING INFORMATION**

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
SECOND FLOOR PLAN

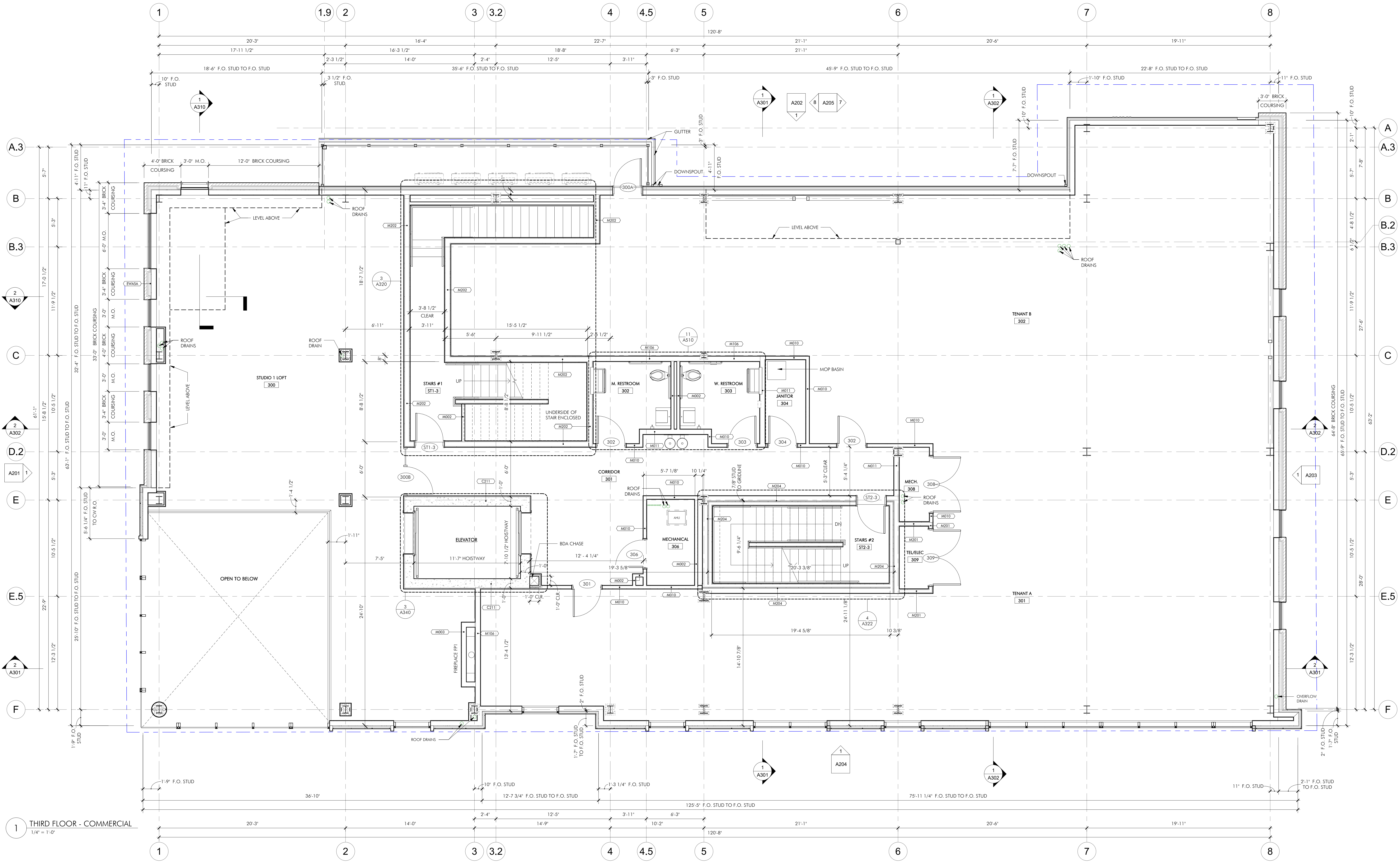
**DRAWING NUMBER**  
A102

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**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OR "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO INDIVIDUAL UNITS FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR, REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
12. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
13. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING MEMBRANE.



**1 THIRD FLOOR - COMMERCIAL**  
1/4" = 1'-0"

**33 A STREET**  
 SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

MARK	ISSUE	DATE



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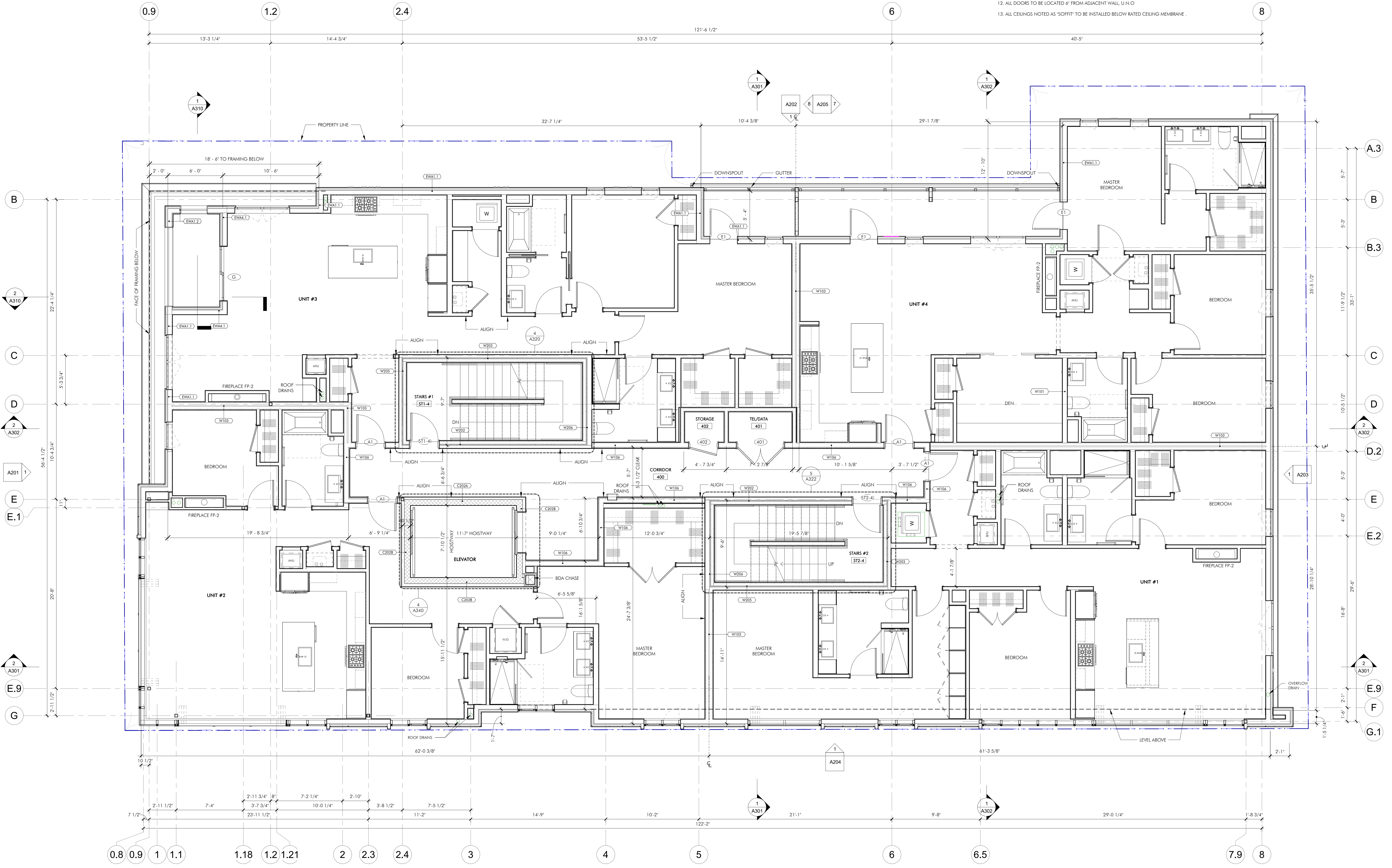
ISSUE:	ISSUED FOR CONSTRUCTION
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PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**THIRD FLOOR PLAN**

DRAWING NUMBER  
**A103**

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OR "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC), IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO INDIVIDUAL UNITS FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
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7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
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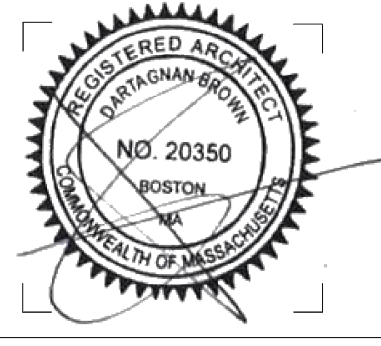


**1** FOURTH FLOOR - RESIDENTIAL  
1/4" = 1'-0"

**33 A STREET**  
 SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

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PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**FOURTH FLOOR PLAN**

DRAWING NUMBER  
**A104**

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**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
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**ARCHITECT**  
**EMBARC**  
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 BOSTON, MA 02118  
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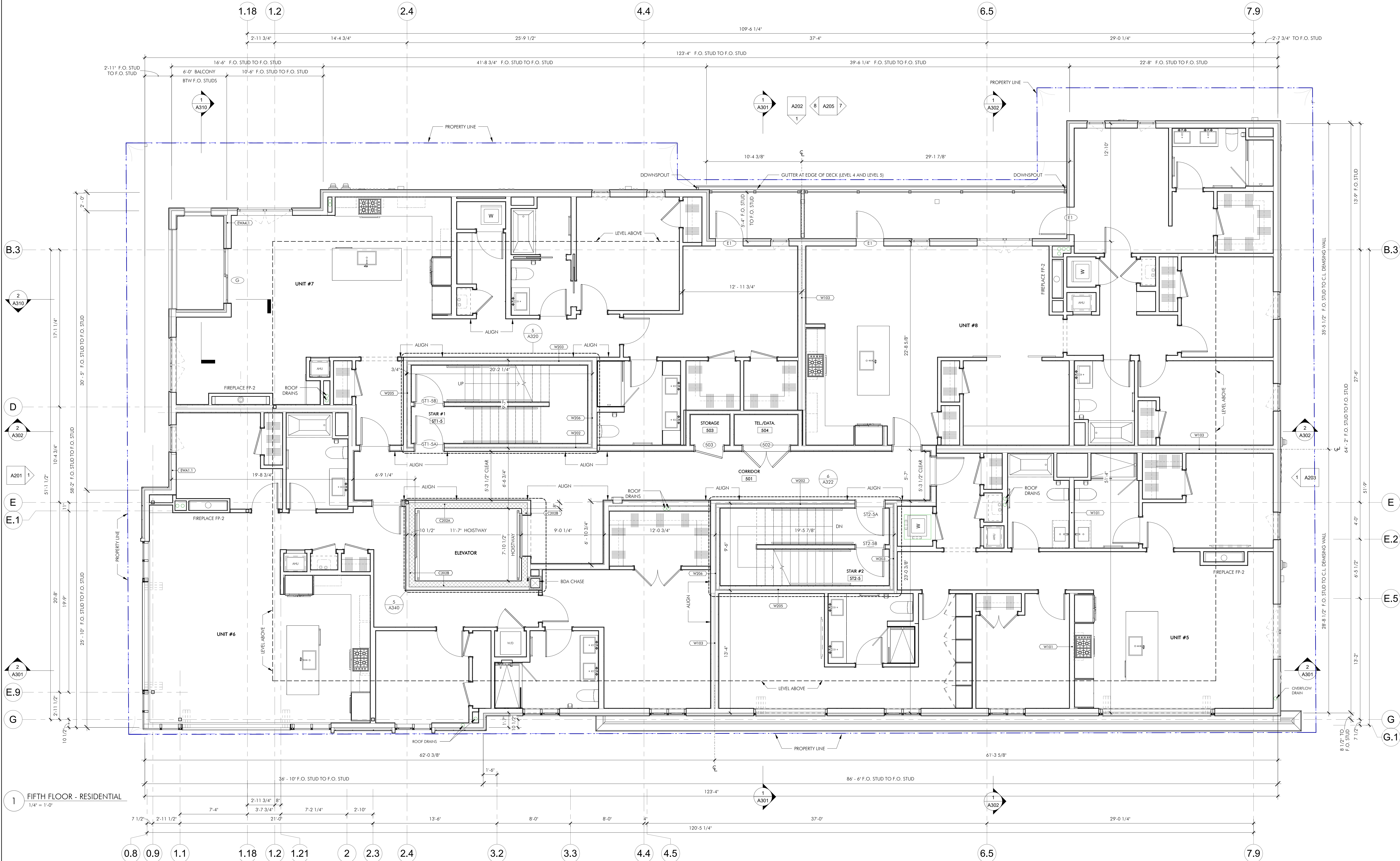
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**CONSULTANTS**  
**CHIL**  
 COLUMBIA DESIGN GROUP  
 14 UPMAN AVE.  
 DORCHESTER, MA 02125  
 617.586.1474

**STRUCTURAL**  
 H+O STRUCTURAL ENGINEERING  
 185 SUMNER ST. SUITE 1800  
 BOSTON, MA 02210  
 617.938.3349

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 135 BEAVER STREET, SUITE 404  
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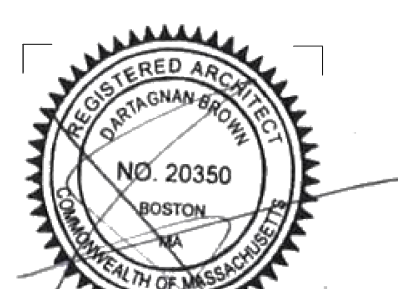
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**33 A STREET**  
 SOUTH BOSTON, MA

**REVISIONS**

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**DRAWING INFORMATION**

ISSUE: ISSUED FOR CONSTRUCTION  
 DATE: 02/07/2022  
 PROJECT #: 20020  
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**DRAWING TITLE**  
**FIFTH FLOOR PLAN**

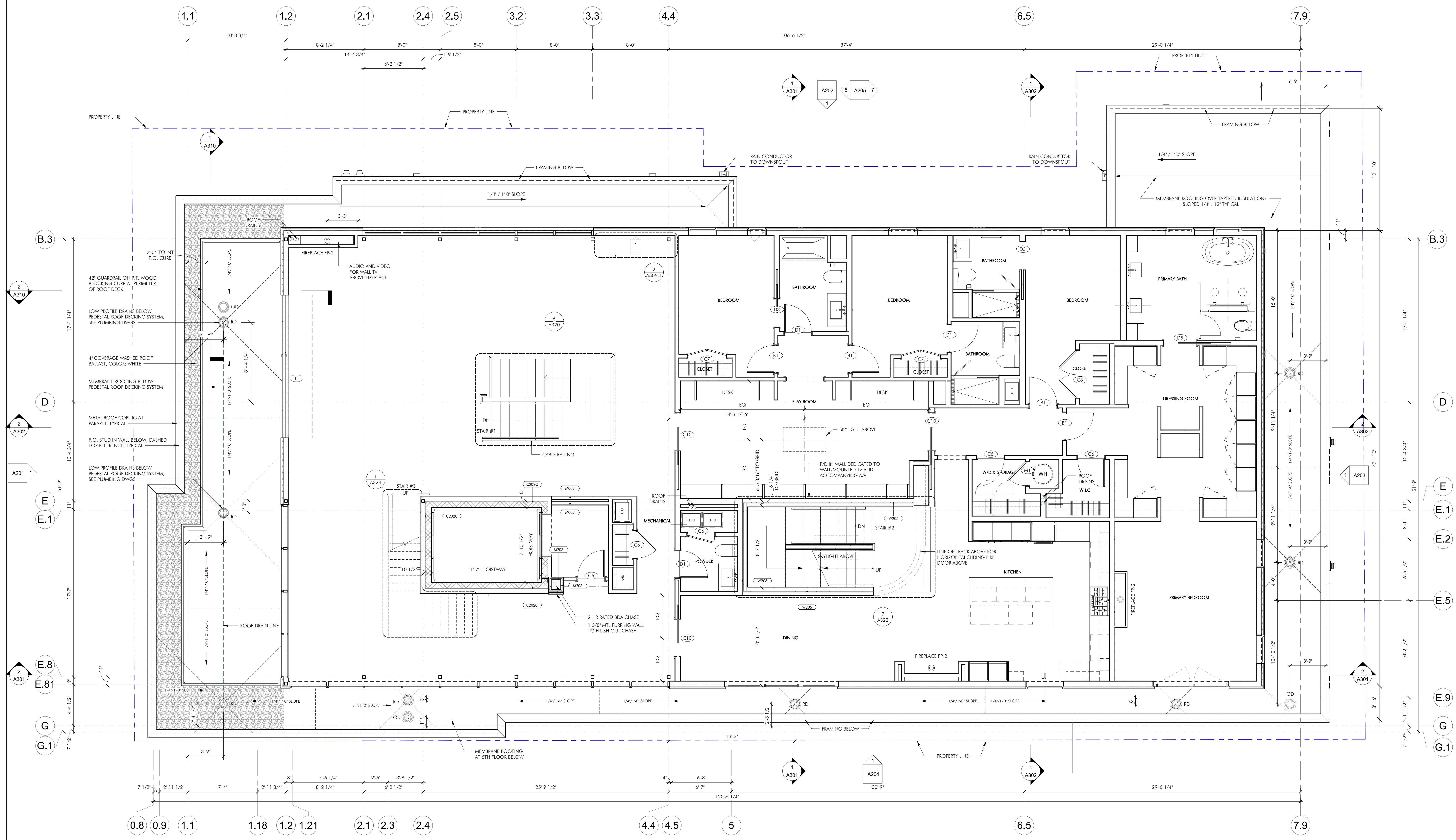
**DRAWING NUMBER**

**A105**

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**GENERAL PLAN NOTES**

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**ISSUED FOR CONSTRUCTION**

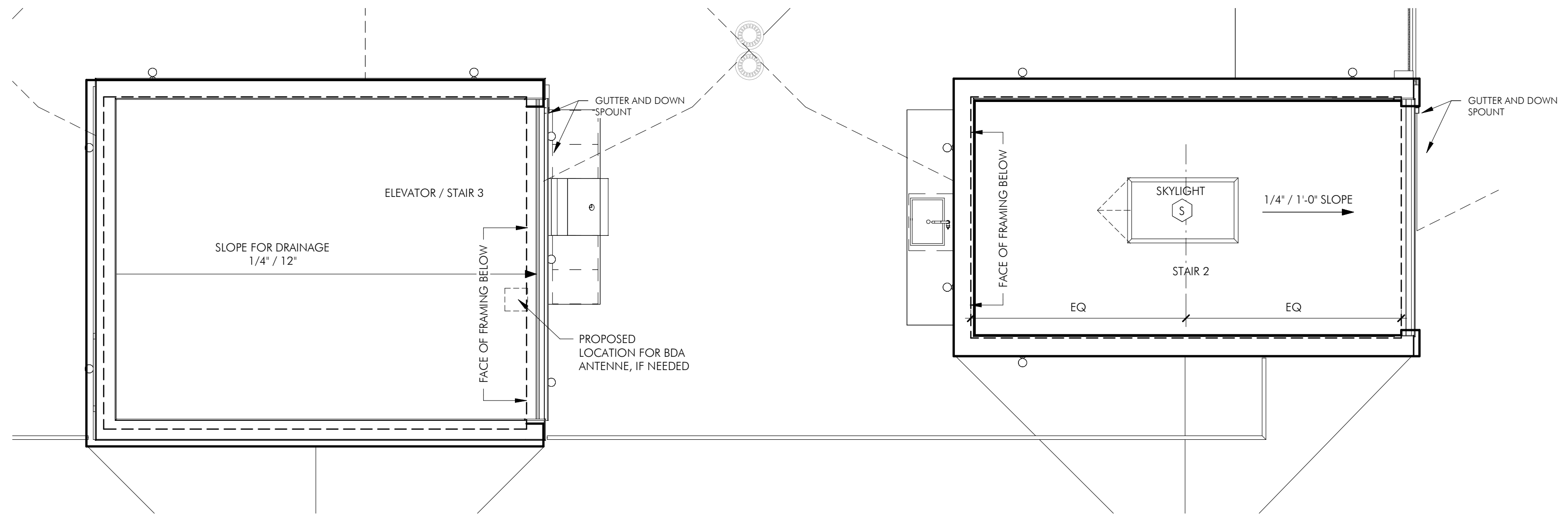
**REVISIONS**

MARK	ISSUE	DATE
1	ISSUED FOR CONSTRUCTION	02/07/2022

**DRAWING INFORMATION**  
 ISSUE: ISSUED FOR CONSTRUCTION  
 DATE: 02/07/2022  
 PROJECT #: 20020  
 SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
 SIXTH FLOOR  
 PLAN

**DRAWING NUMBER**  
**A106**



2 PARTIAL ROOF PLAN AT ELEVATOR AND STAIR  
1/4" = 1'-0"

- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
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  13. ALL CEILINGS NOTED AS 'SOFFIT' TO BE INSTALLED BELOW RATED CEILING MEMBRANE.

**ARCHITECT**  
**EMBARC**  
 530 HARRISON AVE, SUITE 217  
 BOSTON, MA 02118  
 O: 617.765.8000  
 www.embarcdesign.com

**OWNER**  
 MICHAEL INDRESANO  
 33 A ST, BOSTON, MA 02127

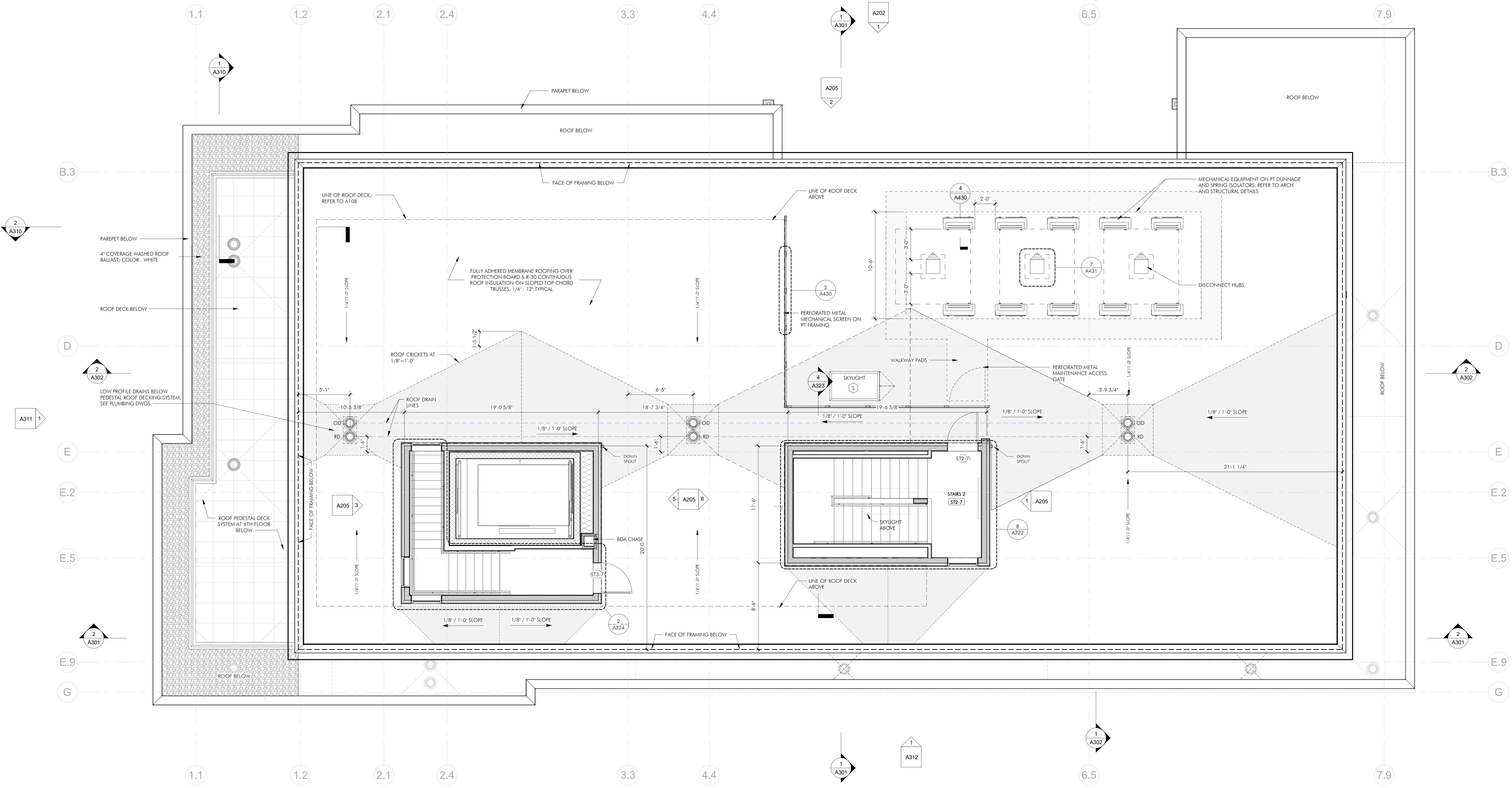
**CONSULTANTS**

**CIVIL**  
 COLUMBIA DESIGN GROUP  
 14 UPMAN AVE.  
 DORCHESTER, MA 02125  
 617.506.1474

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 H+O STRUCTURAL ENGINEERING  
 185 SUMNER ST, SUITE 1800  
 BOSTON, MA 02210  
 617.938.3349

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 135 BEAVER STREET, SUITE 404  
 WALTHAM, MA 02452  
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1 ROOF LEVEL  
1/4" = 1'-0"

**33 A STREET**  
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**DRAWING INFORMATION**

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
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**DRAWING TITLE**  
 ROOF PLANS

**DRAWING NUMBER**  
 A107

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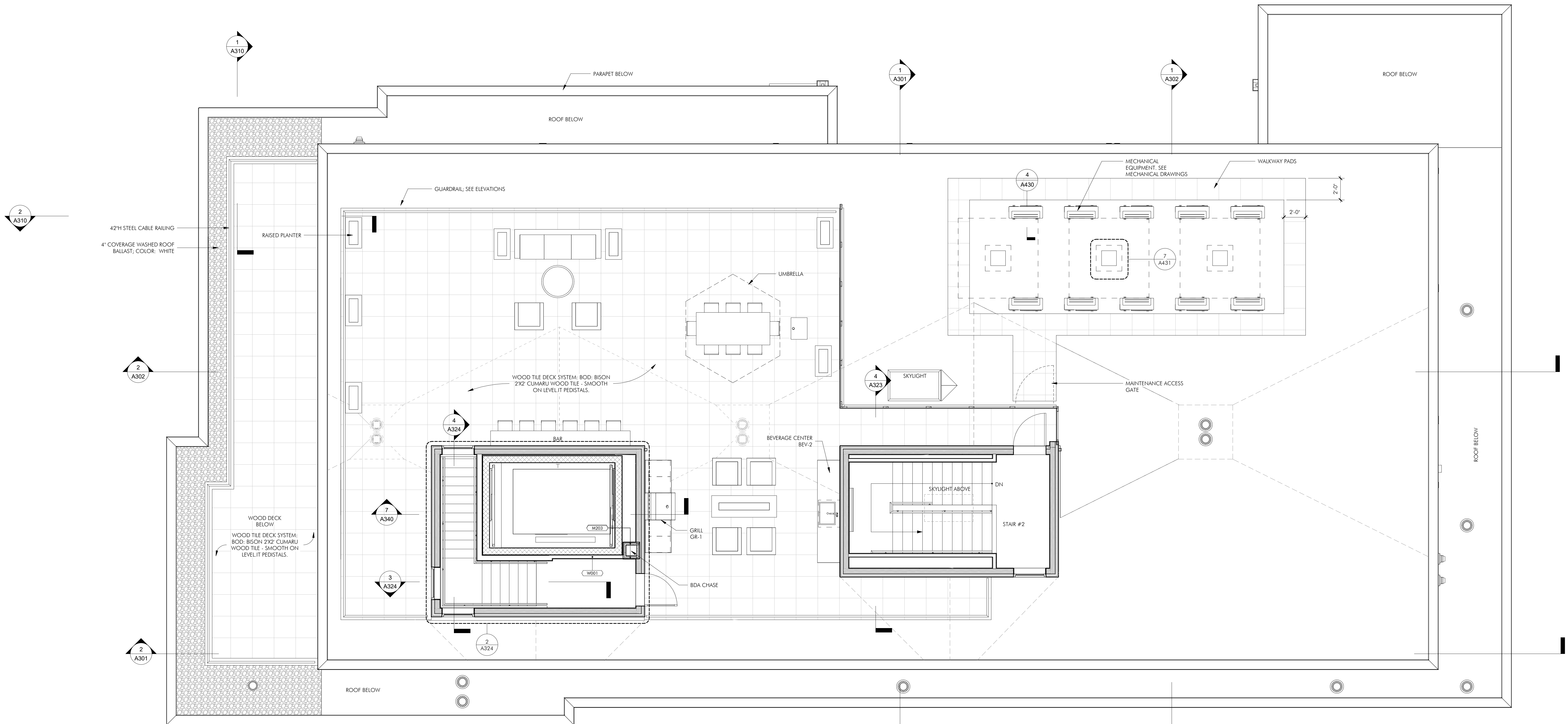
CONSULTANTS

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617.598.1474

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185 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

DRAWING TITLE  
ROOF DECK PLAN

DRAWING NUMBER

A108



SHEET NOTES

- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN.
- CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING.
- CONTRACTOR TO REVIEW FINAL SCIENCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.
- ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS.
- SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM "DGLV", OR EQUAL.
- SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG WALL-TO-WALL SUSPENSION SYSTEM "DW", OR EQUAL.
- ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED.
- ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE.
- RE: ELECTRICAL FOR FIXTURE SPECIFICATIONS.
- ALL LIGHT FIXTURE PENETRATIONS AT FLOOR/CEILING ASSEMBLIES NEED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

ARCHITECT  
**EMBARC**  
580 HARRISON AVE. SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER  
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33 A ST. BOSTON, MA 02127

CONSULTANTS  
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14 UPMAN AVE.  
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617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
180 SUMMIT ST. SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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SOUTH BOSTON, MA

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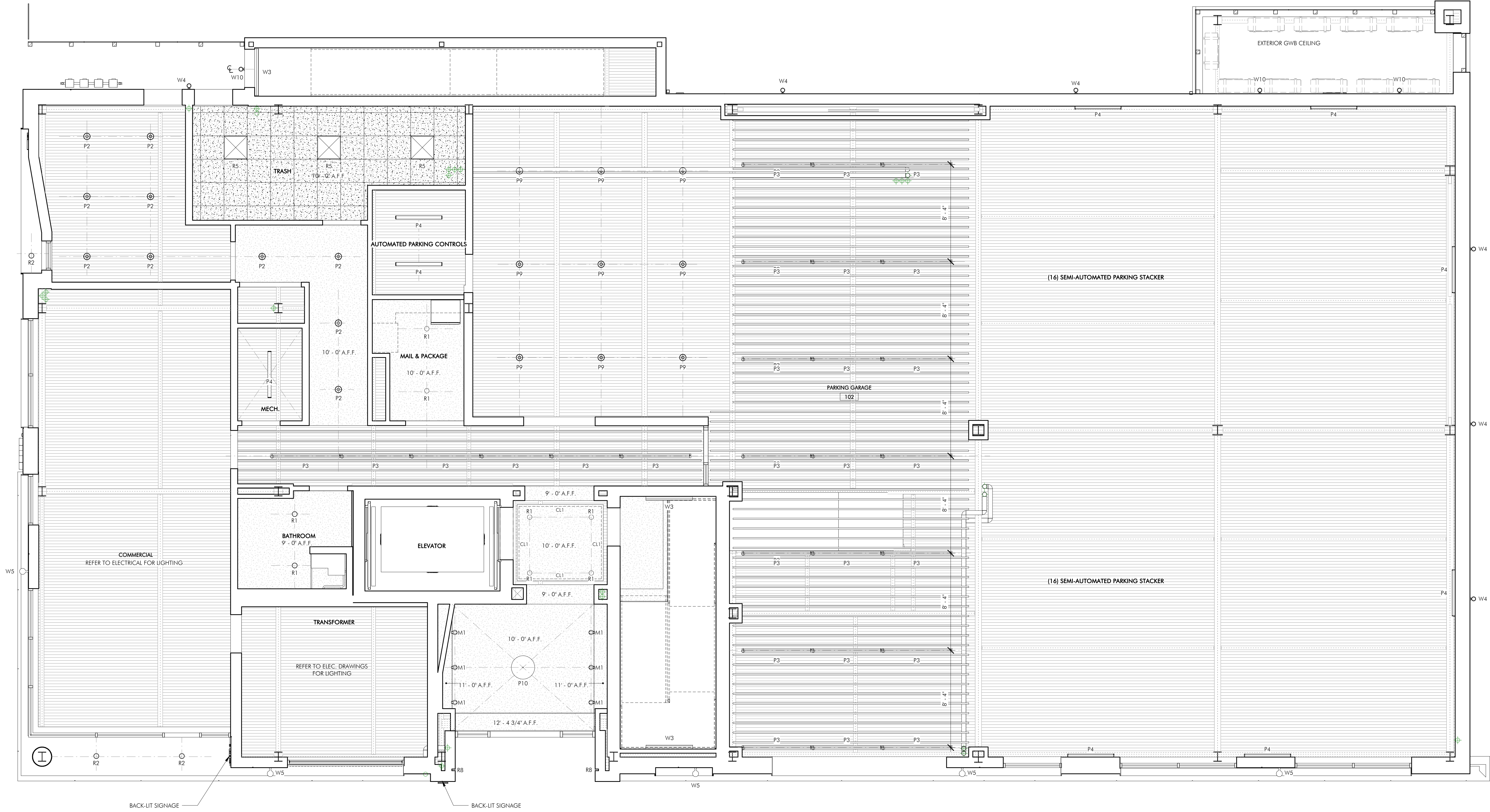


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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**FIRST FLOOR REFLECTED CEILING PLAN**

DRAWING NUMBER  
**A111**

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LIGHTING | CEILING LEGEND

R1 4" RECESSED LIGHT	W1 UNIT ENTRY SCIENCE	P1 KITCHEN PENDANT - (IN UNIT)	S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	T1 12' TRACK LIGHT	GYPSUM BOARD CEILING
R2 EXTERIOR RECESSED LIGHT	W2 24" WALL MOUNTED STRIP LIGHT	P2 GENERAL LIGHTING PENDANT	S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	T2 6' TRACK LIGHT	2X2 ACOUSTIC CEILING TILE
R3 PLUCK LIGHT (PENTHOUSE)	W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 5" ABOVE STAIR LANDING	P3 6' SUSPENDED DIRECT/INDIRECT LIGHT	S3 8" SURFACE MOUNTED ACCENT LIGHT	MR3 ELECTRIC MIRROR	2X4 ACOUSTIC CEILING TILE
R4 2" PIN LIGHT	W4 EXTERIOR WALL SCIENCE SINGLE LIGHT	P4 4' SURFACE MOUNTED LINEAR LIGHT	S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	MR4 ELECTRIC MIRROR	2' x 1 1/2' US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
R5 2X2 RECESSED LIGHT	W5 EXTERIOR WALL SCIENCE DOUBLE LIGHT	P5 DECORATIVE PENDANT (LOBBY)	CL1 LED TAPE LIGHT	UC UNDER CABINET LIGHT	2-HOUR RATED CEILING ASSEMBLY
R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY	W6 WALL SCIENCE	P6 DECORATIVE PENDANT	EP2 BATHROOM EXHAUST FAN (PENTHOUSE)	EXPOSED METAL DECK, PTD.	R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1 2 1/2" URETH OR DC-315 THERMAL BARRIER COLOR: LT GRAY
R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	W7 EXTERIOR WALL SCIENCE	P7 KITCHEN PENDANT (PENTHOUSE)	MR1 MIRROR LIGHTS	EXPOSED WOOD DECK BORAD	
M1 MONOPOINT LIGHT	W8 CLOSET LIGHT	P8 COMMERCIAL KITCHEN PENDANT	P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)		
	W9 WALL SCIENCE	P9 PARKING LIGHT PENDANT			
	W10 WALL SCIENCE W. EMERGENCY BATTERY	P10 DECORATIVE PENDANT (LOBBY)			

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SHEET NOTES

- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN
- CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING.
- CONTRACTOR TO REVIEW FINAL SCONCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.
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ARCHITECT  
**EMBARC**  
580 HARRISON AVE, SUITE 25W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

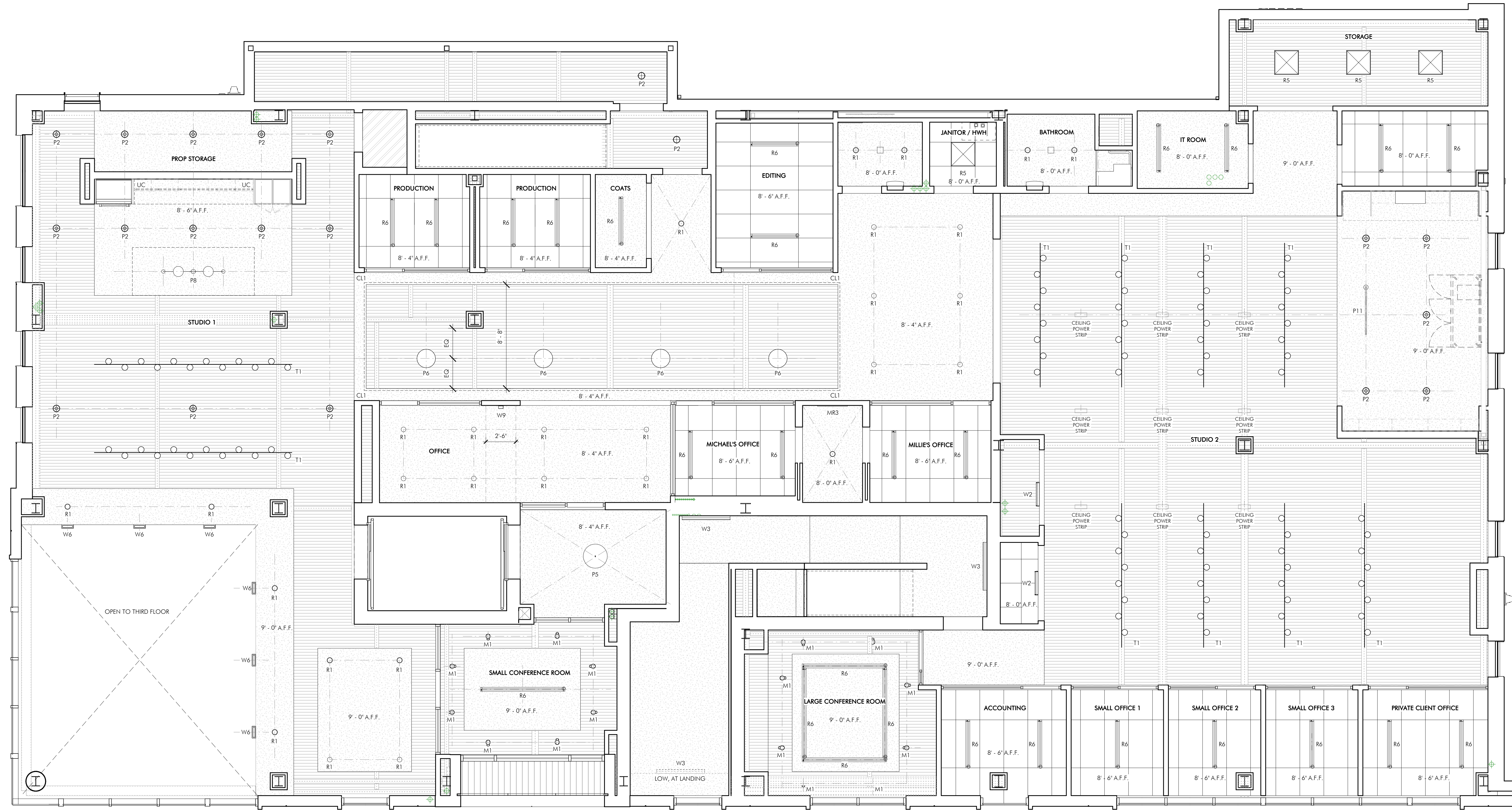
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MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

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**CIVIL**  
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14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.586.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMMER ST. SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

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831 BEACON ST. #115  
NEWTON CENTRE, MA 02459  
617.446.3114



LIGHTING | CEILING LEGEND

○ R1 4" RECESSED LIGHT	— W1 UNIT ENTRY SCONCE	⊙ P1 KITCHEN PENDANT (IN UNIT)	○ S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T1 12' TRACK LIGHT	□ GYPSUM BOARD CEILING
○ R2 EXTERIOR RECESSED LIGHT	— W2 24" WALL MOUNTED STRIP LIGHT	⊙ P2 GENERAL LIGHTING PENDANT	○ S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T2 6' TRACK LIGHT	□ 2X2 ACOUSTIC CEILING TILE
• R3 PLUCK LIGHT (PENTHOUSE)	— W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 8" ABOVE STAIR LANDING	— P3 6" SUSPENDED DIRECT/INDIRECT LIGHT	○ S3 8" SURFACE MOUNTED ACCENT LIGHT	— MR3 ELECTRIC MIRROR	□ 2X4 ACOUSTIC CEILING TILE
■ R4 2" PIN LIGHT	— W4 EXTERIOR WALL SCONCE SINGLE LIGHT	— P4 4" SURFACE MOUNTED LINEAR LIGHT	○ S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR4 ELECTRIC MIRROR	□ 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
⊗ R5 2X2 RECESSED LIGHT	— W5 EXTERIOR WALL SCONCE DOUBLE LIGHT	○ P5 DECORATIVE PENDANT (LOBBY)	○ S5 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— CL1 LED TAPE LIGHT	□ EXPOSED WOOD DECK BOARD
— R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY	— W6 WALL SCONCE	○ P6 DECORATIVE PENDANT	— CL1 LED TAPE LIGHT	— UC UNDER CABINET LIGHT	□ 2-HOUR RATED CEILING ASSEMBLY
— R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	— W7 EXTERIOR WALL SCONCE	⊙ P7 KITCHEN PENDANT (PENTHOUSE)	— UC UNDER CABINET LIGHT	— MR1 MIRROR LIGHTS	□ R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1.25" URE-K OR DC-315 THERMAL BARRIER. COLOR: LT GRAY
○ M1 MONOPOINT LIGHT	— W9 WALL SCONCE	⊙ P8 COMMERCIAL KITCHEN PENDANT	— MR1 MIRROR LIGHTS	— EF2 BATHROOM EXHAUST FAN (PENTHOUSE)	
	— W10 WALL SCONCE W. EMERGENCY BATTERY	○ P9 PARKING LIGHT PENDANT	— EF2 BATHROOM EXHAUST FAN (PENTHOUSE)	— P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)	
		○ P10 DECORATIVE PENDANT (LOBBY)	— P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)		

**33 A STREET**  
 SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION  
 ISSUE: ISSUED FOR CONSTRUCTION  
 DATE: 02/07/2022  
 PROJECT #: 202020  
 SCALE: 1/4" = 1'-0"

DRAWING TITLE  
**SECOND FLOOR REFLECTED CEILING PLAN**  
 DRAWING NUMBER

**A112**  
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SHEET NOTES

- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN
- CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING.
- CONTRACTOR TO REVIEW FINAL SCONCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.
- ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS.
- SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM 'DLSU' OR EQUAL.
- SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG WALL TO WALL SUSPENSION SYSTEM 'DQW' OR EQUAL.
- ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED.
- ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE. RE. ELECTRICAL FOR FIXTURE SPECIFICATIONS.
- ALL LIGHT FIXTURE PENETRATIONS AT FLOOR/CEILING ASSEMBLIES NEED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

ARCHITECT  
**EMBARC**  
60 K STREET, 3RD FLOOR  
BOSTON, MA 02127  
O: 617.766.8330  
www.embarcstudio.com

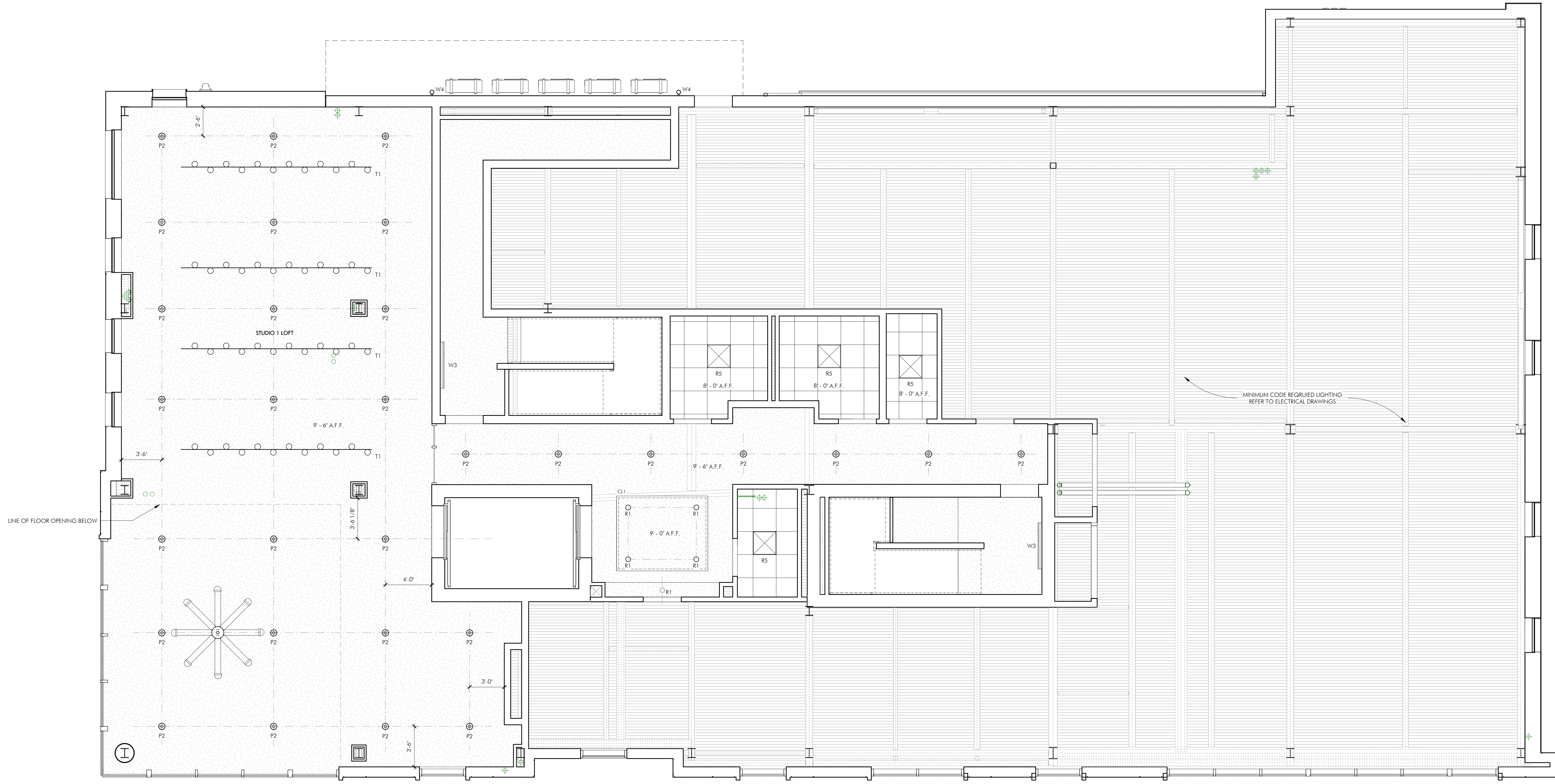
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MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS  
**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPHAM AVE.  
DORCHESTER, MA 02125  
617.266.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
100 SUMMER ST, SUITE 1800 BOSTON, MA  
02210  
617.936.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.869.7700

**ENERGY MODELING**  
ENVIERGY STUDIO  
831 BEACON ST. #110  
NEWTON CENTRE, MA 02459  
617.446.3114



LIGHTING | CEILING LEGEND

○ R1 4" RECESSED LIGHT	— W1 UNIT ENTRY SCONCE	⊙ P1 KITCHEN PENDANT - (IN UNIT)	○ S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T1 12' TRACK LIGHT	□ GYPSUM BOARD CEILING
○ R2 EXTERIOR RECESSED LIGHT	— W2 24" WALL MOUNTED STRIP LIGHT	⊙ P2 GENERAL LIGHTING PENDANT	○ S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T2 6' TRACK LIGHT	□ 2X2 ACOUSTIC CEILING TILE
• R3 PUCK LIGHT (PENTHOUSE)	— W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 8" ABOVE STAIR LANDING	— P3 6' SUSPENDED DIRECT/INDIRECT LIGHT	○ S3 8" SURFACE MOUNTED ACCENT LIGHT	— P6 8' SUSPENDED LINEAR LIGHT	□ 2X4 ACOUSTIC CEILING TILE
■ R4 2" PIN LIGHT	— W4 EXTERIOR WALL SCONCE SINGLE LIGHT	— P4 4' SURFACE MOUNTED LINEAR LIGHT	○ S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR3 ELECTRIC MIRROR	□ 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
⊠ R5 2X2 RECESSED LIGHT	— W5 EXTERIOR WALL SCONCE DOUBLE LIGHT	○ P5 DECORATIVE PENDANT (LOBBY)	○ S5 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR4 ELECTRIC MIRROR	□ 2-HOUR RATED CEILING ASSEMBLY
— R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY	— W6 WALL SCONCE	○ P6 DECORATIVE PENDANT	— CL1 LED TAPE LIGHT	— MR1 MIRROR LIGHTS	□ R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1.25" URE-K OR DC-315 THERMAL BARRIER. COLOR: LT GRAY
□ R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	— W7 EXTERIOR WALL SCONCE	⊙ P7 KITCHEN PENDANT (PENTHOUSE)	— UC UNDER CABINET LIGHT	□ MR2	□ EXPOSED WOOD DECK BOARD
⊙ M1 MONOPOINT LIGHT	— W8 CLOSET LIGHT	⊙ P8 COMMERCIAL KITCHEN PENDANT	□ EF2 BATHROOM EXHAUST FAN (PENTHOUSE)	□ P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)	
	— W9 WALL SCONCE	⊙ P9 PARKING LIGHT PENDANT			
	— W10 WALL SCONCE W. EMERGENCY BATTERY	○ P10 DECORATIVE PENDANT (LOBBY)			

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MARK	ISSUE	DATE



ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**THIRD FLOOR REFLECTED CEILING PLAN**

DRAWING NUMBER  
**A113**

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**SHEET NOTES**

- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN
- CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING.
- CONTRACTOR TO REVIEW FINAL SCENCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING.
- ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS.
- SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM 'DQW', OR EQUAL.
- SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG WALL-TO-WALL SUSPENSION SYSTEM 'DQW', OR EQUAL.
- ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED.
- ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE. RE: ELECTRICAL FOR FIXTURE SPECIFICATIONS.
- ALL LIGHT FIXTURE PENETRATIONS AT FLOOR/CEILING ASSEMBLIES NEED TO MAINTAIN THE FIRE RATING OF THE ASSEMBLY.

**ARCHITECT**

**EMBARC**  
580 HARRISON AVE. SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

**OWNER**

MICHAEL INDRESANO  
33 A ST. BOSTON, MA 02127

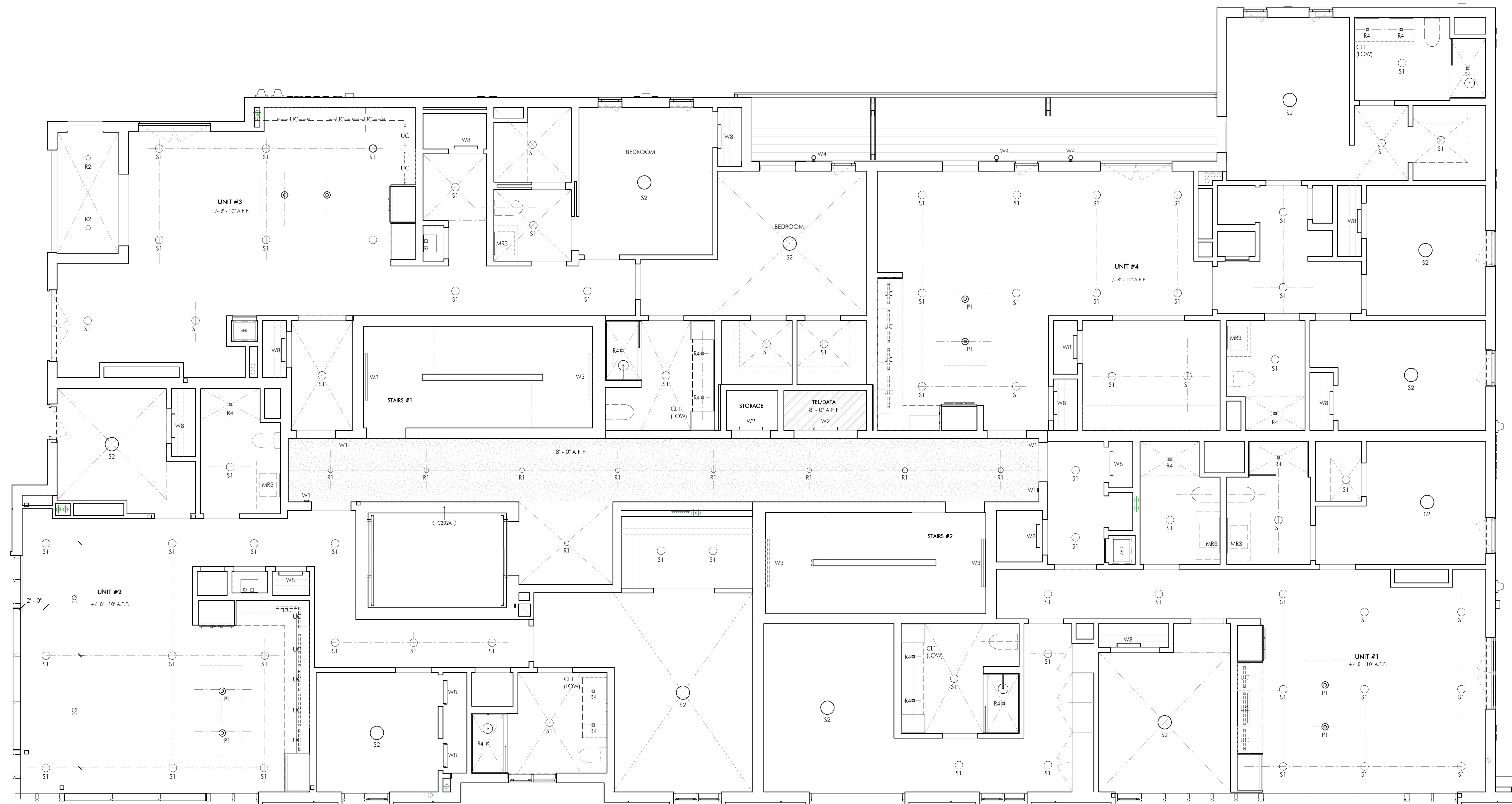
**CONSULTANTS**

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
180 SUMNER ST. SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
130 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**  
ENVENERGY STUDIO  
831 BEACON ST. #115  
NEWTON CENTRE, MA 02459  
617.446.3114



**LIGHTING | CEILING LEGEND**

○ R1 4" RECESSED LIGHT	— W1 UNIT ENTRY SCENCE	⊙ P1 KITCHEN PENDANT - (IN UNIT)	○ S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T1 12' TRACK LIGHT	□ GYPSUM BOARD CEILING
○ R2 EXTERIOR RECESSED LIGHT	— W2 24" WALL MOUNTED STRIP LIGHT	⊙ P2 GENERAL LIGHTING PENDANT	○ S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T2 6' TRACK LIGHT	□ 2X2 ACOUSTIC CEILING TILE
• R3 PLUCK LIGHT (PENTHOUSE)	— W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 8" ABOVE STAIR LANDING	⊙ P3 6" SUSPENDED DIRECT/INDIRECT LIGHT	○ S3 8" SURFACE MOUNTED ACCENT LIGHT	— P6 8' SUSPENDED LINEAR LIGHT	□ 2X4 ACOUSTIC CEILING TILE
■ R4 2" PIN LIGHT	— W4 EXTERIOR WALL SCENCE SINGLE LIGHT	— P4 4" SURFACE MOUNTED LINEAR LIGHT	○ S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR3 ELECTRIC MIRROR	□ 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
⊗ R5 2X2 RECESSED LIGHT	— W5 EXTERIOR WALL SCENCE DOUBLE LIGHT	○ P5 DECORATIVE PENDANT (LOBBY)	○ S5 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR4 ELECTRIC MIRROR	□ 2-HOUR RATED CEILING ASSEMBLY
— R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY	— W6 WALL SCENCE	○ P6 DECORATIVE PENDANT	— CL1 LED TAPE LIGHT	□ GYPSUM BOARD CEILING AT UNDERSIDE OF FLOOR/CEILING ASSEMBLY	□ R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1.25" URE-K OR DC-315 THERMAL BARRIER. COLOR: LT. GRAY
□ R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	— W7 EXTERIOR WALL SCENCE	⊙ P7 KITCHEN PENDANT (PENTHOUSE)	— UC UNDER CABINET LIGHT	□ WASHABLE MYLAR 2X2 ACOUSTIC CEILING TILE	□ EXPOSED WOOD DECK BORD
⊙ M1 MONOPOINT LIGHT	— W8 CLOSET LIGHT	⊙ P8 COMMERCIAL KITCHEN PENDANT	— MR1 MIRROR LIGHTS	□ GYPSUM BOARD CEILING AT UNDERSIDE OF FLOOR/CEILING ASSEMBLY	□ EXPOSED METAL DECK, PTD.
	— W9 WALL SCENCE	⊙ P9 PARKING LIGHT PENDANT	□ EF 2 BATHROOM EXHAUST FAN (PENTHOUSE)	□ UC UNDER CABINET LIGHT	
	— W10 WALL SCENCE W. EMERGENCY BATTERY	○ P10 DECORATIVE PENDANT (LOBBY)	— P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)		

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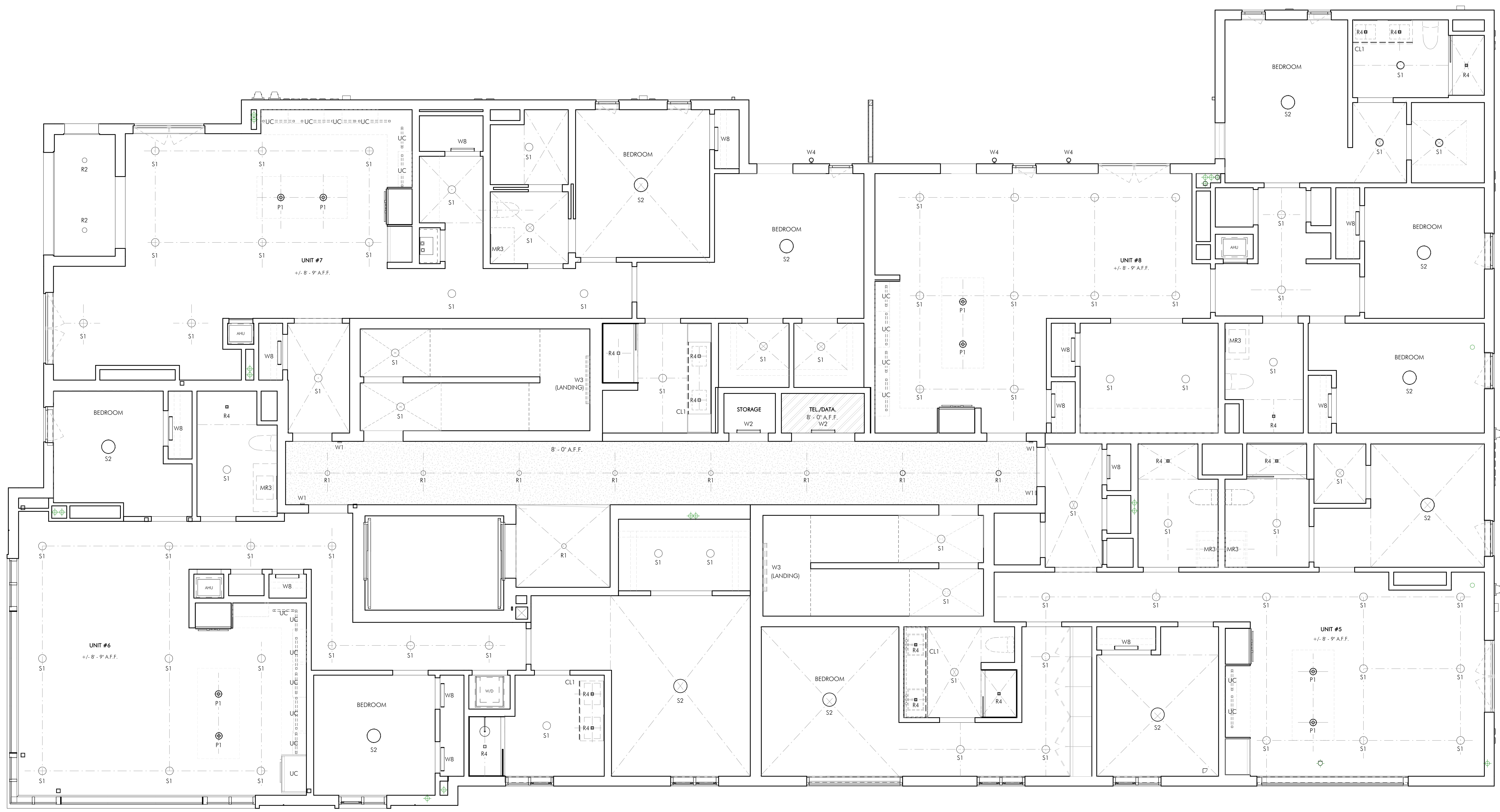
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
4TH FLOOR REFLECTED CEILING PLAN

**DRAWING NUMBER**  
**A114**

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**LIGHTING | CEILING LEGEND**

○ R1 4" RECESSED LIGHT	— W1 UNIT ENTRY SCONCE	⊙ P1 KITCHEN PENDANT - (IN UNIT)	○ S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T1 12" TRACK LIGHT	□ GYPSUM BOARD CEILING
○ R2 EXTERIOR RECESSED LIGHT	— W2 24" WALL MOUNTED STRIP LIGHT	⊙ P2 GENERAL LIGHTING PENDANT	○ S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T2 6" TRACK LIGHT	□ 2X2 ACOUSTIC CEILING TILE
• R3 PUCK LIGHT (PENTHOUSE)	— W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT; MOUNT 8" ABOVE STAIR LANDING	— P3 6' SUSPENDED DIRECT/INDIRECT LIGHT	○ S3 8" SURFACE MOUNTED ACCENT LIGHT	— P6 8' SUSPENDED LINEAR LIGHT	□ 2X4 ACOUSTIC CEILING TILE
□ R4 2" PIN LIGHT	— W4 EXTERIOR WALL SCONCE SINGLE LIGHT	— P4 4' SURFACE MOUNTED LINEAR LIGHT	○ S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR3 ELECTRIC MIRROR	□ 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
□ R5 2X2 RECESSED LIGHT	— W5 EXTERIOR WALL SCONCE DOUBLE LIGHT	○ P5 DECORATIVE PENDANT (LOBBY)	○ S5 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR4 ELECTRIC MIRROR	□ 2-HOUR RATED CEILING ASSEMBLY
— R6 RECESSED DIRECT/INDIRECT LIGHT; LENGTH VARY	— W6 WALL SCONCE	○ P6 DECORATIVE PENDANT	— CL1 LED TAPE LIGHT	— MR1 MIRROR LIGHTS	□ R-36 (MIN) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1.25" URE-K OR DC-315 THERMAL BARRIER COLOR: LT GRAY
□ R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	— W7 EXTERIOR WALL SCONCE	⊙ P7 KITCHEN PENDANT (PENTHOUSE)	— UC UNDER CABINET LIGHT	□ EF2 BATHROOM EXHAUST FAN (PENTHOUSE)	□ EXPOSED WOOD DECK BOARD
○ M1 MONOPOINT LIGHT	— W8 CLOSET LIGHT	⊙ P8 COMMERCIAL KITCHEN PENDANT	— MR1 MIRROR LIGHTS	□ EF2 BATHROOM EXHAUST FAN (PENTHOUSE)	□ EXPOSED METAL DECK, PTD.
	— W9 WALL SCONCE	⊙ P9 PARKING LIGHT PENDANT	— P11 KITCHEN PENDANT (COMMERCIAL KITCHEN)		
	— W10 WALL SCONCE W. EMERGENCY BATTERY	○ P10 DECORATIVE PENDANT (LOBBY)			

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**DRAWING INFORMATION**  
 ISSUE: ISSUED FOR CONSTRUCTION  
 DATE: 02/07/2022  
 PROJECT #: 20020  
 SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
**5TH FLOOR REFLECTED CEILING PLAN**  
 DRAWING NUMBER

**A115**  
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SHEET NOTES

- REFER TO ELECTRICAL DRAWINGS FOR BASEMENT LIGHTING PLAN
- CONTRACTOR TO REVIEW SWITCHING LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO ROUGH WIRING
- CONTRACTOR TO REVIEW FINAL SCIENCE LOCATION WITH ARCHITECT AND OWNER PRIOR TO ROUGH WIRING
- ALL SUSPENDED GYPSUM BOARD CEILINGS TO BE FRAMED AS HIGH AS POSSIBLE BELOW MECHANICAL UNITS
- SUSPENDED GYP. BOARD CEILINGS SHOULD USE USG DRYWALL SUSPENSION SYSTEM "DGLV", OR EQUAL
- SUSPENDED GYP. BOARD CEILINGS WITHIN CORRIDOR TO USE USG WALL-TO-WALL SUSPENSION SYSTEM "DGV", OR EQUAL
- ALL GYPSUM BOARD CEILINGS TO HAVE SMOOTH TEXTURE AND PAINT FINISH AS SCHEDULED
- ARCHITECTURAL PLANS GOVERN FOR FIXTURE LOCATION AND TYPE. RE. ELECTRICAL FOR FIXTURE SPECIFICATIONS.
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ARCHITECT

**EMBARC**

580 HARRISON AVE. SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER

MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

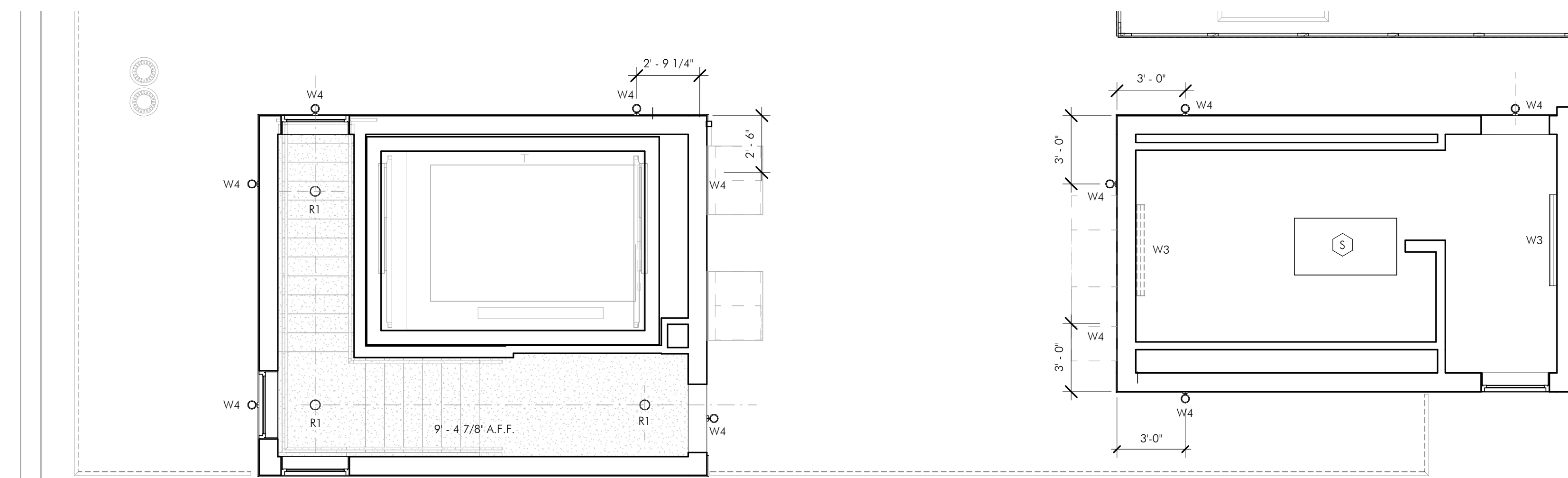
CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.506.1474

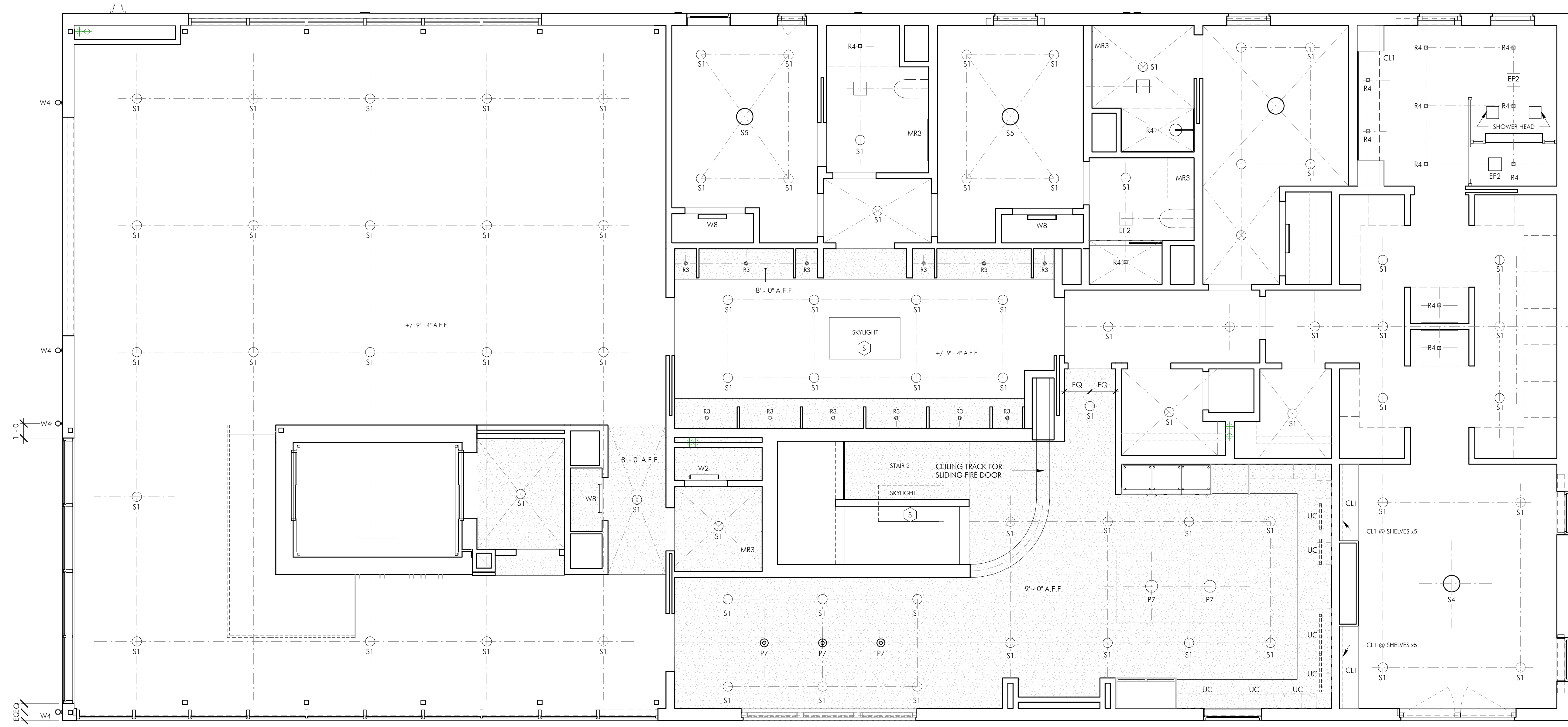
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H+O STRUCTURAL ENGINEERING  
185 SUMNER ST. SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**  
ENVENERGY STUDIO  
831 BEACON ST. #115  
NEWTON CENTRE, MA 02459  
617.446.3114



2 ROOF REFLECTED CEILING PLAN  
1/4" = 1'-0"



1 SIXTH FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

LIGHTING | CEILING LEGEND

○ R1 4" RECESSED LIGHT	— W1 UNIT ENTRY SCIENCE	⊙ P1 KITCHEN PENDANT - (IN UNIT)	○ S1 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T1 12' TRACK LIGHT	□ GYPSUM BOARD CEILING
○ R2 EXTERIOR RECESSED LIGHT	— W2 24" WALL MOUNTED STRIP LIGHT	⊙ P2 GENERAL LIGHTING PENDANT	○ S2 LED SURFACE MOUNT FIXTURE (IN UNIT)	— T2 6' TRACK LIGHT	□ 2X2 ACOUSTIC CEILING TILE
• R3 PUCK LIGHT (PENTHOUSE)	— W3 4" WALL MOUNTED UP/DOWN DIRECT/INDIRECT LIGHT, MOUNT 8" ABOVE STAIR LANDING	— P3 6' SUSPENDED DIRECT/INDIRECT LIGHT	○ S3 8" SURFACE MOUNTED ACCENT LIGHT	— P6 8' SUSPENDED LINEAR LIGHT	□ 2X4 ACOUSTIC CEILING TILE
■ R4 2" PIN LIGHT	— W4 EXTERIOR WALL SCIENCE SINGLE LIGHT	— P4 4" SURFACE MOUNTED LINEAR LIGHT	○ S4 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR3 ELECTRIC MIRROR	□ 2" K13 US CELLULOSE SPRAY-APPLIED THERMAL AND ACOUSTICAL INSULATION COLOR: LT GRAY
⊠ R5 2X2 RECESSED LIGHT	— W5 EXTERIOR WALL SCIENCE DOUBLE LIGHT	○ P5 DECORATIVE PENDANT (LOBBY)	○ S5 LED SURFACE MOUNT FIXTURE (PENTHOUSE)	— MR4 ELECTRIC MIRROR	□ 2-HOUR RATED CEILING ASSEMBLY
— R6 RECESSED DIRECT/INDIRECT LIGHT, LENGTH VARY	— W6 WALL SCIENCE	○ P6 DECORATIVE PENDANT	— CL1 LED TAPE LIGHT	— UC UNDER CABINET LIGHT	□ R-36 (MR) 6" CONTINUOUS SPRAY-APPLIED CLOSED-CELL INSULATION W/ 1.25" URE-K OR DC-315 THERMAL BARRIER COLOR: LT GRAY
□ R8 RECESSED LED STRIP WITH RGB PROGRAMMABLE COLOR	— W7 EXTERIOR WALL SCIENCE	⊙ P7 KITCHEN PENDANT (PENTHOUSE)	— UC GYPSUM BOARD CEILING AT UNDERSIDE OF FLOOR/CEILING ASSEMBLY	— MR1 MIRROR LIGHTS	□ EXPOSED WOOD DECK BORAD
○ M1 MONOPOINT LIGHT	— W8 CLOSET LIGHT	⊙ P8 COMMERCIAL KITCHEN PENDANT	— EF 2 BATHROOM EXHAUST FAN (PENTHOUSE)	— P11 KITCHEN PENDANT ( COMMERCIAL KITCHEN)	□ EXPOSED METAL DECK, PTD.
	— W9 WALL SCIENCE	⊙ P9 PARKING LIGHT PENDANT			
	— W10 WALL SCIENCE W. EMERGENCY BATTERY	○ P10 DECORATIVE PENDANT (LOBBY)			

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REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 202020  
SCALE: 1/4" = 1'-0"

DRAWING TITLE

6TH FLOOR REFLECTED CEILING PLAN  
DRAWING NUMBER  
**A116**

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CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

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ENVENERGY STUDIO  
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NEWTON CENTRE, MA 02459  
617.446.3114

33 A STREET  
SOUTH BOSTON, MA

ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

DRAWING TITLE  
**EXTERIOR ELEVATIONS - A STREET**

DRAWING NUMBER

**A201**



**EXTERIOR INTAKE/EXHAUST LOUVER LEGEND**

	- FRESH AIR INTAKE; SEE WINDOW TYPES
	- FRESH AIR INTAKE; SEE WINDOW TYPES
	FE - GAS FIREPLACE EXHAUST
	RE - RANGE HOOD EXHAUST
	BE - BATHROOM EXHAUST
	DE - DRYER EXHAUST
	HW - HOT WATER HEATER CONCENTRIC EXHAUST

**EXTERIOR MATERIAL LEGEND**

	BR-1 BLACK IRON SPOT BRICK		GR-1 GRANITE CHARCOAL GREY		CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS		FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS, HORIZONTAL ORIENTATION BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES		FC-2 HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFFA (P-313)		FC-3 FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES		FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES		MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: PURE+FREEFORM - OIL RUBBED BRONZE #SQ-003		MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
--	-------------------------------	--	-------------------------------	--	---	--	--	--	--	--	--	--	---	--	---	--	--

**EXTERIOR INTAKE/EXHAUST LOUVER LEGEND**

	- FRESH AIR INTAKE; SEE WINDOW TYPES
	- GAS FIREPLACE EXHAUST
	- RANGE HOOD EXHAUST
	- BATHROOM EXHAUST
	- DRYER EXHAUST
	- HOT WATER HEATER CONCENTRIC EXHAUST



**1 REAR ELEVATION**  
1/4" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

	<b>BR-1</b> BLACK IRON SPOT BRICK		<b>GR-1</b> GRANITE CHARCOAL GREY		<b>CW-1</b> SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS		<b>FC-1</b> HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS, HORIZONTAL ORIENTATION BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-313) REFER TO EXTERIOR WALL ASSEMBLIES		<b>FC-2</b> HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFFA (P-313)		<b>FC-3</b> FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES		<b>FC-4</b> FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES		<b>MP-1</b> ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: PURE+ FREEFORM - OIL RUBBED BRONZE #SQ-003		<b>MP-2</b> ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
	<b>LOUVER</b>																

**ARCHITECT**  
**EMBARC**  
580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

**OWNER**  
MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

**CONSULTANTS**  
**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMNER ST. SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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133 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

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617.446.3114

**33 A STREET**  
SOUTH BOSTON, MA

**ISSUED FOR CONSTRUCTION**

**REVISIONS**

MARK	ISSUE	DATE

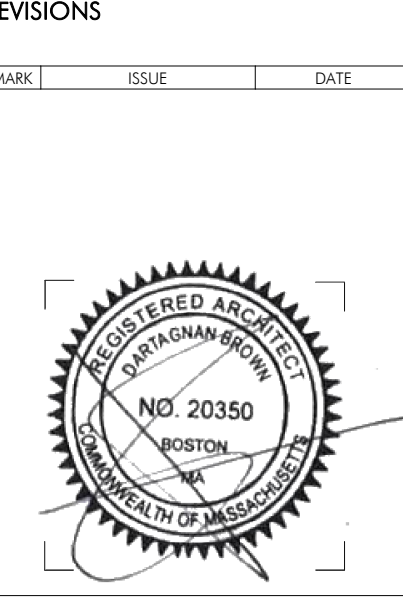
**DRAWING INFORMATION**

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
EXTERIOR ELEVATIONS

**DRAWING NUMBER**  
A202

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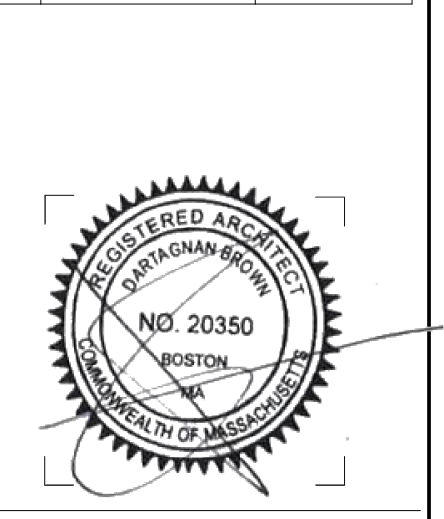
1 SIDE ELEVATION  
1/4" = 1'-0"

EXTERIOR INTAKE/EXHAUST LOUVER LEGEND	
	- FRESH AIR INTAKE; SEE WINDOW TYPES
	- FRESH AIR INTAKE; SEE WINDOW TYPES
	FE - GAS FIREPLACE EXHAUST
	RE - RANGE HOOD EXHAUST
	BE - BATHROOM EXHAUST
	DE - DRYER EXHAUST
	HW - HOT WATER HEATER CONCENTRIC EXHAUST

EXTERIOR MATERIAL LEGEND	
	BR-1 BLACK IRON SPOT BRICK
	GR-1 GRANITE CHARCOAL GREY
	CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS
	FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS, HORIZONTAL ORIENTATION BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020)
	FC-2 HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFA (P-313)
	FC-3 FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES
	FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES
	MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: PURE+FREEFORM - OIL RUBBED BRONZE #SQ-003
	MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS		
MARK	ISSUE	DATE



DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
EXTERIOR ELEVATIONS

DRAWING NUMBER  
**A203**

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
**EXTERIOR ELEVATIONS - WEST 4TH STREET**

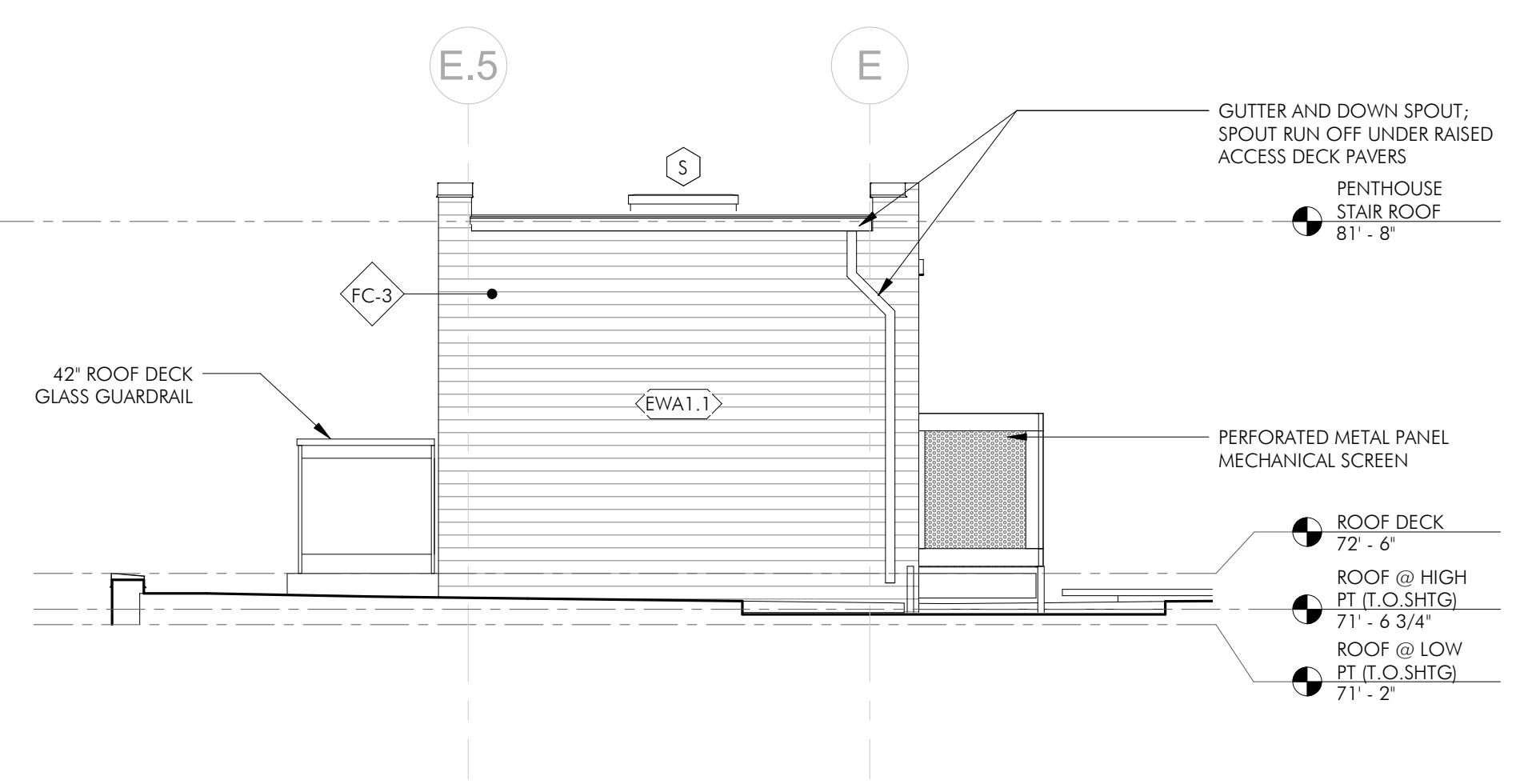
DRAWING NUMBER  
**A204**



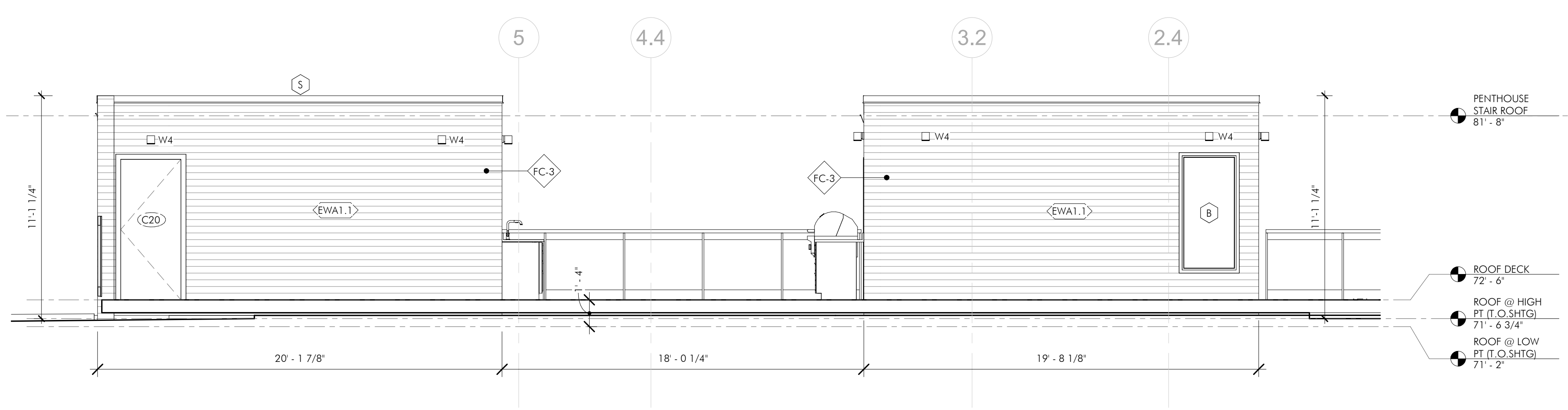
1 W 4TH STREET ELEVATION  
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

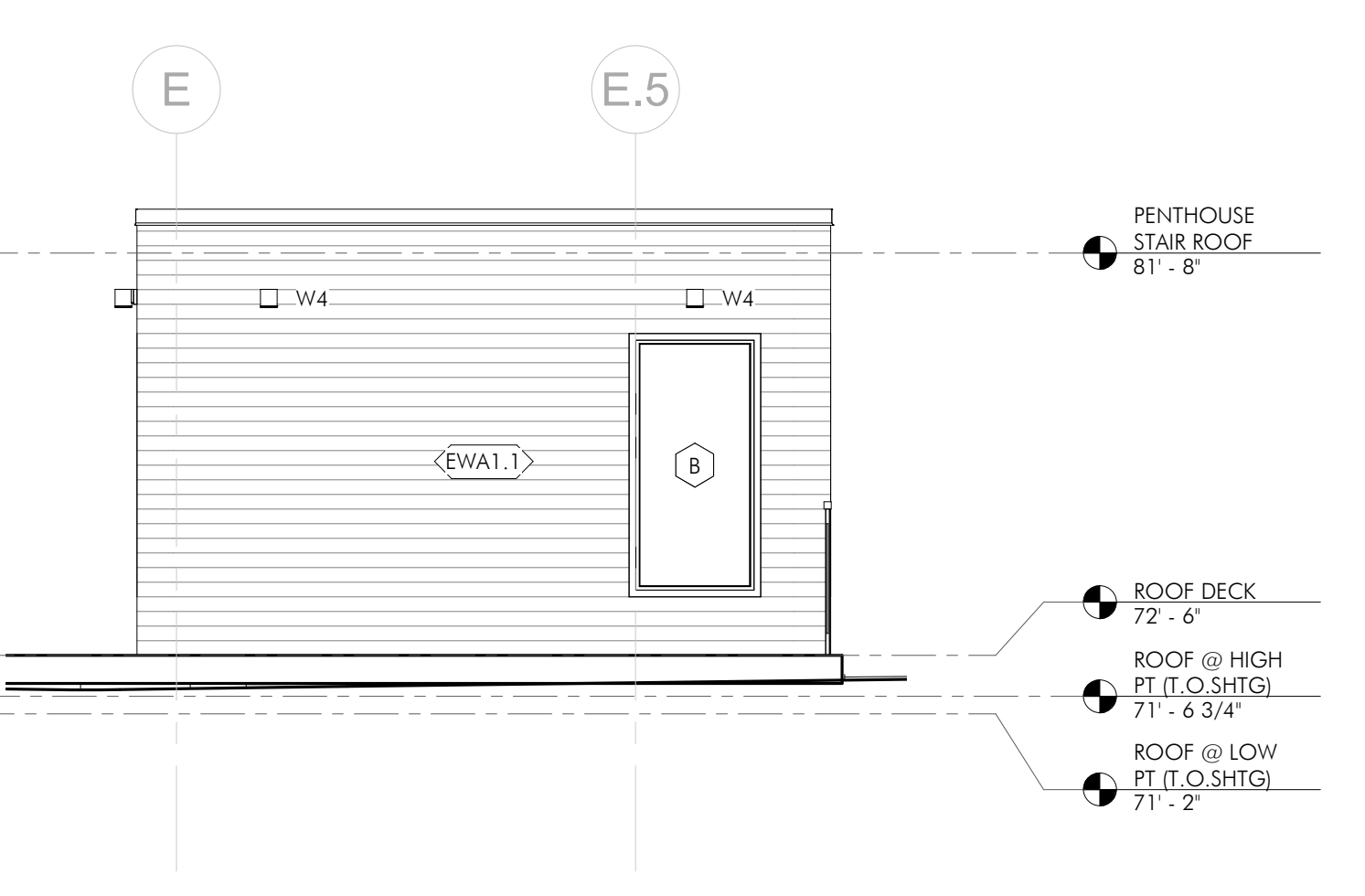
BR-1 BLACK IRON SPOT BRICK	GR-1 GRANITE CHARCOAL GREY	CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS	FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS HORIZONTAL ORIENTATION BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES	FC-2 HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFA (P-313)	FC-3 FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES	FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES	MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: PURE + FREEFORM - OIL RUBBED BRONZE #SQ-003	MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
LOUVER								



1 STAIR HEAD HOUSE OUTSIDE  
1/4" = 1'-0"

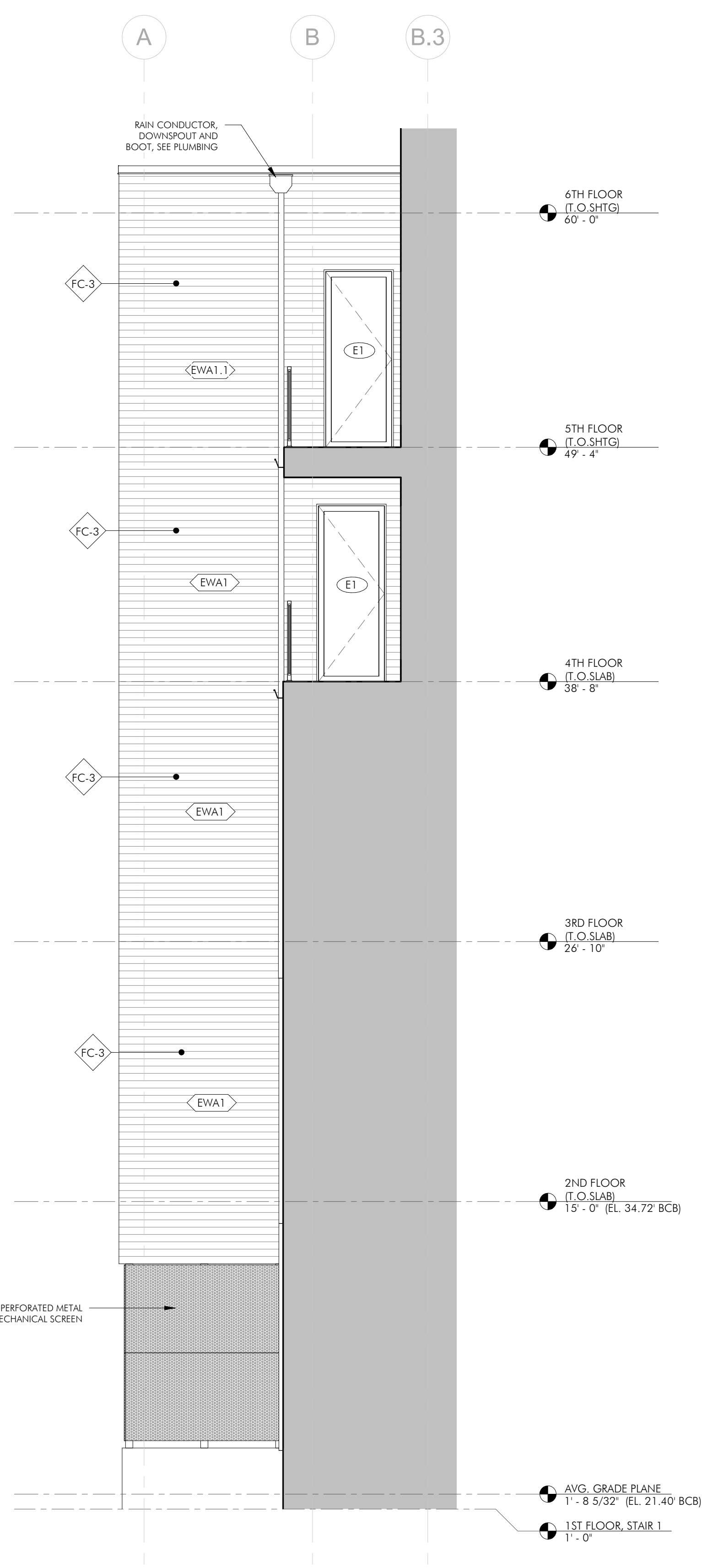


2 HEAD HOUSES REAR ELEVATION  
1/4" = 1'-0"

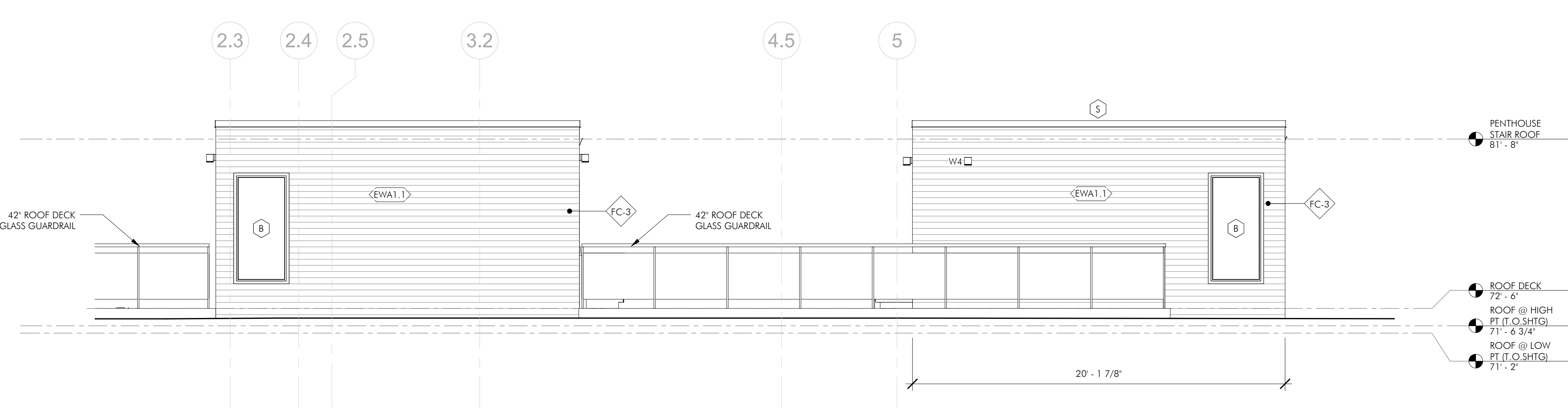


3 ELEVATOR HEAD HOUSE OUTSIDE  
1/4" = 1'-0"

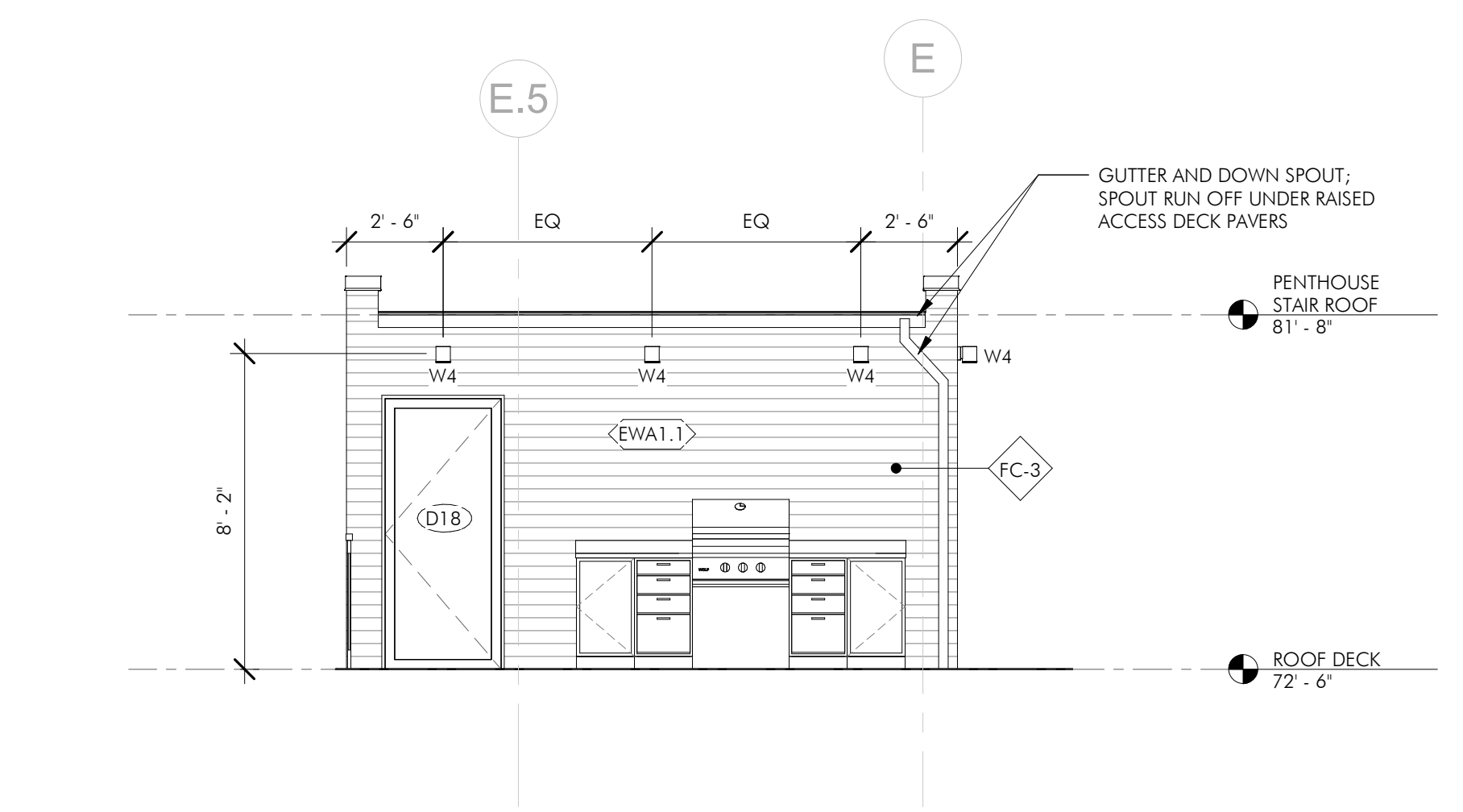
EXTERIOR MATERIAL LEGEND	
	BR-1 BLACK IRON SPOT BRICK
	GR-1 GRANITE CHARCOAL GREY
	CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS
	FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS, HORIZONTAL ORIENTATION BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES
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	FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES
	MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: PURE+FREEFORM - OIL RUBBED BRONZE #SQ-003
	MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
	LOUVER



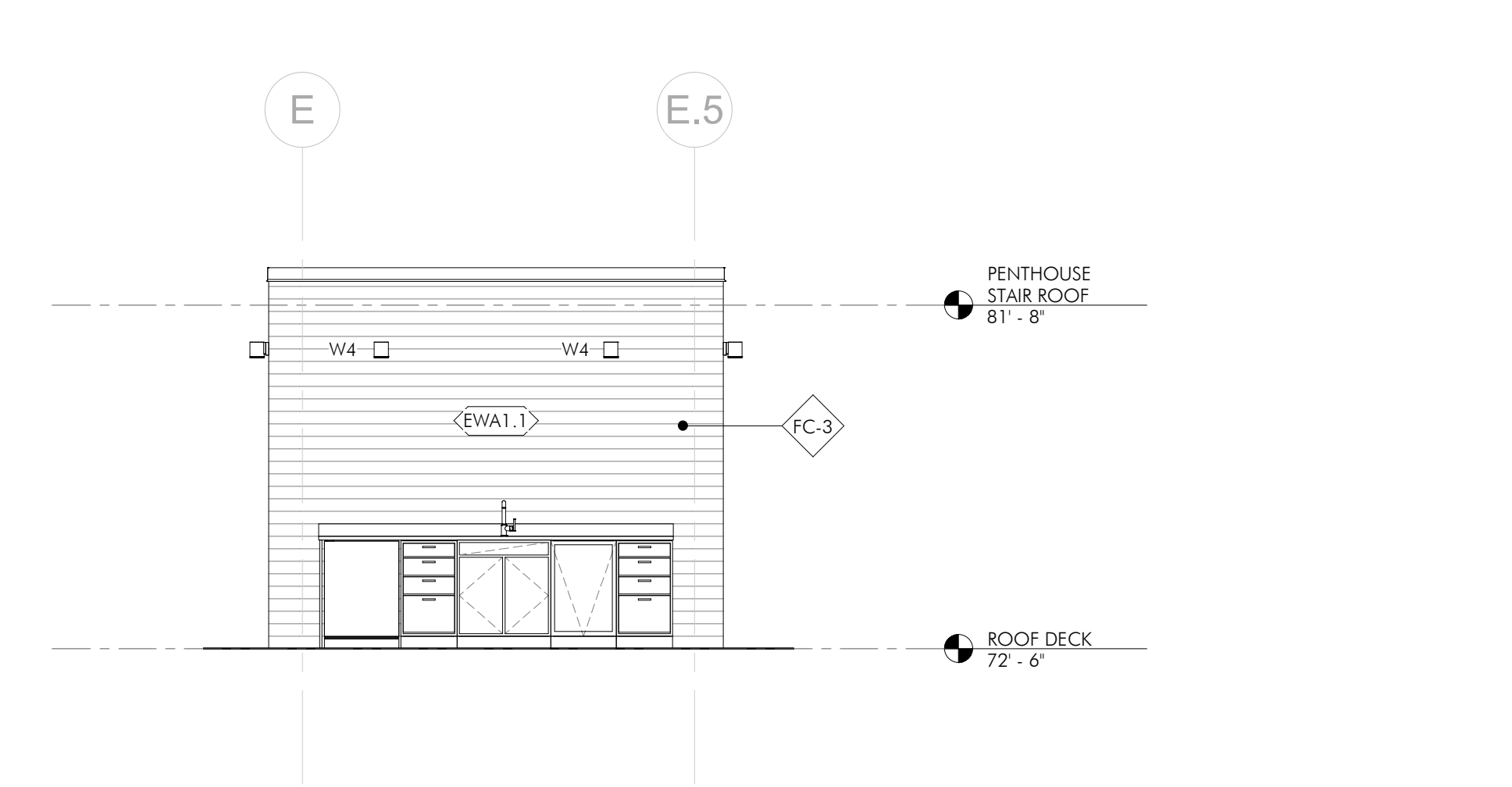
7 REAR SIDE ELEVATION 1  
1/4" = 1'-0"



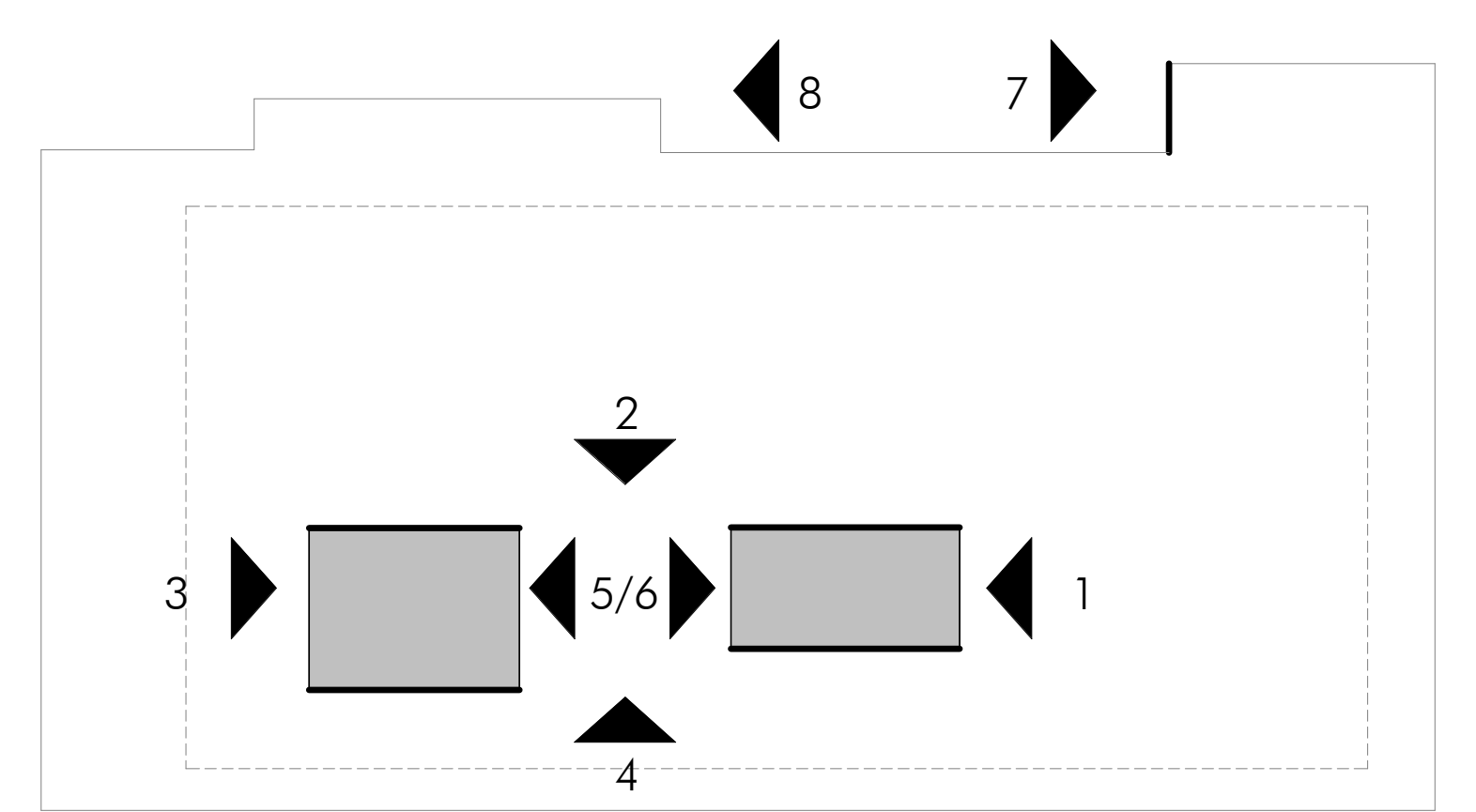
4 HEAD HOUSES WEST 4TH STREET ELEVATION  
1/4" = 1'-0"



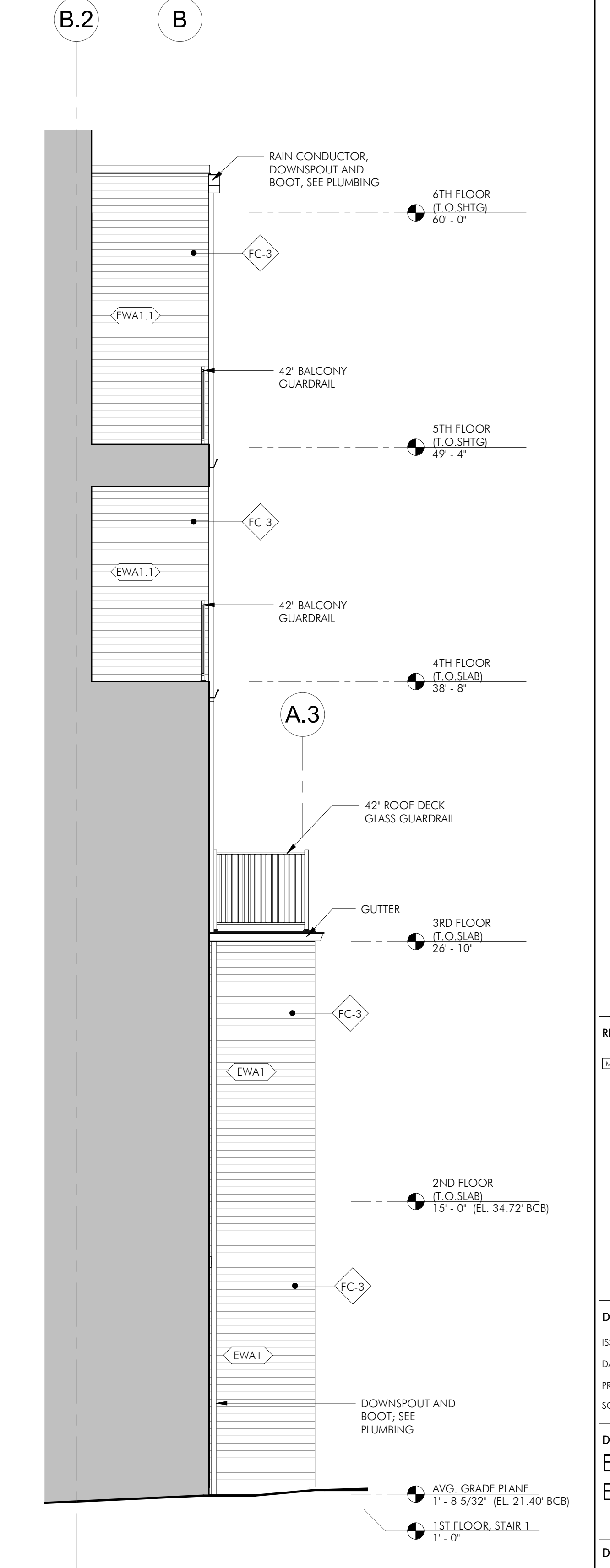
5 ELEVATOR HEAD HOUSE INSIDE  
1/4" = 1'-0"



6 STAIR HEAD HOUSE INSIDE  
1/4" = 1'-0"



ELEVATION KEY



8 REAR SIDE ELEVATION 2  
1/4" = 1'-0"

**33 A STREET**  
SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

MARK	ISSUE	DATE



DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER  
**A205**  
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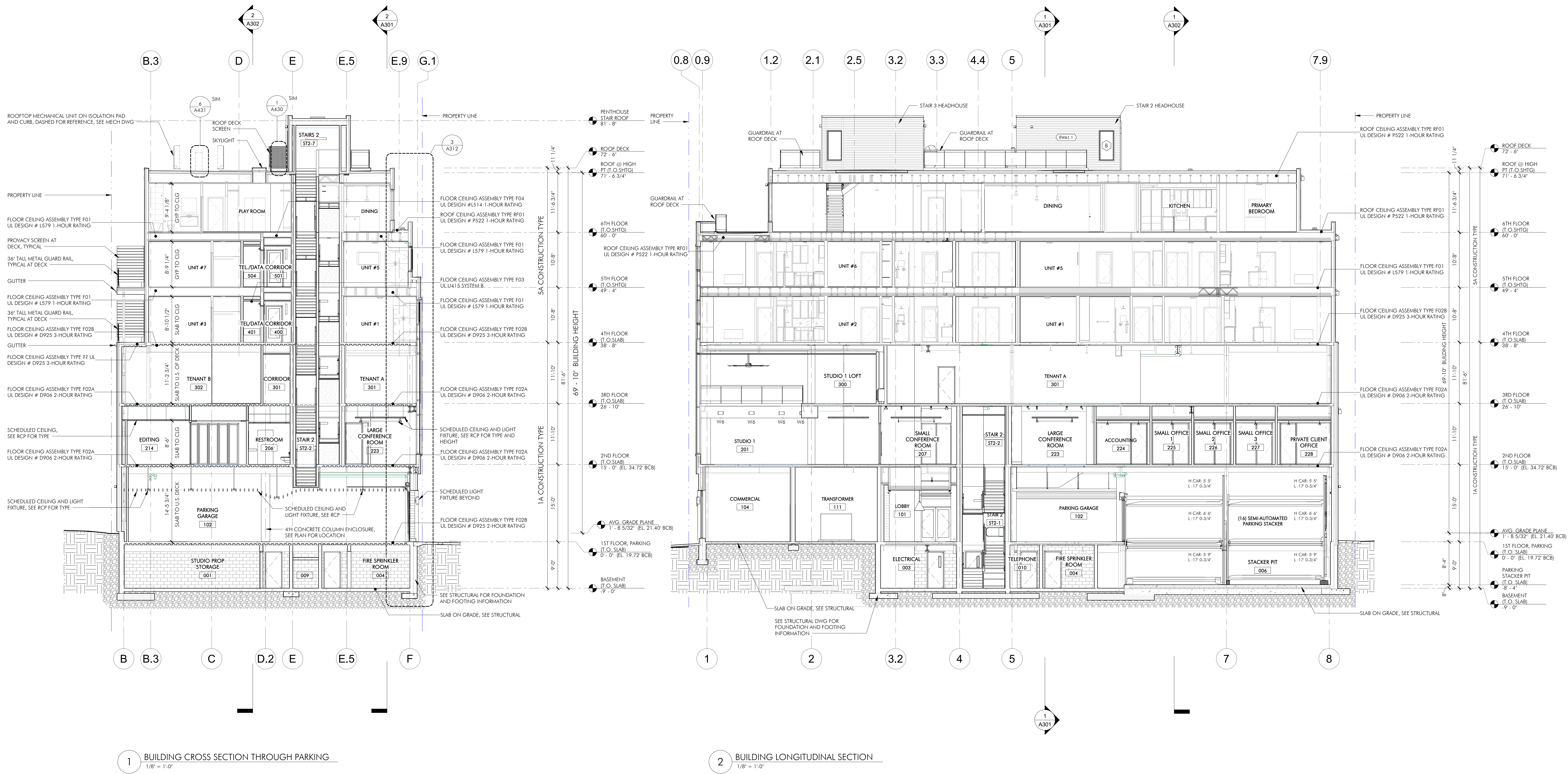
REVISIONS	MARK	ISSUE	DATE



DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/8" = 1'-0"

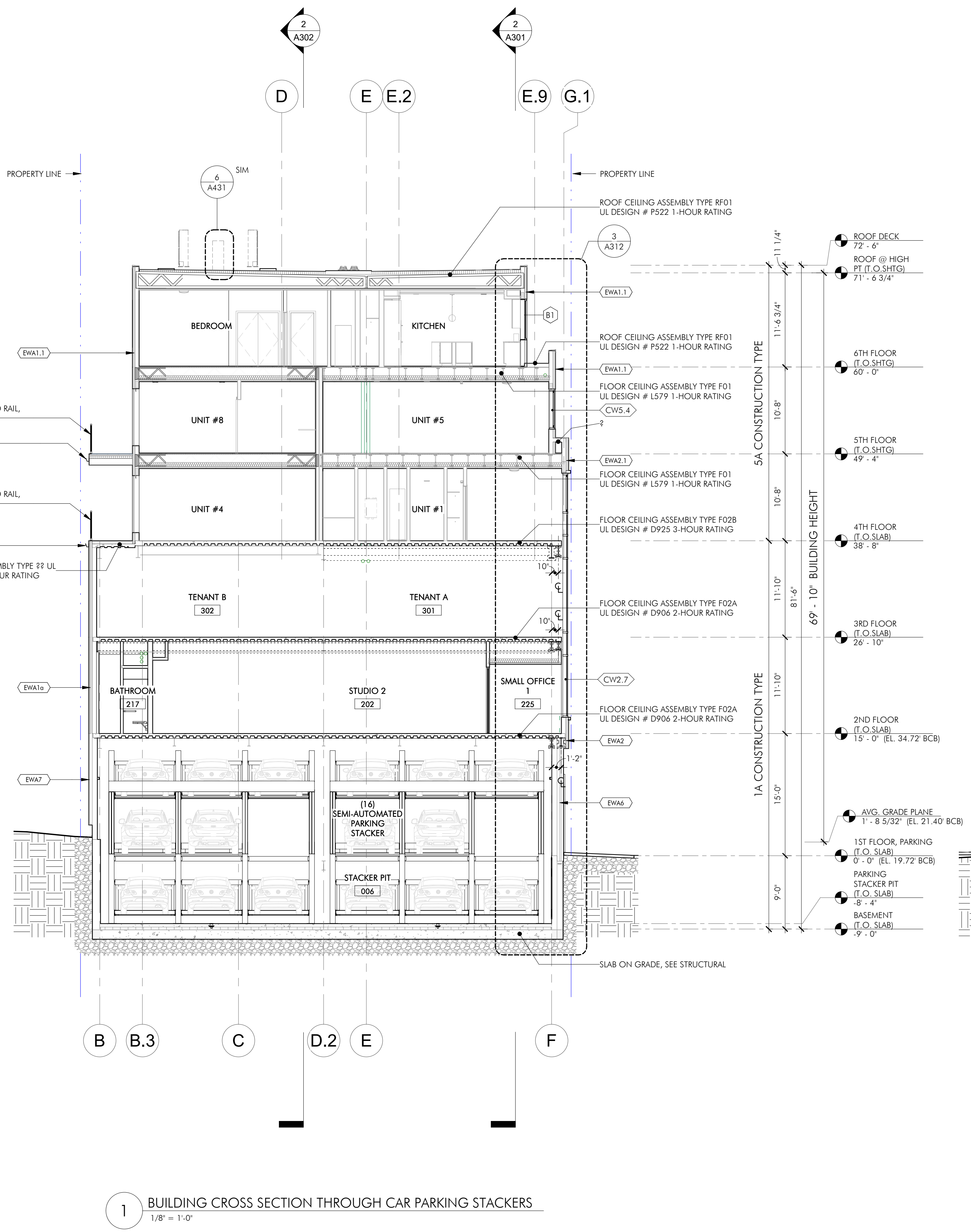
DRAWING TITLE  
**BUILDING SECTIONS**

DRAWING NUMBER  
**A301**

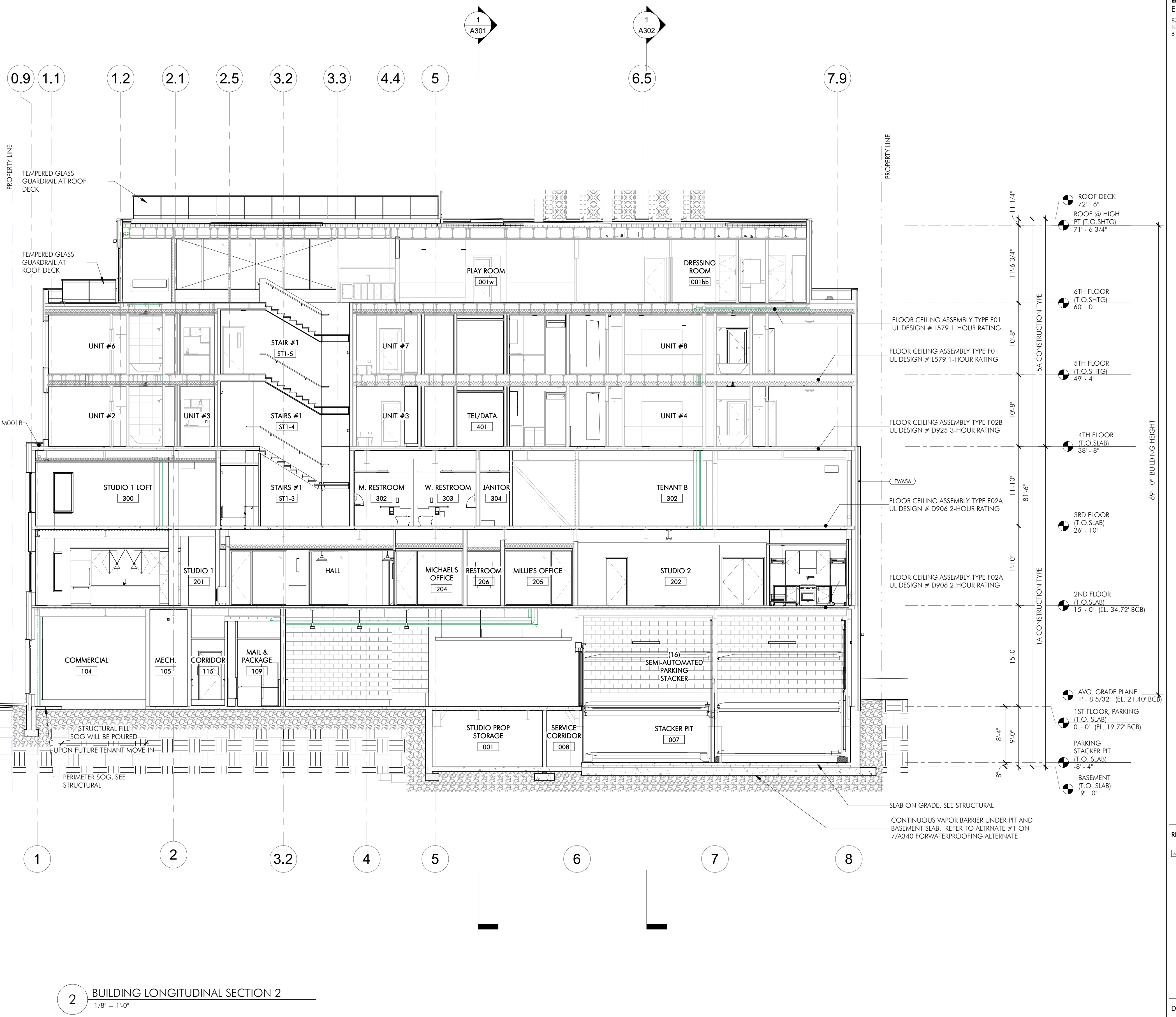


1 BUILDING CROSS SECTION THROUGH PARKING  
1/8" = 1'-0"

2 BUILDING LONGITUDINAL SECTION  
1/8" = 1'-0"



1 BUILDING CROSS SECTION THROUGH CAR PARKING STACKERS  
 1/8" = 1'-0"



2 BUILDING LONGITUDINAL SECTION 2  
 1/8" = 1'-0"

33 A STREET  
 SOUTH BOSTON, MA  
 ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



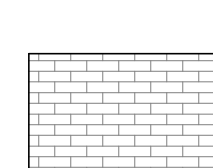
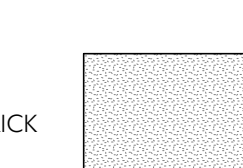
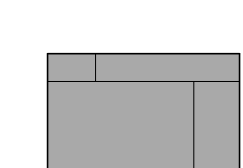
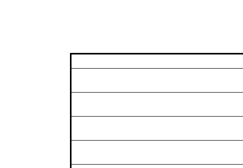
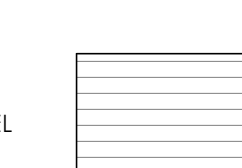
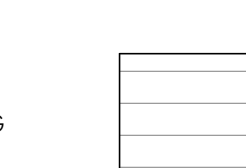
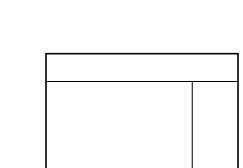

DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/8" = 1'-0"

DRAWING TITLE  
**BUILDING SECTIONS**

DRAWING NUMBER  
**A302**

**EXTERIOR MATERIAL LEGEND**

 BR-1 BLACK IRON SPOT BRICK	 CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS	 FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES	 FC-2 HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFA (P-313)	 FC-3 FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES	 FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES	 MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: ALUCOBOND PLUS - DRIFTWOOD MICA	 MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
--	--	--	--	--	---	--	---

**SHEET NOTE**

- REFER TO SHEETS A006A AND A006B FOR CONSTRUCTION INFORMATION OF EXTERIOR WALL ASSEMBLIES
- REFER TO SHEETS A601 THROUGH A603 FOR WINDOW TYPES DETAILS, AND SHEETS A610 THROUGH A613 FOR STOREFRONT AND CURTAIN WALL TYPES AND DETAILS
- REFER TO SHEETS A001.13 THROUGH A001.21 FOR STRUCTURAL BEAM AND COLUMN FIREPROOFING INFORMATION

**ARCHITECT**  
**EMBARC**  
60 K STREET, 3RD FLOOR  
BOSTON, MA 02127  
O: 617.766.8330  
www.embarcstudio.com

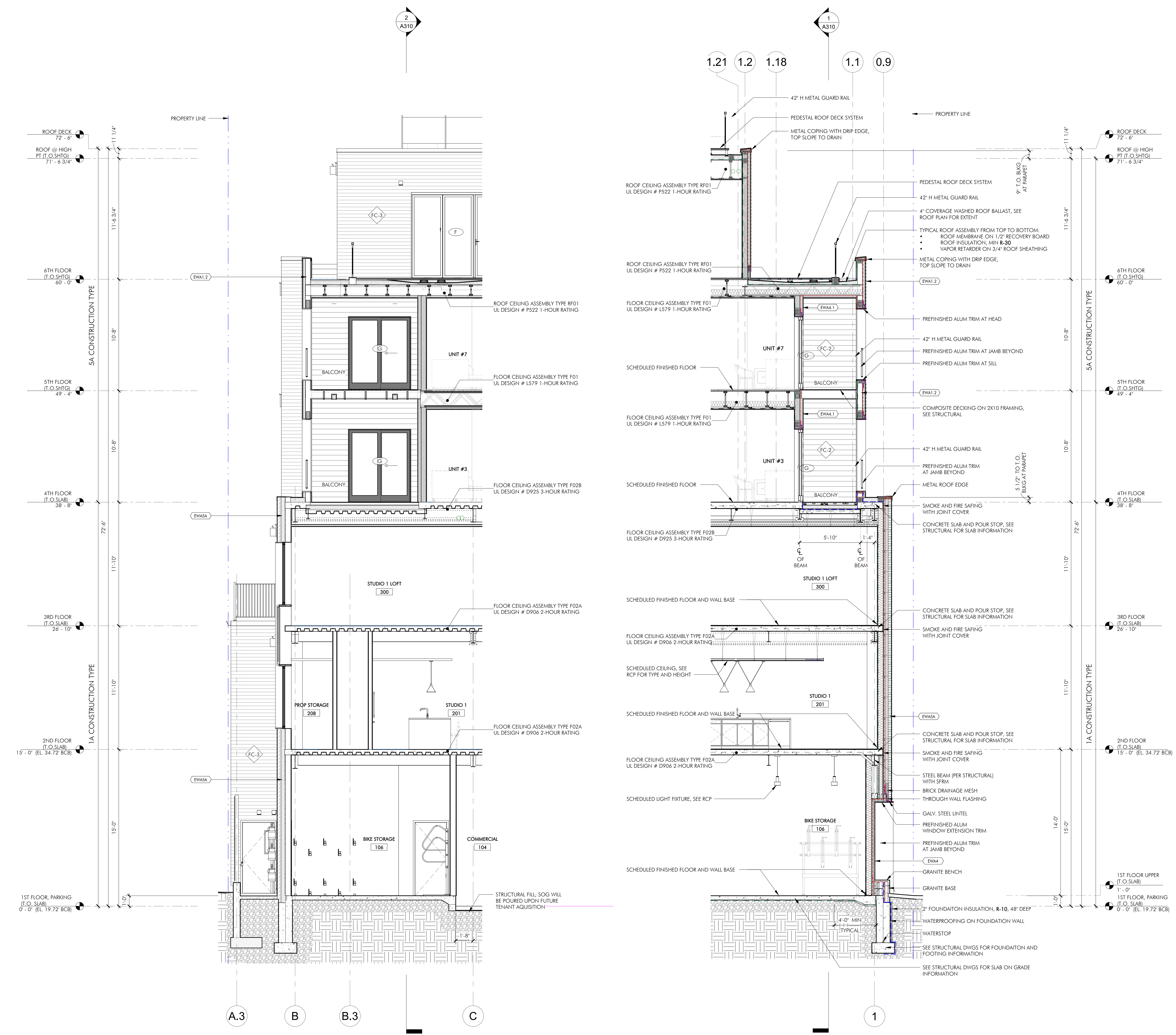
**OWNER**  
MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

**CONSULTANTS**  
**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPRHAM AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
180 SUMNER ST, SUITE 1800 BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**  
ENVENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114



**1 WALL SECTION THROUGH BALCONY AT CORNER OF A STREET**  
1/4" = 1'-0"

**2 WALL SECTION @ A STREET THROUGH BALCONY**  
1/4" = 1'-0"

**33 A STREET**  
SOUTH BOSTON, MA

**ISSUED FOR CONSTRUCTION**

**REVISIONS**

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**DRAWING INFORMATION**

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 09/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

**DRAWING TITLE**  
WALL SECTIONS AT A STREET

**DRAWING NUMBER**  
**A310**

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**EXTERIOR MATERIAL LEGEND**

	BR-1 BLACK IRON SPOT BRICK		CW-1 SPANDREL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS		FC-1 HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES		FC-2 HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFA (P-313)		FC-3 FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES		FC-4 FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES		MP-1 ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: ALUCOBOND PLUS - DRIFTWOOD MICA		MP-2 ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK
--	-------------------------------	--	---	--	--	--	--	--	--	--	---	--	--	--	--

**SHEET NOTE**

- REFER TO SHEETS A006A AND A006B FOR CONSTRUCTION INFORMATION OF EXTERIOR WALL ASSEMBLIES
- REFER TO SHEETS A601 THROUGH A603 FOR WINDOW TYPES DETAILS, AND SHEETS A610 THROUGH A613 FOR STOREFRONT AND CURTAIN WALL TYPES AND DETAILS
- REFER TO SHEETS A001.13 THROUGH A001.21 FOR STRUCTURAL BEAM AND COLUMN FIREPROOFING INFORMATION

**ARCHITECT**  
**EMBARC**  
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BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

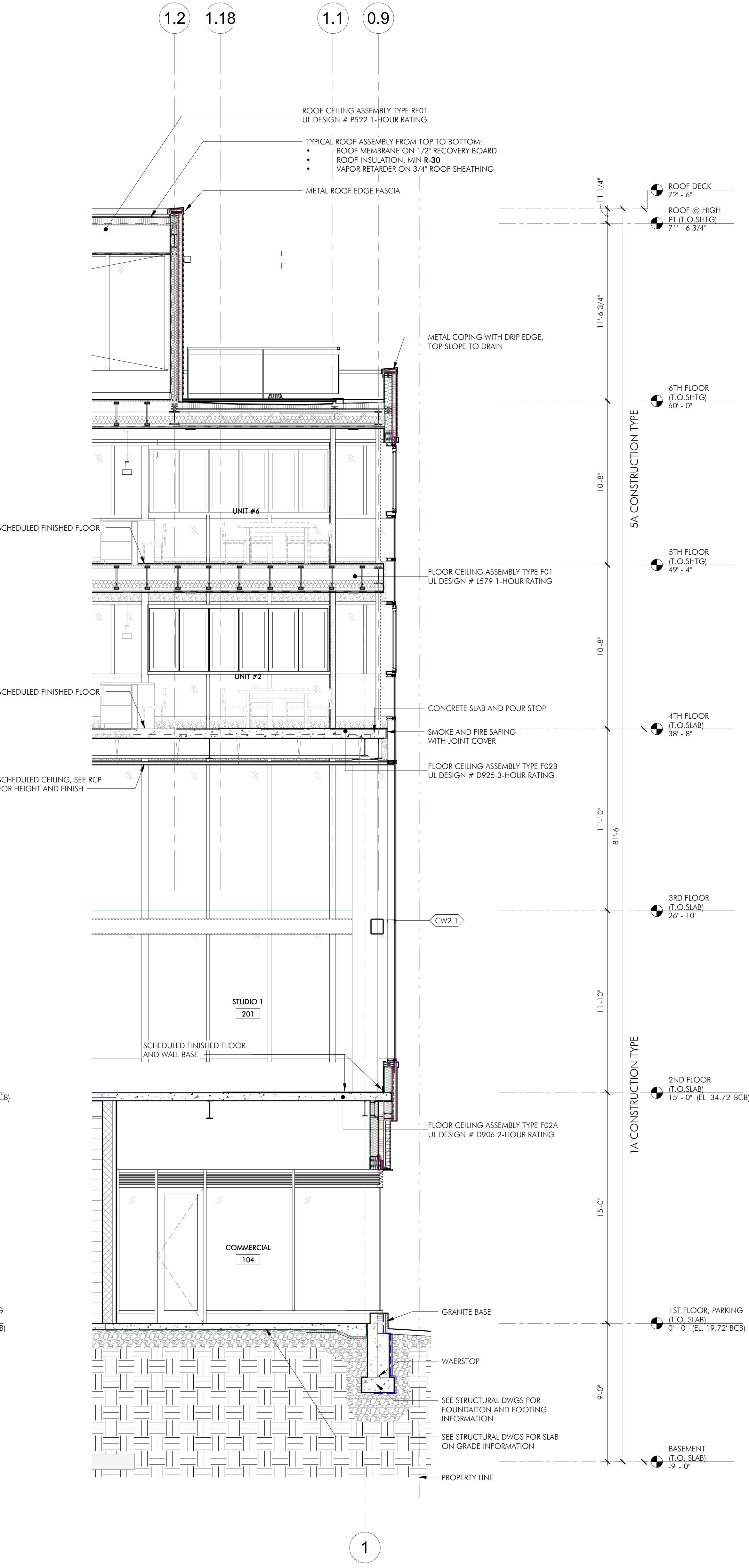
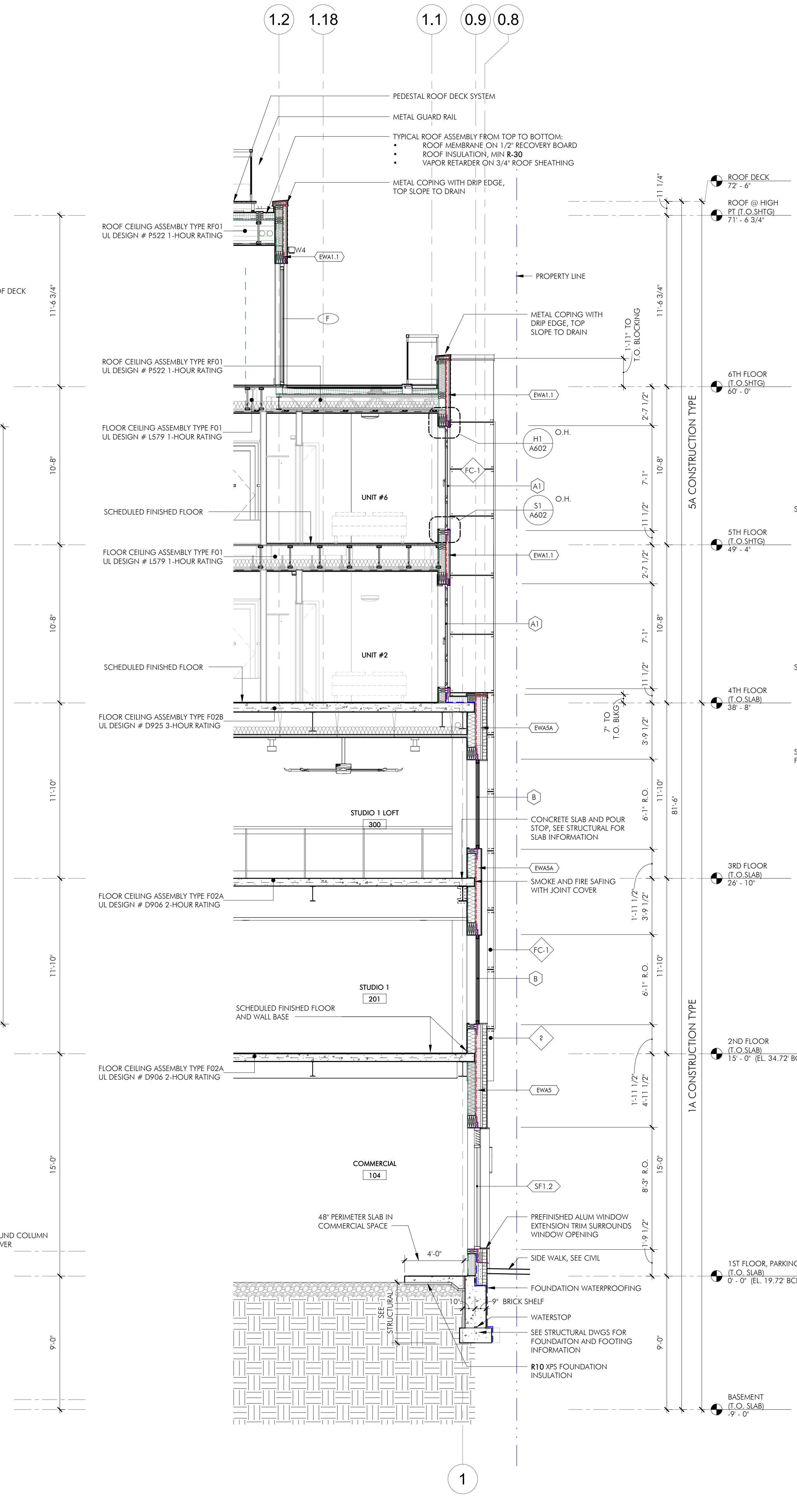
**OWNER**  
MICHAEL INDRESANO  
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**CONSULTANTS**  
**CIVIL**  
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14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.506.1474

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185 SUMMIT ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**  
ENENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114



**1 PARTIAL ENLARGED A STREET ELEVATION**  
1/4" = 1'-0"

**2 WALL SECTION THROUGH COMMERCIAL AND STUDIO 1**  
1/4" = 1'-0"

**3 WALL SECTION THROUGH COMMERCIAL AND UNITS**  
1/4" = 1'-0"

**33 A STREET**  
SOUTH BOSTON, MA

**ISSUED FOR CONSTRUCTION**

**REVISIONS**

MARK	ISSUE	DATE



**DRAWING INFORMATION**

ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
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**DRAWING TITLE**  
ENLARGED  
ELEVATION AND  
WALL SECTIONS

**DRAWING NUMBER**  
A311

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2/10/2022 1:55:58 PM

EXTERIOR MATERIAL LEGEND

BLACK IRON SPOT BRICK	SPANDEL GLAZING REFER TO STOREFRONT & CURTAIN WALL ELEVATIONS	HIGH-DENSITY FIBER CEMENT PANEL VARYING DIMENSIONS BOD: CEMBRIT - PATINA ORIGINAL GRANITE (P-020) REFER TO EXTERIOR WALL ASSEMBLIES	HIGH-DENSITY FIBER CEMENT PANEL 6" HORIZONTAL STRIPS, 3/8" GAP BOD: CEMBRIT - PATINA ORIGINAL TUFA (P-313)	FIBER CEMENT CLAPBOARD SIDING 4" EXPOSURE BOD: ALLURA, SMOOTH - STERLING GRAY REFER TO EXTERIOR WALL ASSEMBLIES	FIBER CEMENT CLAPBOARD SIDING 8" EXPOSURE BOD: ALLURA, SMOOTH - PEWTER REFER TO EXTERIOR WALL ASSEMBLIES	ALUMINUM COMPOSITE (ACM) PANEL VARYING DIMENSIONS BOD: ALUCOBOND PLUS - DRIFTWOOD MICA	ALUMINUM COMPOSITE (ACM) PANEL COLOR: BLACK

SHEET NOTE

- REFER TO SHEETS A006A AND A006B FOR CONSTRUCTION INFORMATION OF EXTERIOR WALL ASSEMBLIES
- REFER TO SHEETS A601 THROUGH A603 FOR WINDOW TYPES DETAILS, AND SHEETS A610 THROUGH A613 FOR STOREFRONT AND CURTAIN WALL TYPES AND DETAILS
- REFER TO SHEETS A001.13 THROUGH A001.21 FOR STRUCTURAL BEAM AND COLUMN FIREPROOFING INFORMATION

ARCHITECT  
**EMBARC**  
580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

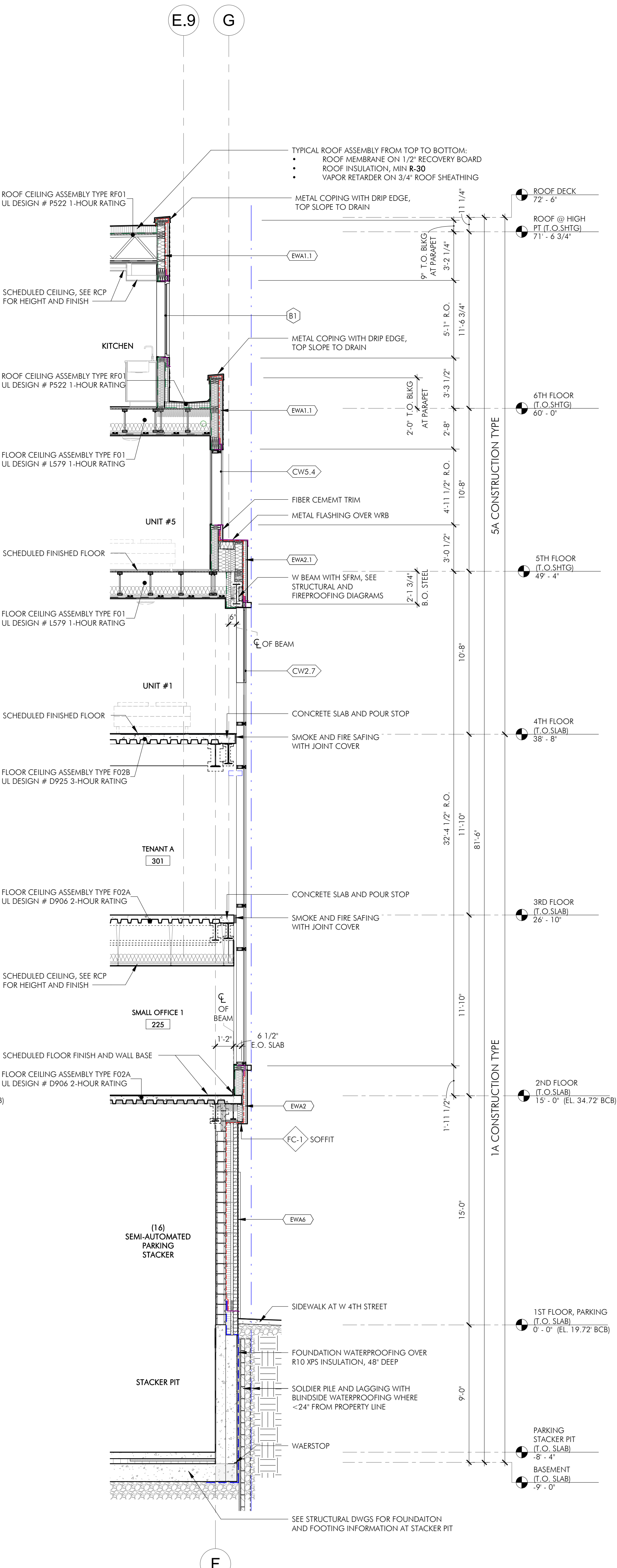
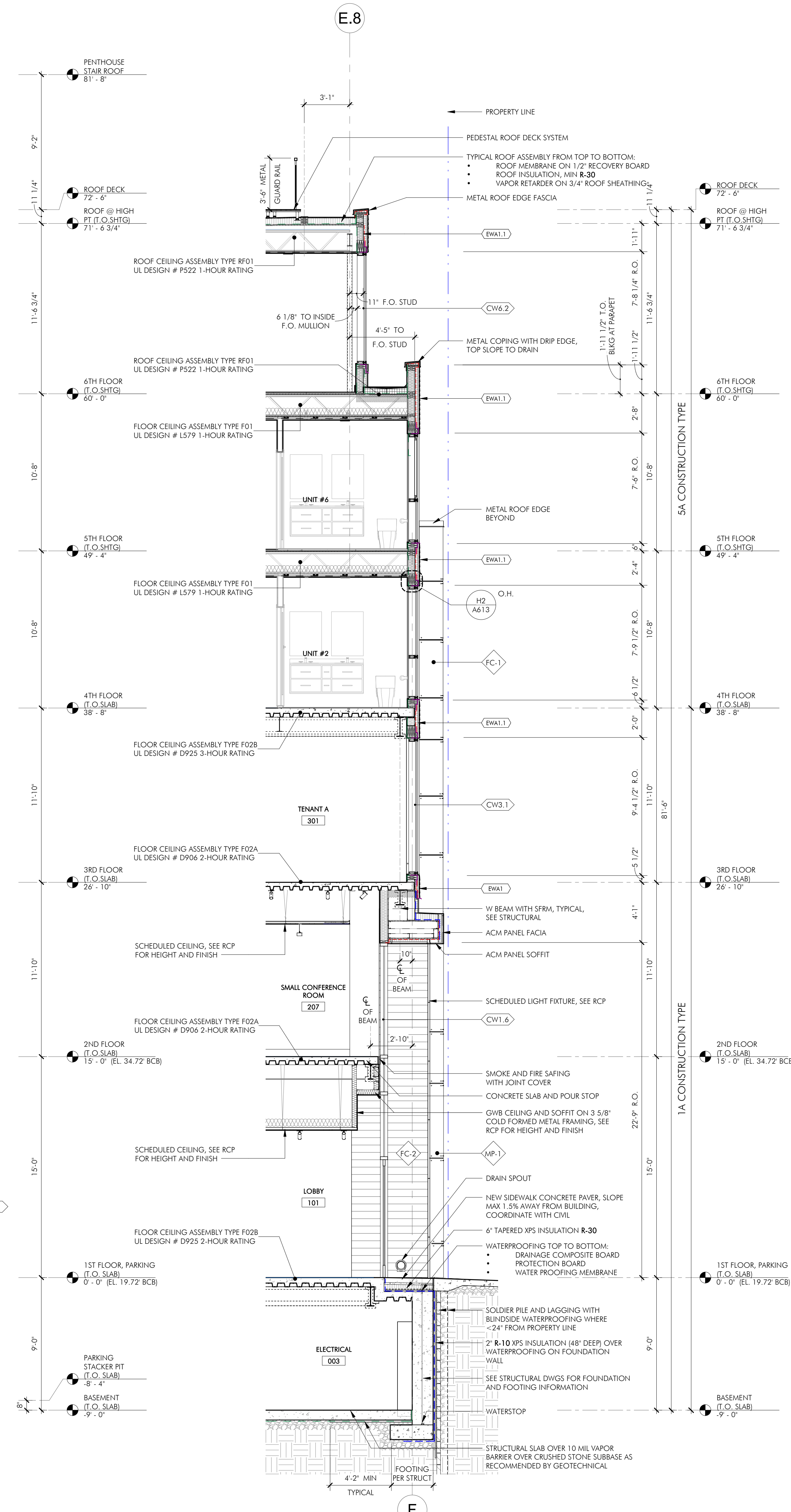
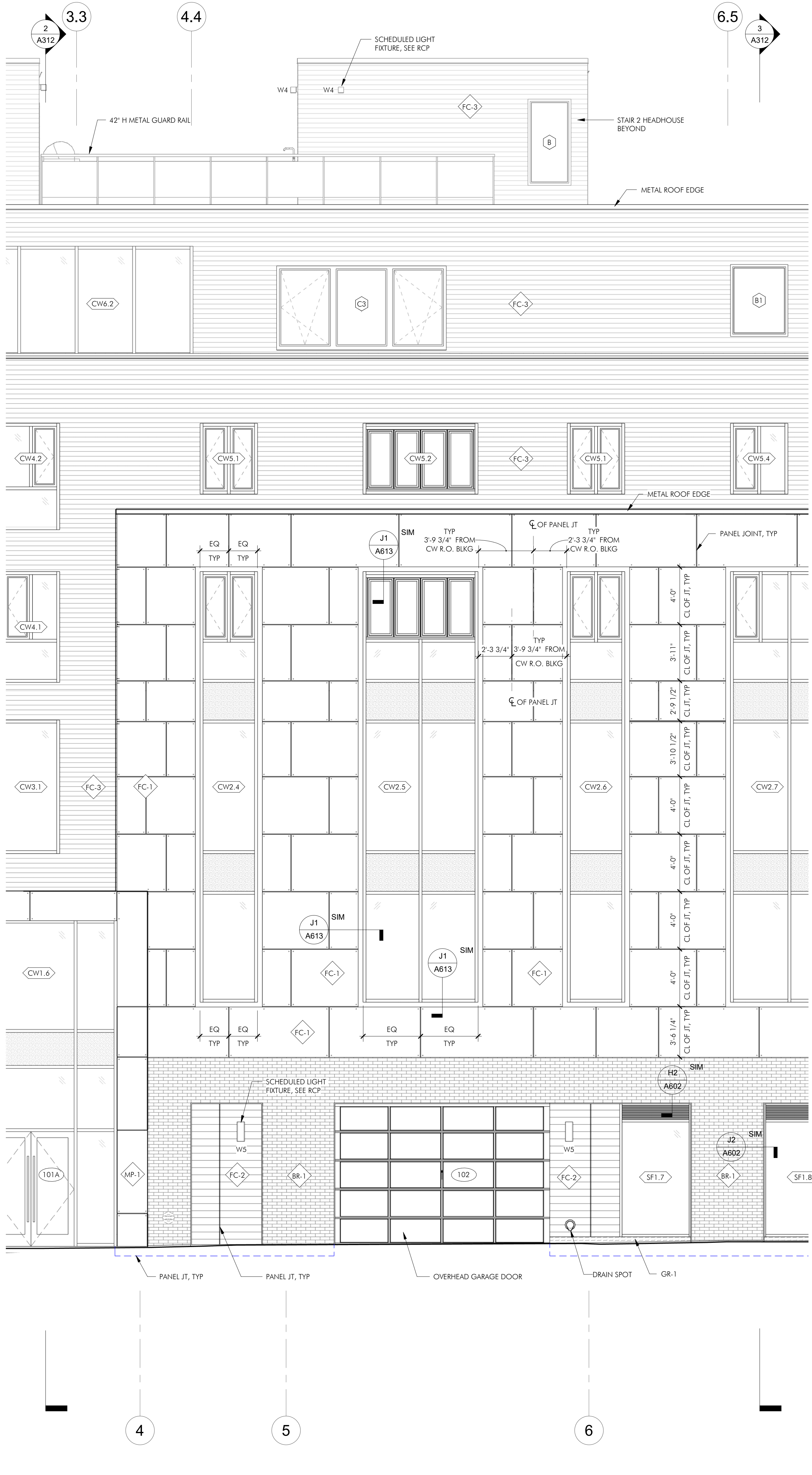
OWNER  
MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS  
**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPHAM AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMMIT ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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617.969.7700

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831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114



1 PARTIAL ENLARGED W 4TH STREET ELEVATION  
1/4" = 1'-0"

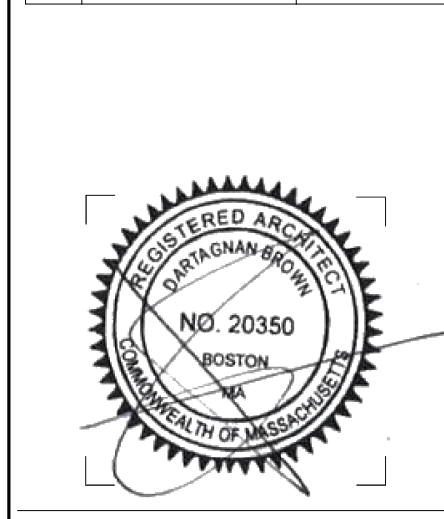
2 WALL SECTION THROUGH LOBBY  
1/4" = 1'-0"

3 WALL SECTION THROUGH STACKER PIT  
1/4" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE

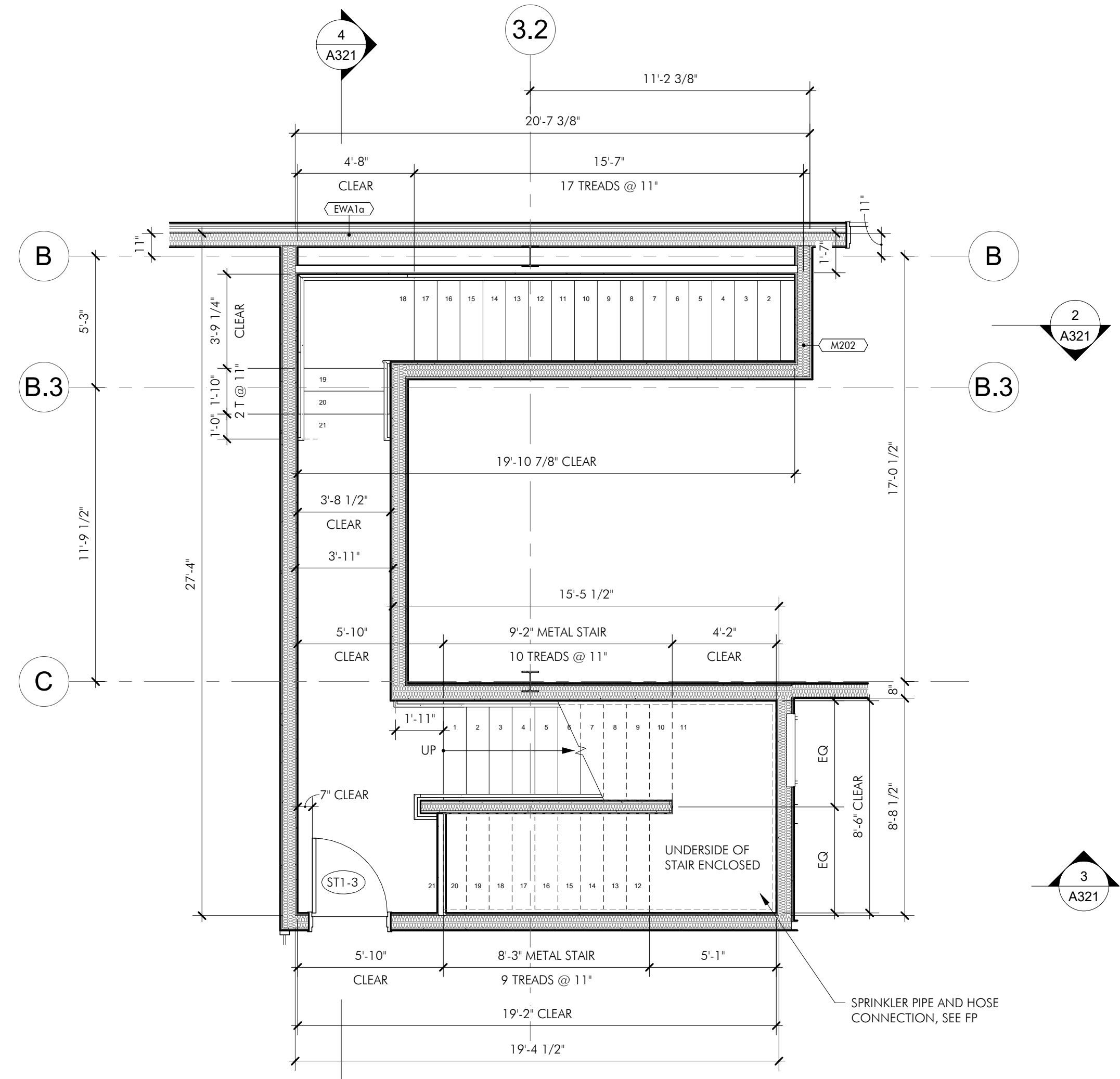


DRAWING INFORMATION  
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DATE: 02/07/2022  
PROJECT #: 202020  
SCALE: 1/4" = 1'-0"  
DRAWING TITLE  
ENLARGED  
ELEVATION AND  
WALL SECTIONS  
DRAWING NUMBER

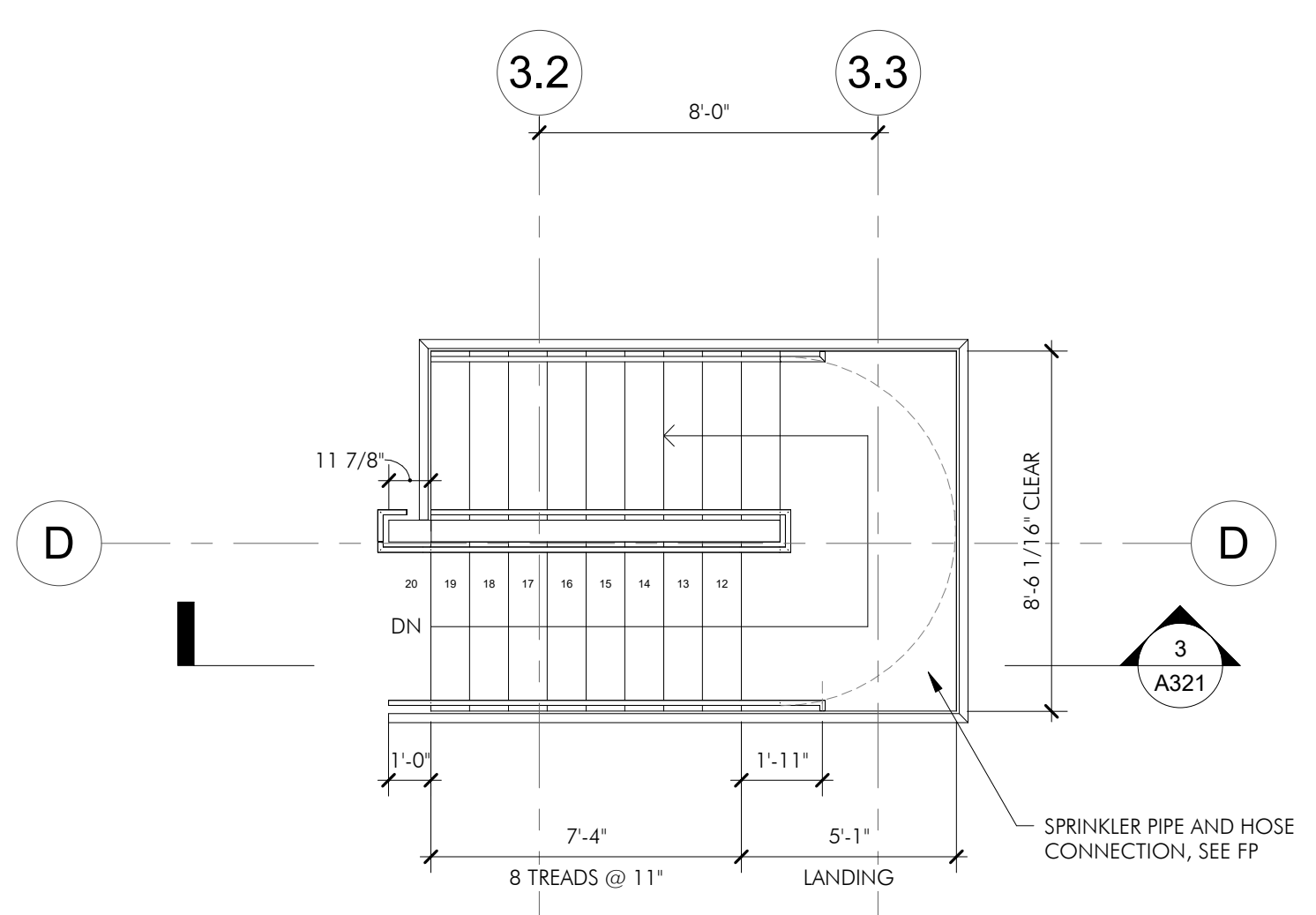
A312  
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D:\Floor Rev\202002\_33A\_Sheet\_1P.dwg (2/7/2022 10:58:06 AM)  
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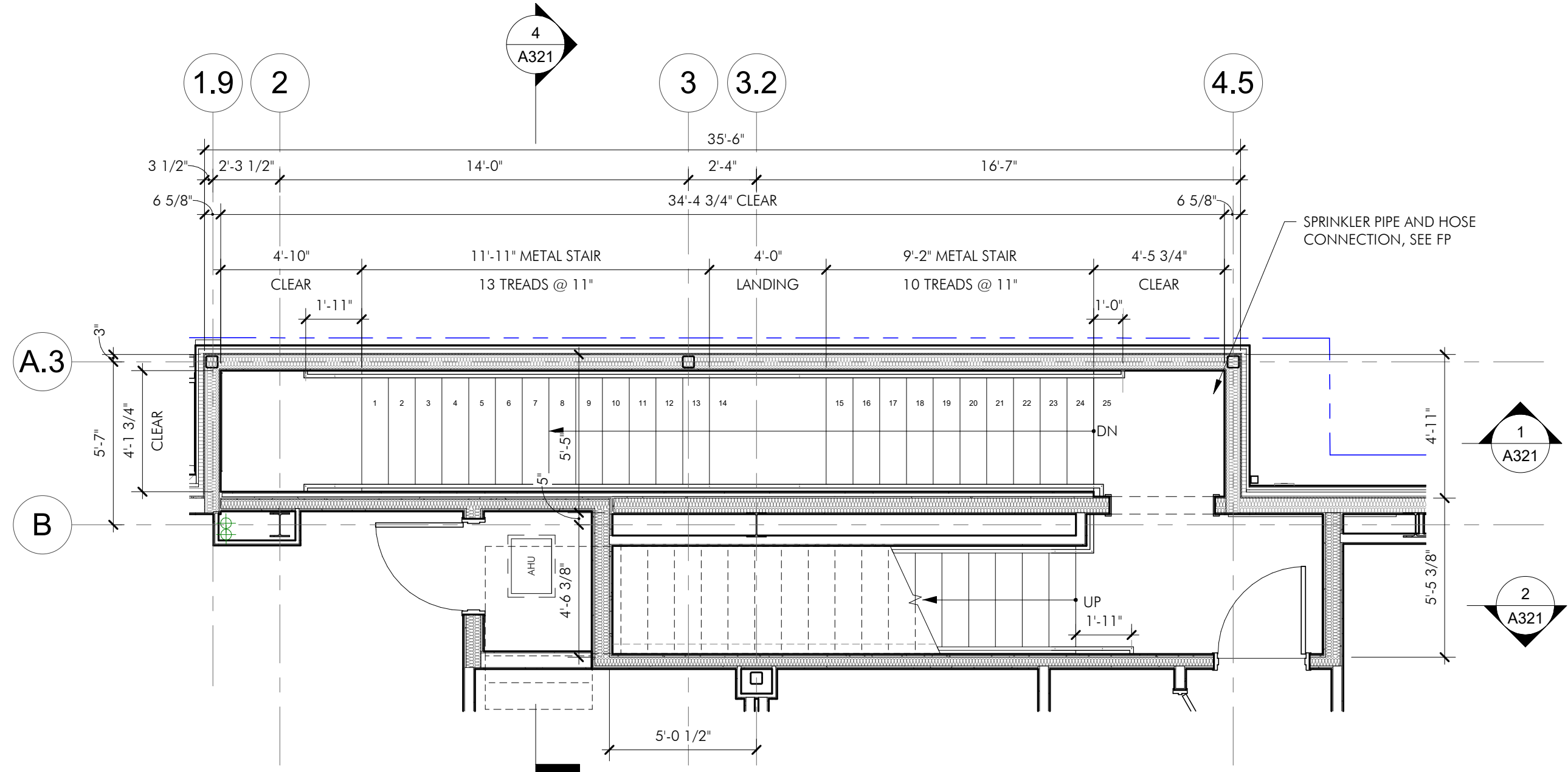




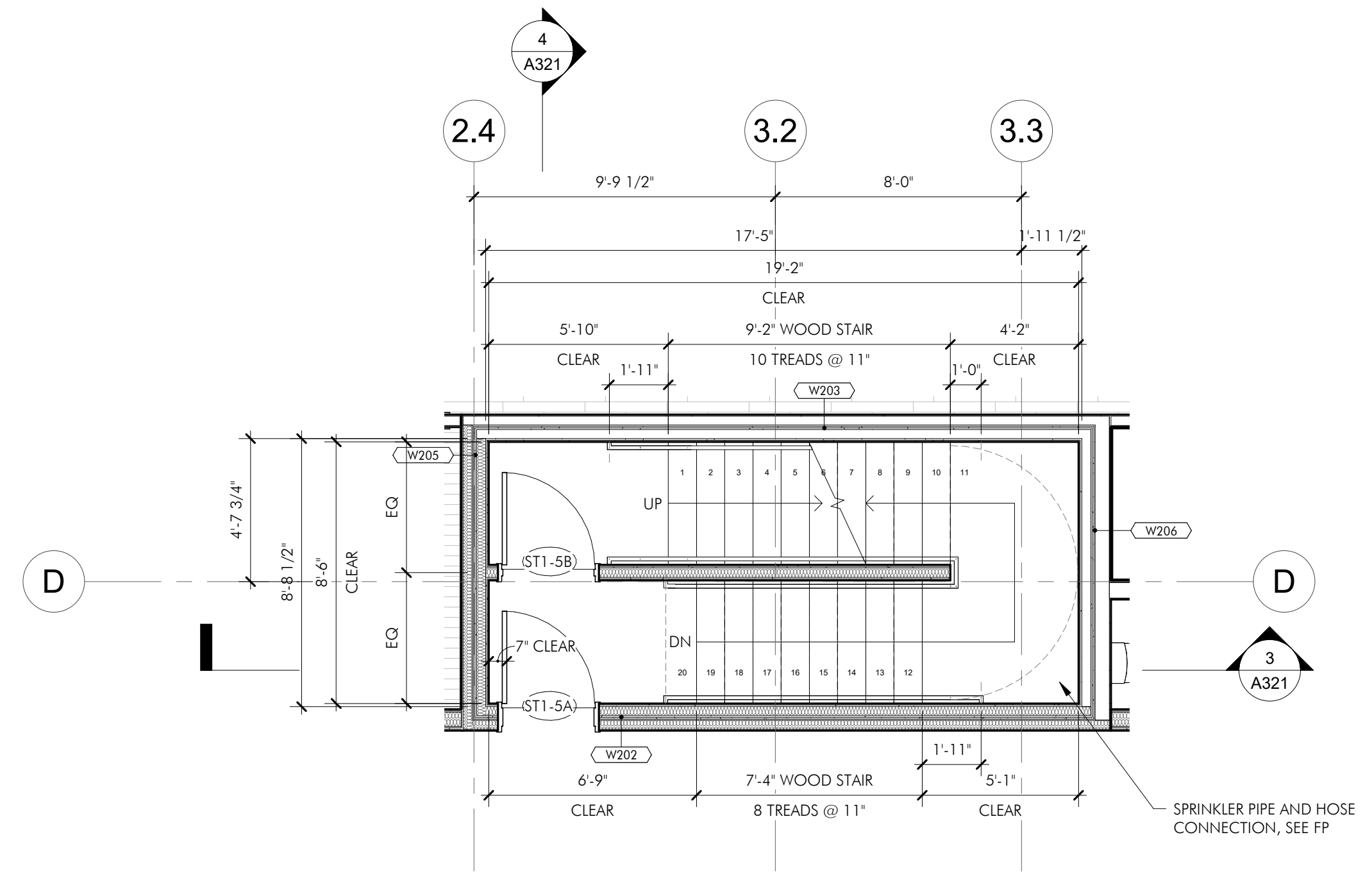
3 STAIR 1 - 3RD FLOOR  
1/4" = 1'-0"



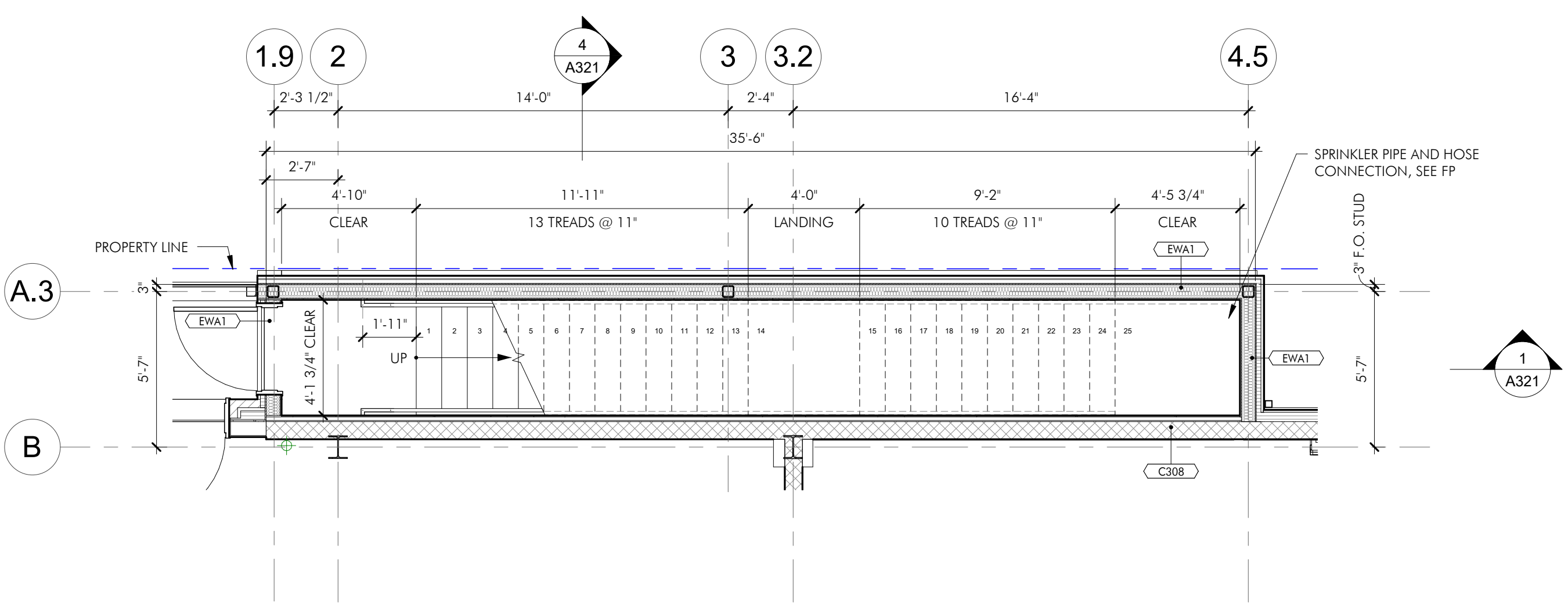
6 STAIR 1 - 6TH FLOOR  
1/4" = 1'-0"



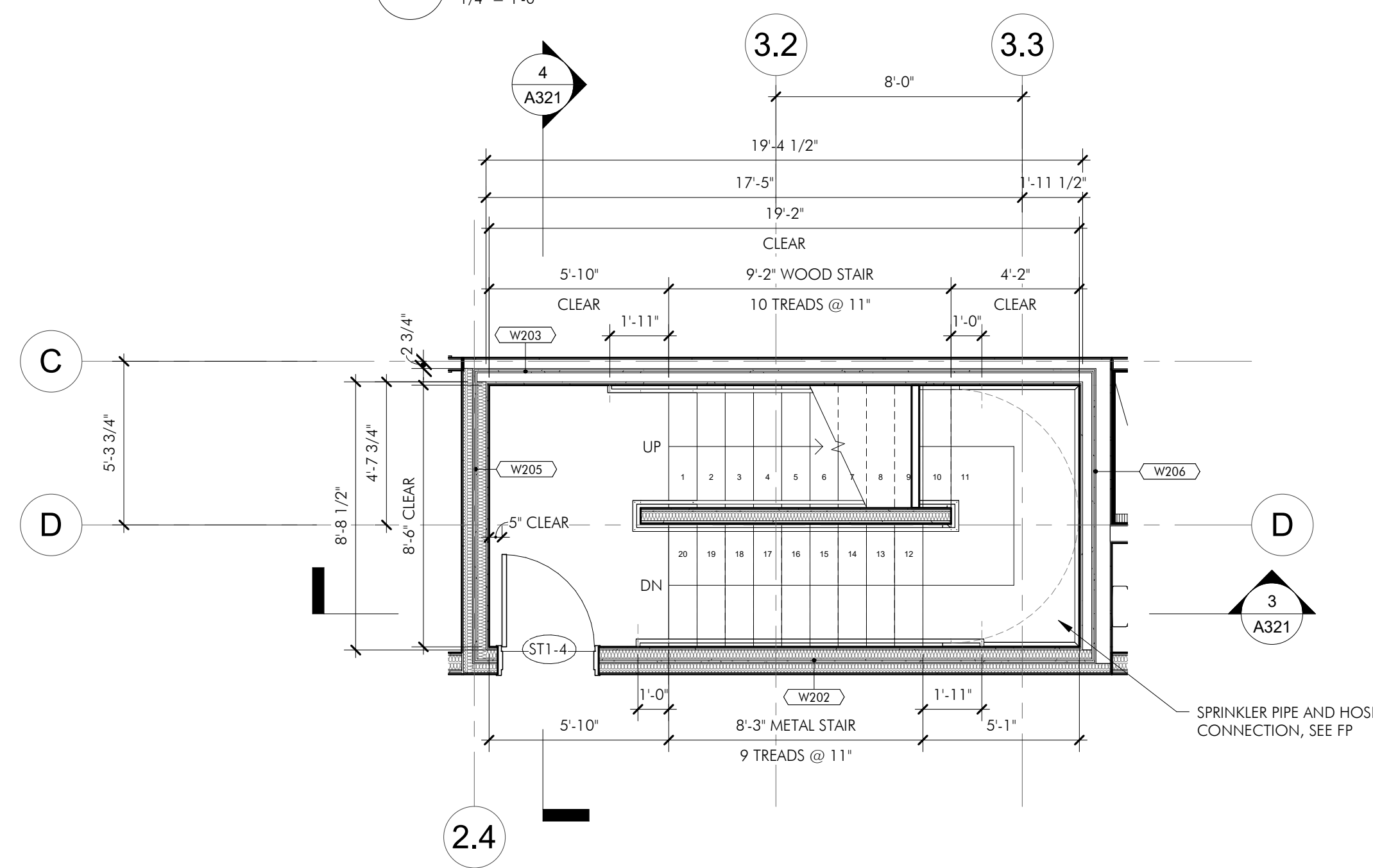
2 STAIR 1 - 2ND FLOOR  
1/4" = 1'-0"



5 STAIR 1 - 5TH FLOOR  
1/4" = 1'-0"



1 STAIR 1 - 1ST FLOOR  
1/4" = 1'-0"



4 STAIR 1 - 4TH FLOOR  
1/4" = 1'-0"

REVISIONS

MARK	ISSUE	DATE

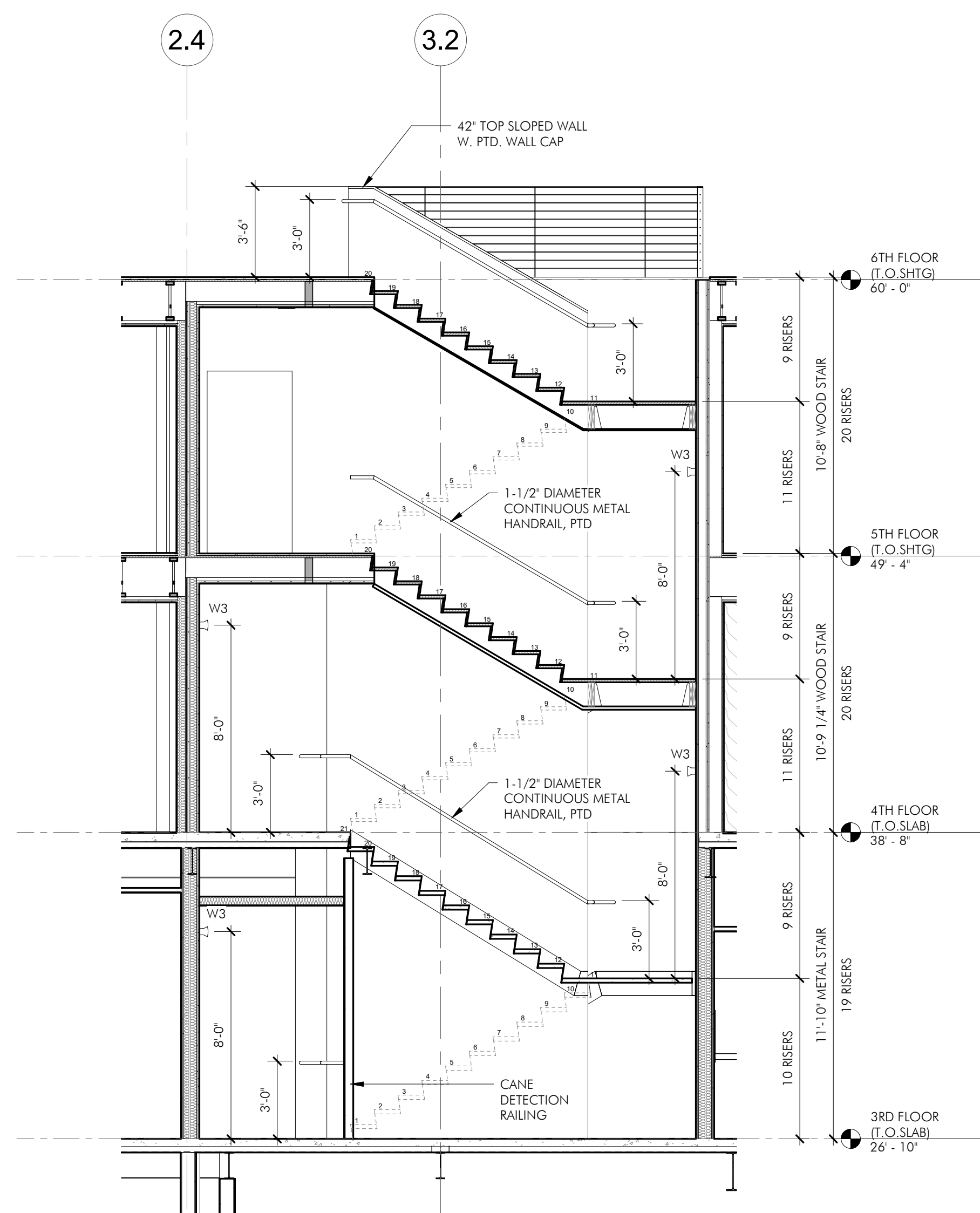


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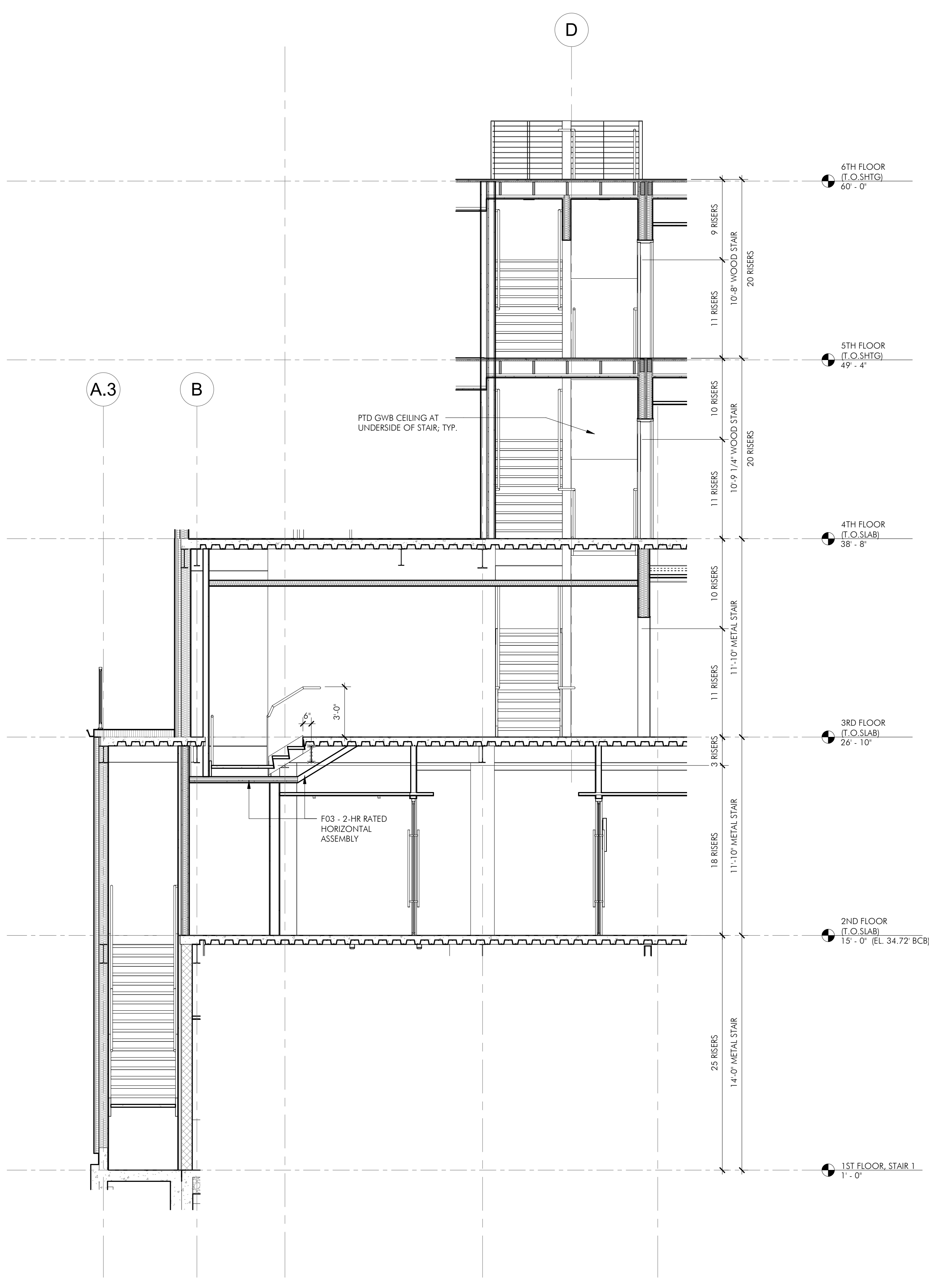
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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

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**STAIR 1 SECTIONS**

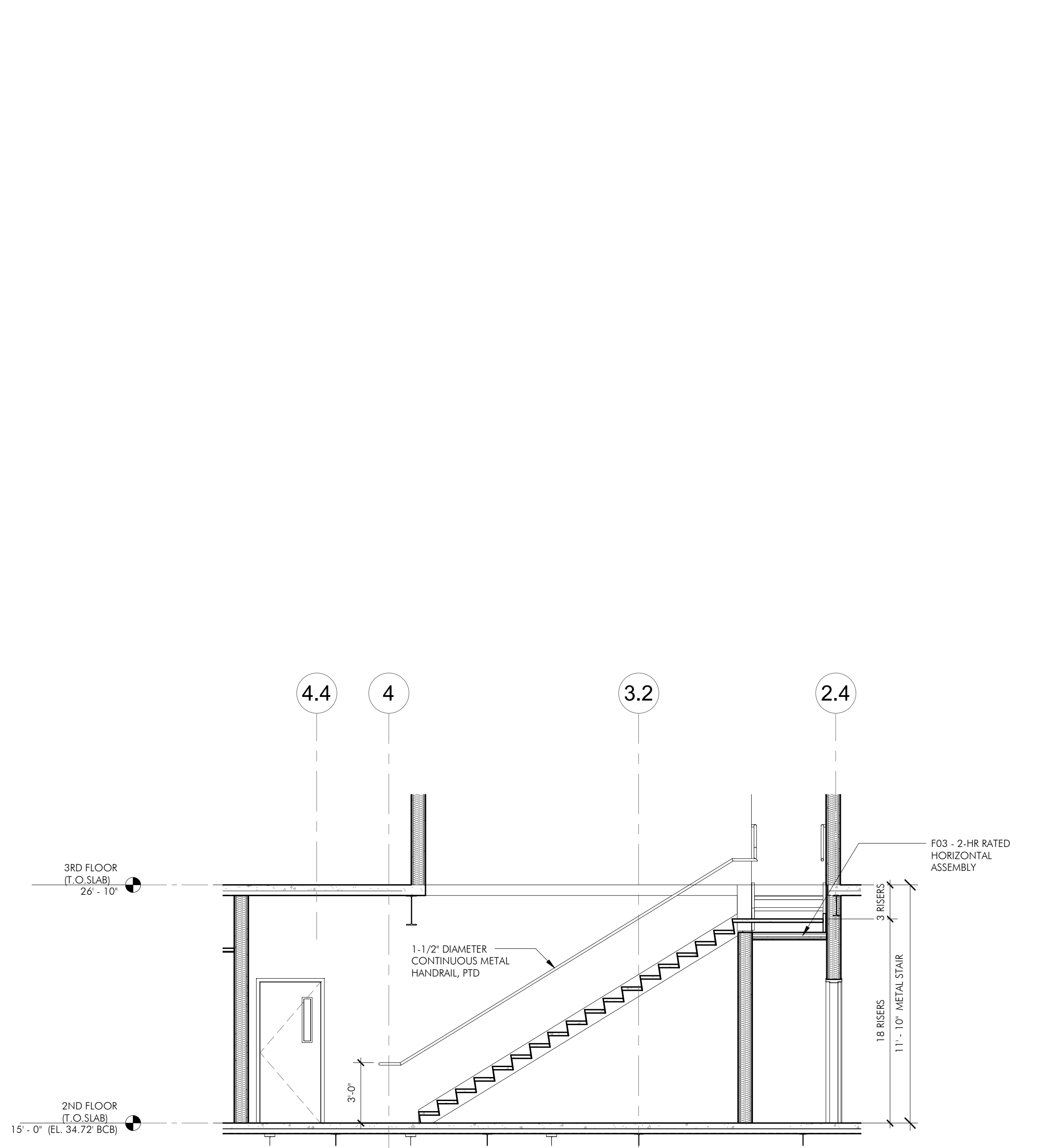
DRAWING NUMBER  
**A321**



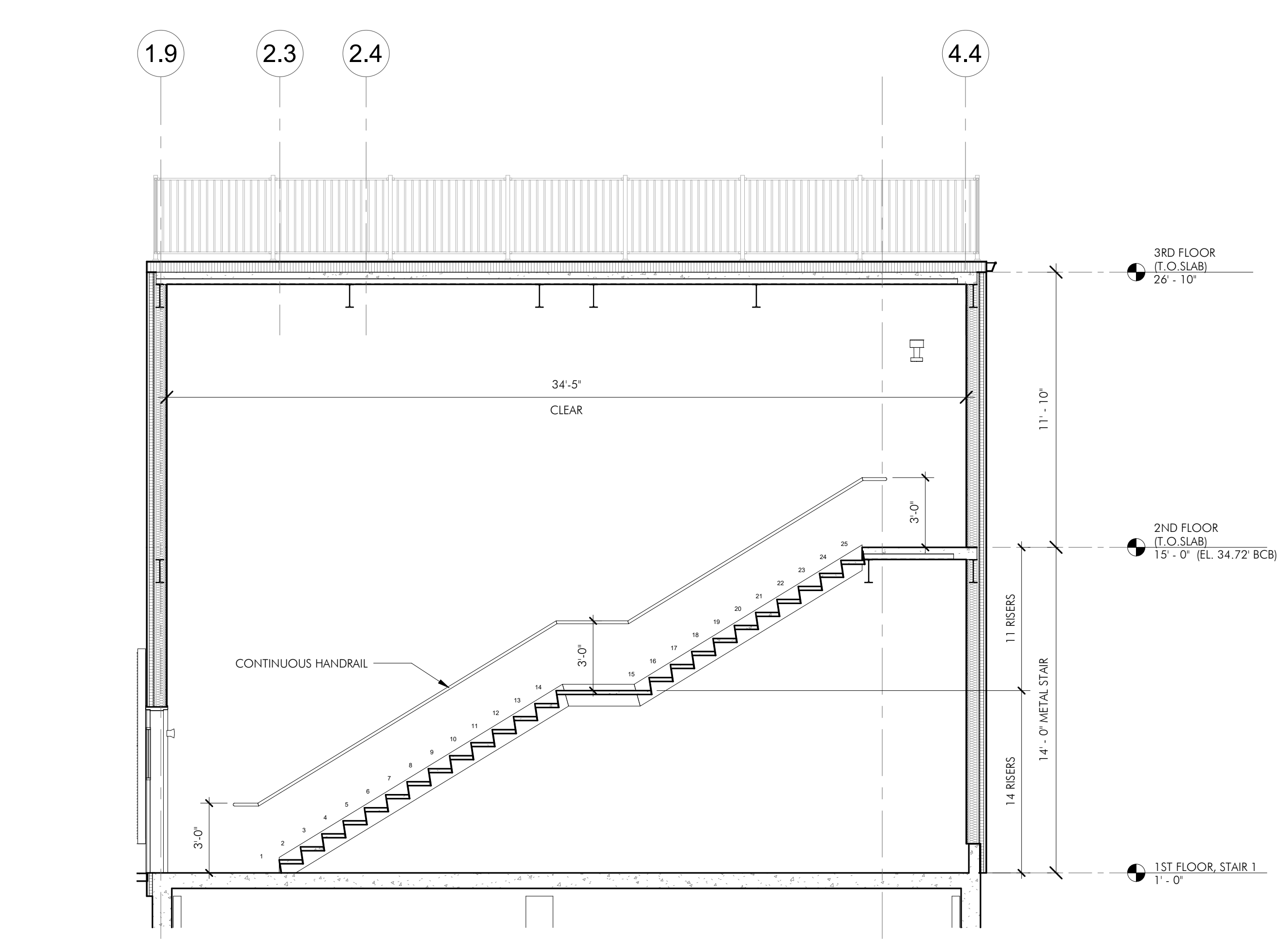
3 STAIR 1 - SECTION D  
1/4" = 1'-0"



4 STAIR 1 - SECTION C1  
1/4" = 1'-0"

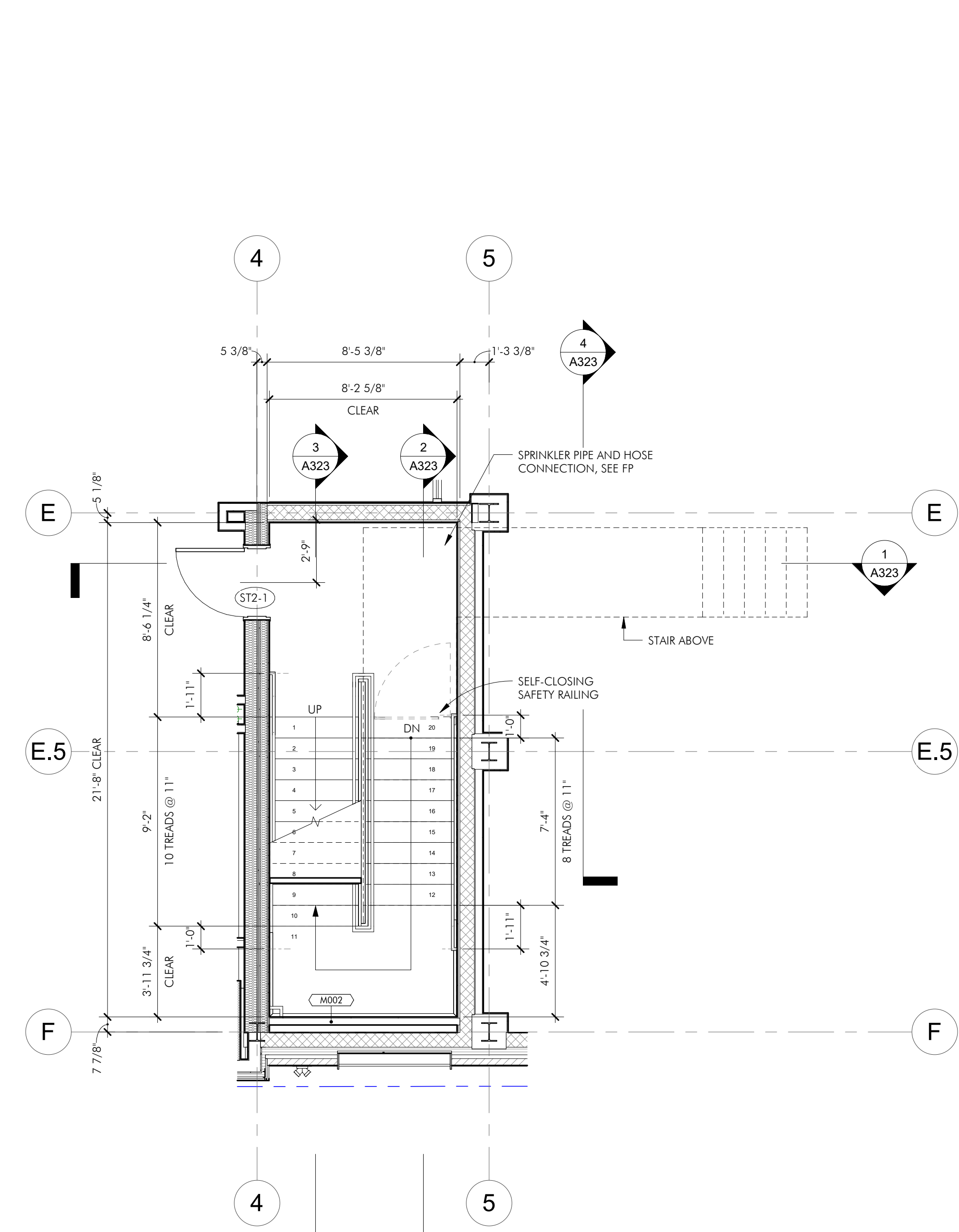


2 STAIR 1 - SECTION B  
1/4" = 1'-0"

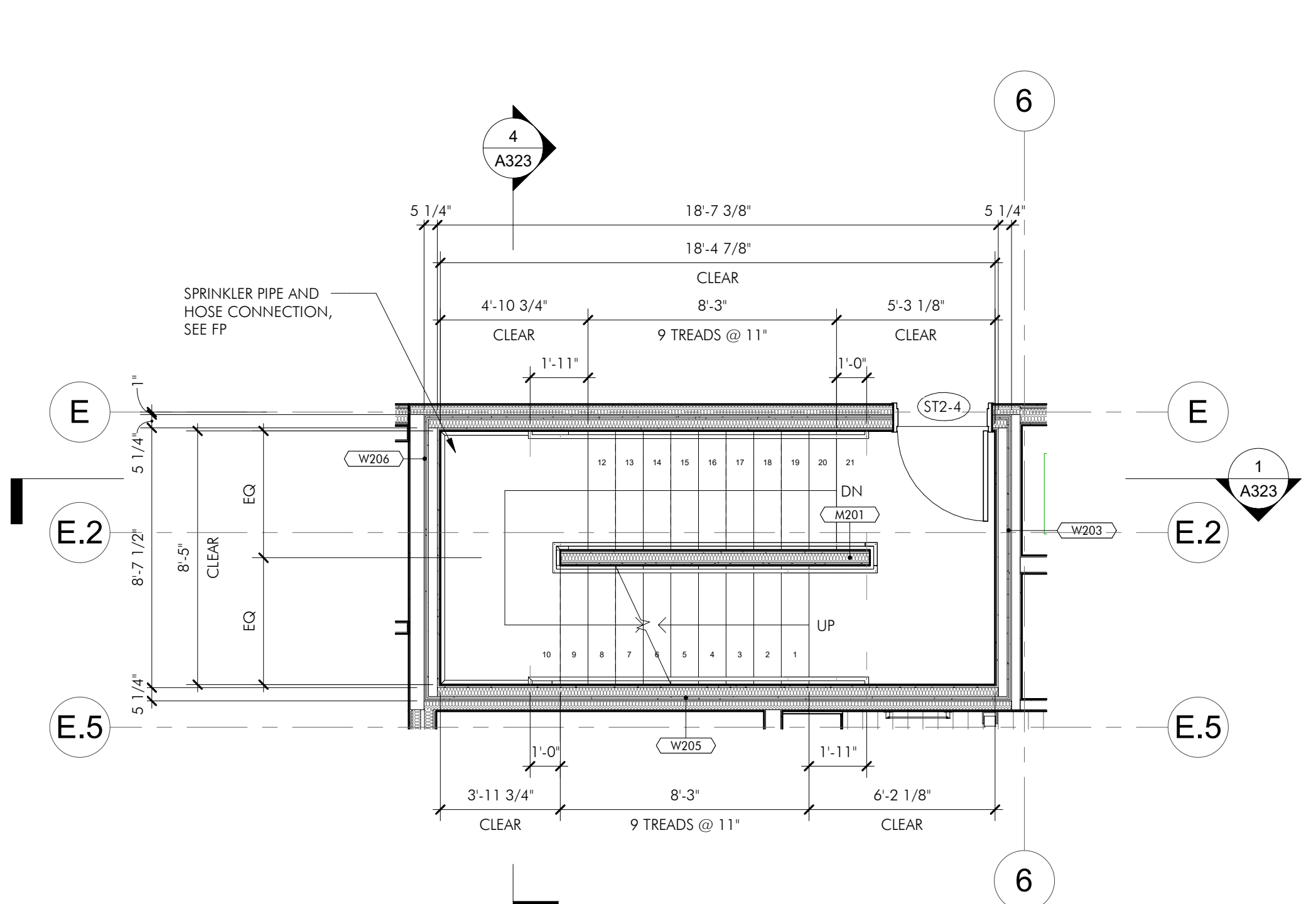


1 STAIR 1 - SECTION A  
1/4" = 1'-0"

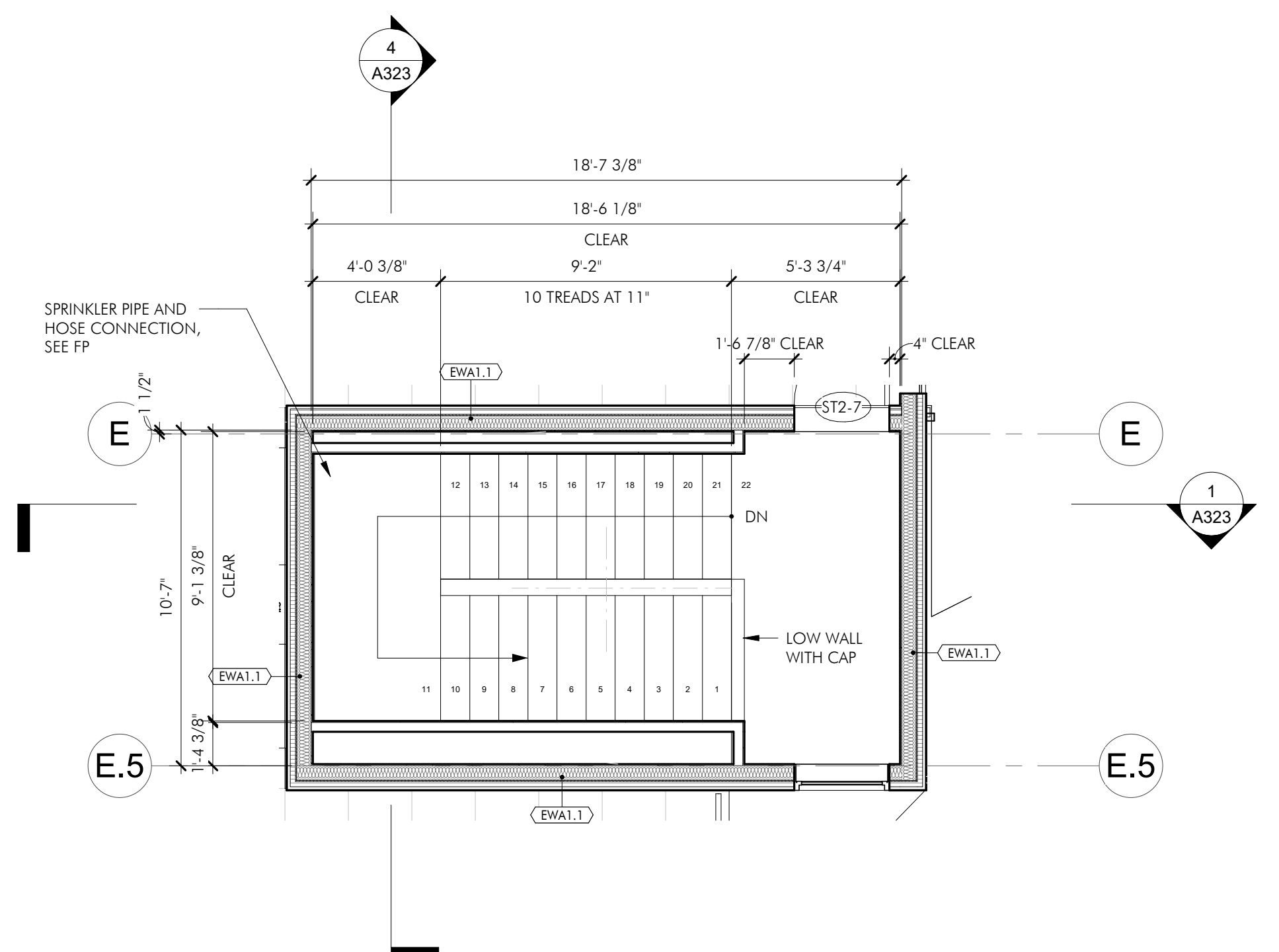
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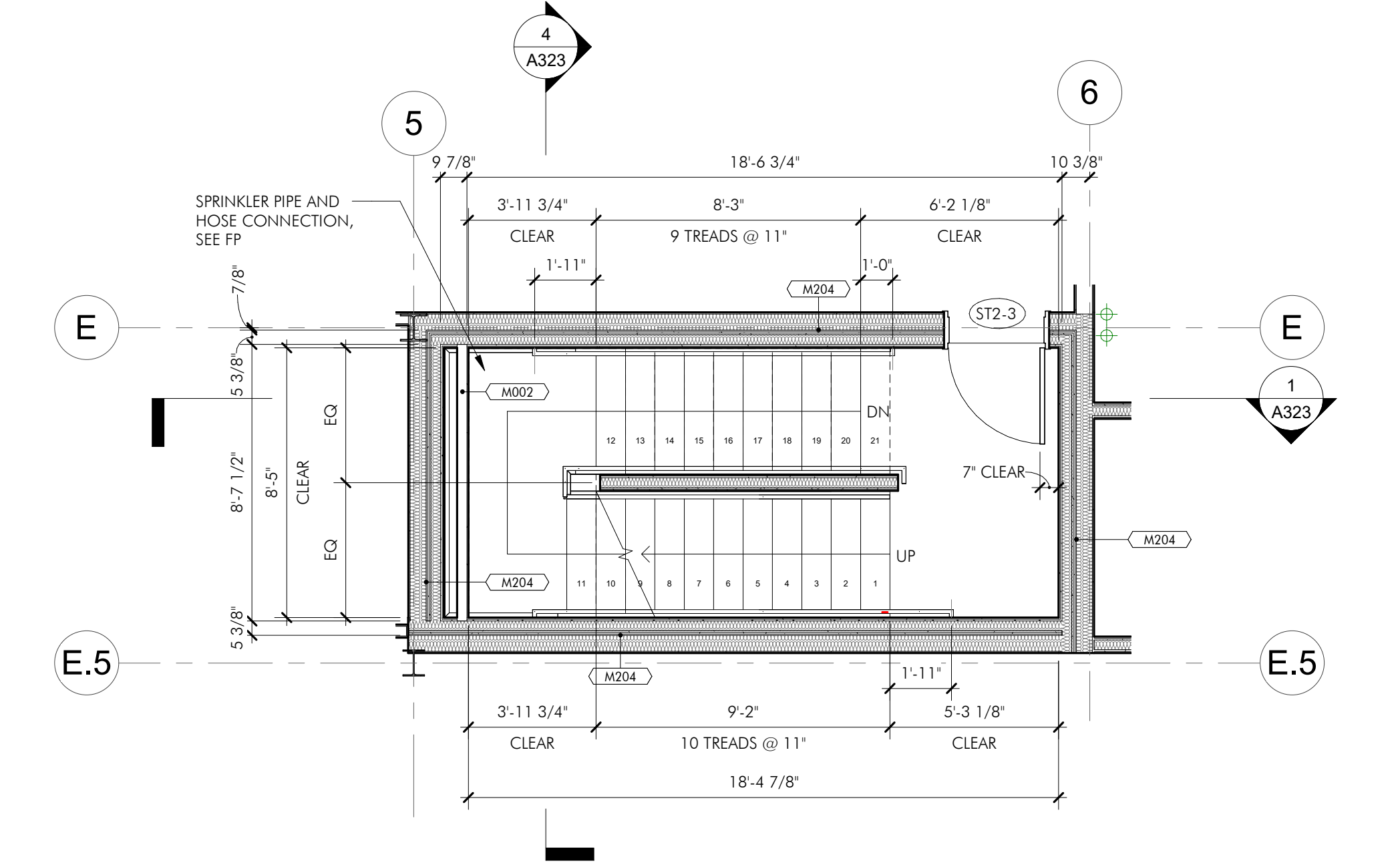
2 STAIR 2 - FIRST FLOOR  
1/4" = 1'-0"



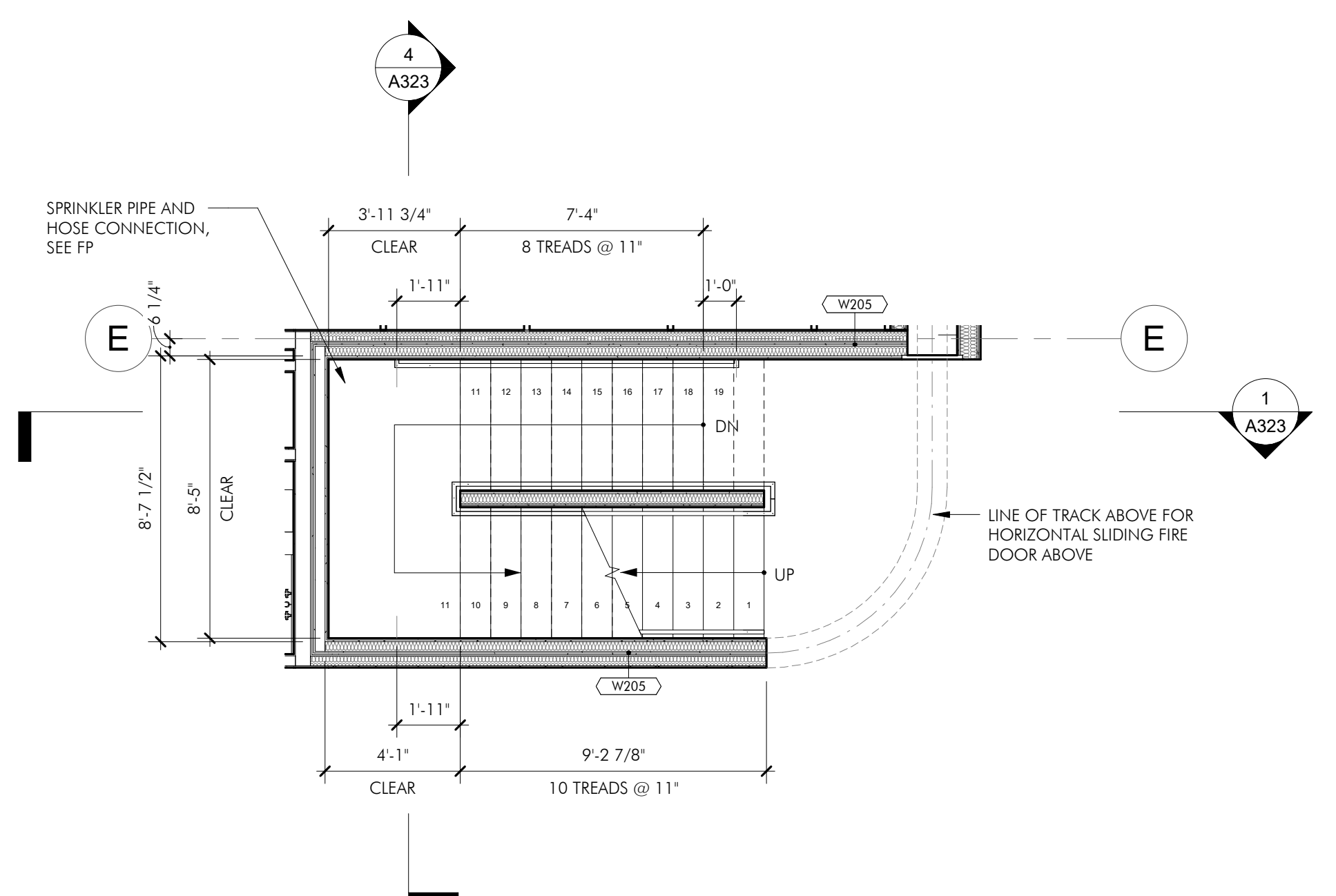
5 STAIR 2 - FOURTH FLOOR  
1/4" = 1'-0"



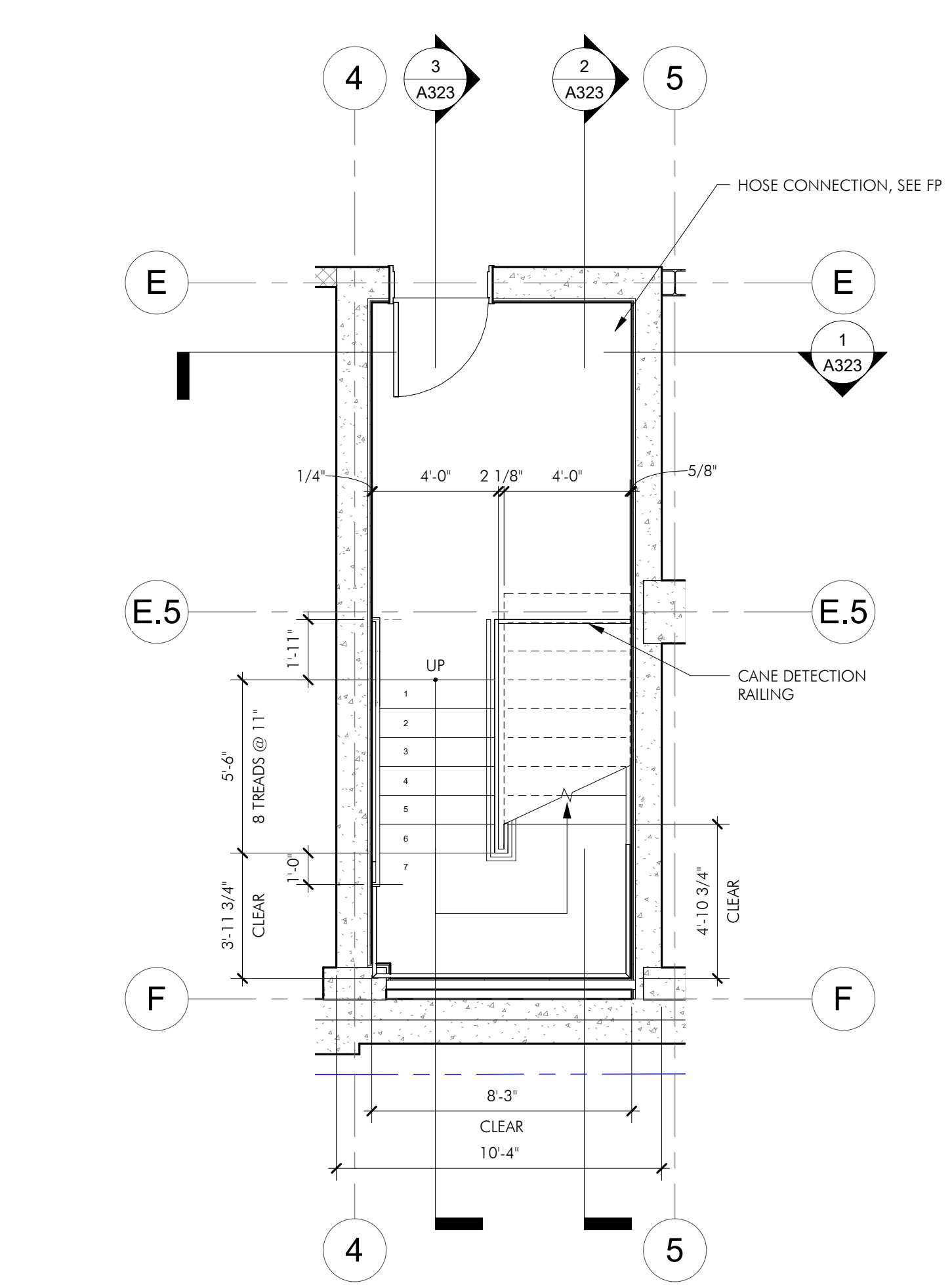
8 STAIR 2 - ROOF  
1/4" = 1'-0"



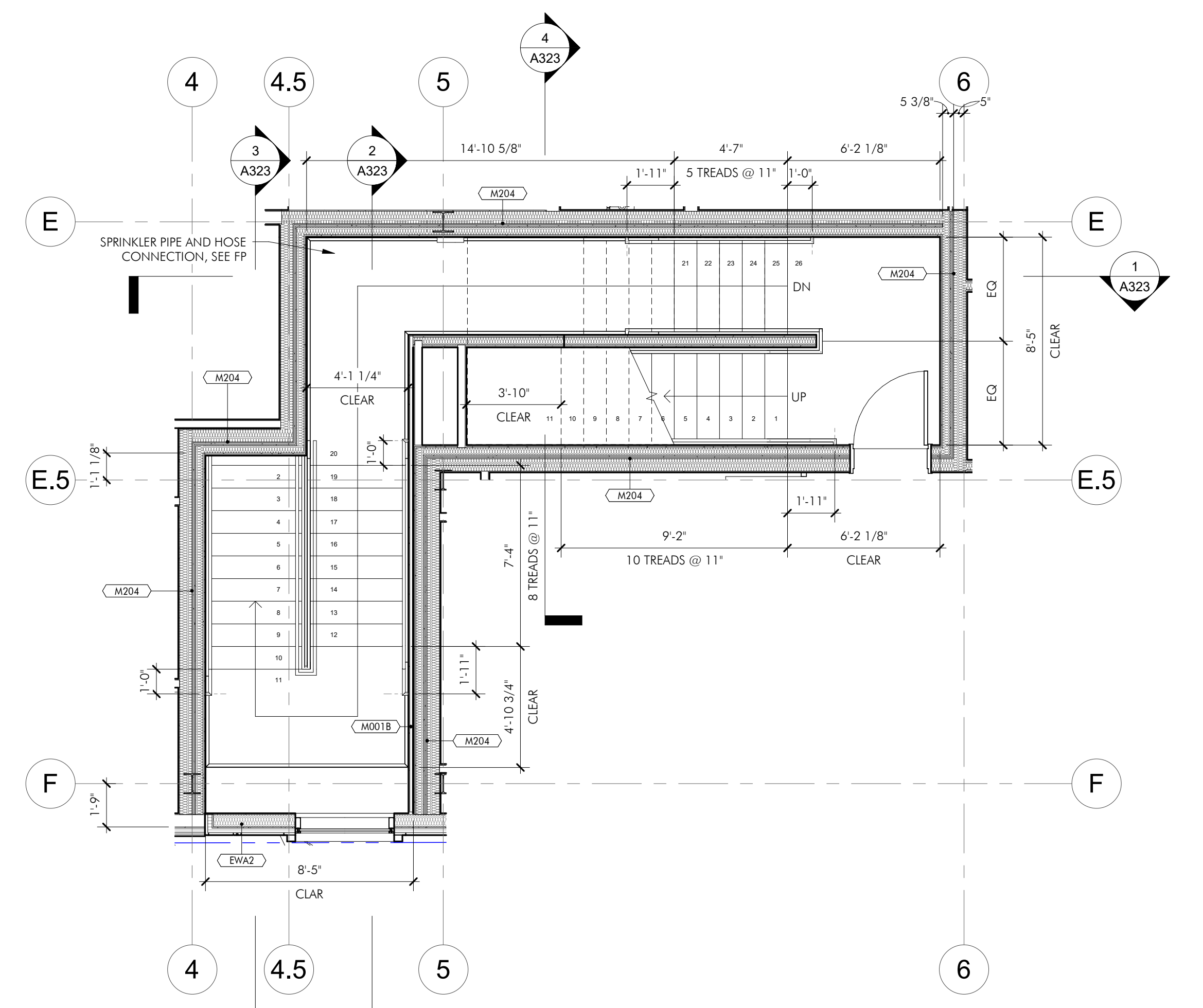
4 STAIR 2 - THIRD FLOOR  
1/4" = 1'-0"



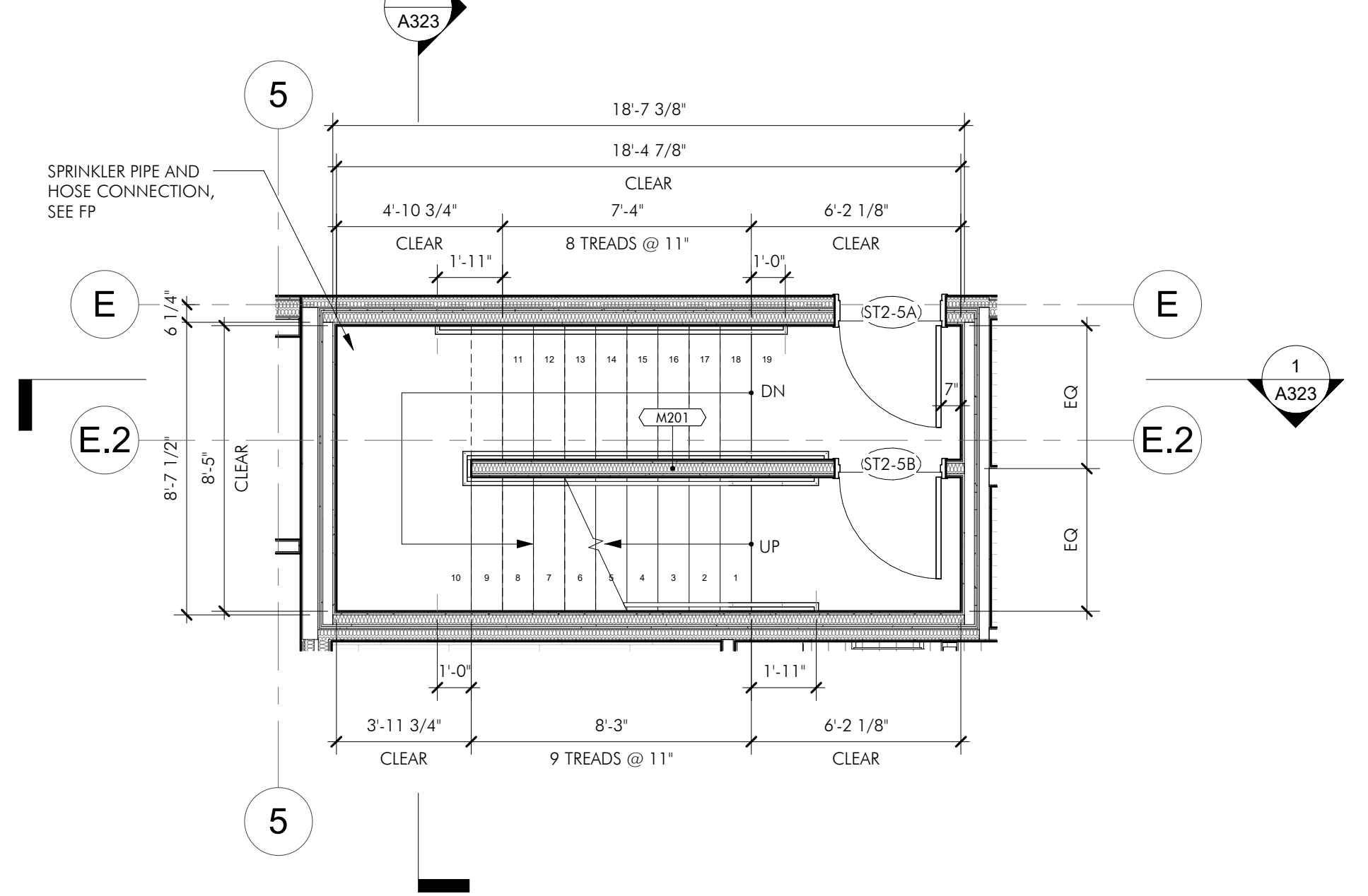
7 STAIR 2 - SIXTH FLOOR  
1/4" = 1'-0"



1 STAIR 2 - BASEMENT  
1/4" = 1'-0"



3 STAIR 2 - SECOND  
1/4" = 1'-0"



6 STAIR 2 - FIFTH FLOOR  
1/4" = 1'-0"

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
STAIR 2 PLANS

DRAWING NUMBER  
**A322**

CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPMAN AVE.  
DORCHESTER, MA 02125  
617.586.1474

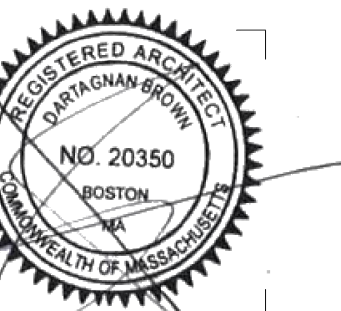
**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMMIT ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

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EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

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REVISIONS

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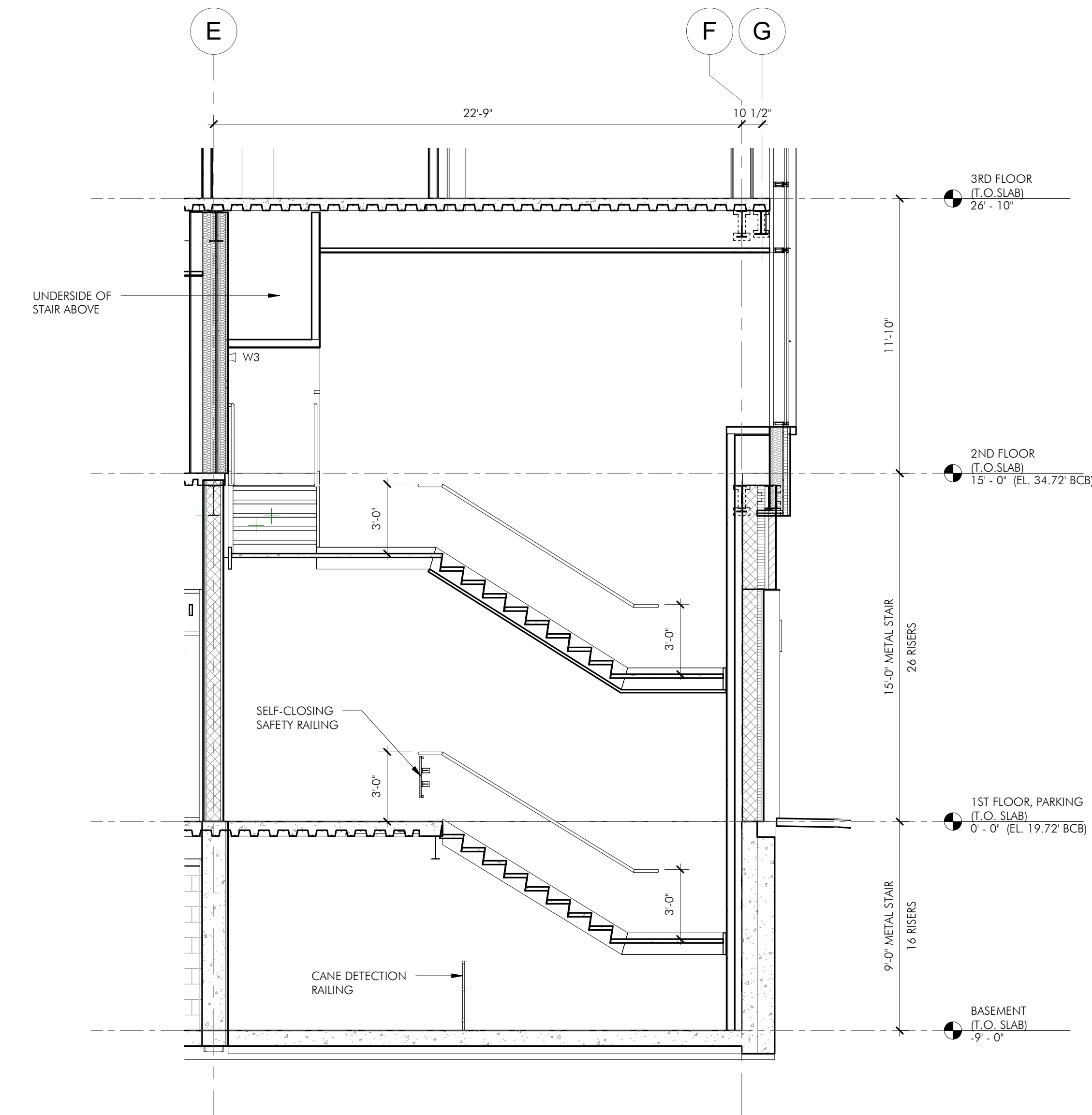
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DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/4" = 1'-0"

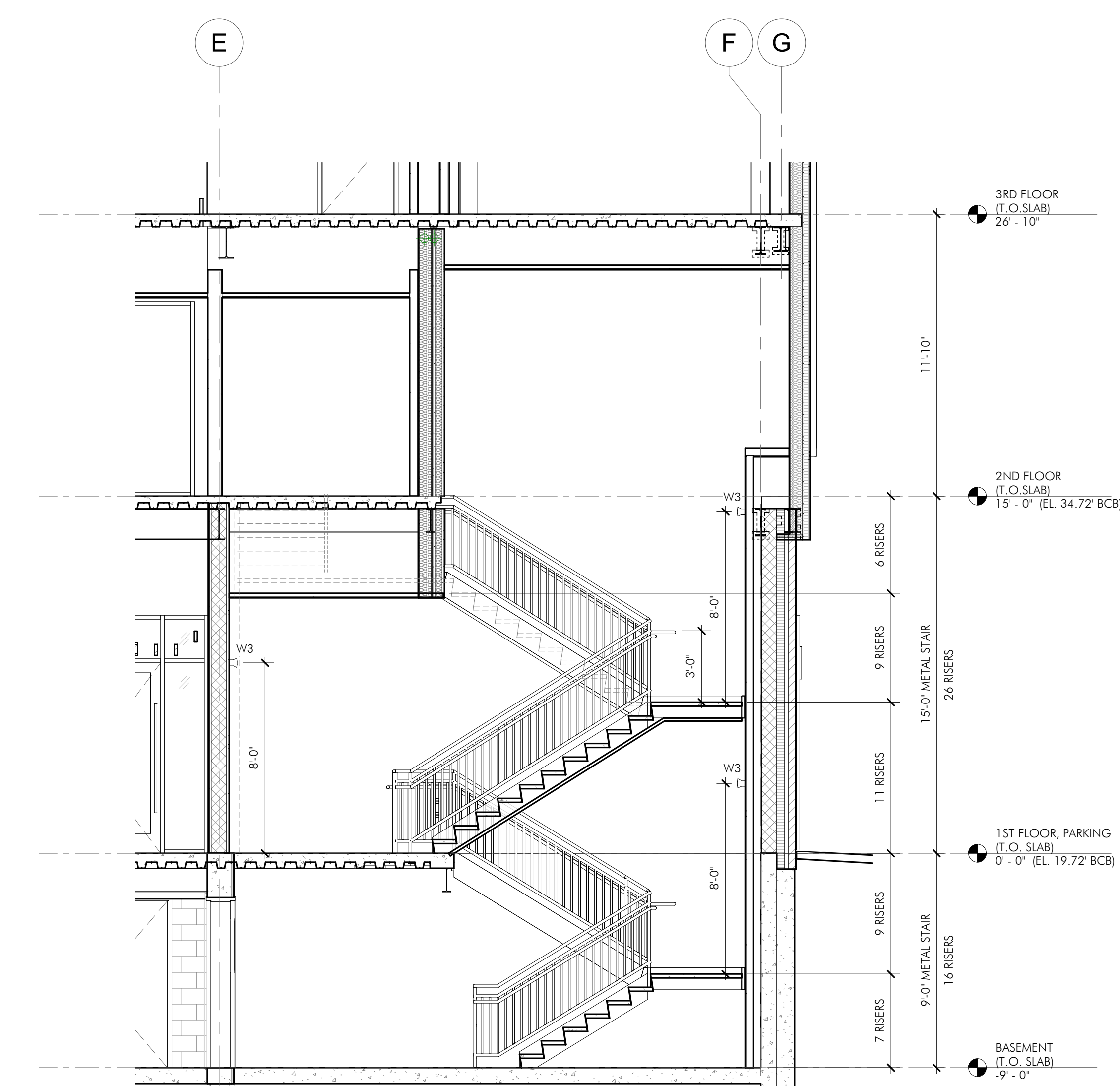
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STAIR 2 SECTIONS

DRAWING NUMBER

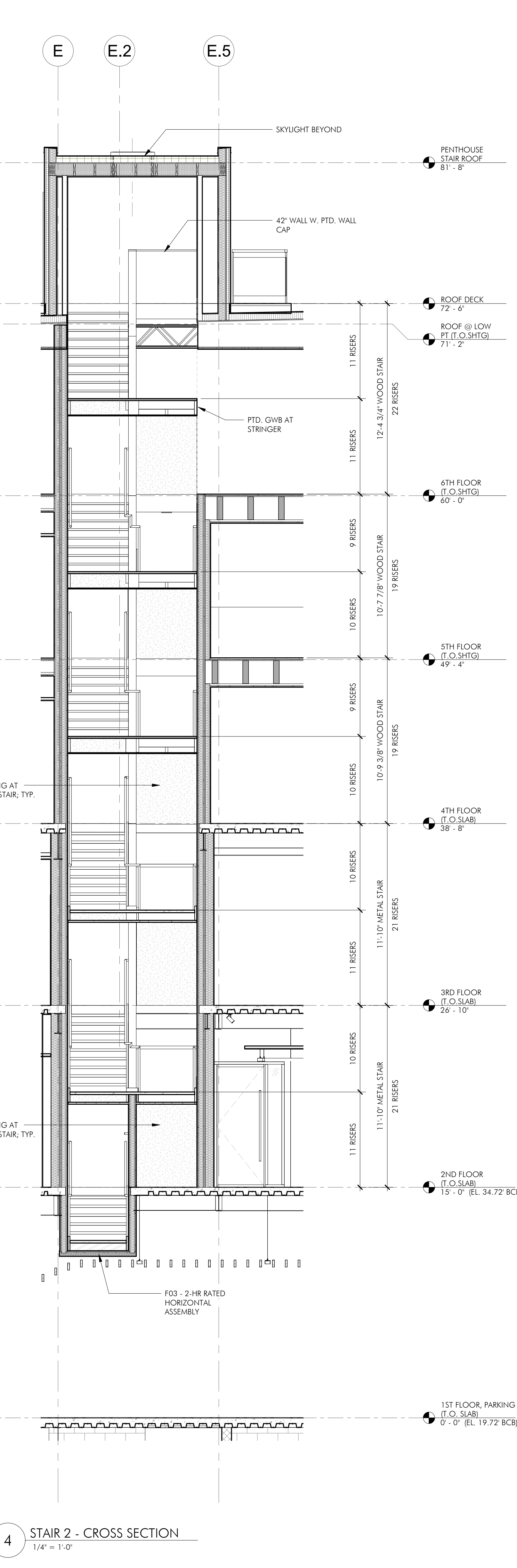
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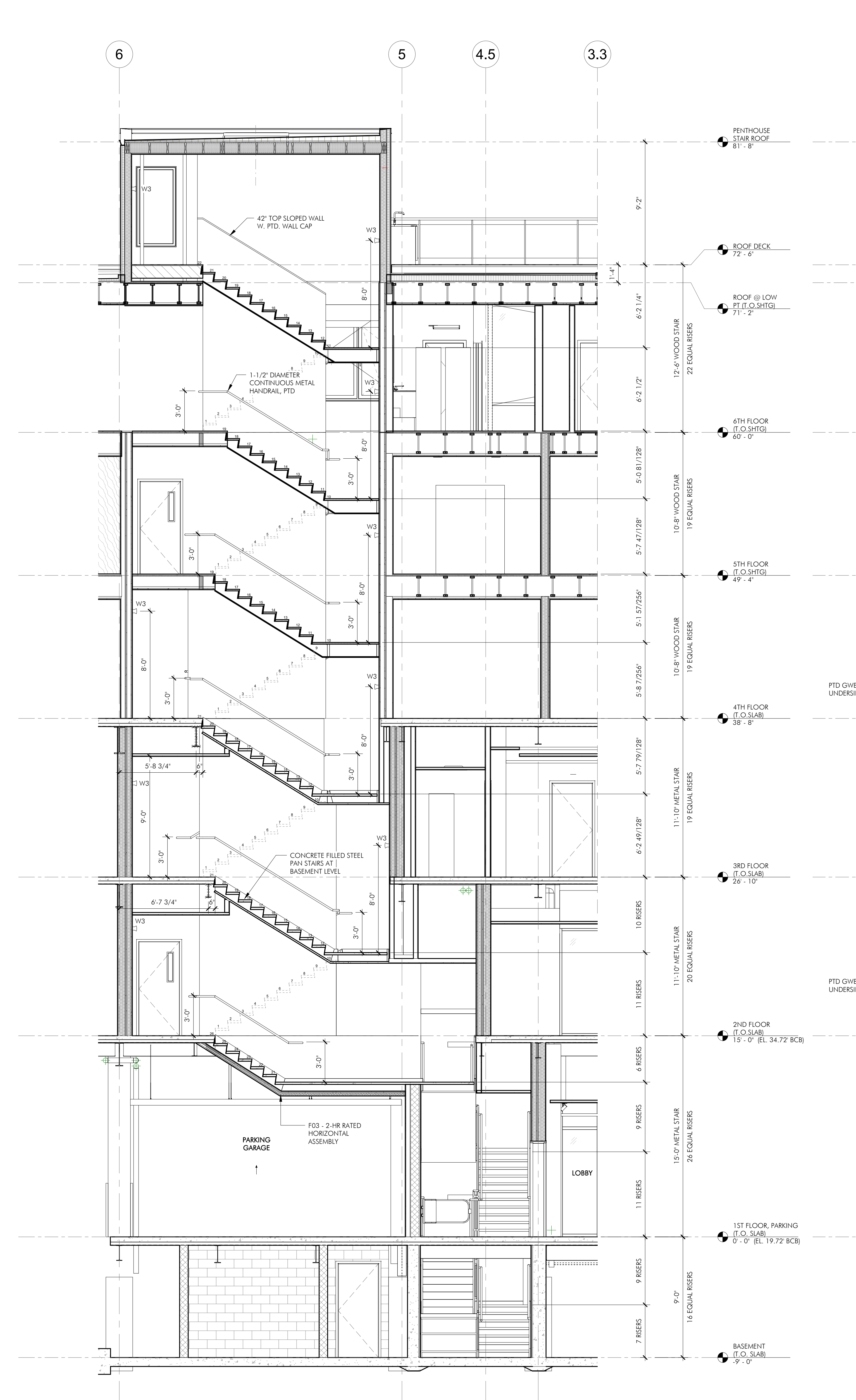
2 STAIR 2 - SECTION A  
1/4" = 1'-0"



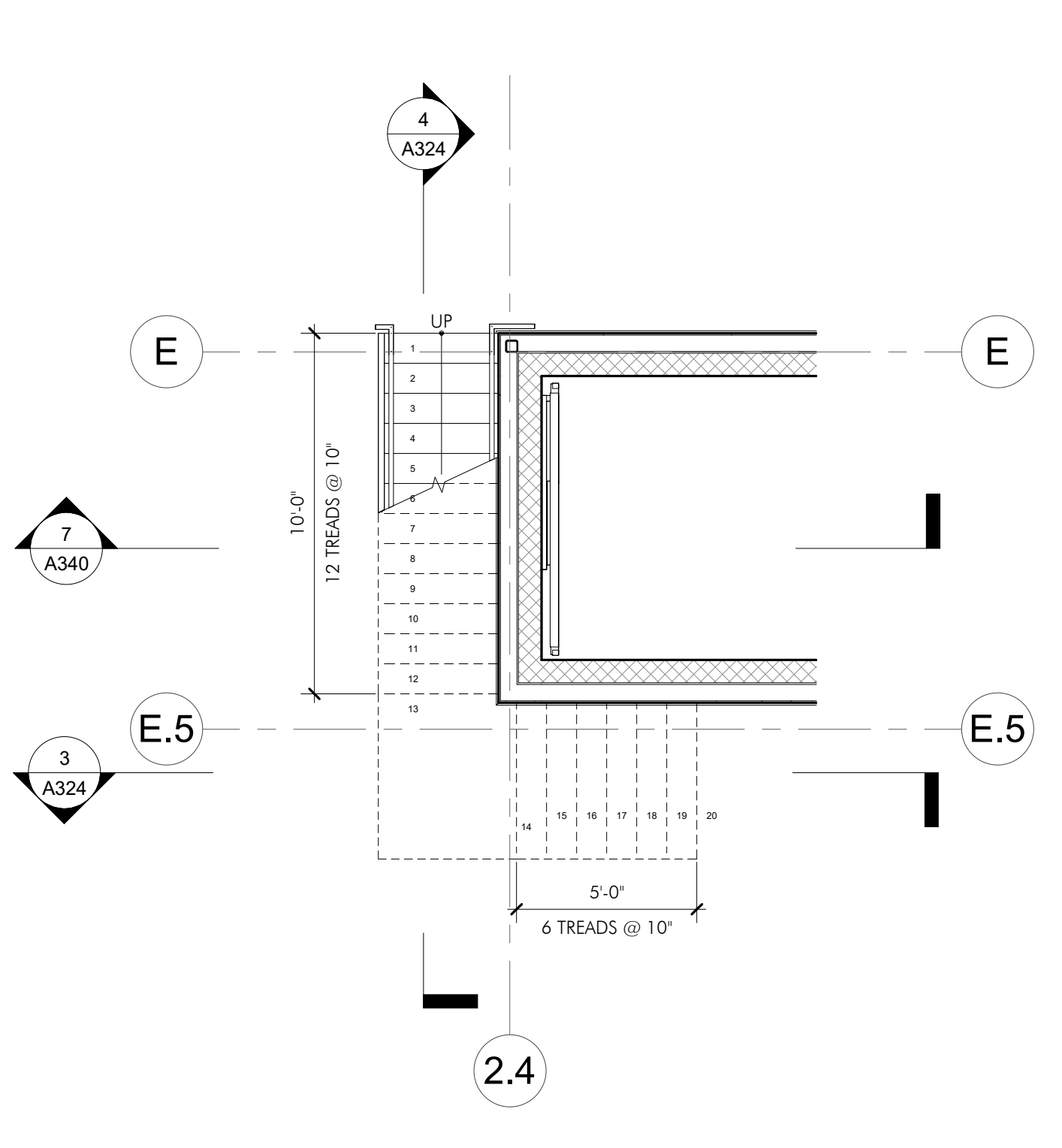
3 STAIR 2 - SECTION A1  
1/4" = 1'-0"



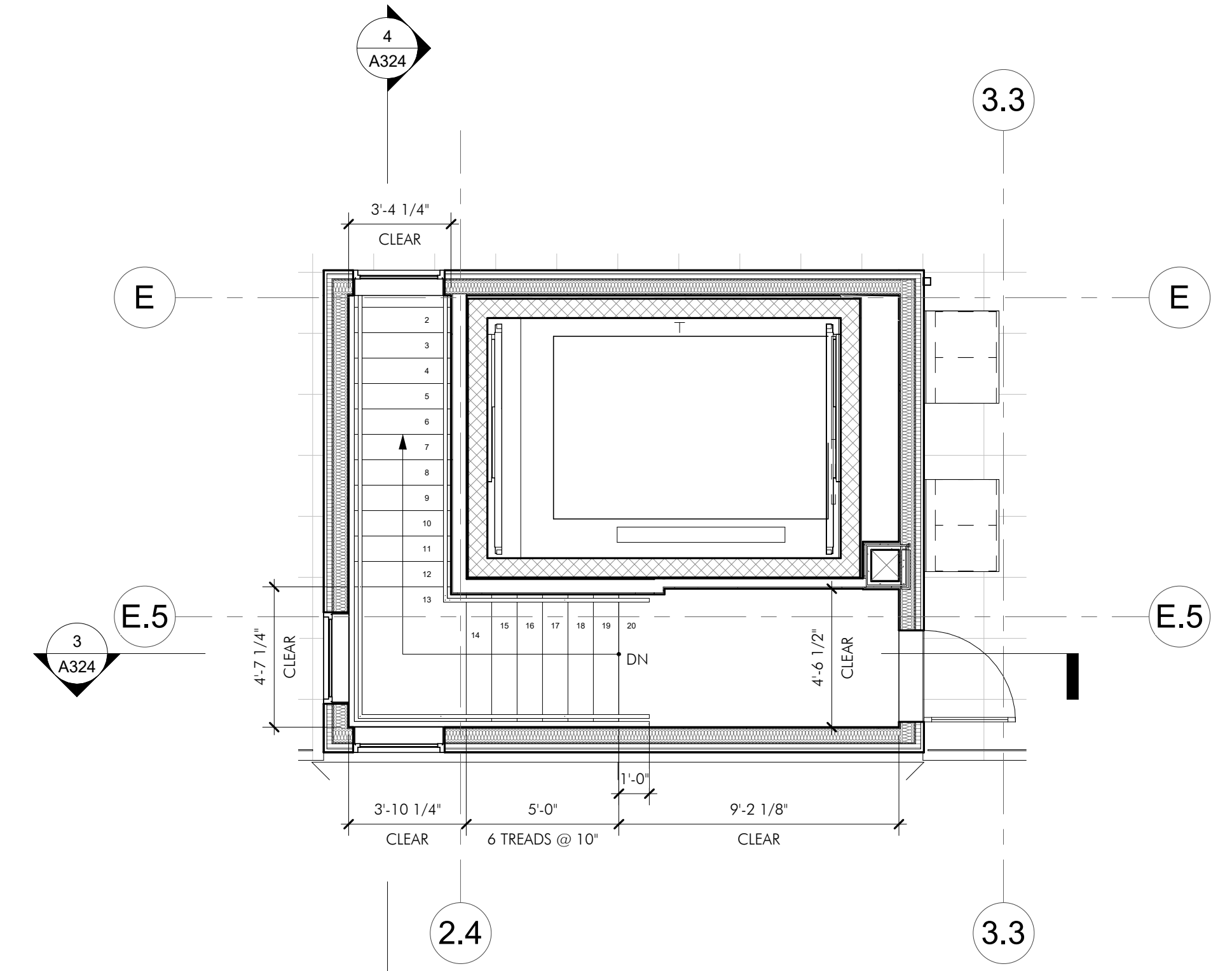
4 STAIR 2 - CROSS SECTION  
1/4" = 1'-0"



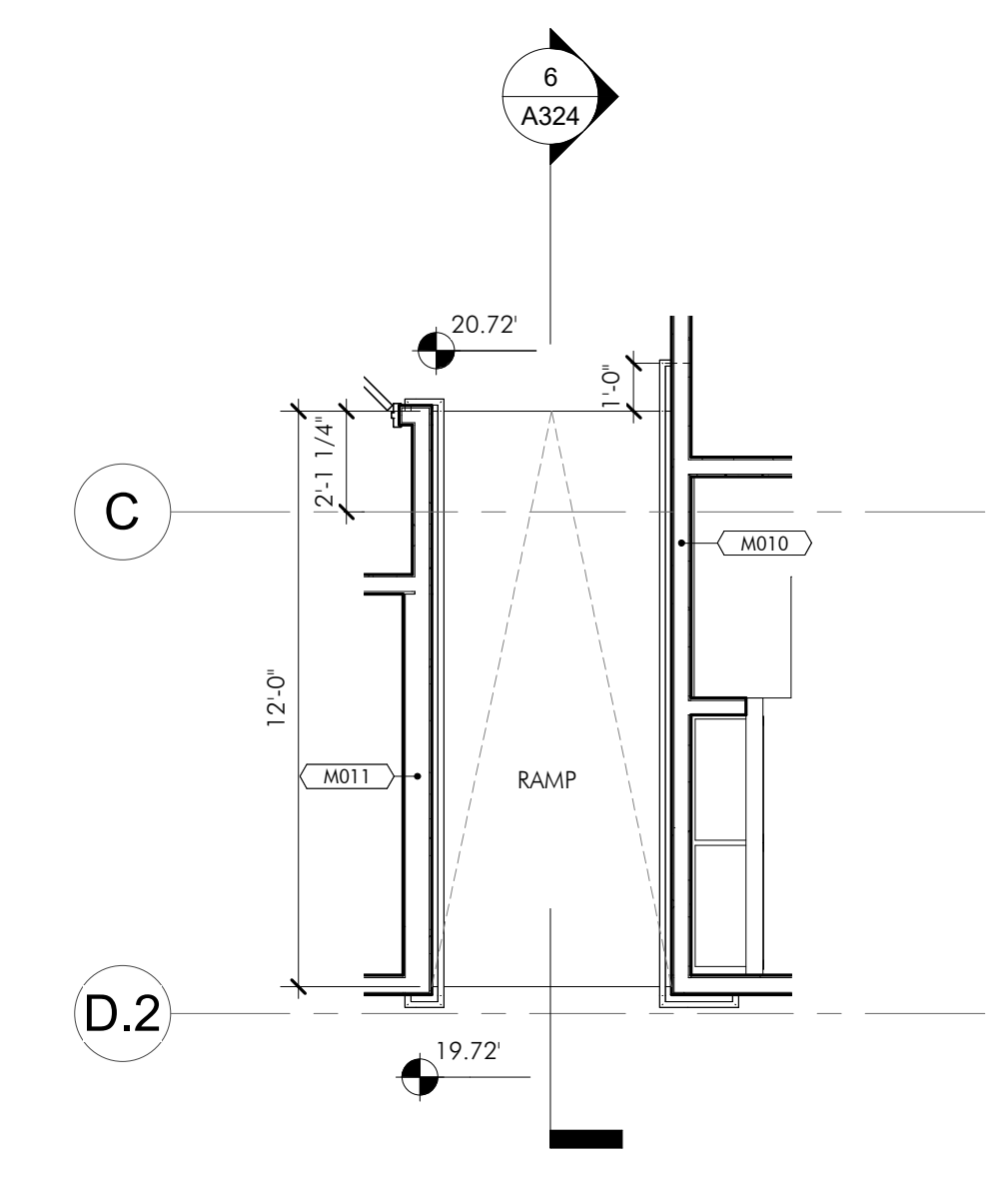
1 STAIR 2 - SECTION B  
1/4" = 1'-0"



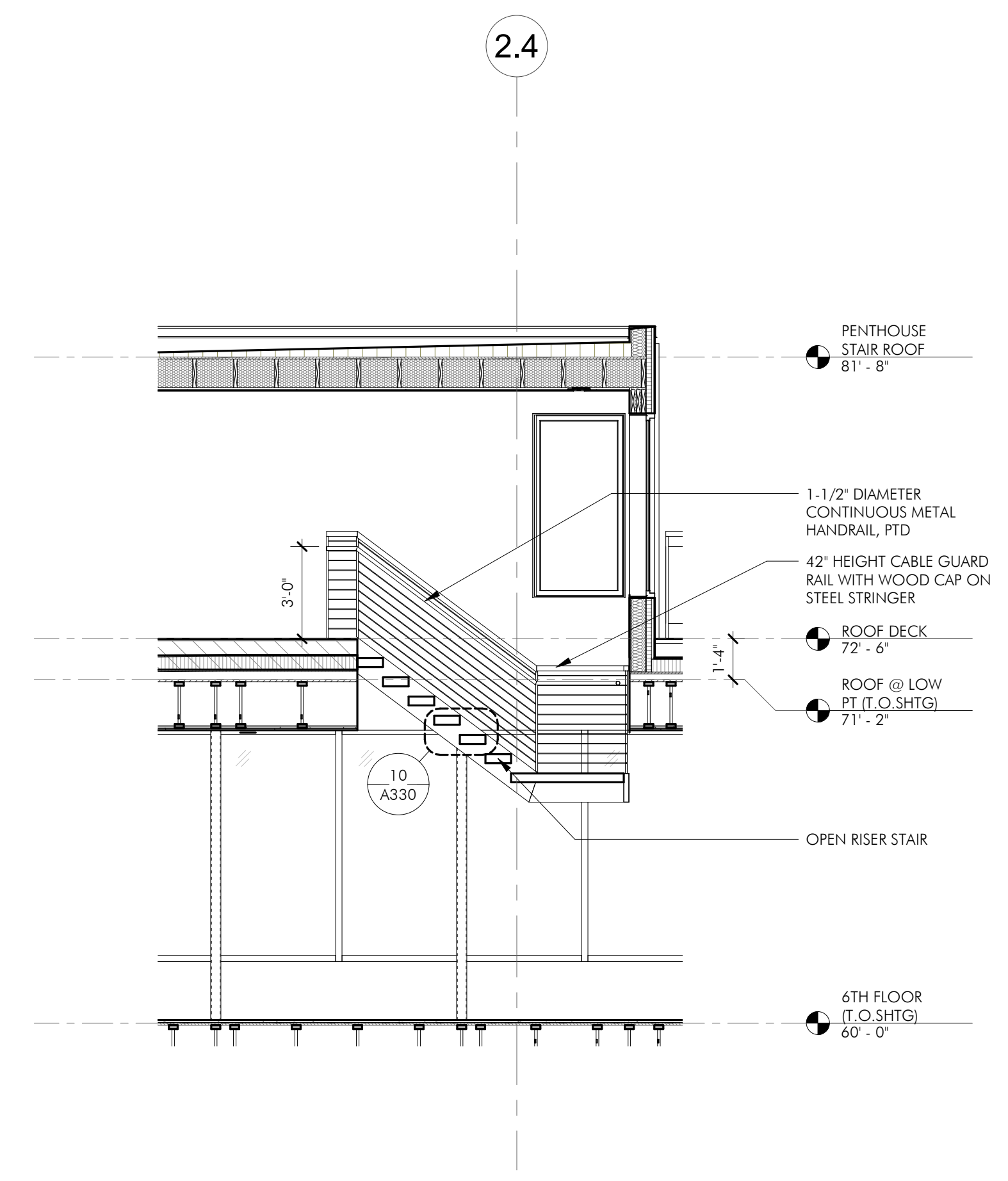
1 STAIR 3 - SIXTH FLOOR  
 1/4" = 1'-0"



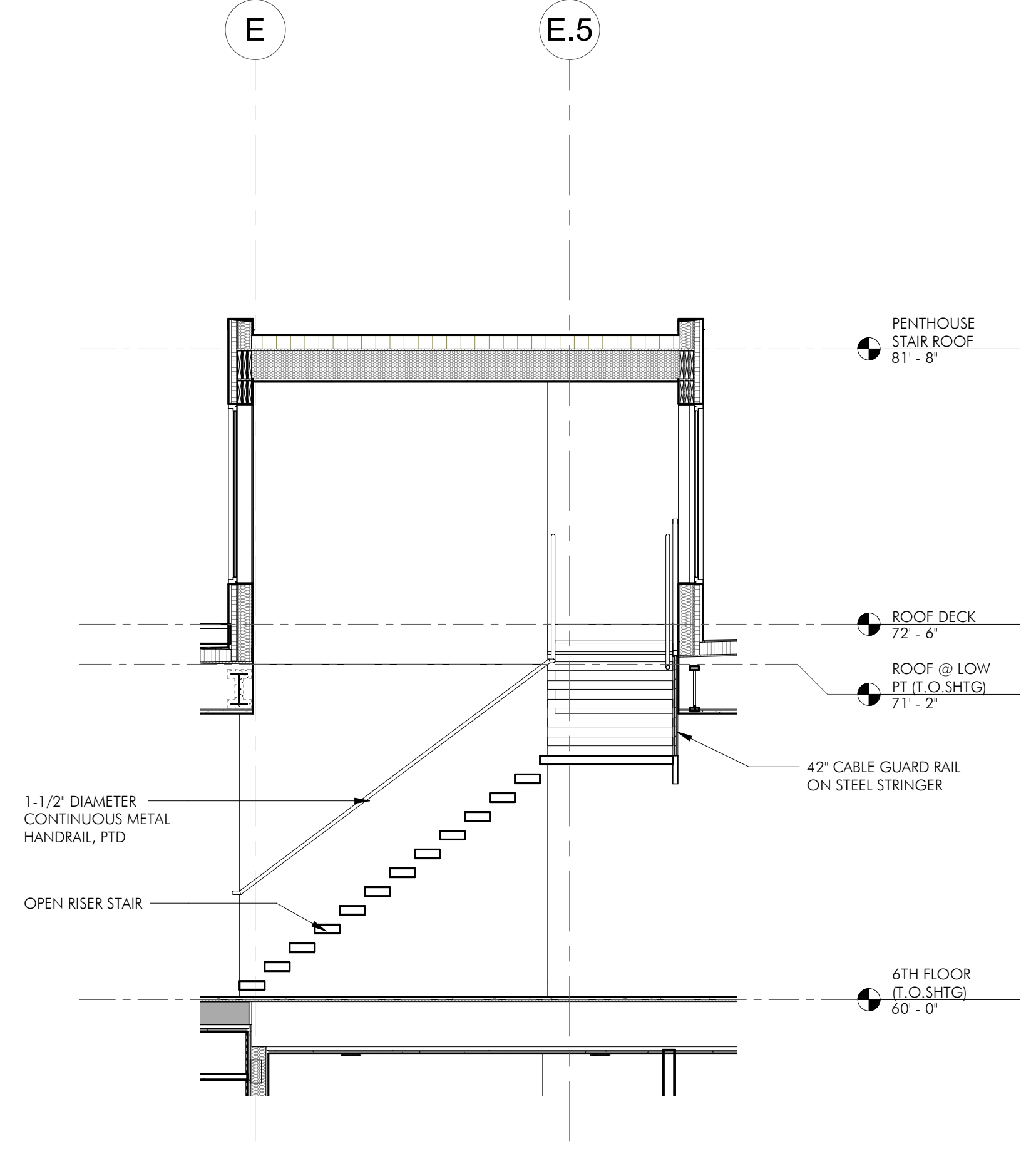
2 STAIR 3 - ROOF  
 1/4" = 1'-0"



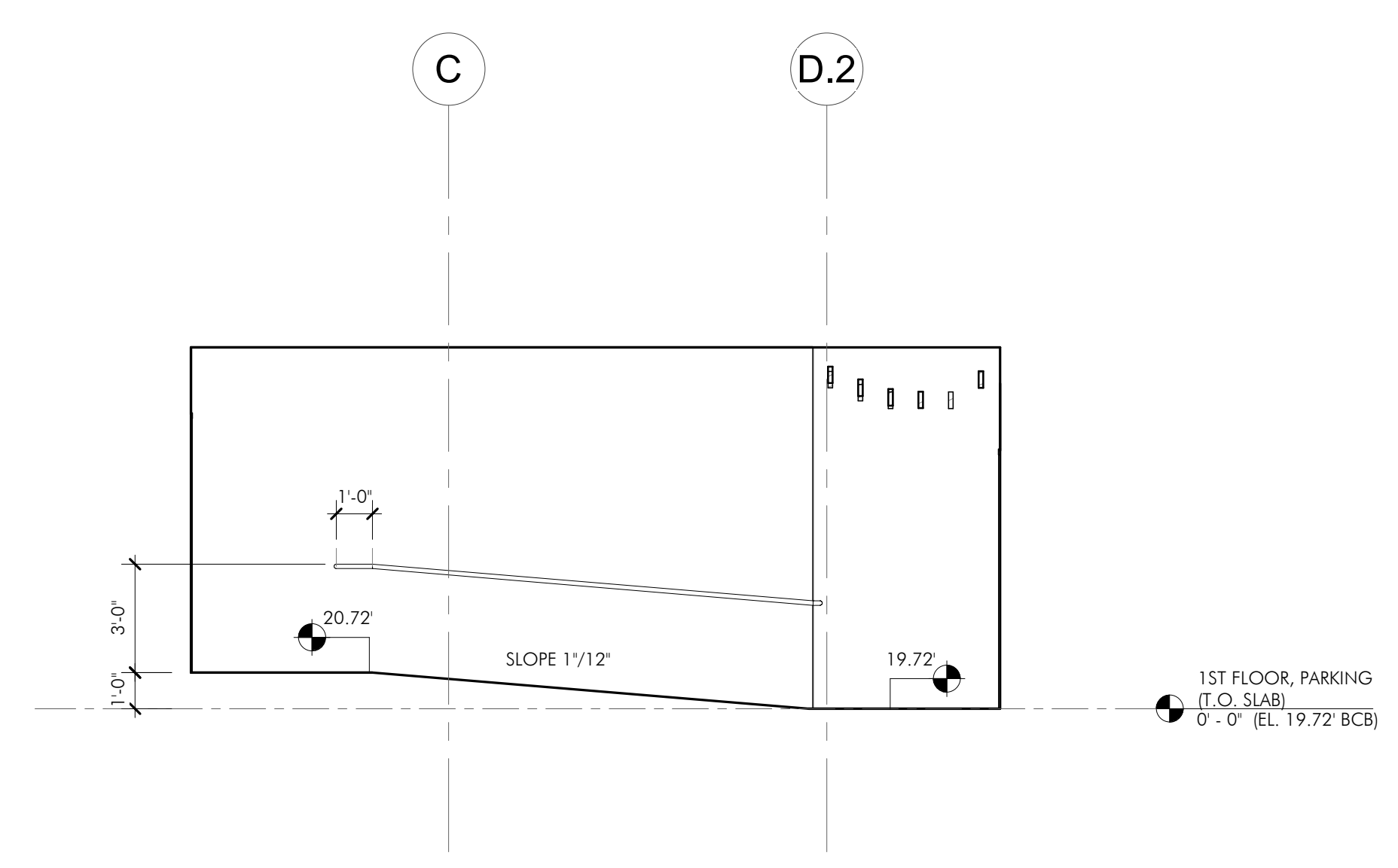
5 RAMP AT FIRST FLOOR  
 1/4" = 1'-0"



3 STAIR 3 - SECTION A  
 1/4" = 1'-0"



4 STAIR 3 - SECTION B  
 1/4" = 1'-0"



6 SECTION AT FIRST FLOOR RAMP  
 1/4" = 1'-0"

33 A STREET  
 SOUTH BOSTON, MA  
 ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



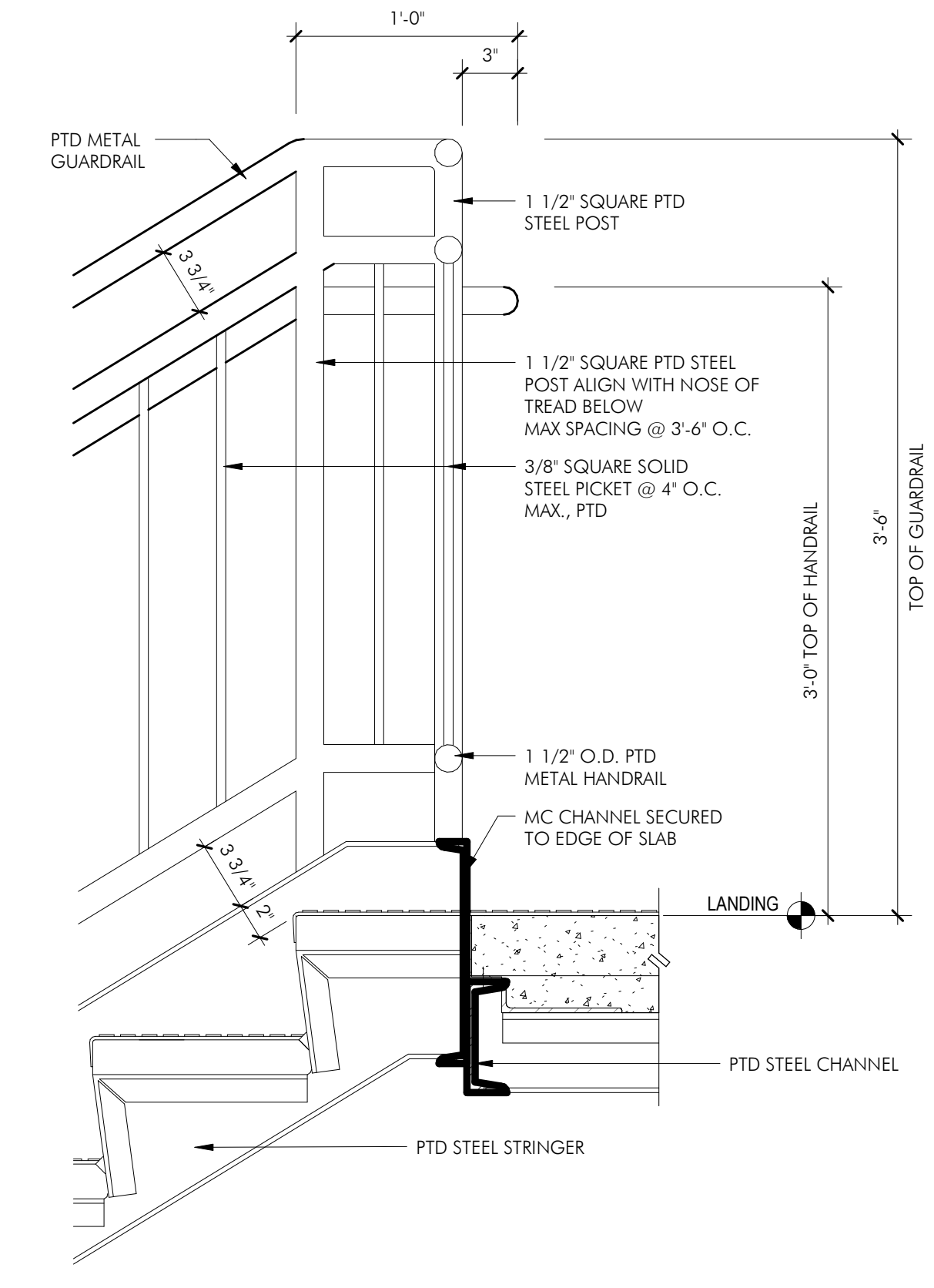
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
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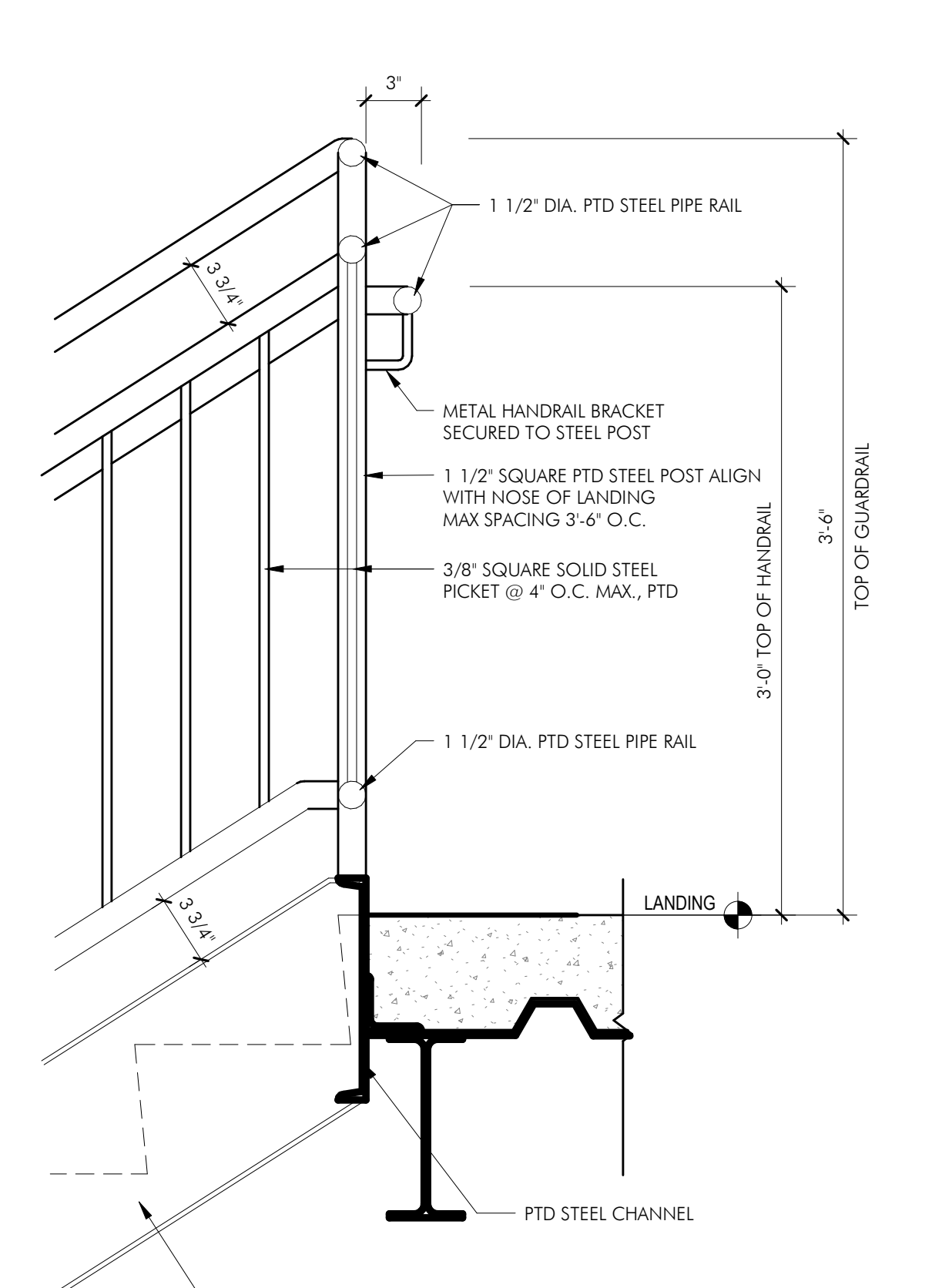
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 STAIR 3 PLANS  
 AND SECTION

DRAWING NUMBER  
**A324**

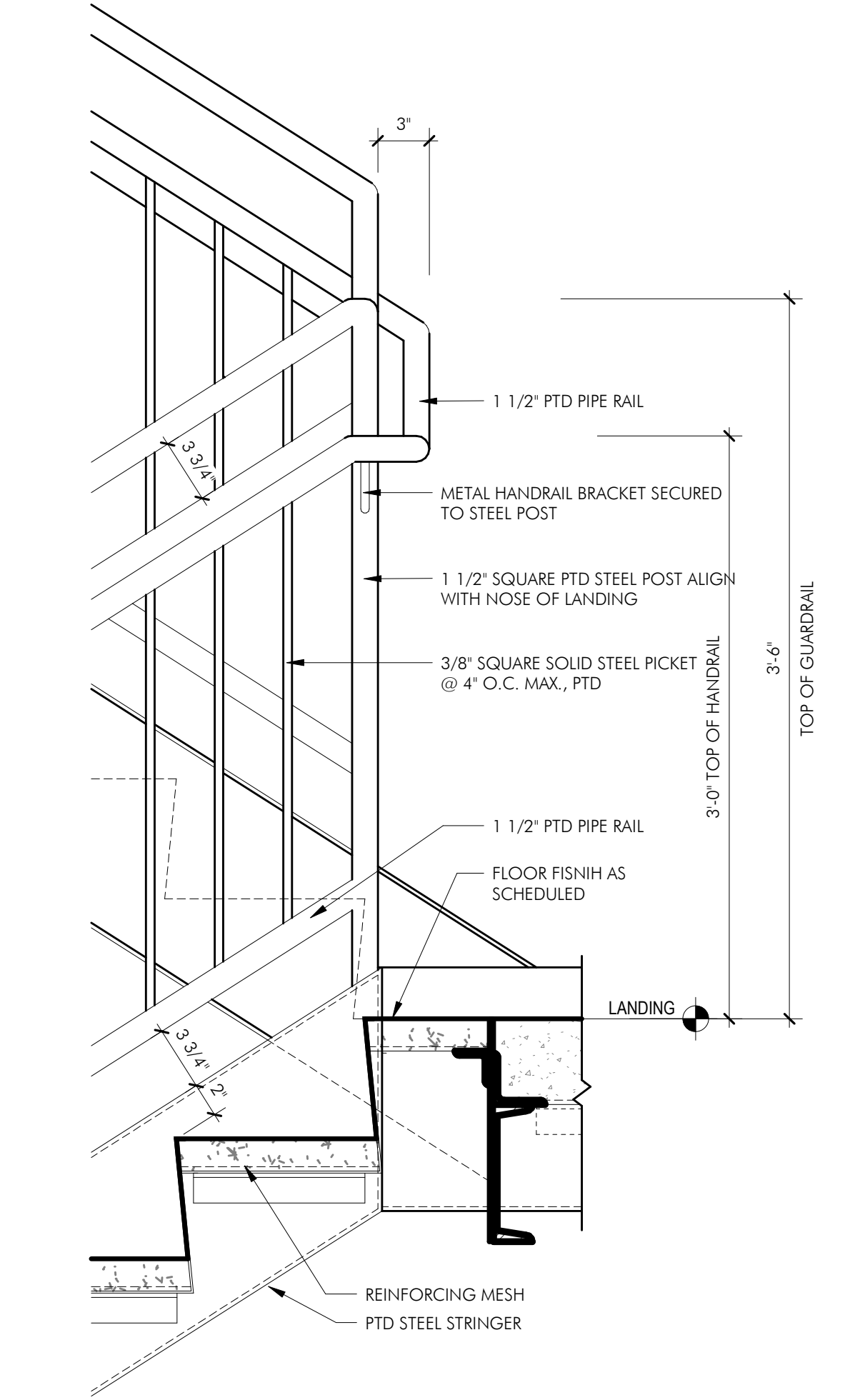
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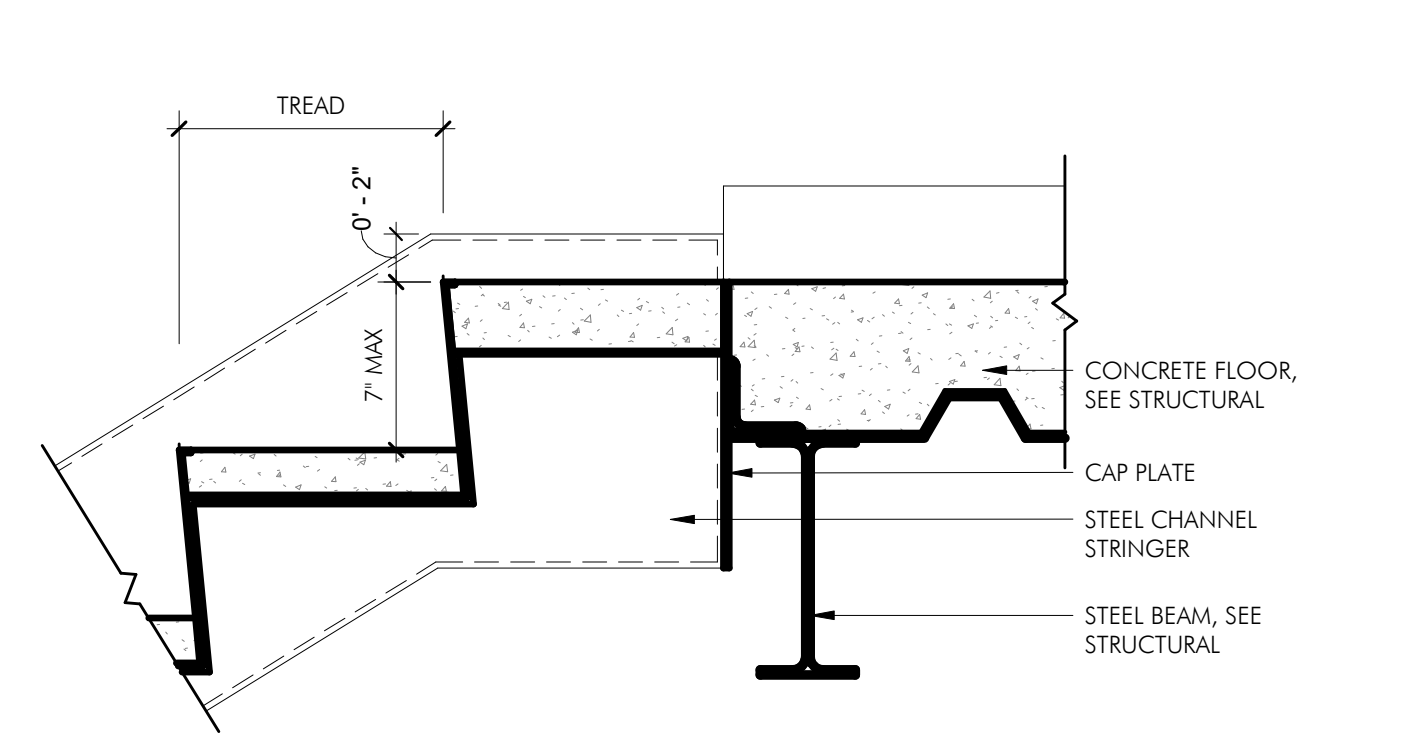
1 STAIR LANDING AND RAIL DETAIL  
1 1/2" = 1'-0"



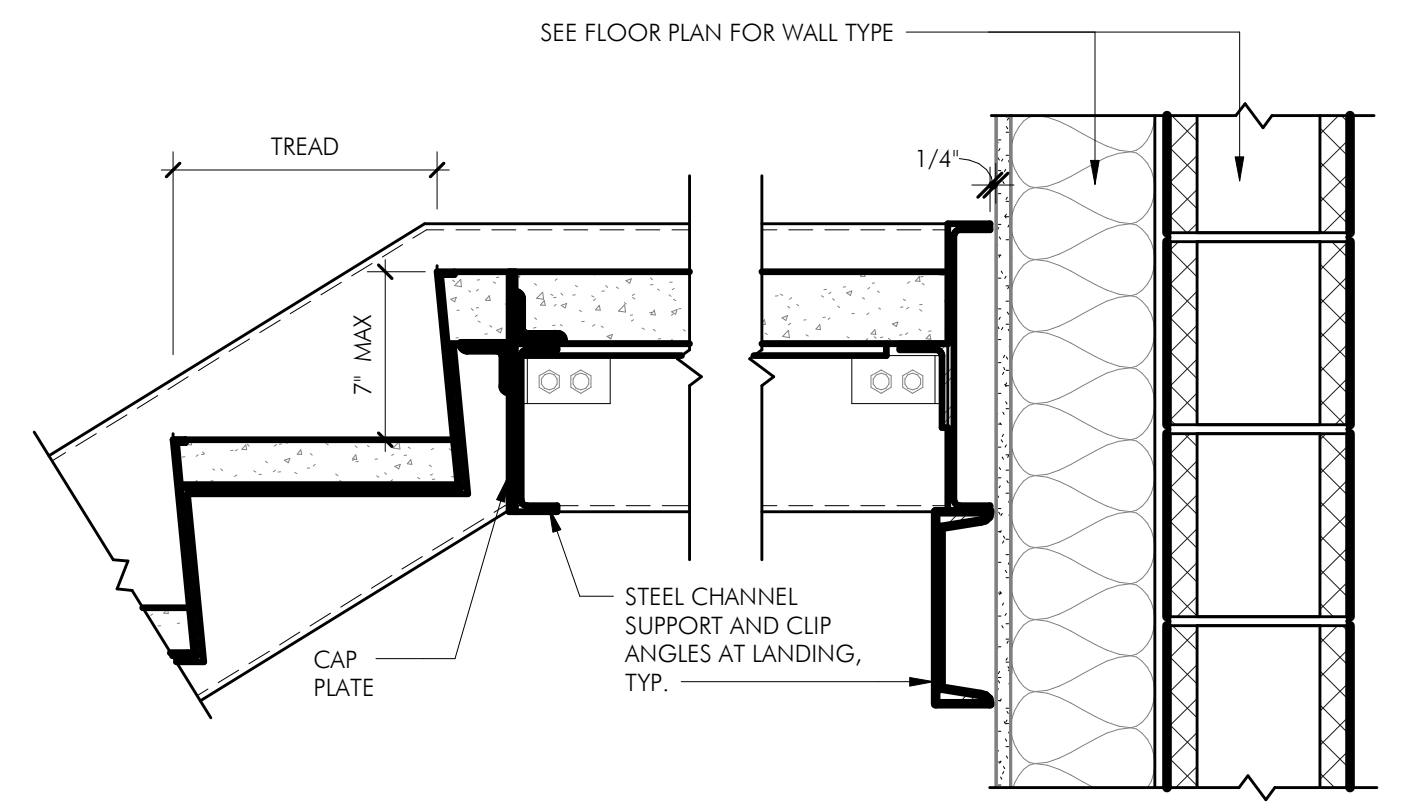
2 STAIR LANDING AND SHORTENED RAIL DETAIL  
1 1/2" = 1'-0"



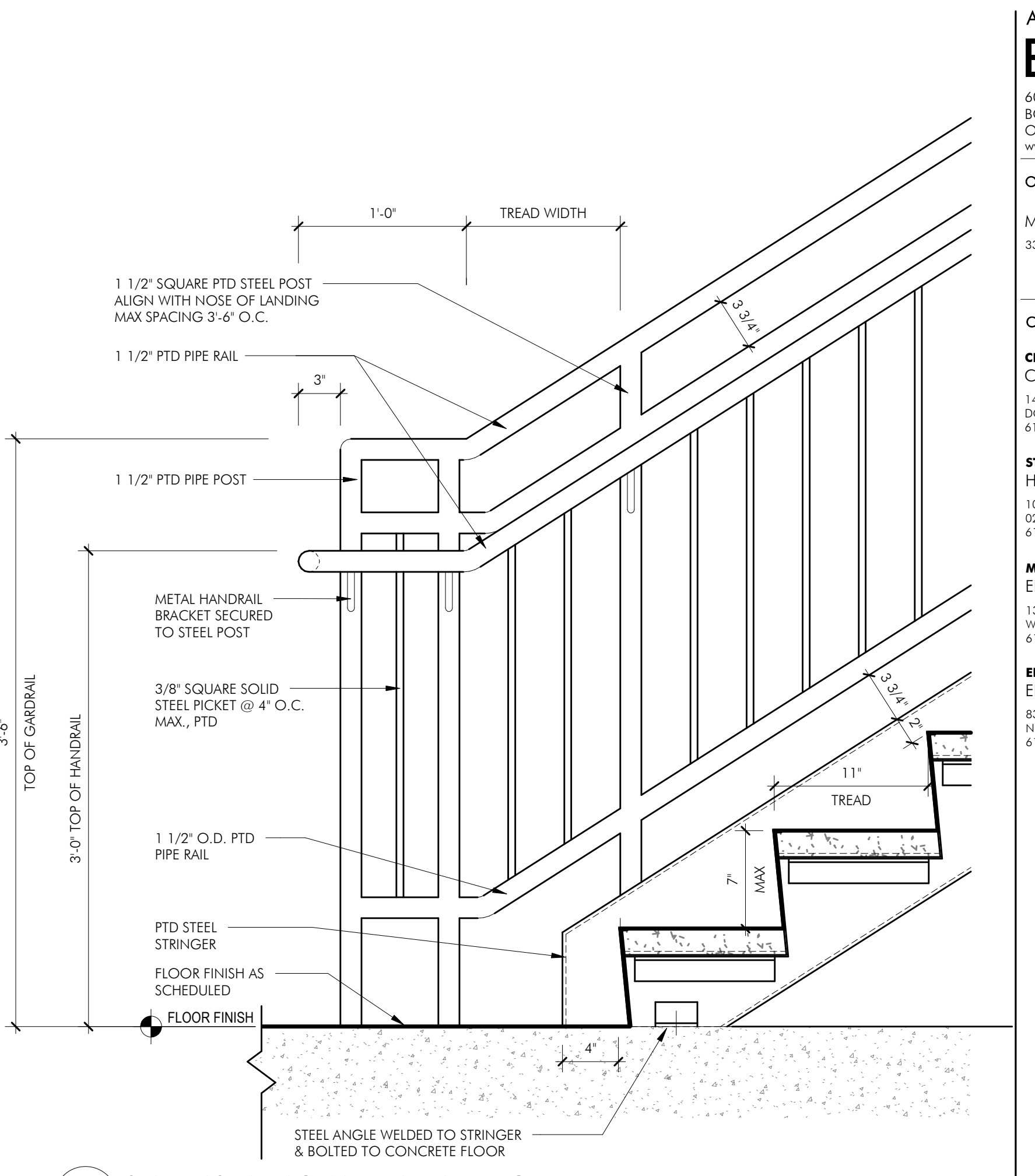
3 STAIR INTERMEDIATE LANDING DETAIL AT SHORTENED RAILING  
1 1/2" = 1'-0"



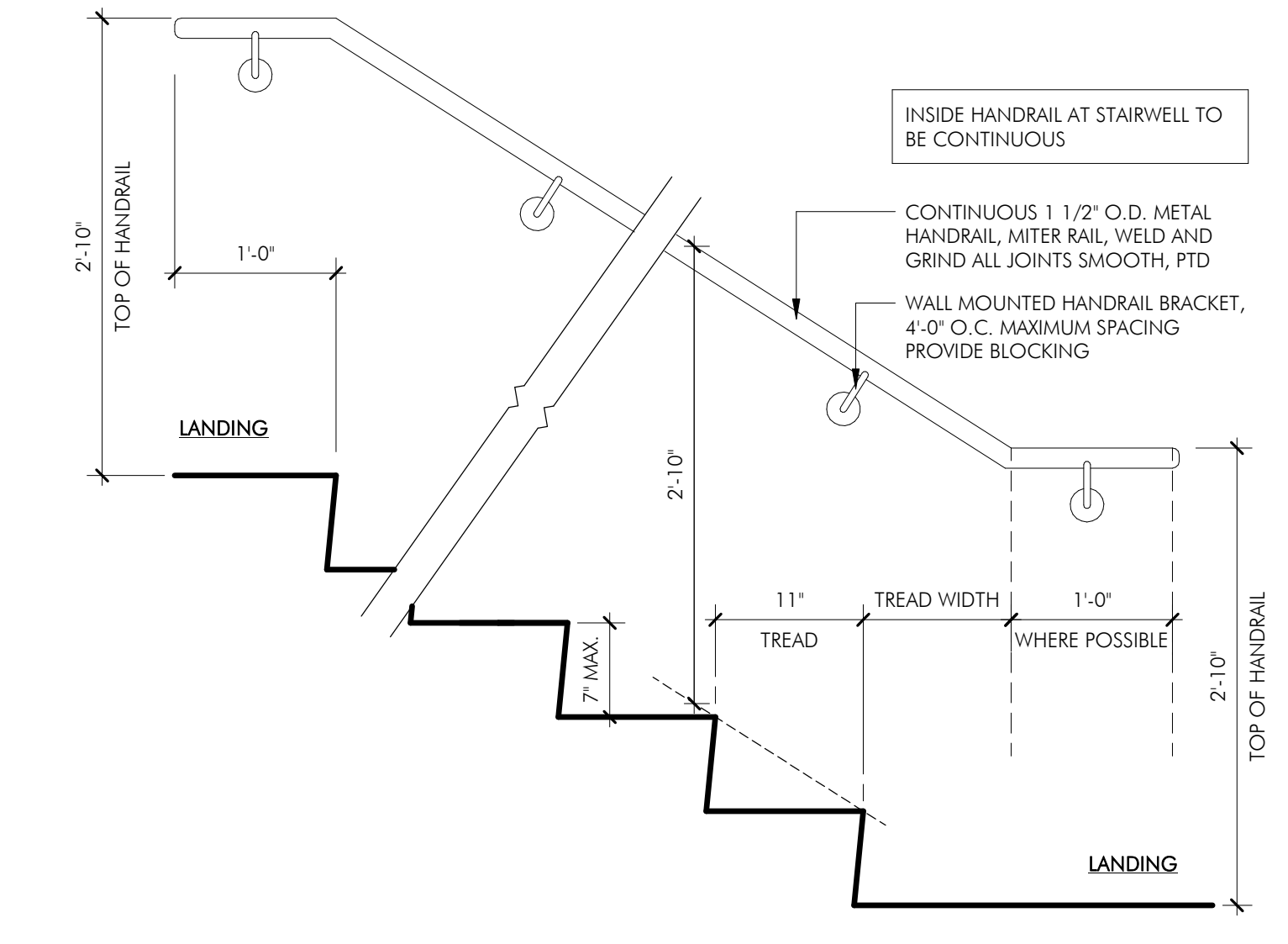
4 METAL STAIR LANDING AT CONCRETE FLOOR  
1 1/2" = 1'-0"



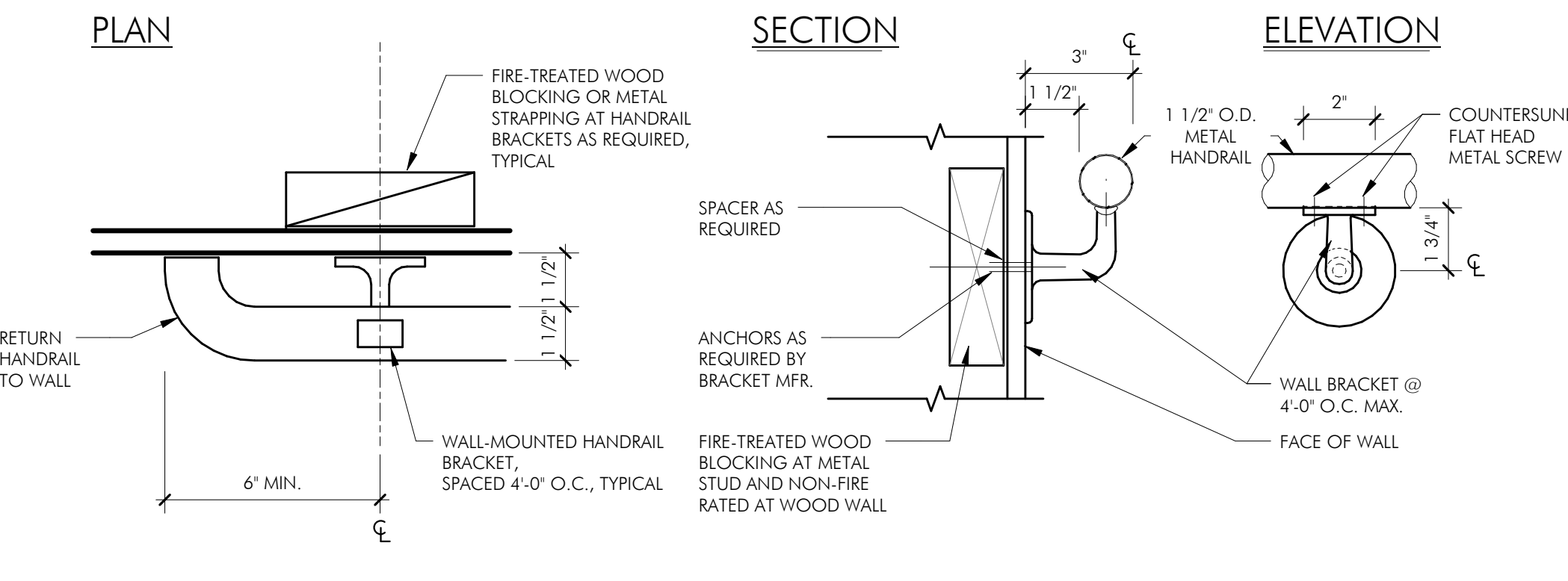
3.5 METAL STAIR INTERMEDIATE LANDING AT WALL CONNECTION  
1 1/2" = 1'-0"



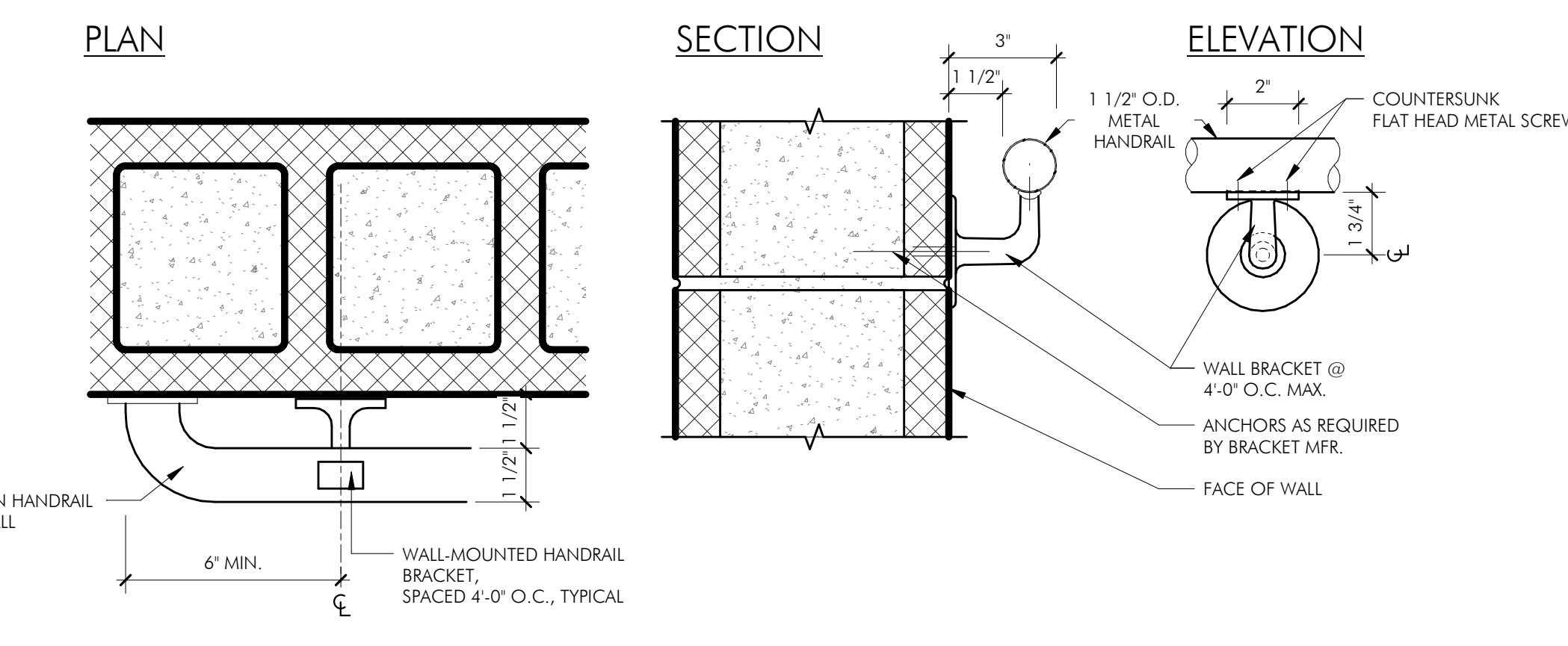
5 STAIR BASE ATTACHMENT AT LANDING  
1 1/2" = 1'-0"



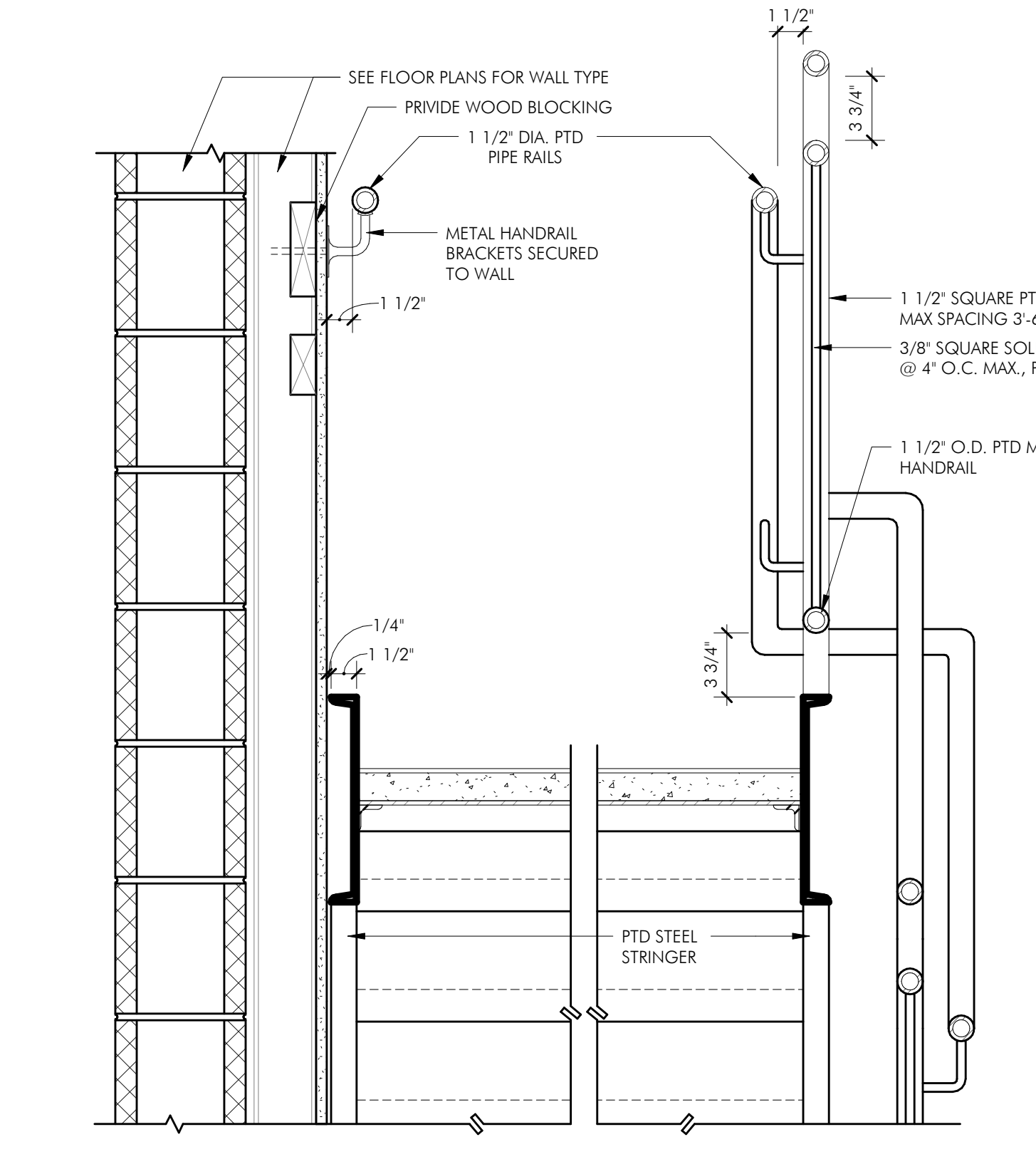
6 TYPICAL HANDRAIL EXTENSIONS  
1" = 1'-0"



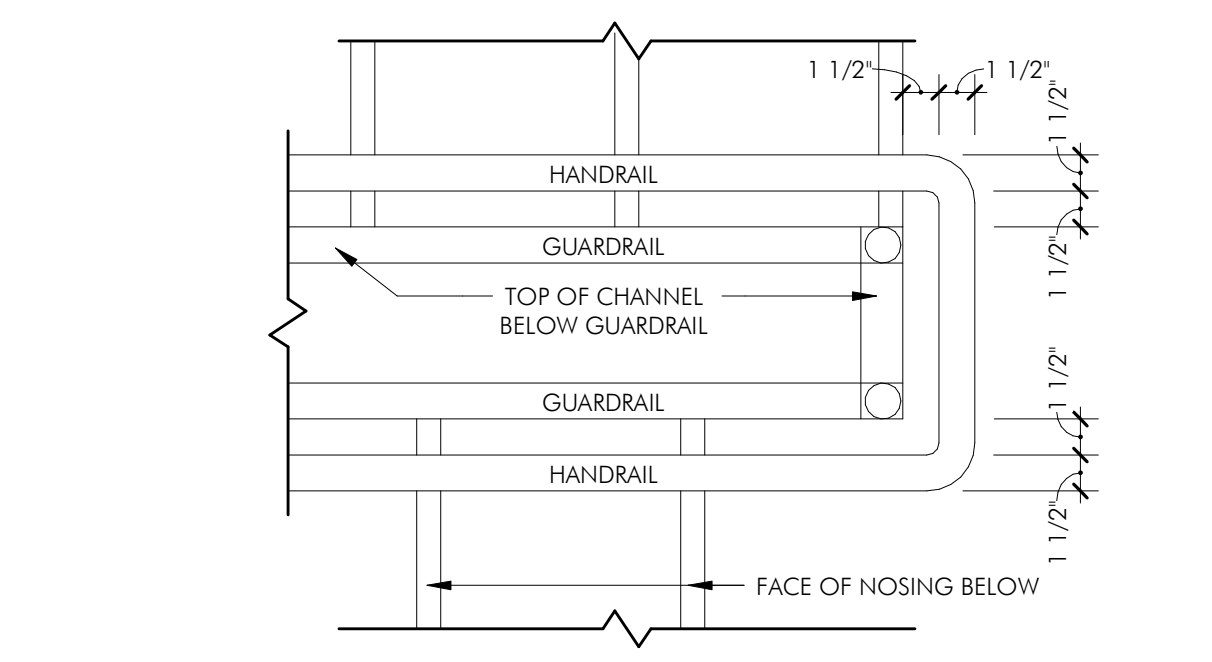
7 HANDRAIL ATTACHMENT AT GYPSUM WALL  
3" = 1'-0"



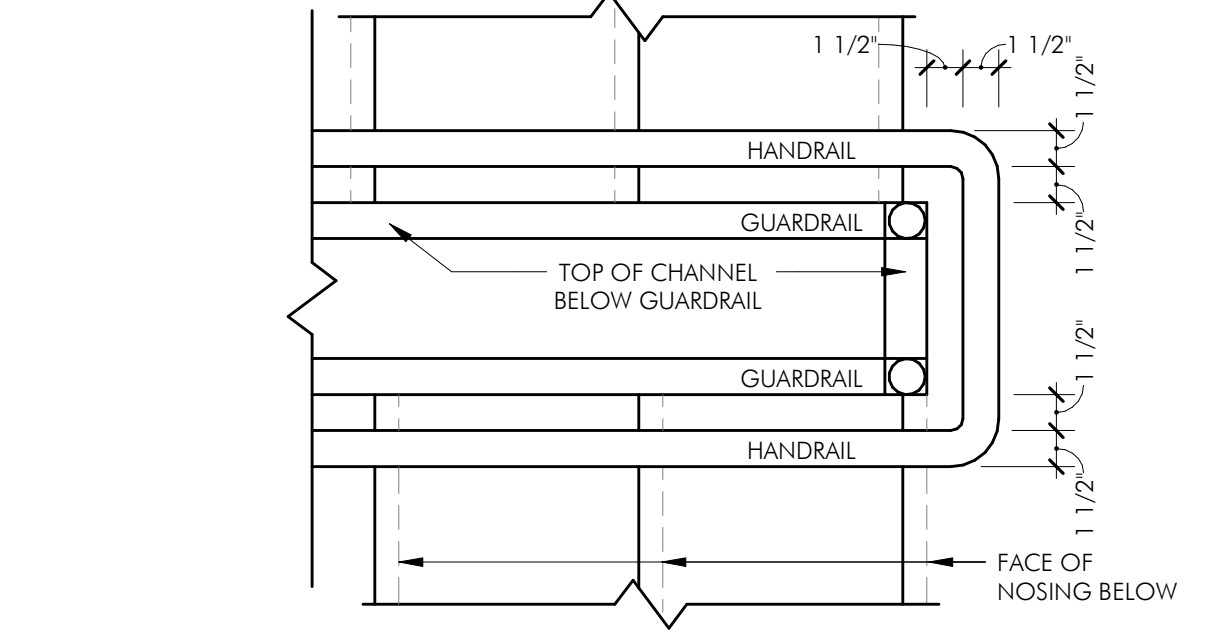
7.5 HANDRAIL ATTACHMENT AT MASONRY WALL  
3" = 1'-0"



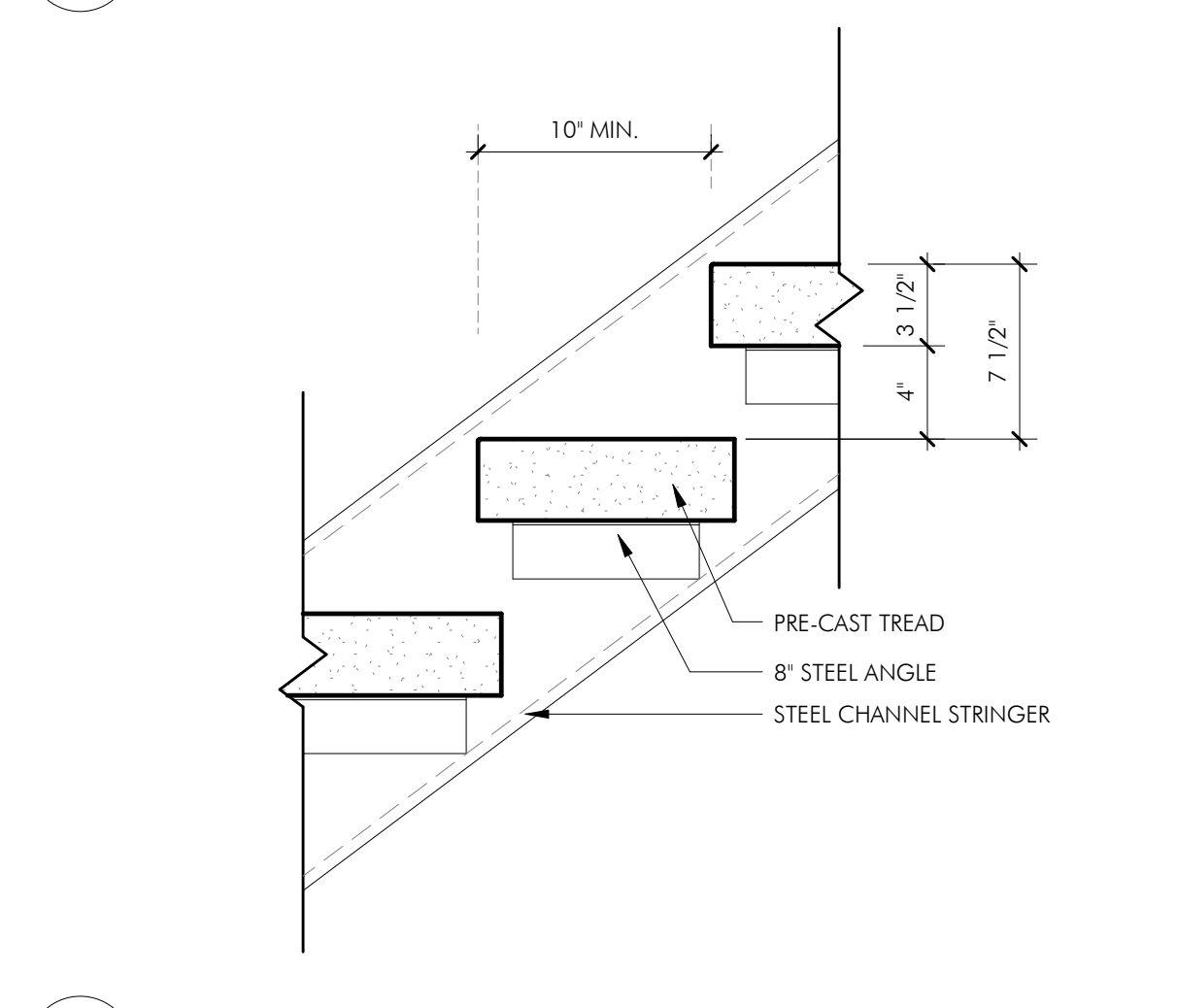
8 STAIR RAILING DETAIL AT GYPSUM WALL  
1 1/2" = 1'-0"



9 PLAN DETAIL @ RAIL RETURN  
1 1/2" = 1'-0"

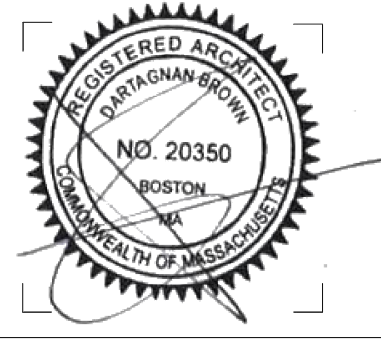


9.5 PLAN DETAIL @ SHORTENED RAIL RETURN  
1 1/2" = 1'-0"



10 OPEN RISER STAIR DETAIL  
1 1/2" = 1'-0"

REVISIONS	MARK	ISSUE	DATE

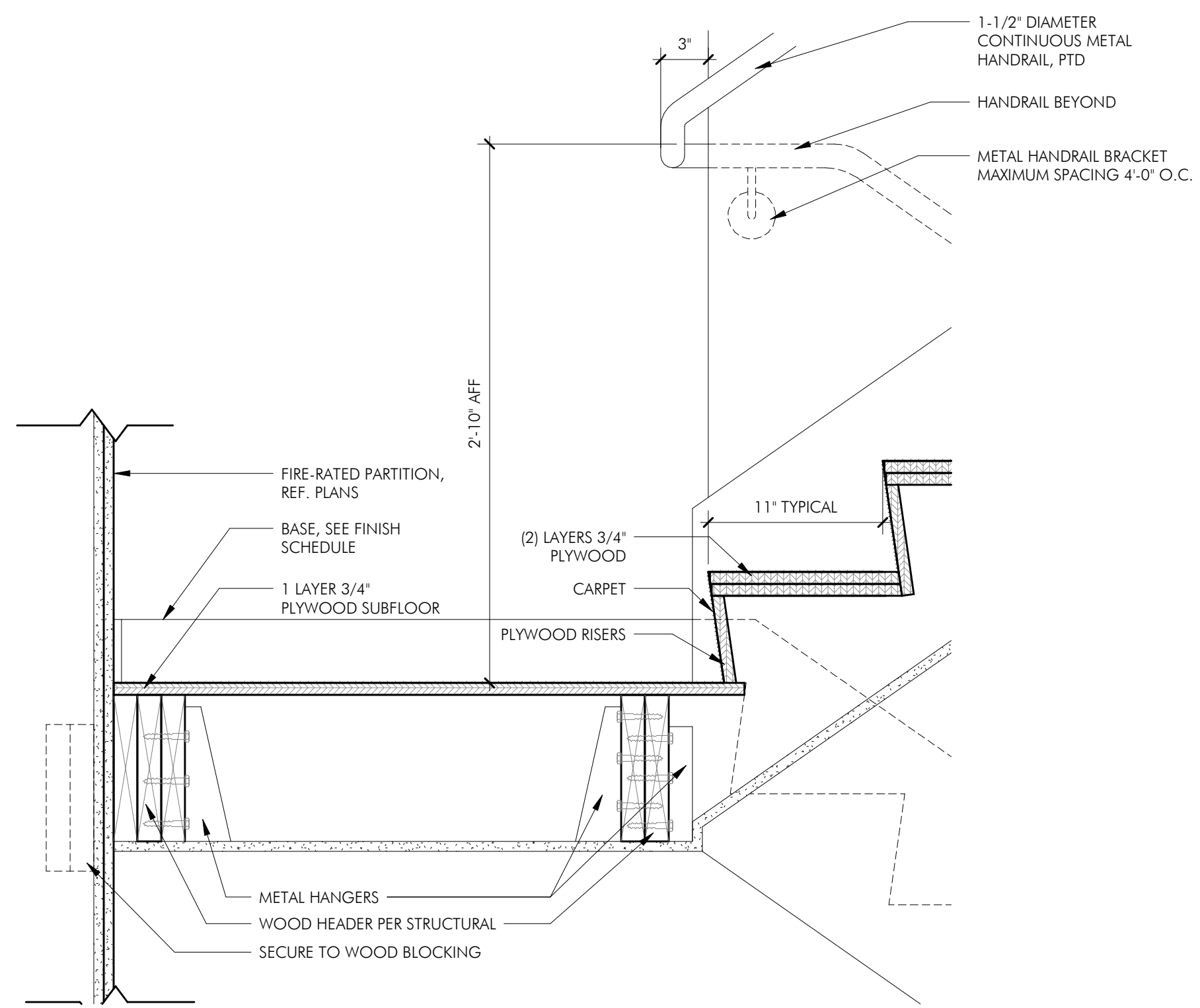


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DATE:	02/07/2022
PROJECT #:	202020
SCALE:	As indicated

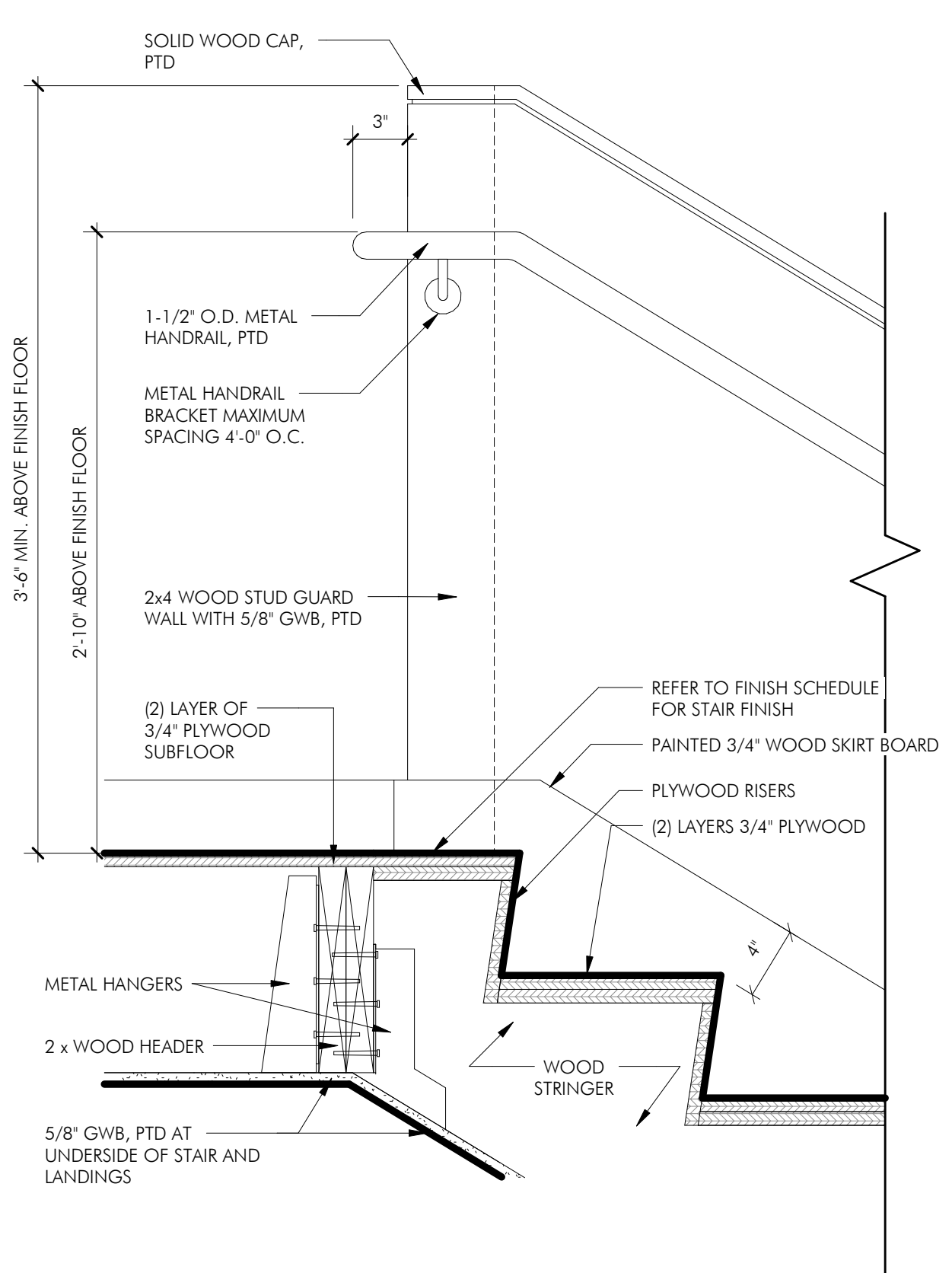
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**METAL STAIR DETAILS**

DRAWING NUMBER  
**A330**

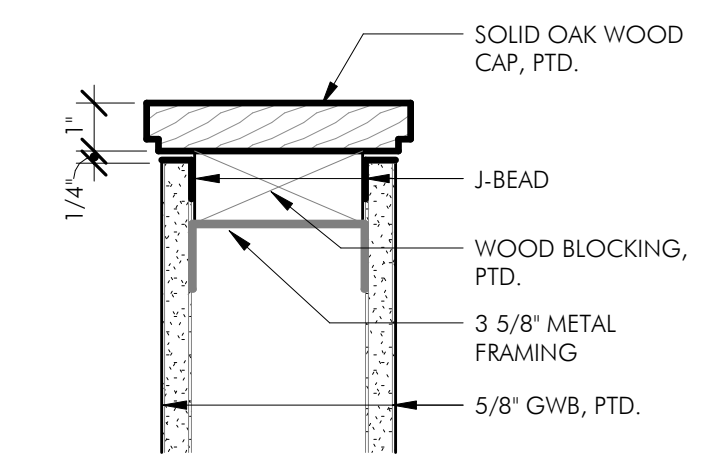
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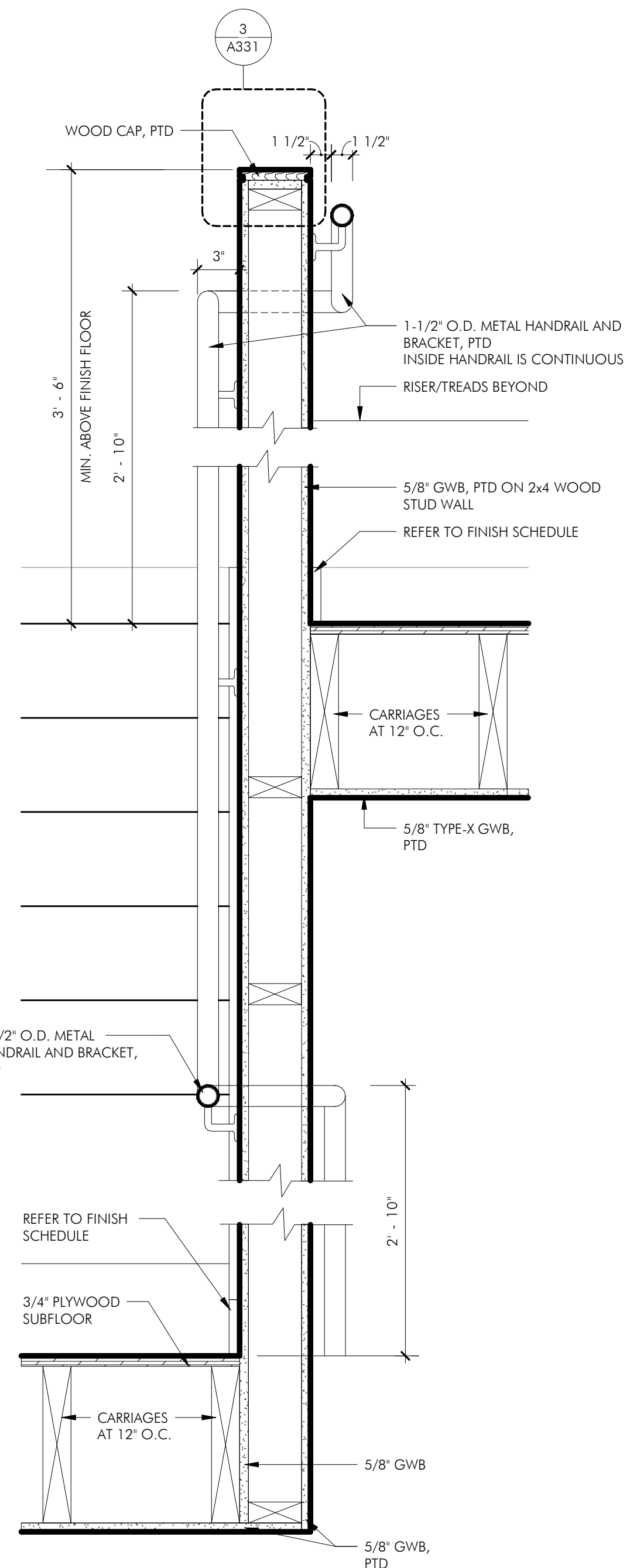
**1** TYPICAL WOOD STAIR LANDING-OLD  
 1 1/2' = 1'-0"



**2** LANDING AT TOP OF STAIR  
 1 1/2' = 1'-0"



**3** WOOD CAP DETAIL  
 3' = 1'-0"



**4** GUARDWALL AT STAIR  
 1 1/2' = 1'-0"

**33 A STREET**  
 SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

MARK	ISSUE	DATE



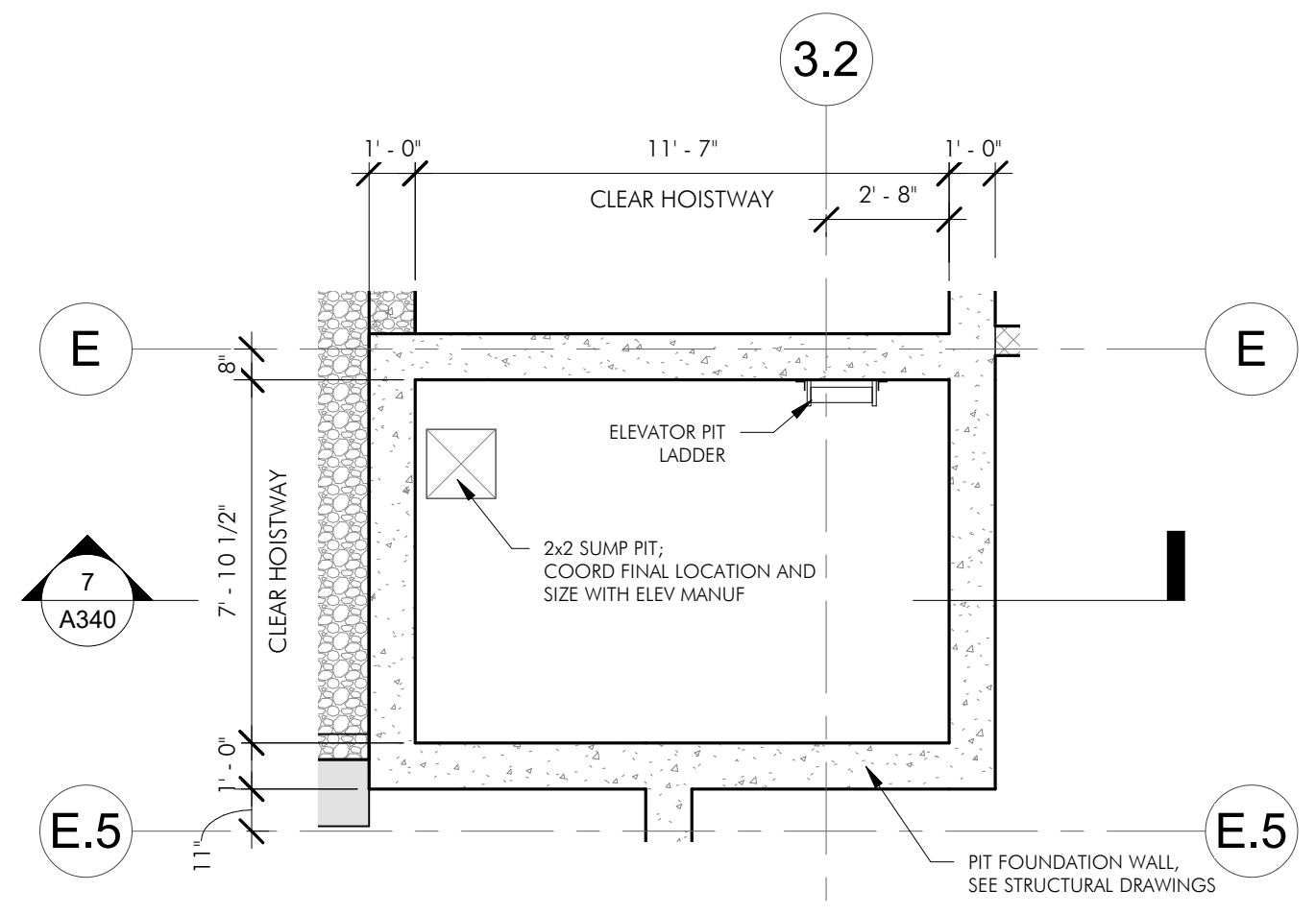
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As Indicated

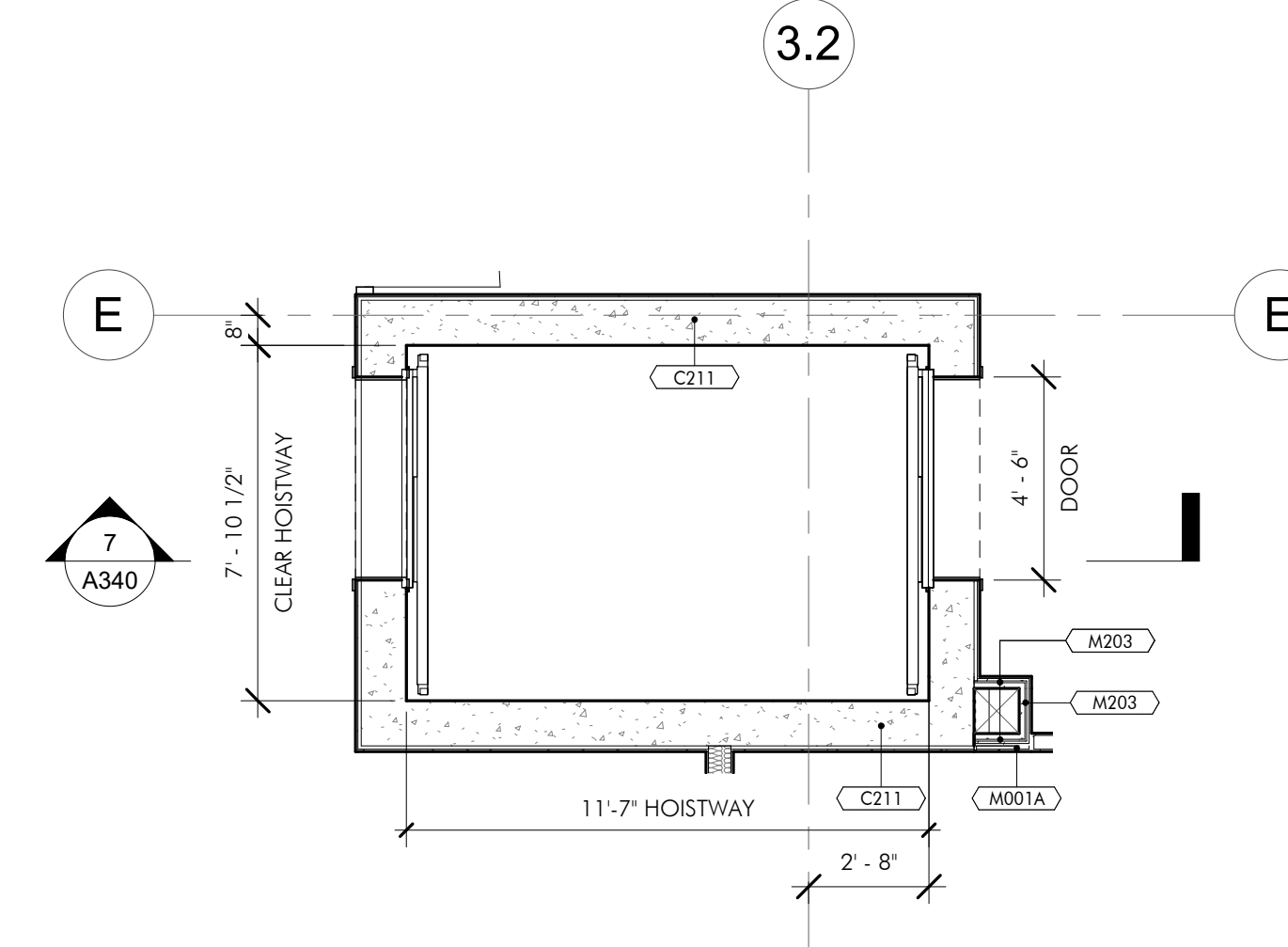
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**WOOD STAIR  
 DETAILS**

DRAWING NUMBER  
**A331**

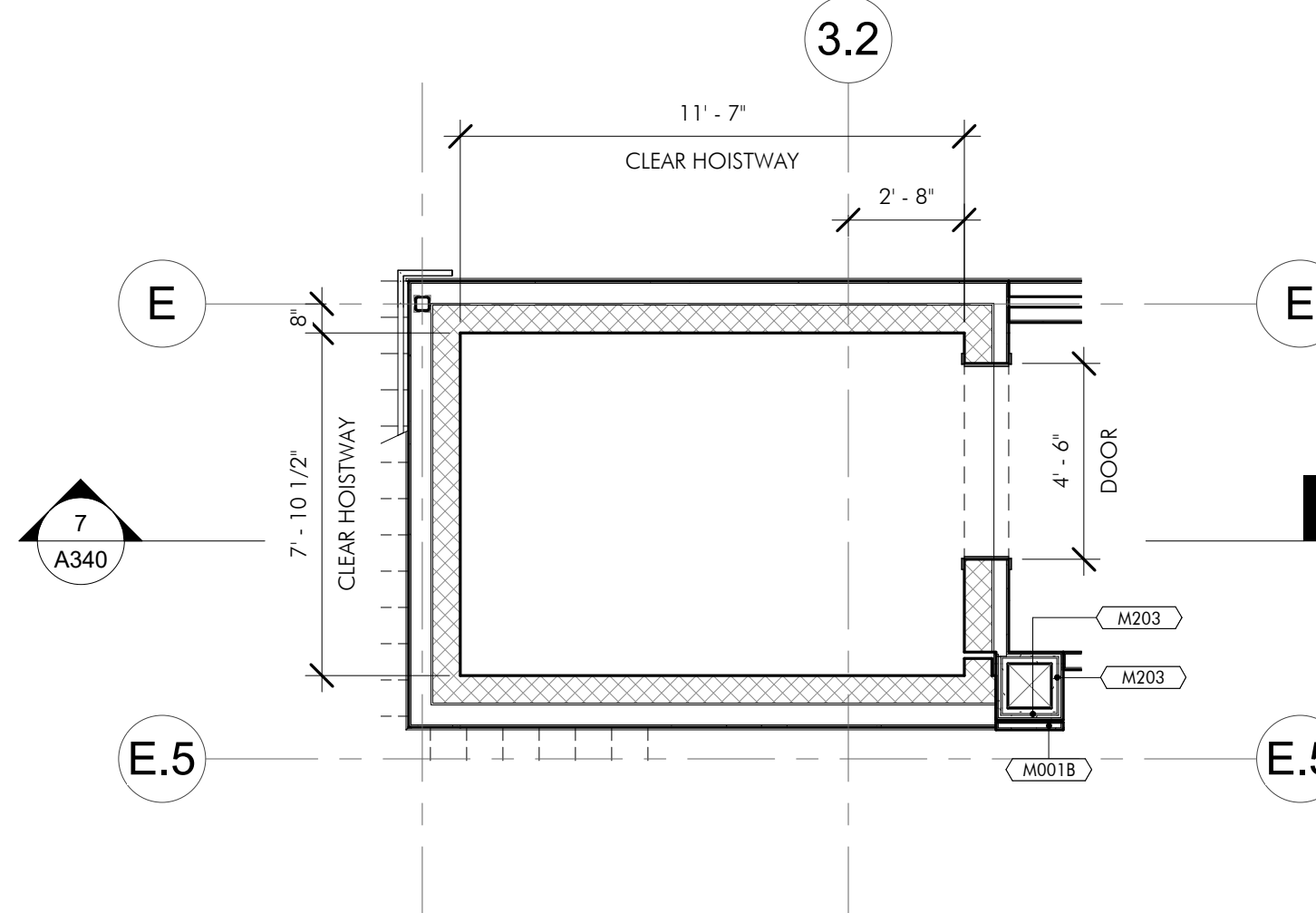
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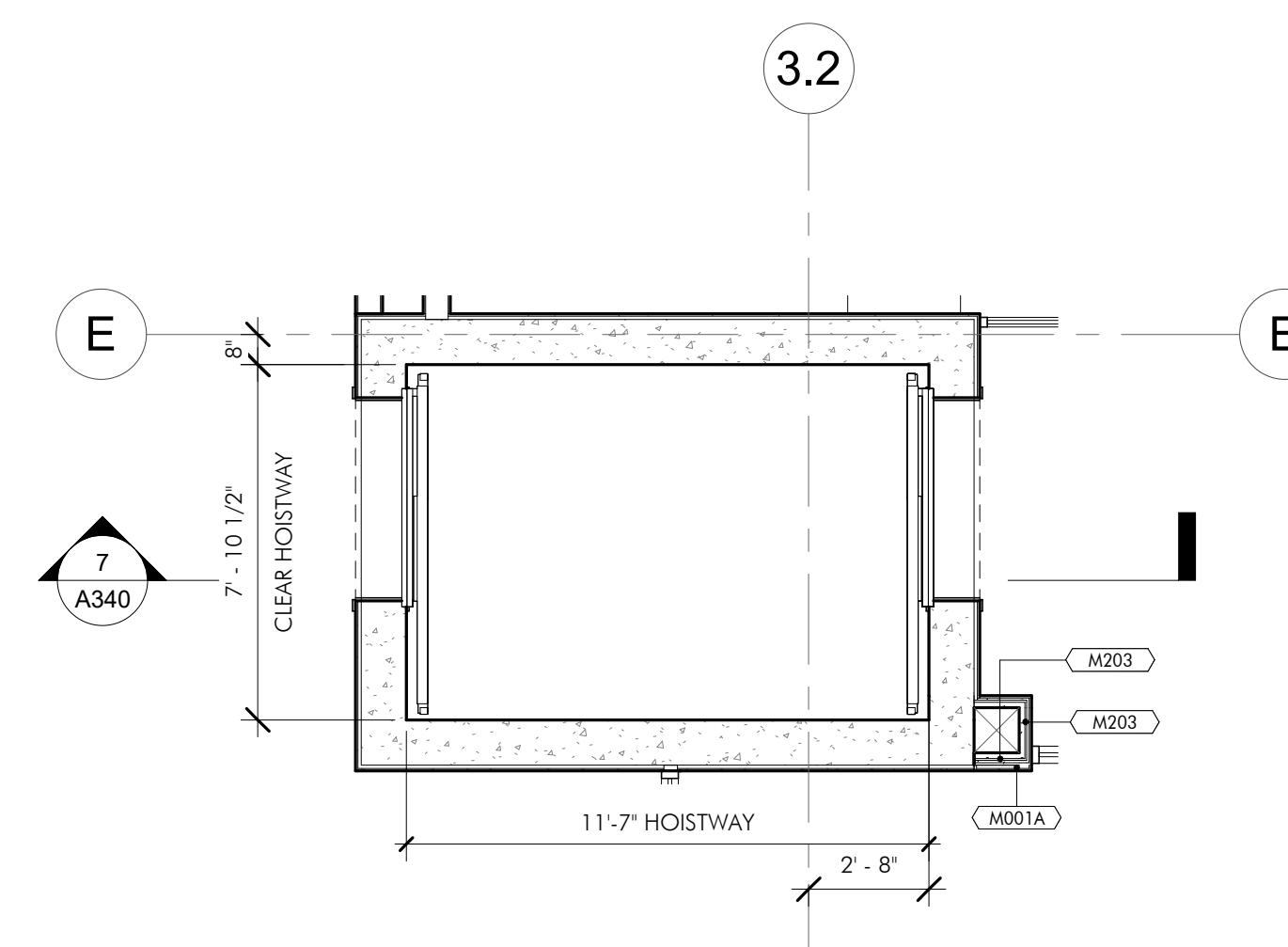
8 ELEVATOR PIT  
1/4" = 1'-0"



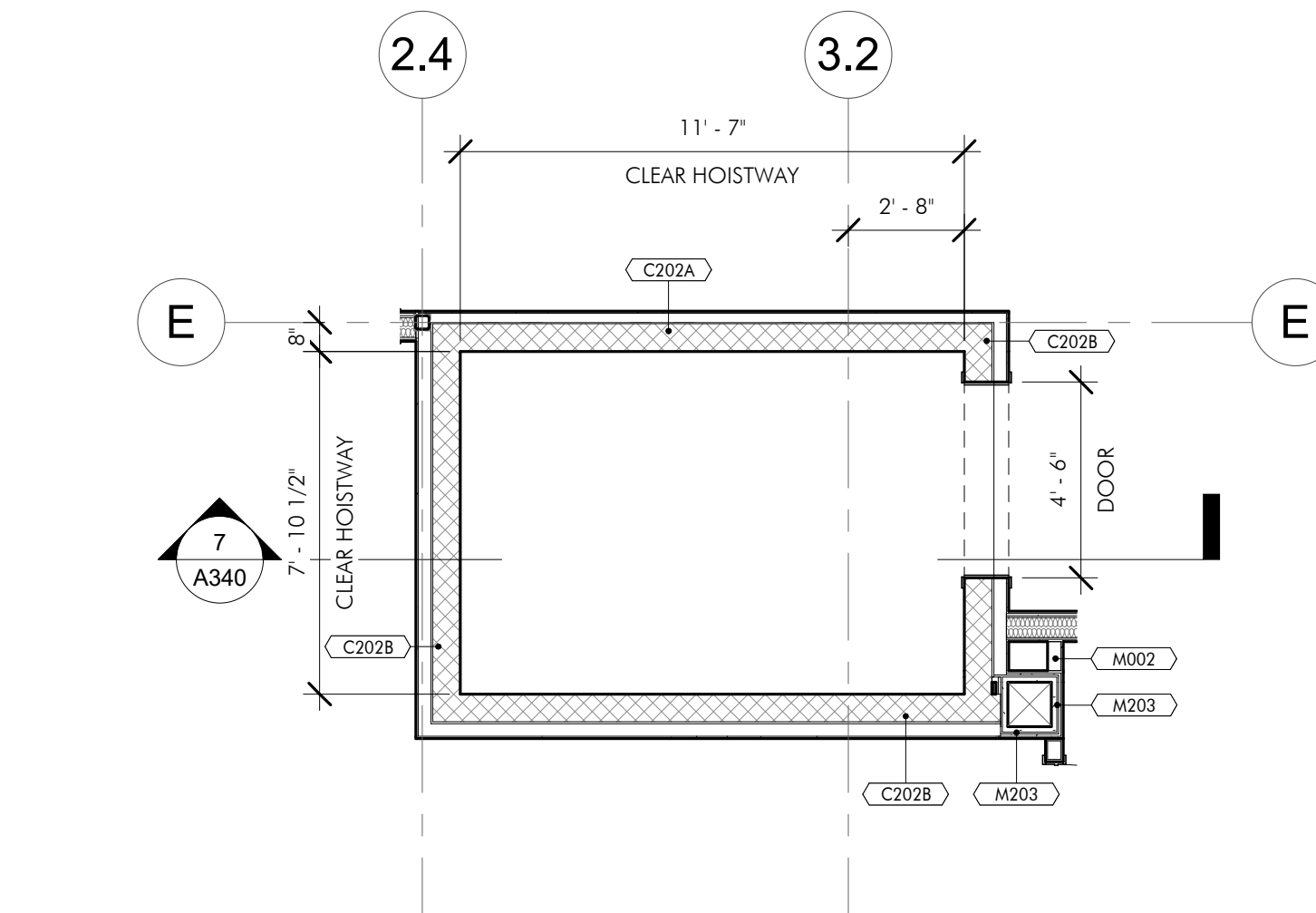
3 ELEVATOR - THIRD FLOOR  
1/4" = 1'-0"



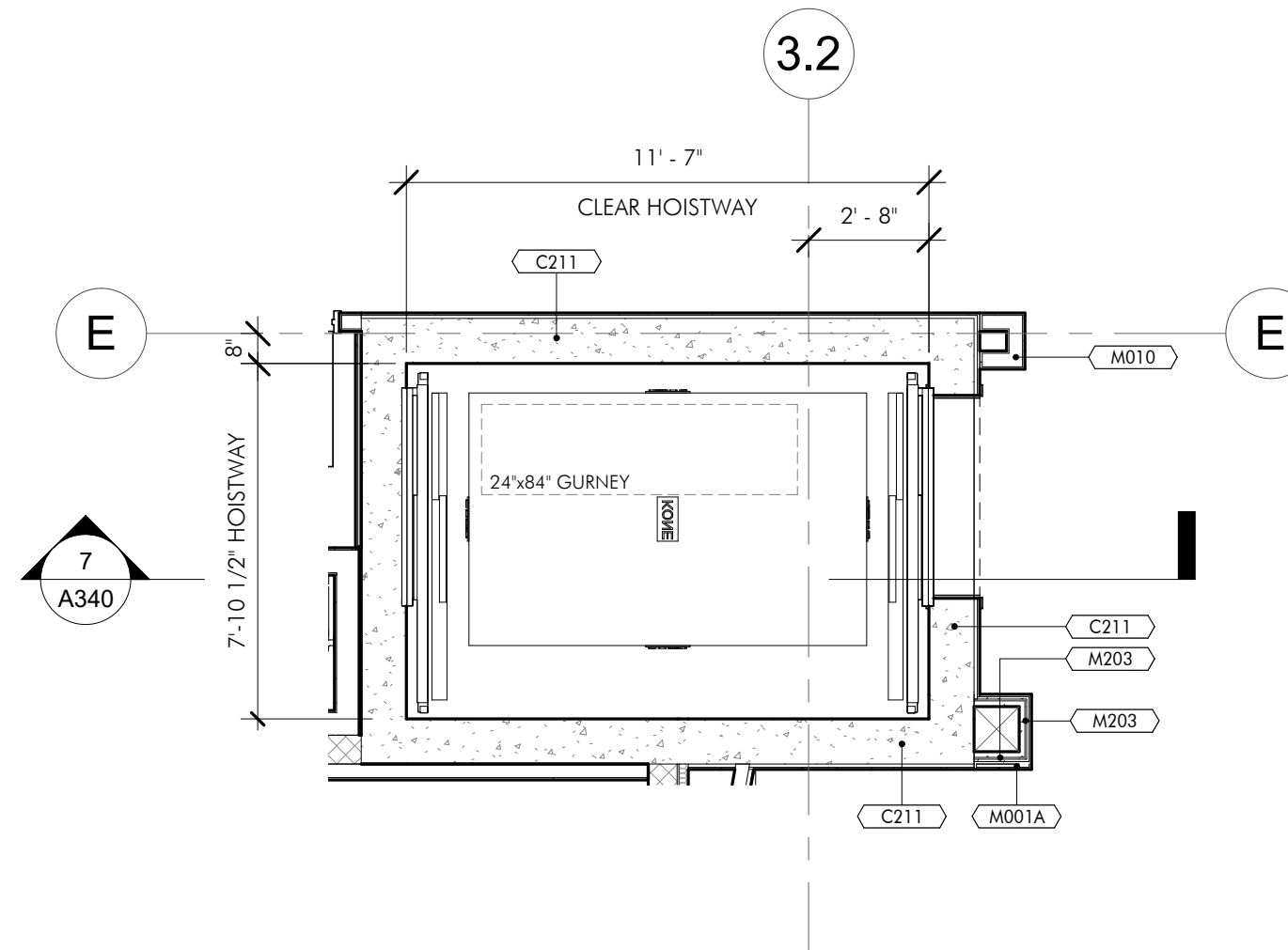
6 ELEVATOR - SIXTH FLOOR  
1/4" = 1'-0"



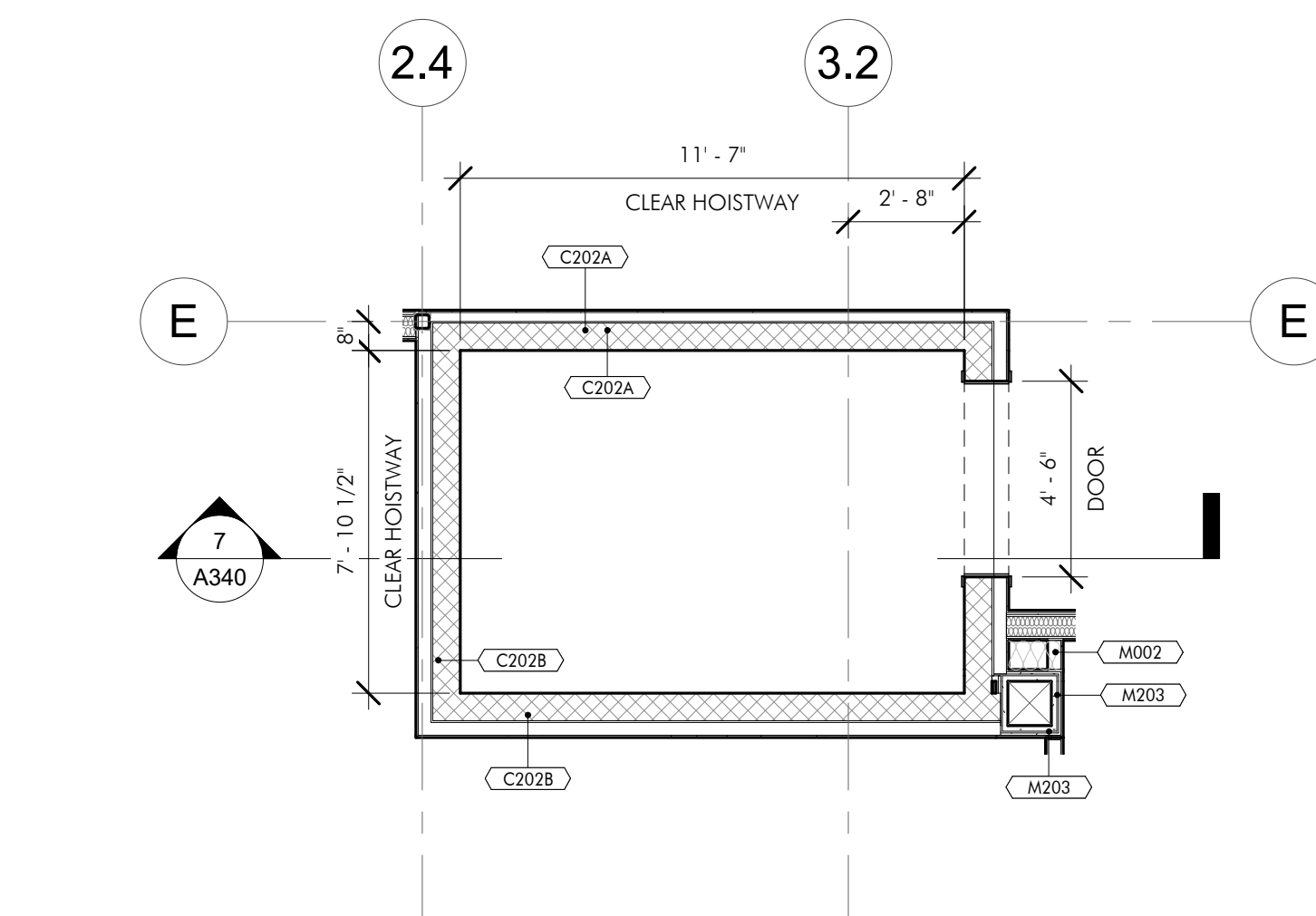
2 ELEVATOR - SECOND FLOOR  
1/4" = 1'-0"



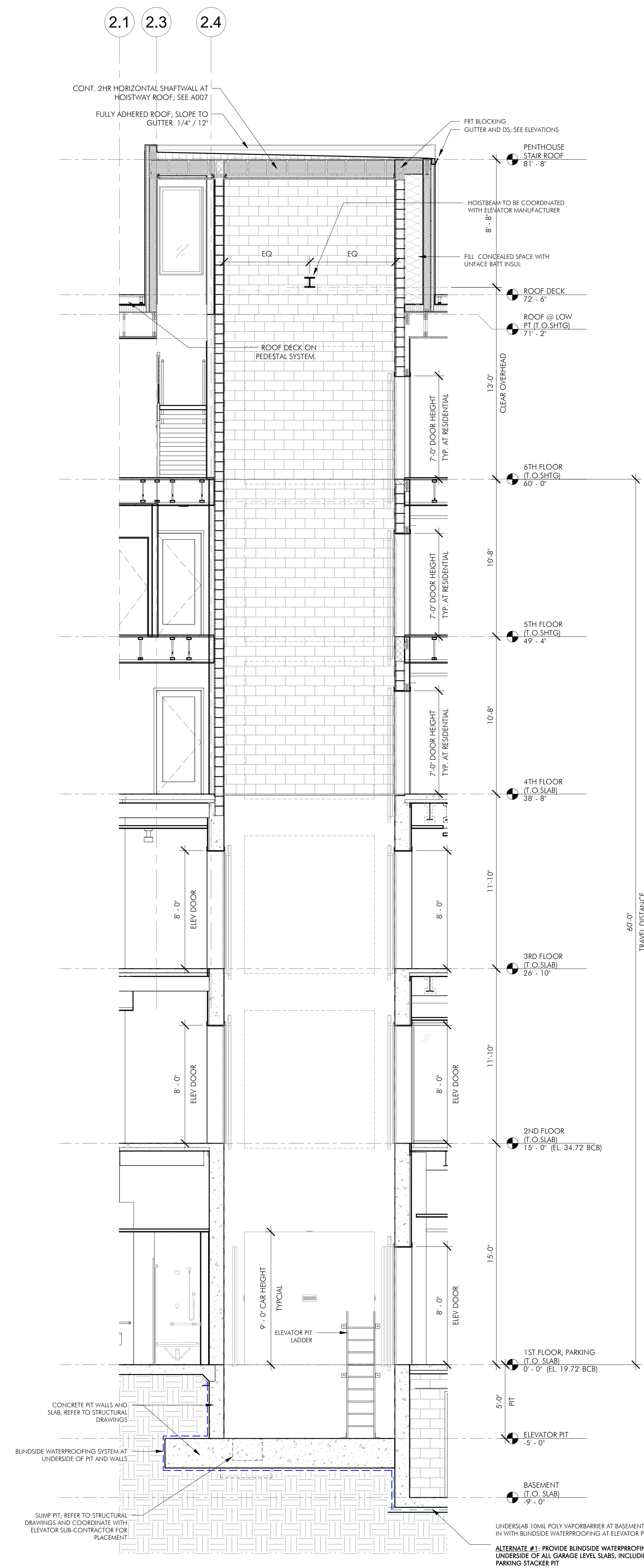
5 ELEVATOR - FIFTH FLOOR  
1/4" = 1'-0"



1 ELEVATOR - FIRST FLOOR  
1/4" = 1'-0"



4 ELEVATOR - FOURTH FLOOR  
1/4" = 1'-0"



7 ELEVATOR SECTION  
1/4" = 1'-0"

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MARK	ISSUE	DATE



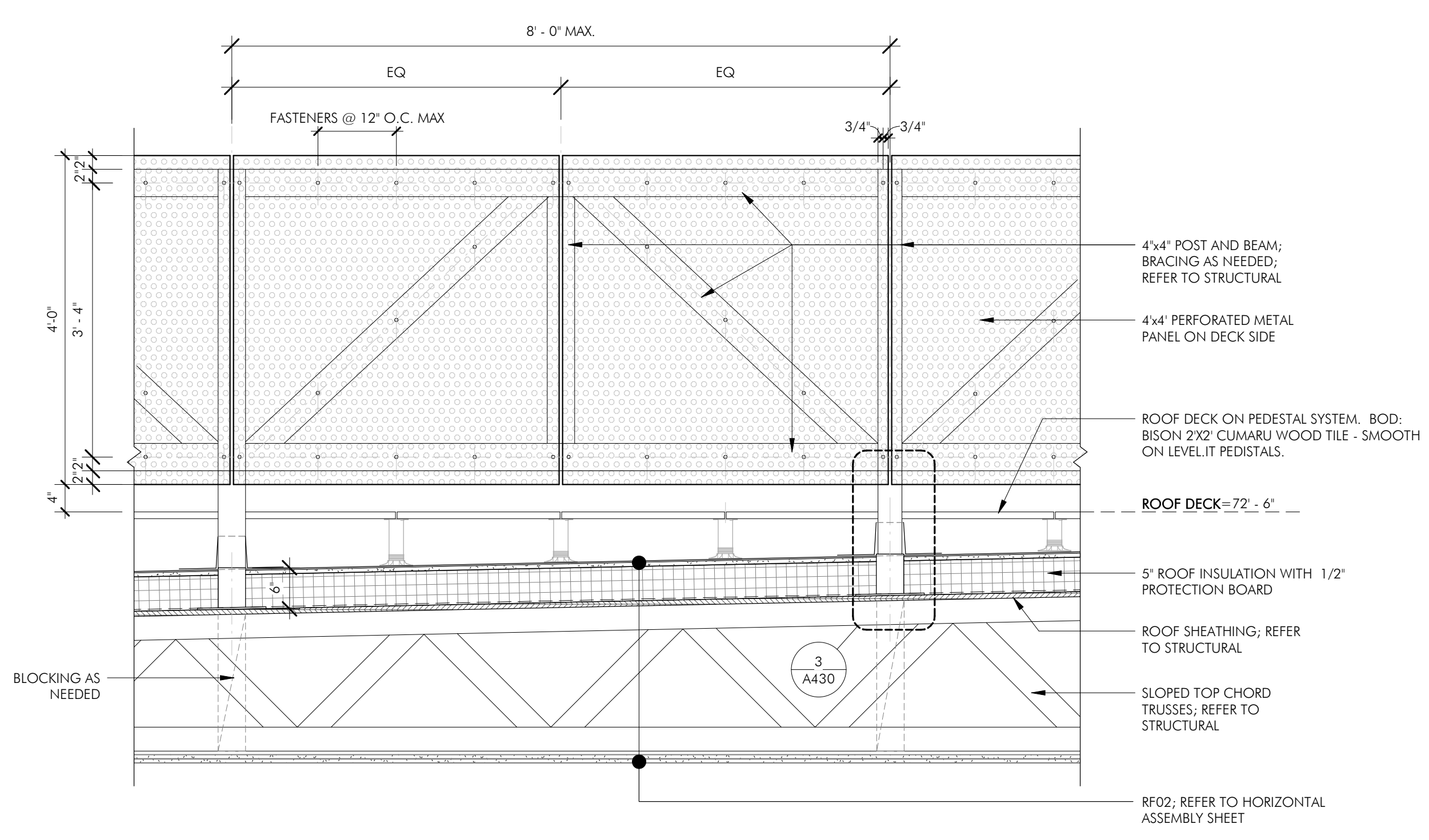
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

DRAWING TITLE  
ELEVATOR PLANS  
AND SECTIONS

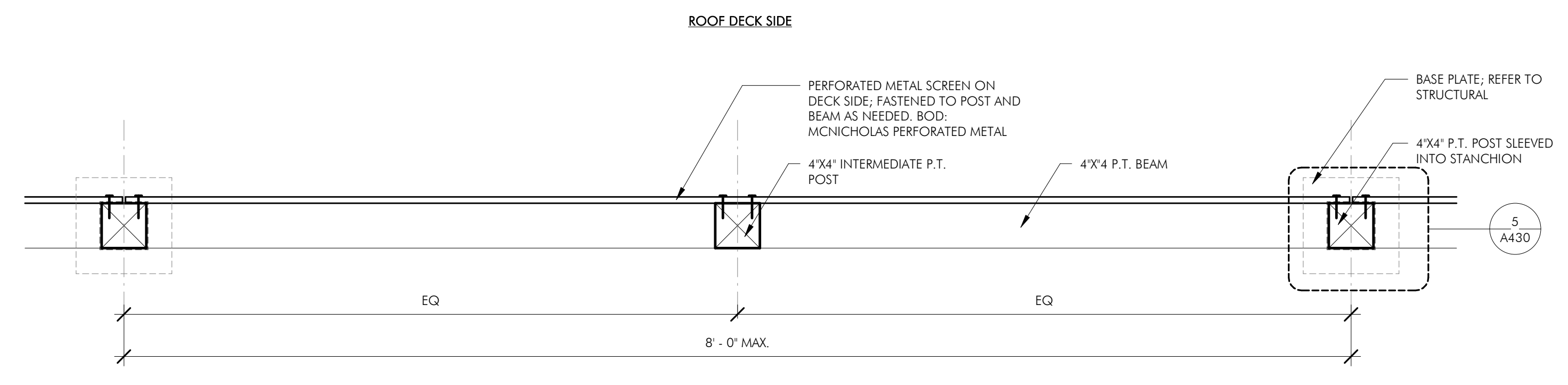
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**A340**

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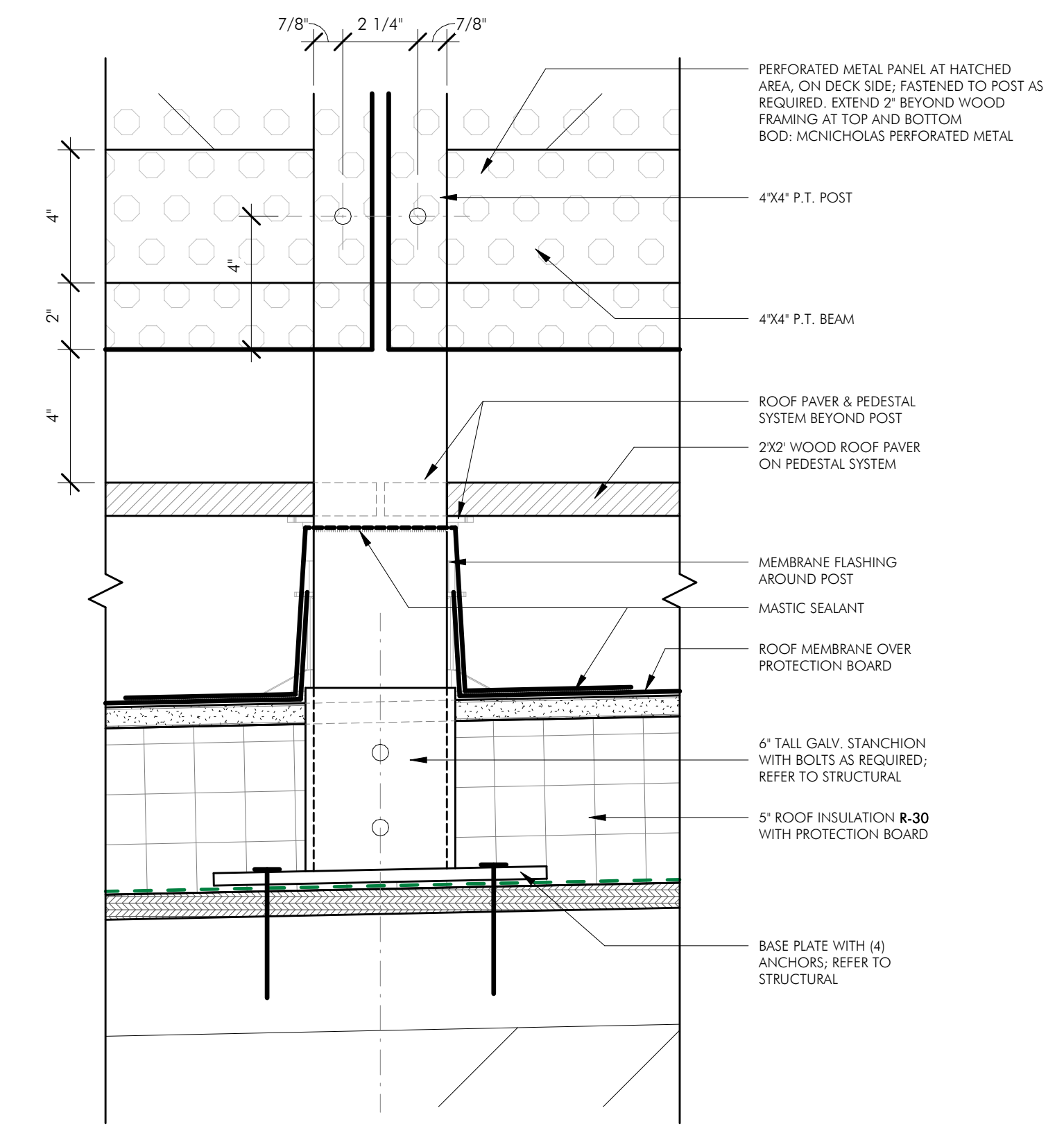




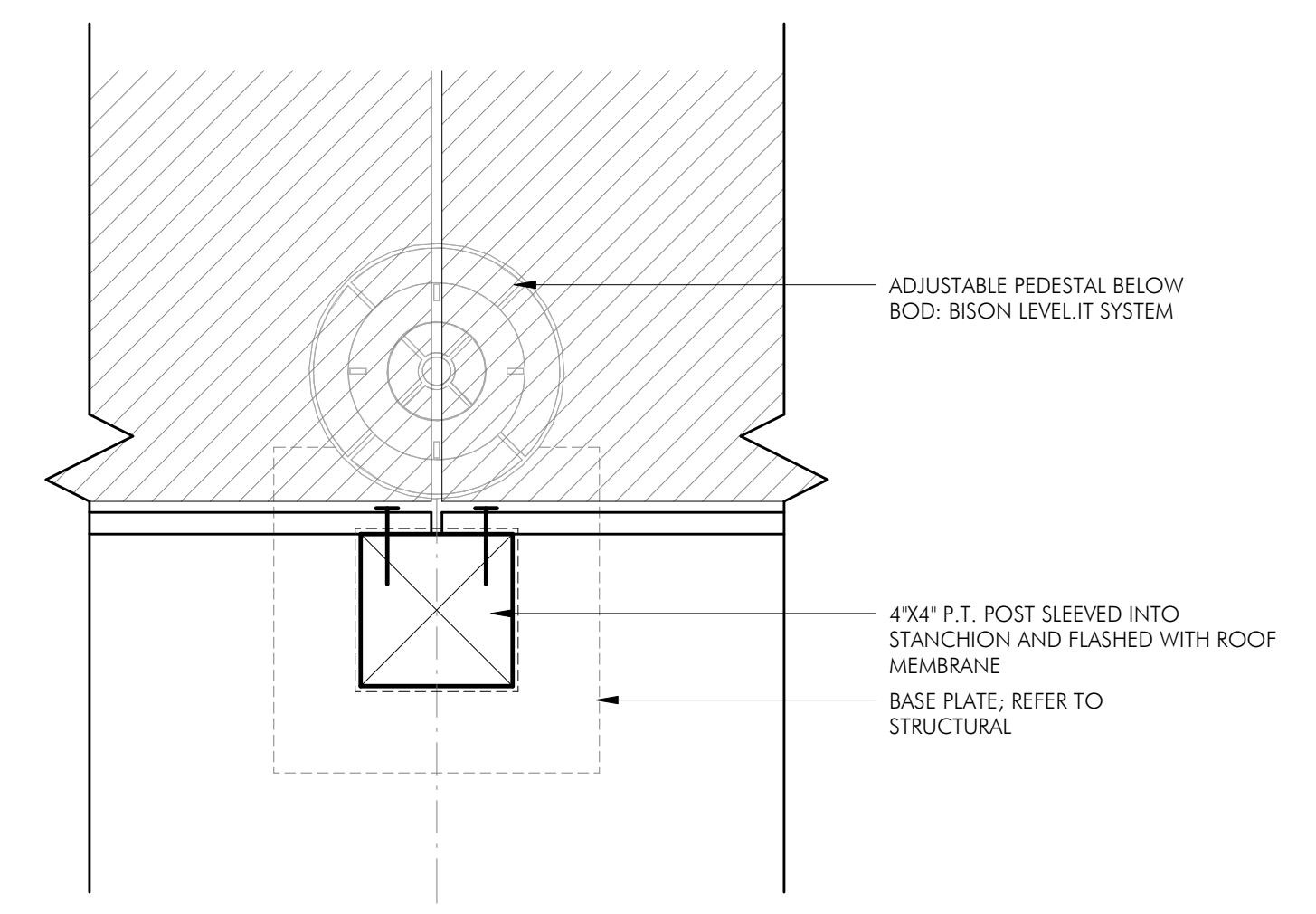
1 ROOF DECK PERFORATED METAL SCREEN ELEVATION  
3/4" = 1'-0"



2 ROOF DECK PERFORATED METAL SCREEN PLAN DETAIL  
1 1/2" = 1'-0"

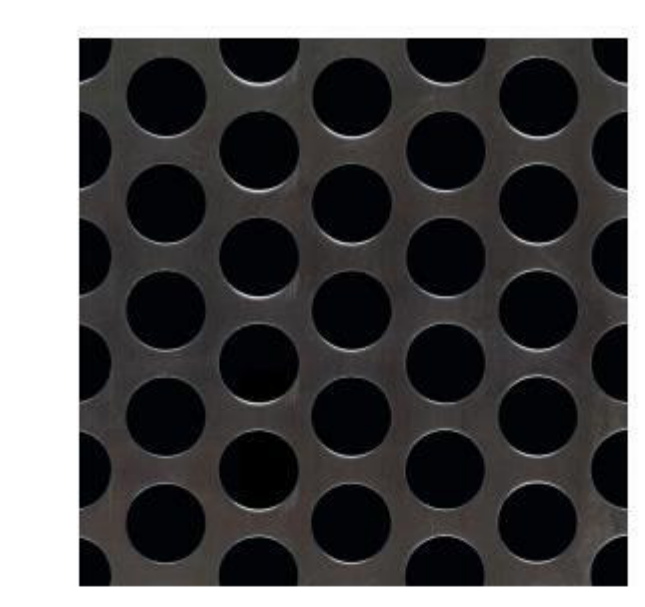


3 SECTION DETAIL AT PERFORATED METAL SCREEN POST  
3" = 1'-0"



5 PLAN DETAIL AT POST  
3" = 1'-0"

**McNICHOLS®**



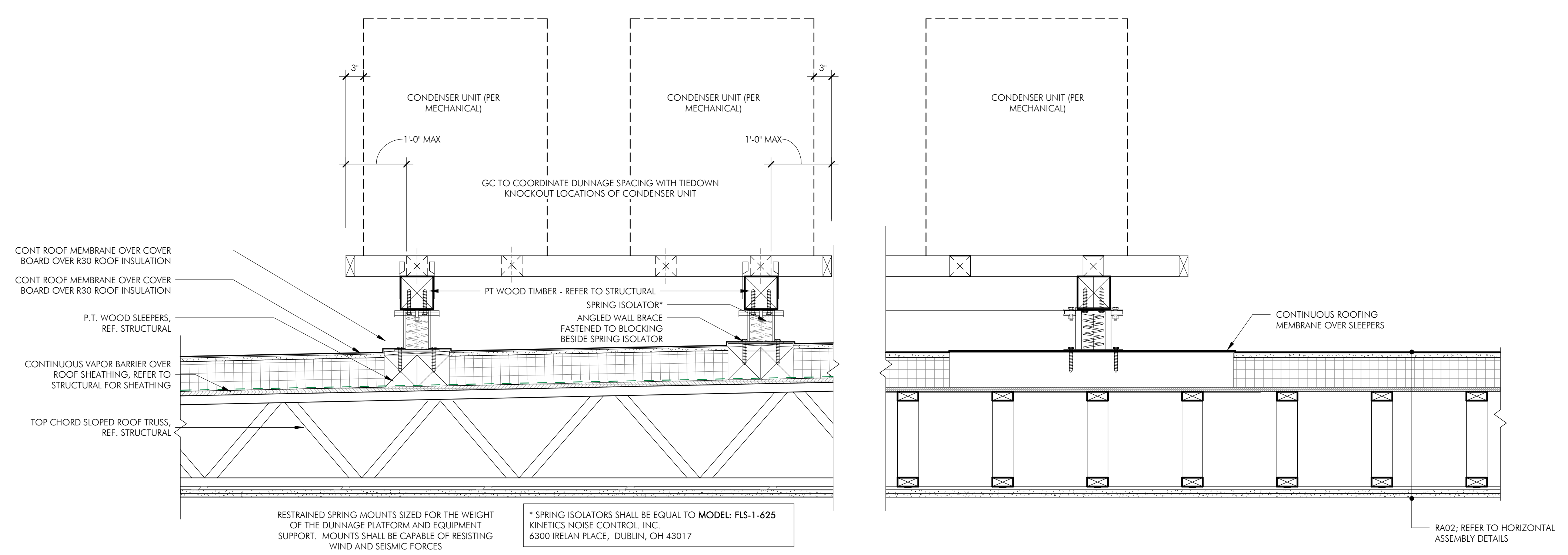
**McNICHOLS® Perforated Metal**  
Round, Aluminum, Alloy 3003-H14, .0630" Thick (14 Gauge), 3/4" Round on 1" Staggered Centers, 51% Open Area, 48" x 120"

**McNICHOLS® Perforated Metal, Round, Aluminum, Alloy 3003-H14, Mill Finish, .0630" Thick (14 Gauge), 3/4" Round on 1" Staggered Centers, 1/4" Bar Width, 1.15 Holes Per Square Inch (HPSI), Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 51% Open Area**

**ITEM 1734016341 - 48" x 120"**

**ITEM SPECIFICATIONS**

Item Number	1734016341
Product Line	Perforated Metal
Hole Type	Round
Primary Material	Aluminum (AL)
Alloy, Grade or Type	Alloy 3003-H14 (3003H14)
Material Finish	Mill Finish
Gauge/Thickness	.0630" Thick (14 Gauge)
Hole Pattern	3/4" Round on 1" Staggered Centers
Hole Size (Diameter)	3/4"
Hole Centers	1"
Bar Width	1/4"
Hole Arrangement	60° Staggered Centers
Holes Per Square Inch (HPSI)	1.15
Straight Rows Parallel to	Length of Sheet
Margins Parallel to Width	Sheared Through Both Ends
Margins Parallel to Length	Minimum Solid Both Sides
End Pattern	Unfinished on Both Ends
Percent Open Area	51%
Weight	0.43 Lbs./Square Foot
Product Form	Sheet
Sizes (Width x Length)	48" x 120" (Cut Sizes Available)



4 SECTION AT ROOF CONDENSER SUPPORT  
1" = 1'-0"

RESTRAINED SPRING MOUNTS SIZED FOR THE WEIGHT OF THE DRAINAGE PLATFORM AND EQUIPMENT. SUPPORT. MOUNTS SHALL BE CAPABLE OF RESISTING WIND AND SEISMIC FORCES

\* SPRING ISOLATORS SHALL BE EQUAL TO MODEL: FLS-1-625 KINETICS NOISE CONTROL, INC. 6300 IRELAN PLACE, DUBLIN, OH 43017

800.237.3820 sales@mcnichols.com mcnichols.com

Inspired to Serve!®

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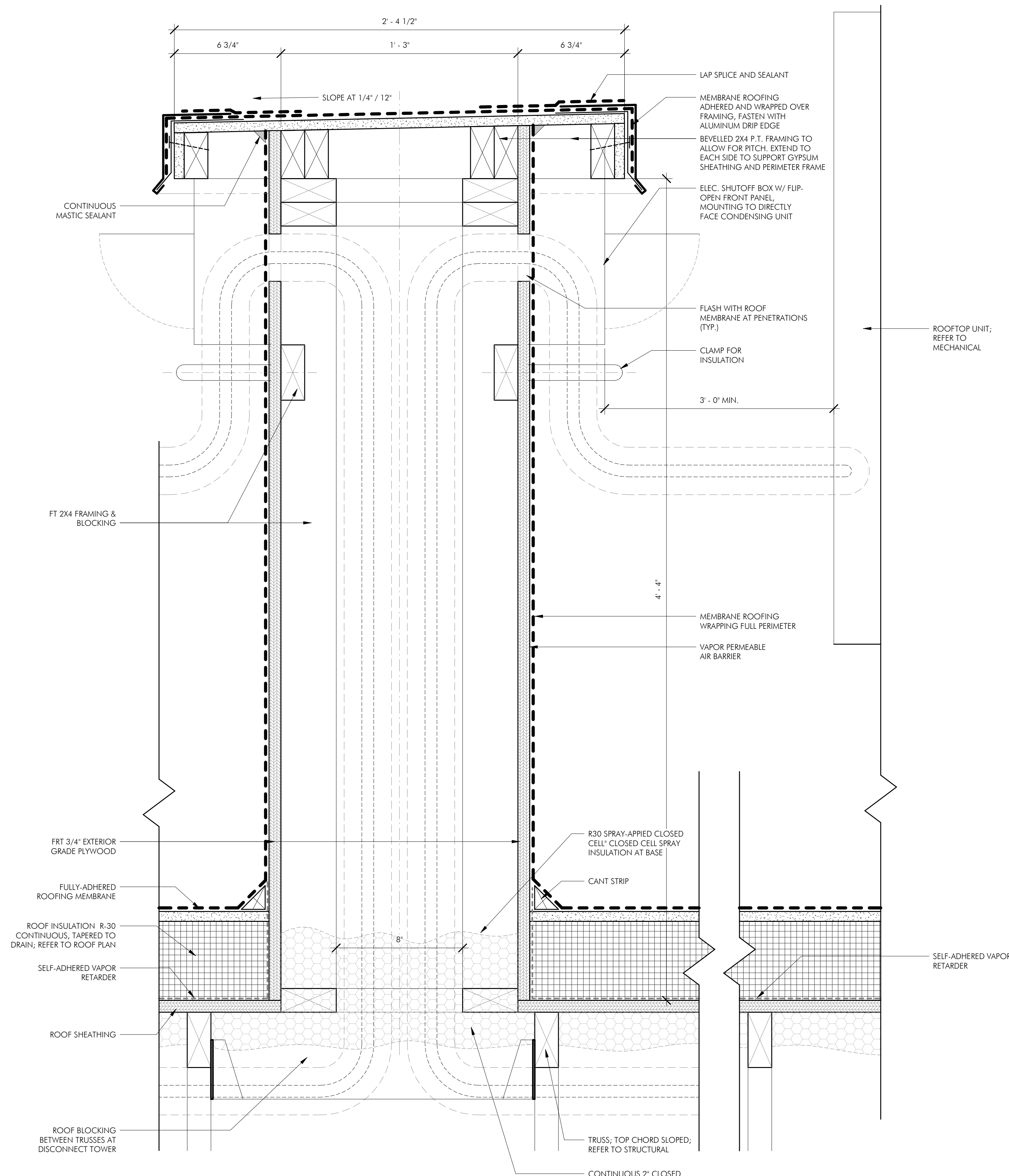
MARK	ISSUE	DATE
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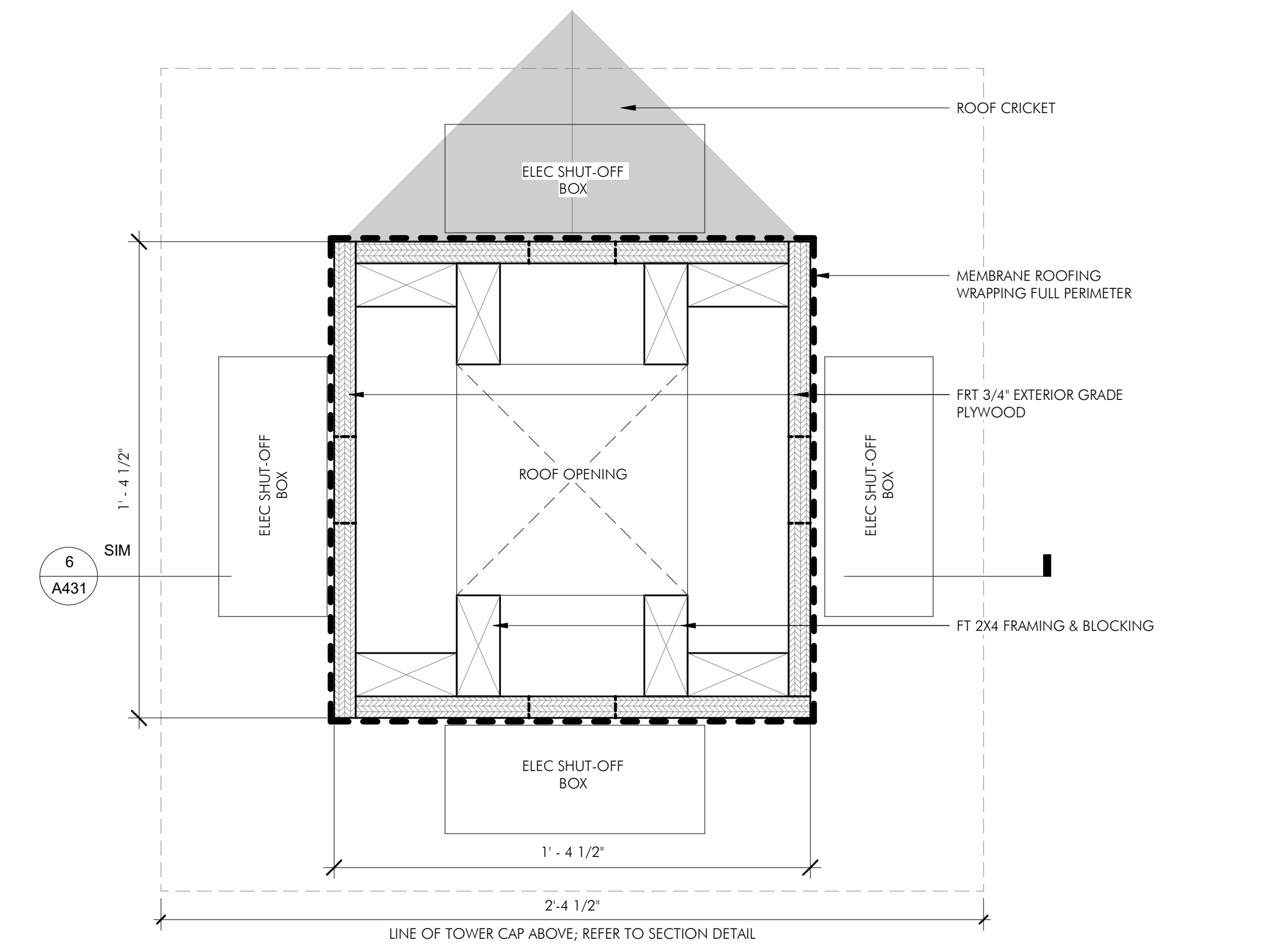
DRAWING INFORMATION  
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: As indicated

DRAWING TITLE  
ROOF DETAILS

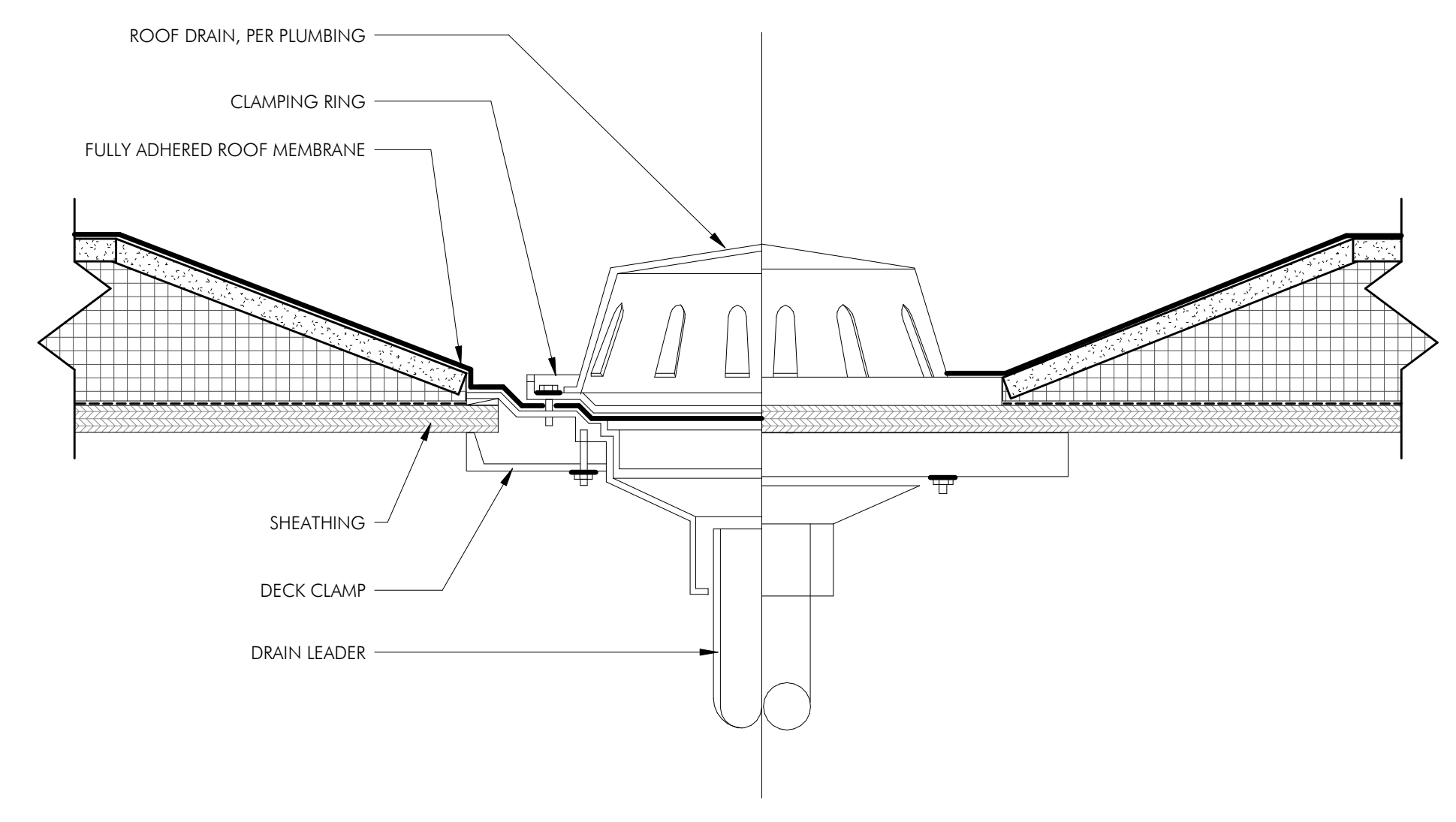
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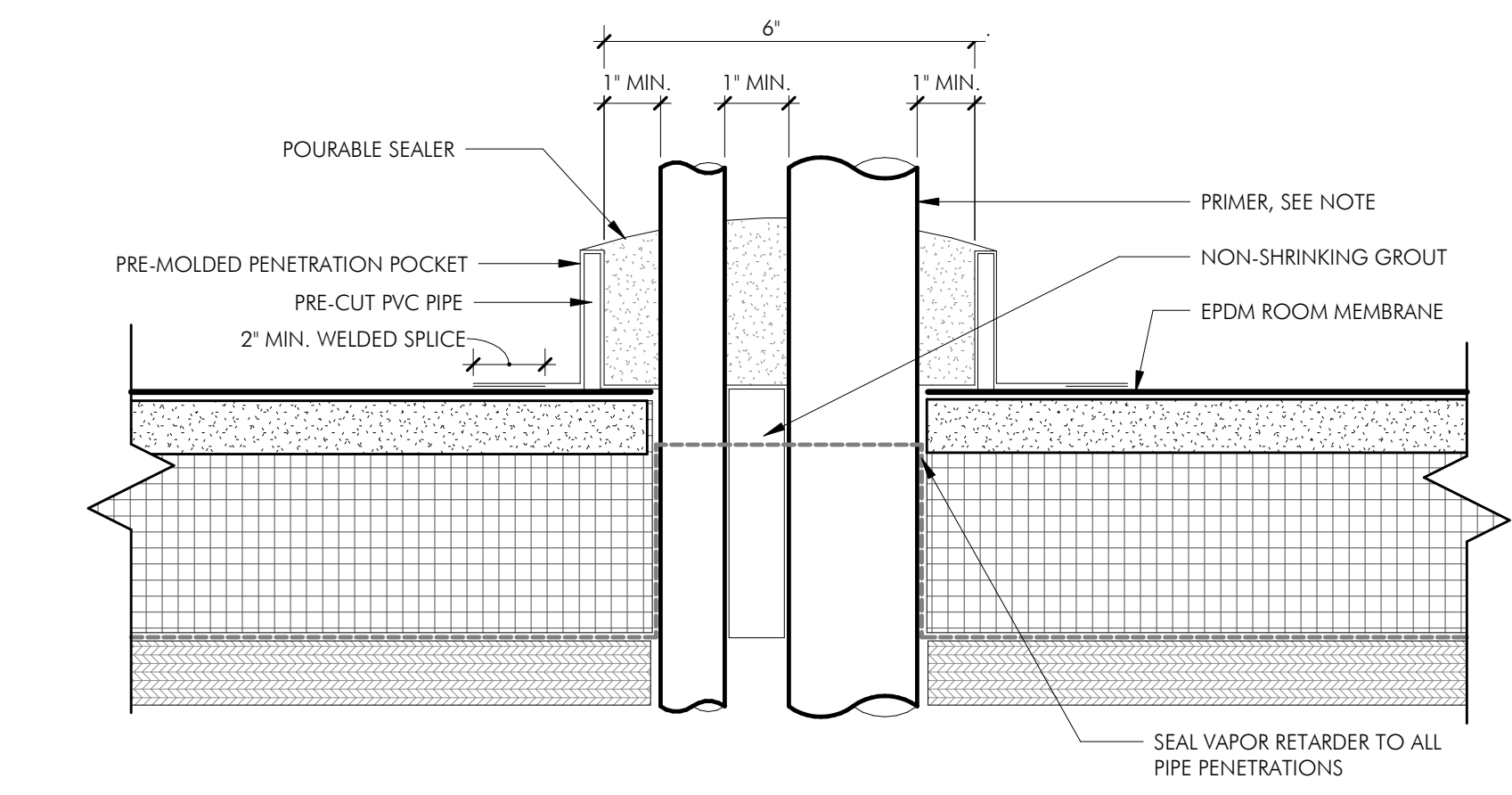
6 SECTION DETAIL AT ROOF TOP UNIT DISCONNECT TOWER  
3" = 1'-0"



7 PLAN DETAIL AT ROOF TOP UNIT DISCONNECT TOWER  
3" = 1'-0"

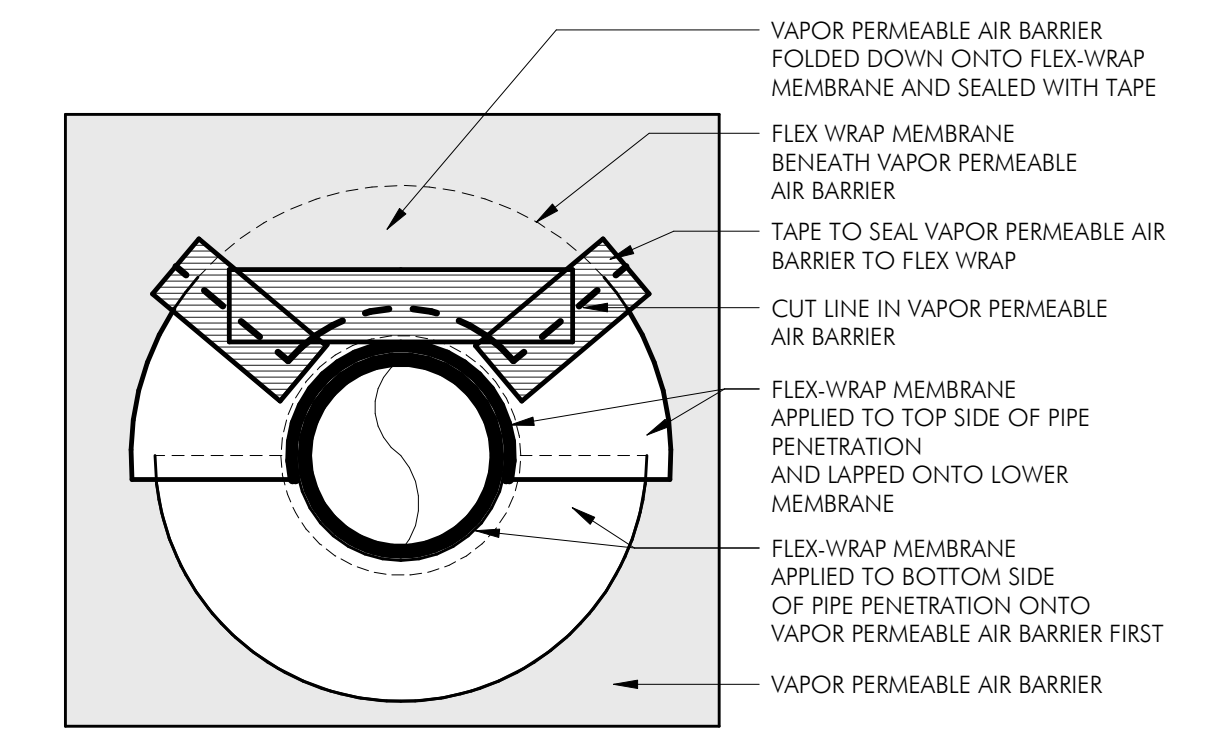


4 SECTION AT MAIN ROOF DRAIN AT MEMBRANE ROOFING  
3" = 1'-0"

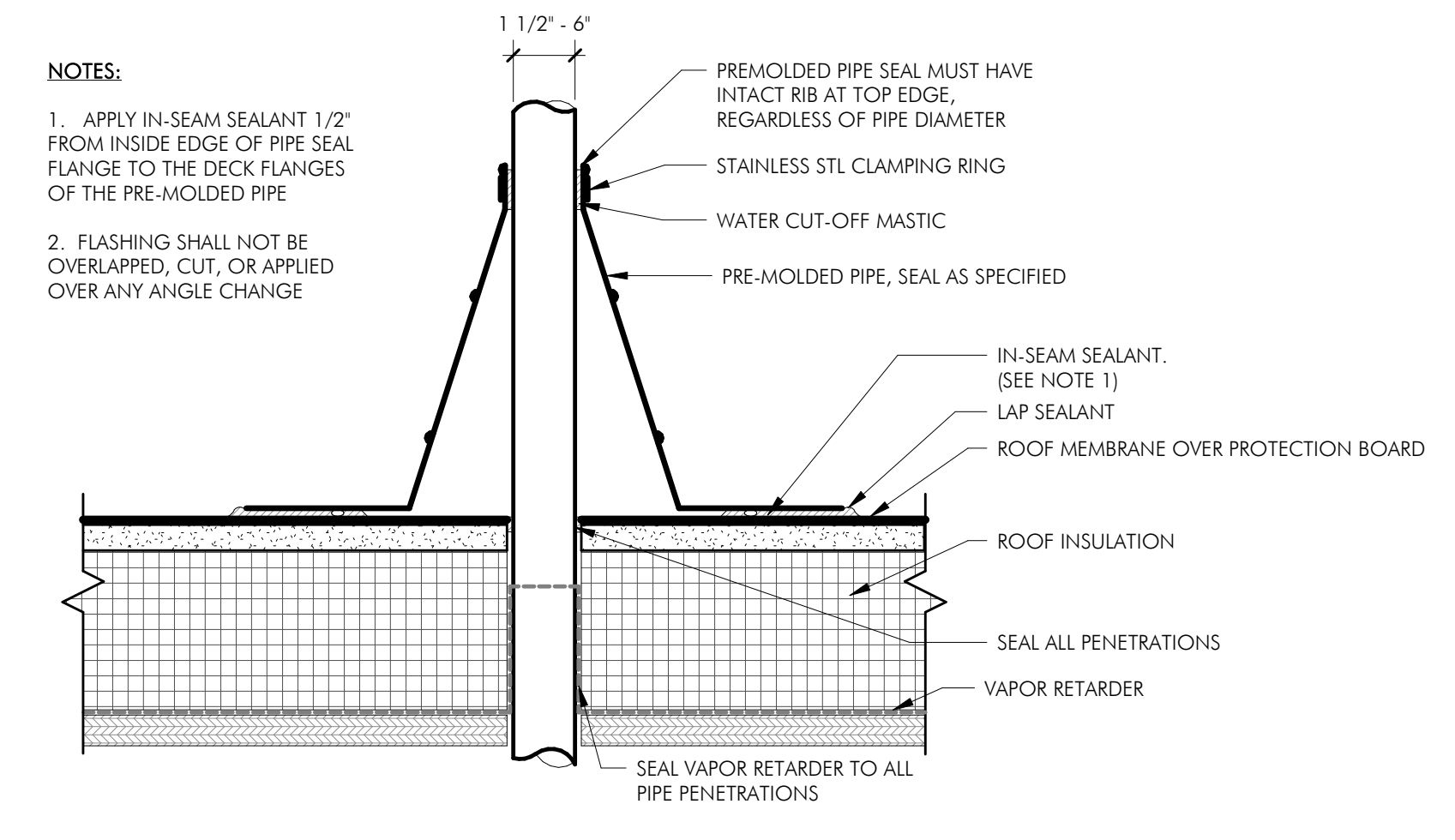


- NOTES:
- REFER TO SPECIFICATIONS
  - POURABLE SEALER MOUNTED TO SHED WATER (MIN. DEPTH OF 2"); REMAINDER OF POCKET MAY BE FILLED WITH A NON-SHRINKING GROUT.
  - DO NOT USE WHEN SERVICE LINE TEMP. EXCEEDS 180 DEGREES FAHRENHEIT. REFER TO MANUFACTURER RECOMMENDATIONS.
  - IF FIELD MEMBRANE IS CUT FOR INSTALLATION, THE MEMBRANE MUST BE REPAIRED WITH MEMBRANE PRIOR TO INSTALLATION OF THE PENETRATION POCKET.
  - MEMBRANE MUST BE INSTALLED WITHIN 1/2" OF PENETRATION.
  - PRIMER REQUIRED ON PENETRATIONS AND MEMBRANE INSIDE OF PENETRATION POCKET.

3 MULTIPLE PENETRATION POCKET AT ROOF  
6" = 1'-0"



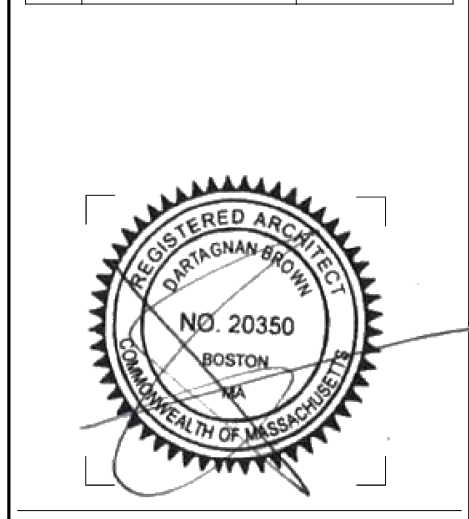
2 TYPICAL VENT PENETRATION FOR DRYER, TOILET EXHAUST, AND HW HEATER VENTS  
3" = 1'-0"



1 SECTION AT PIPE FLASHING AT MEMBRANE ROOFING  
3" = 1'-0"

REVISIONS

MARK	ISSUE	DATE



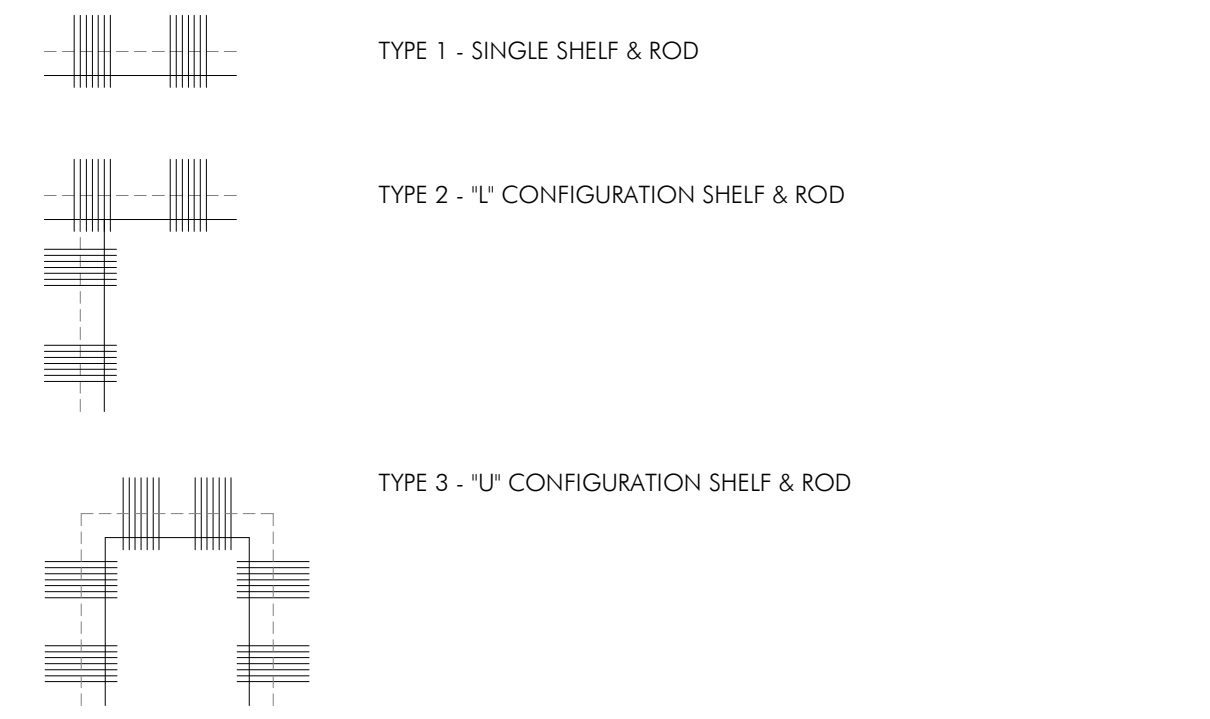
DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
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PROJECT #:	20020
SCALE:	As indicated

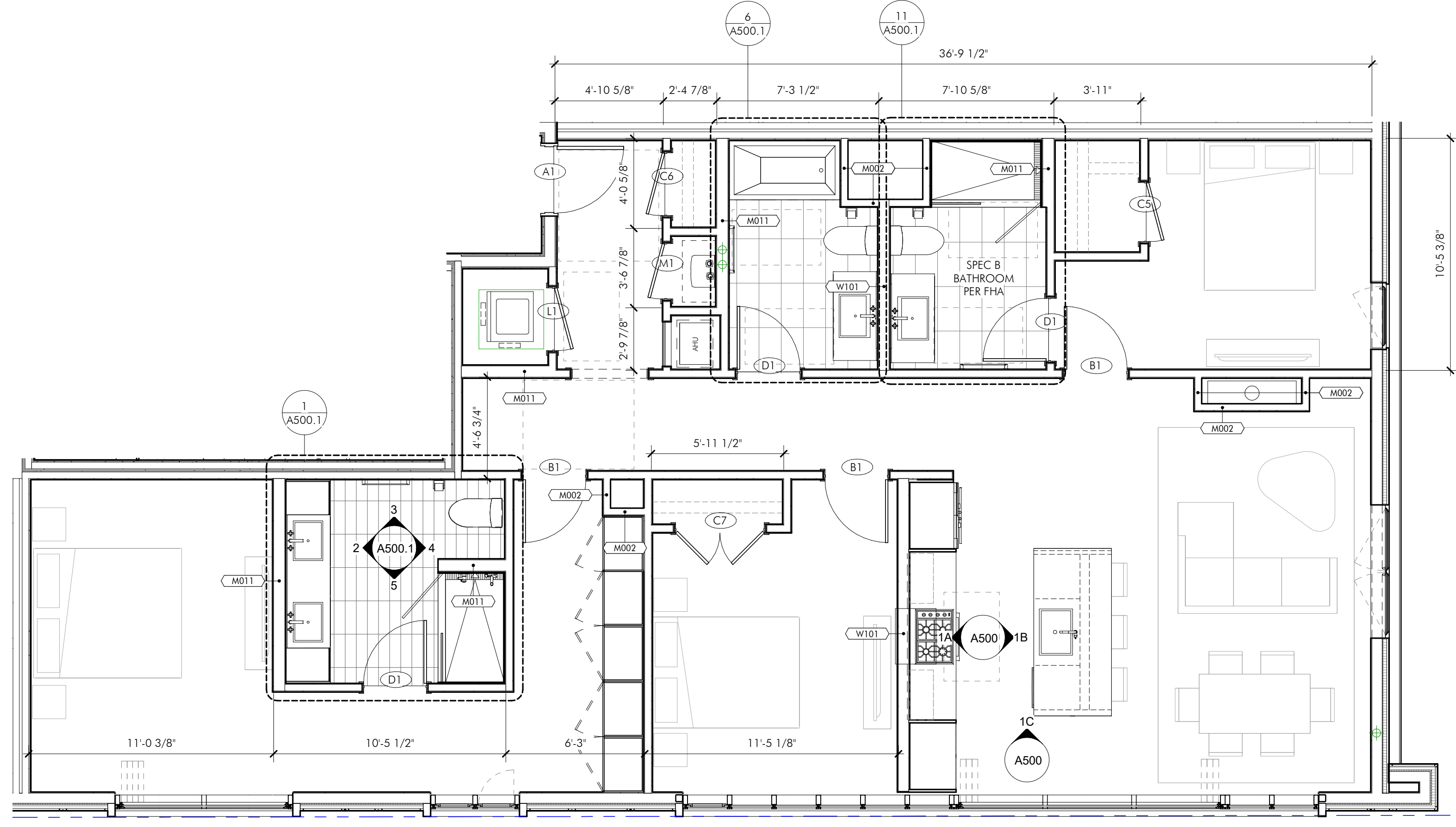
DRAWING TITLE  
**ROOF DETAILS**

DRAWING NUMBER  
**A431**

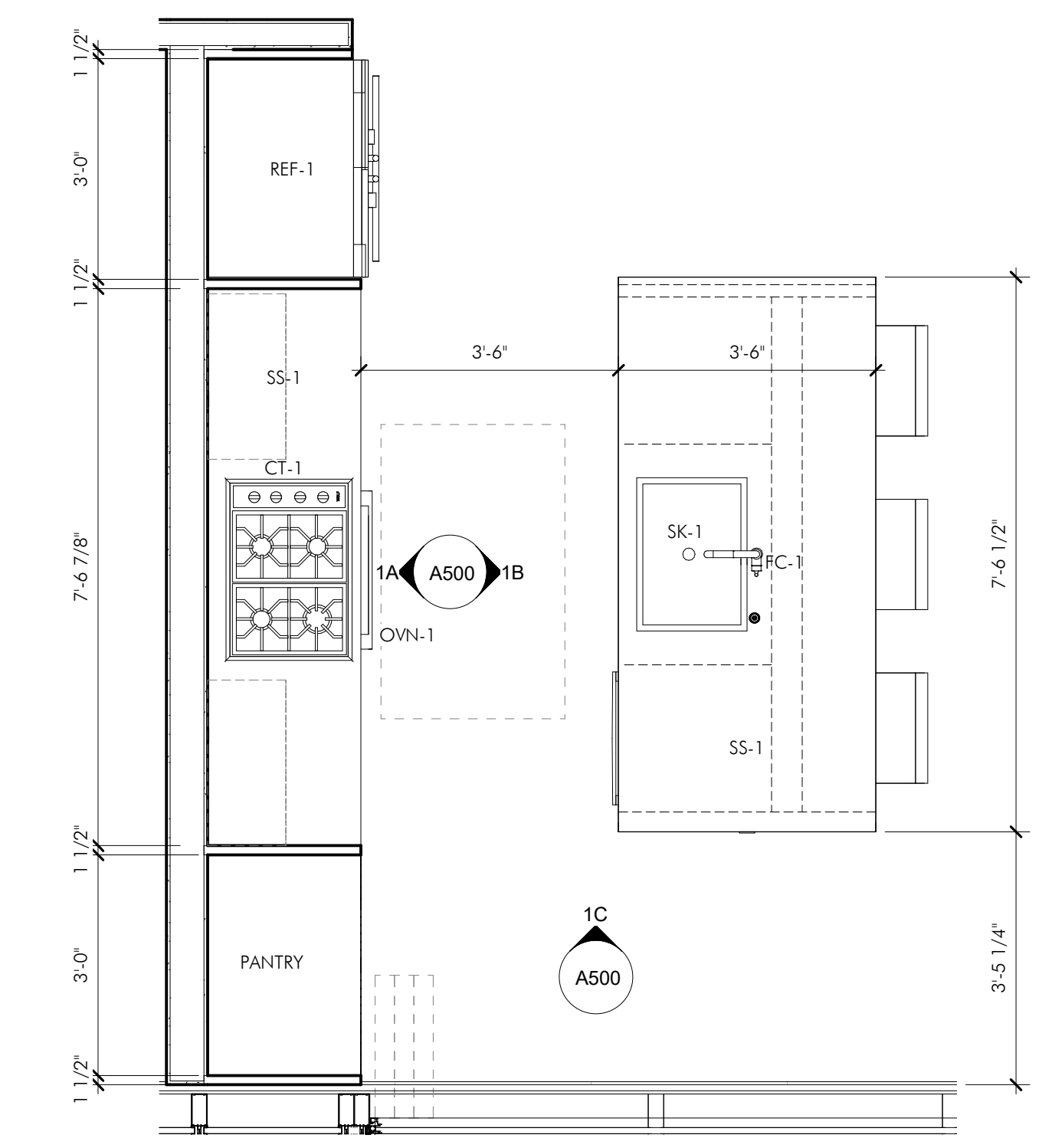
- ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED AS 'CLEAR' OR 'CLR' DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
- REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.
- REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
- REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
- REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
- FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
- REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
- ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.
- ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
- ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
- GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
- ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.O.N.
- UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPS; REFER TO TAGS FOR CEILING FINISH, TYP.
- ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
- REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS
- ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS
- NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE
- MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"
- ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
- RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.



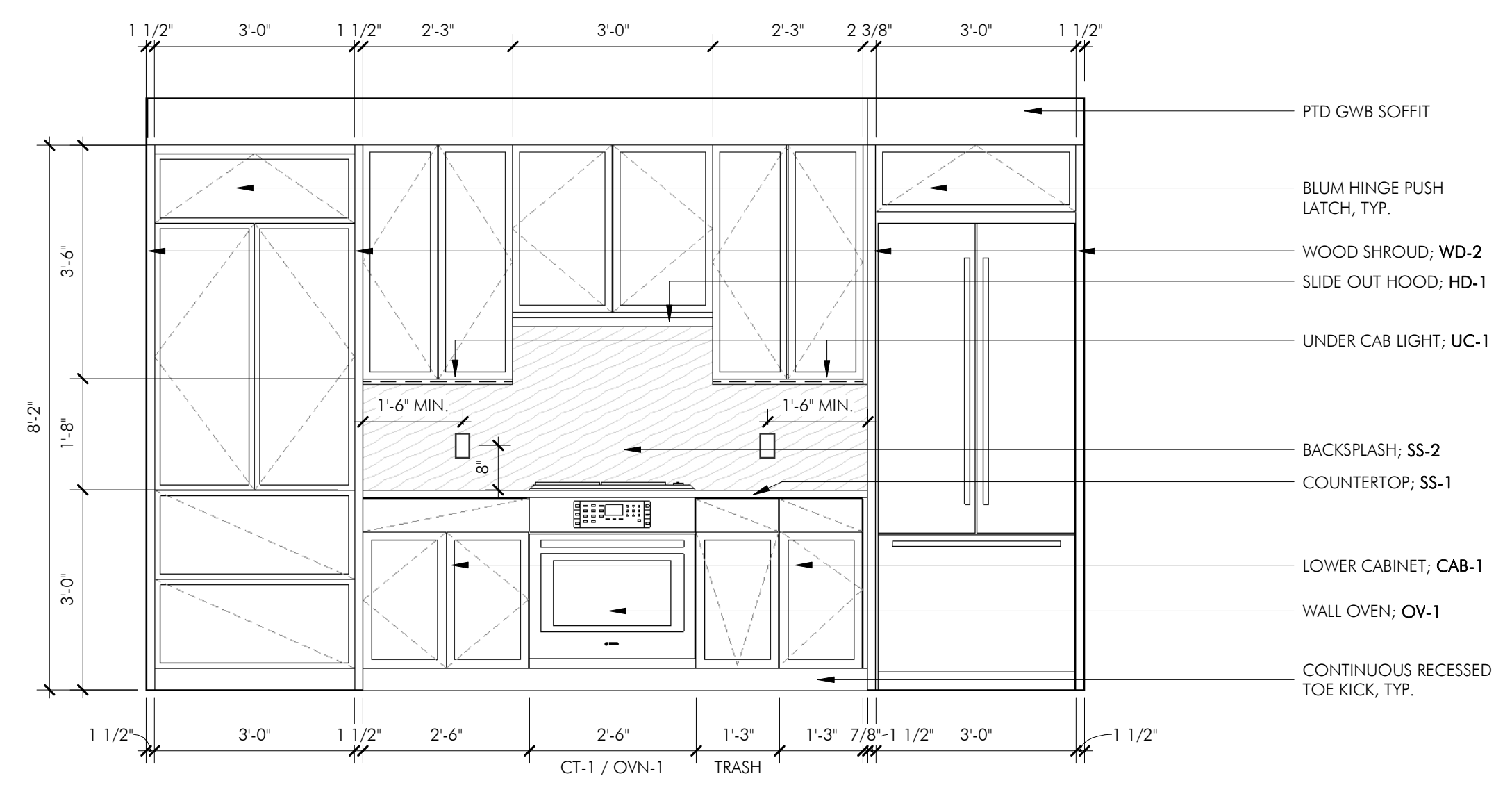
28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16\"/>



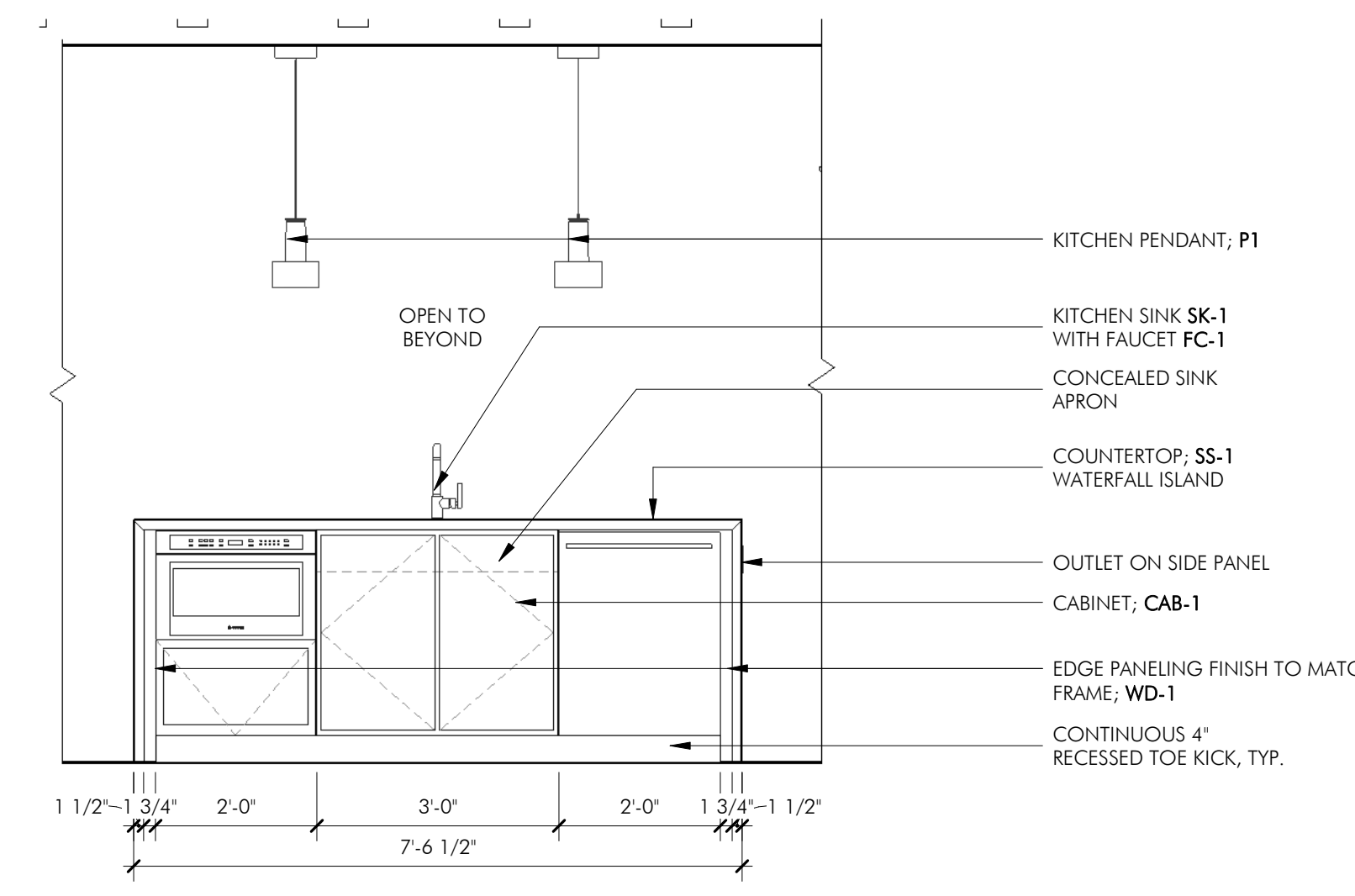
**1** UNIT 1 - 3 BR  
1/4" = 1'-0"



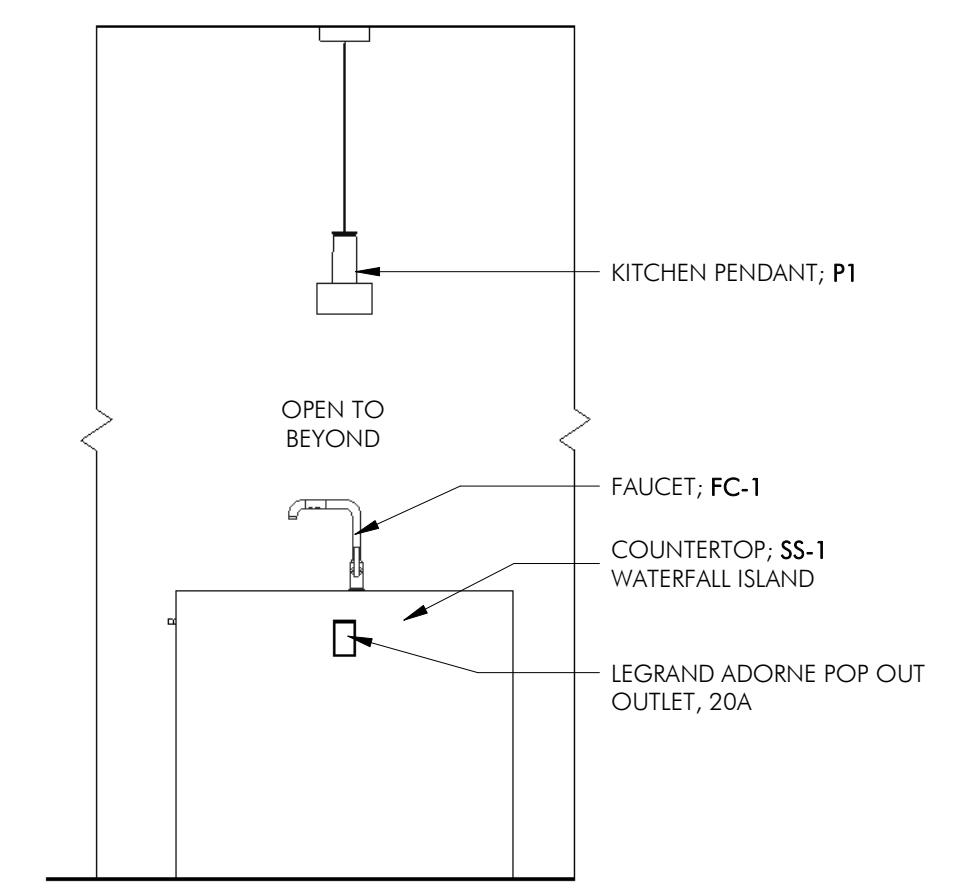
**2** UNIT 1 - KITCHEN TYPE 1 - ENLARGED PLAN  
1/2" = 1'-0"



**1A** UNIT 1 - KITCHEN TYPE 1 - ELEVATION A  
1/2" = 1'-0"



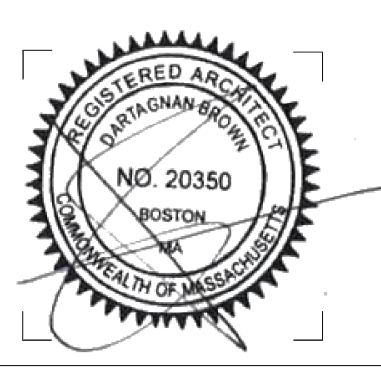
**1B** UNIT 1 - KITCHEN TYPE 1 - ELEVATION B  
1/2" = 1'-0"



**1C** UNIT 1 - KITCHEN TYPE 1 - ELEVATION C  
1/2" = 1'-0"

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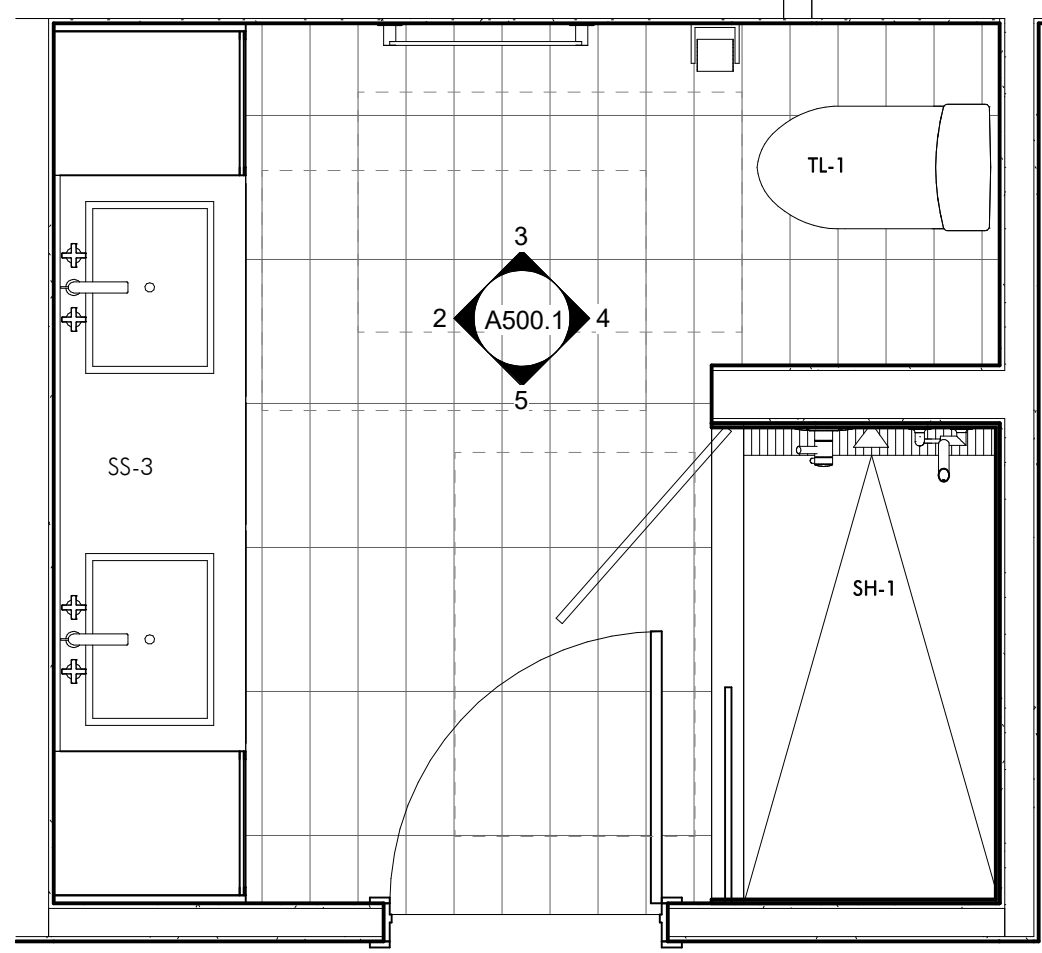
MARK	ISSUE	DATE



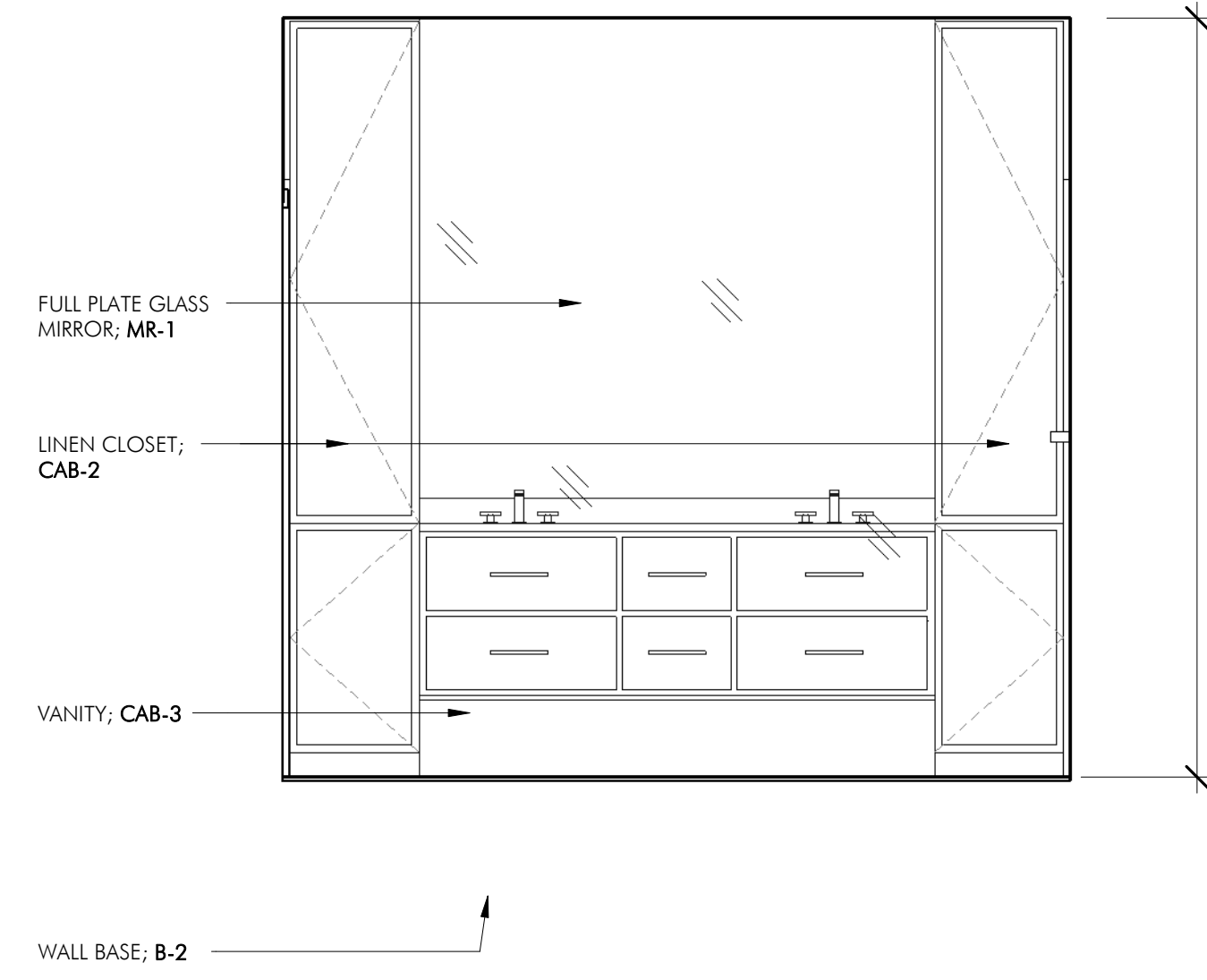
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As Indicated

DRAWING TITLE  
**UNIT 1 ENLARGED PLAN & KITCHEN ELEV**

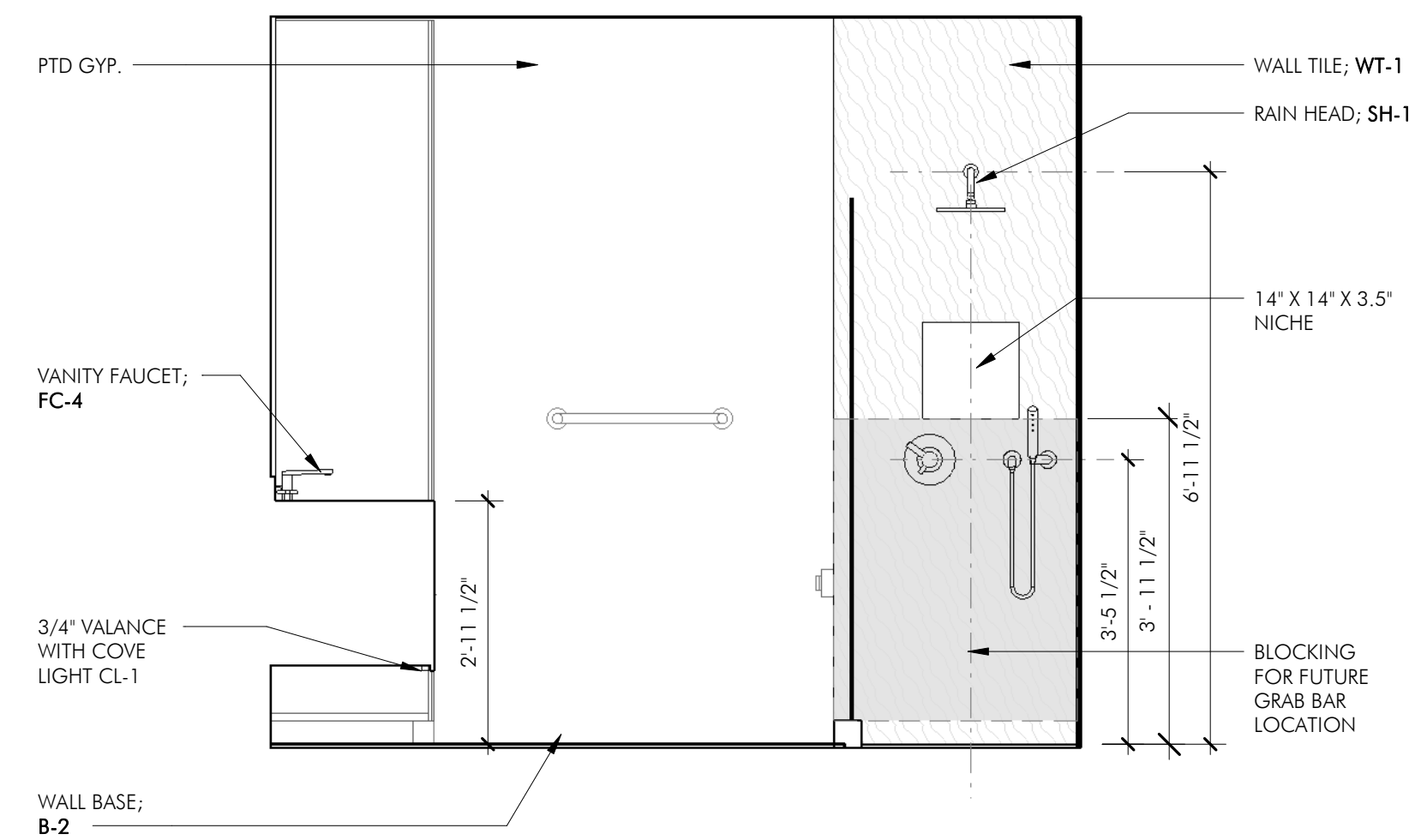
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**A500**



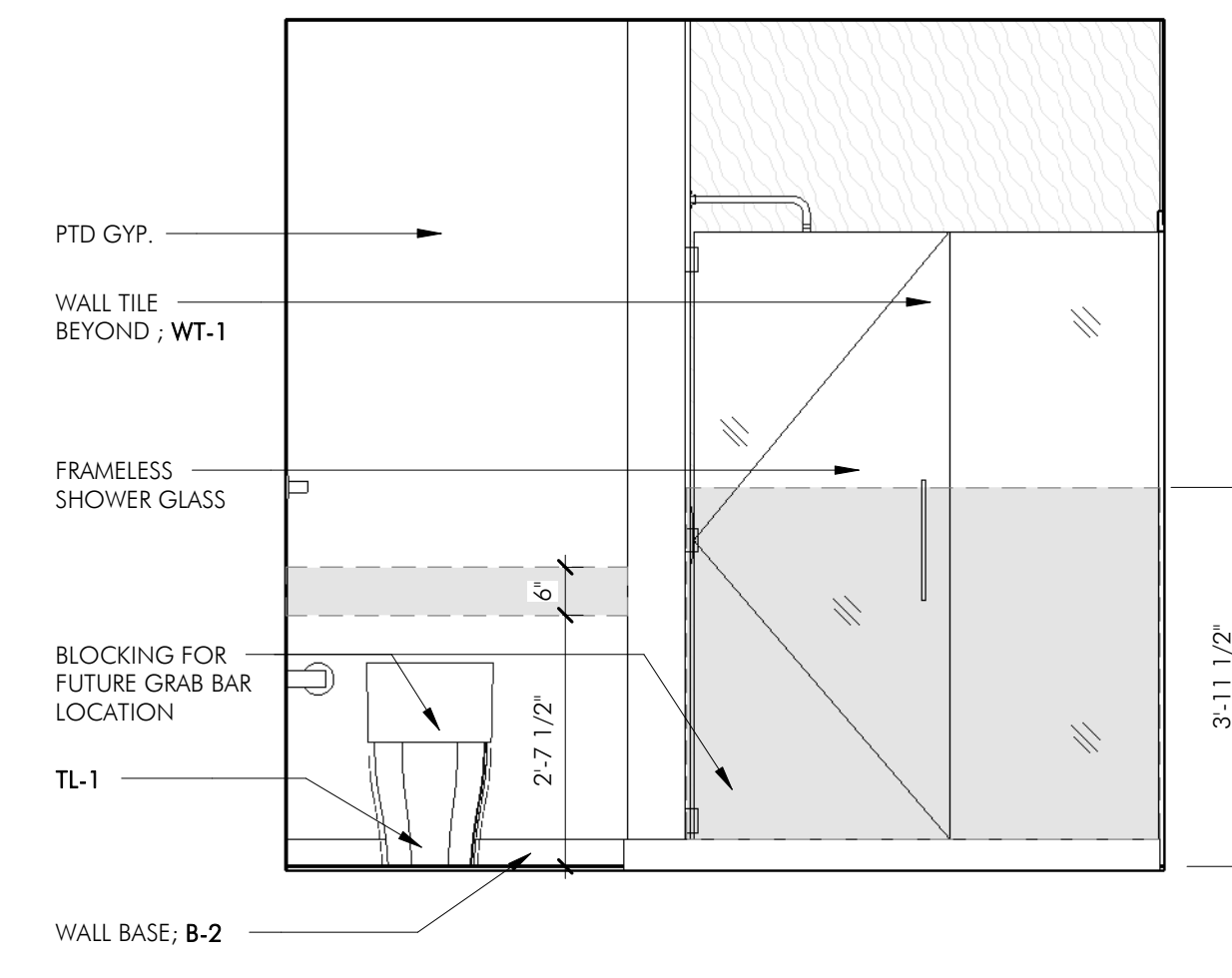
1 UNIT 1 - MASTER BATH - ENLARGED PLAN  
1/2" = 1'-0"



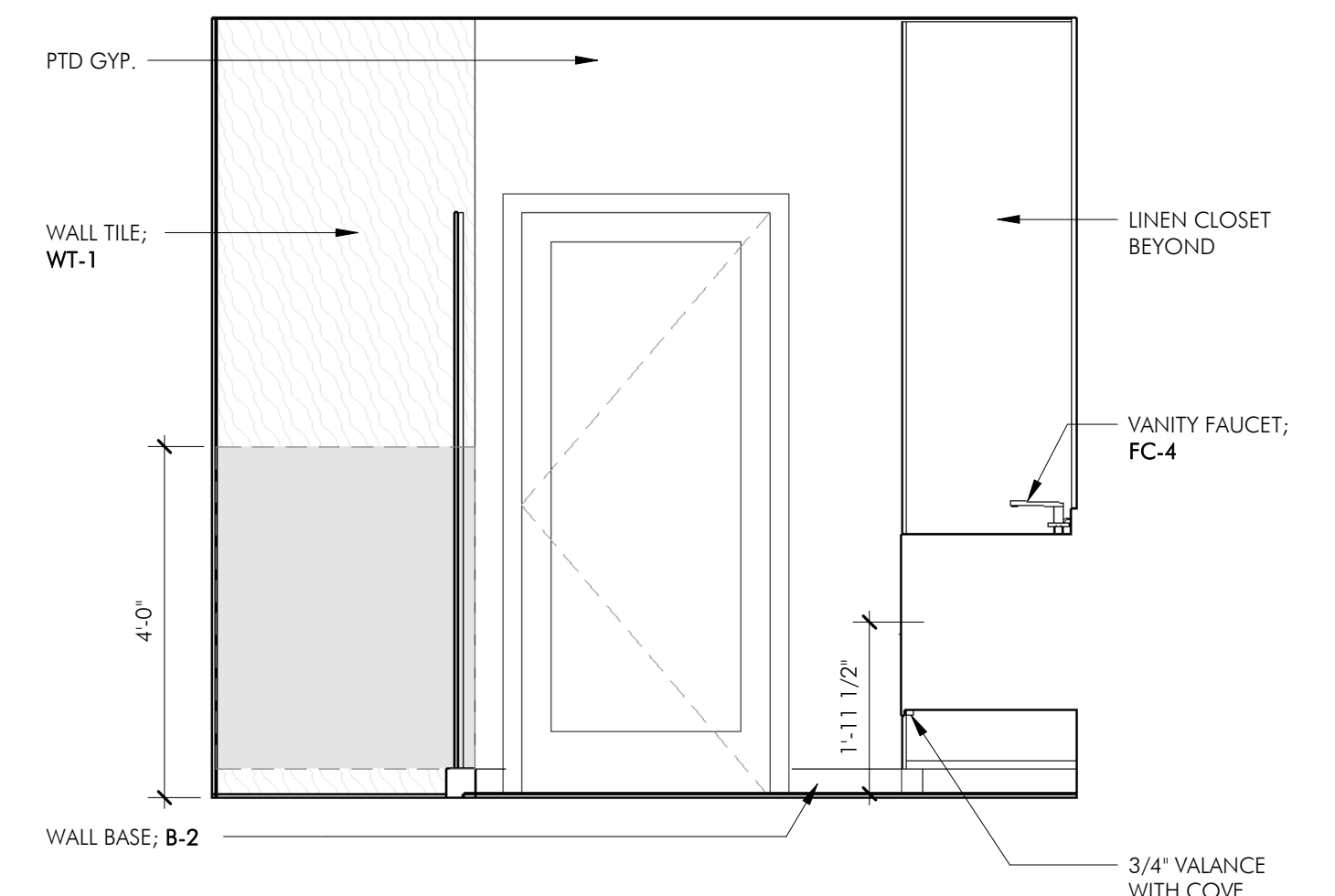
2 UNIT 1 - MASTER BATH ELEV. A  
1/2" = 1'-0"



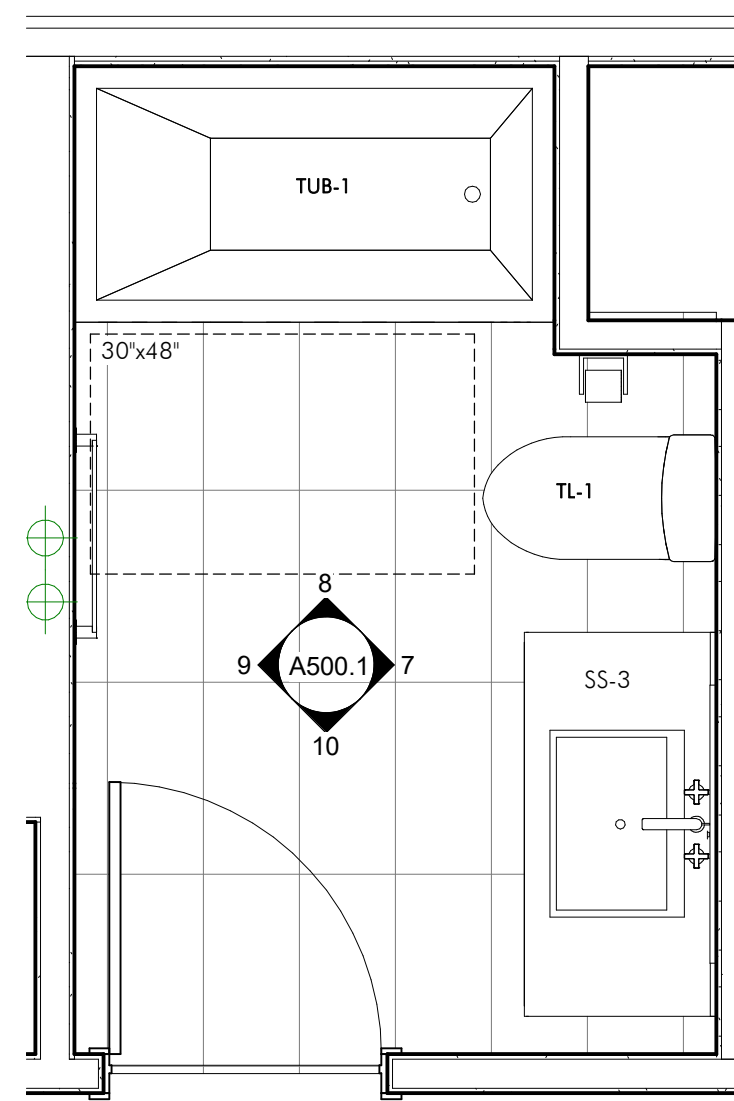
3 UNIT 1 - MASTER BATH ELEV. B  
1/2" = 1'-0"



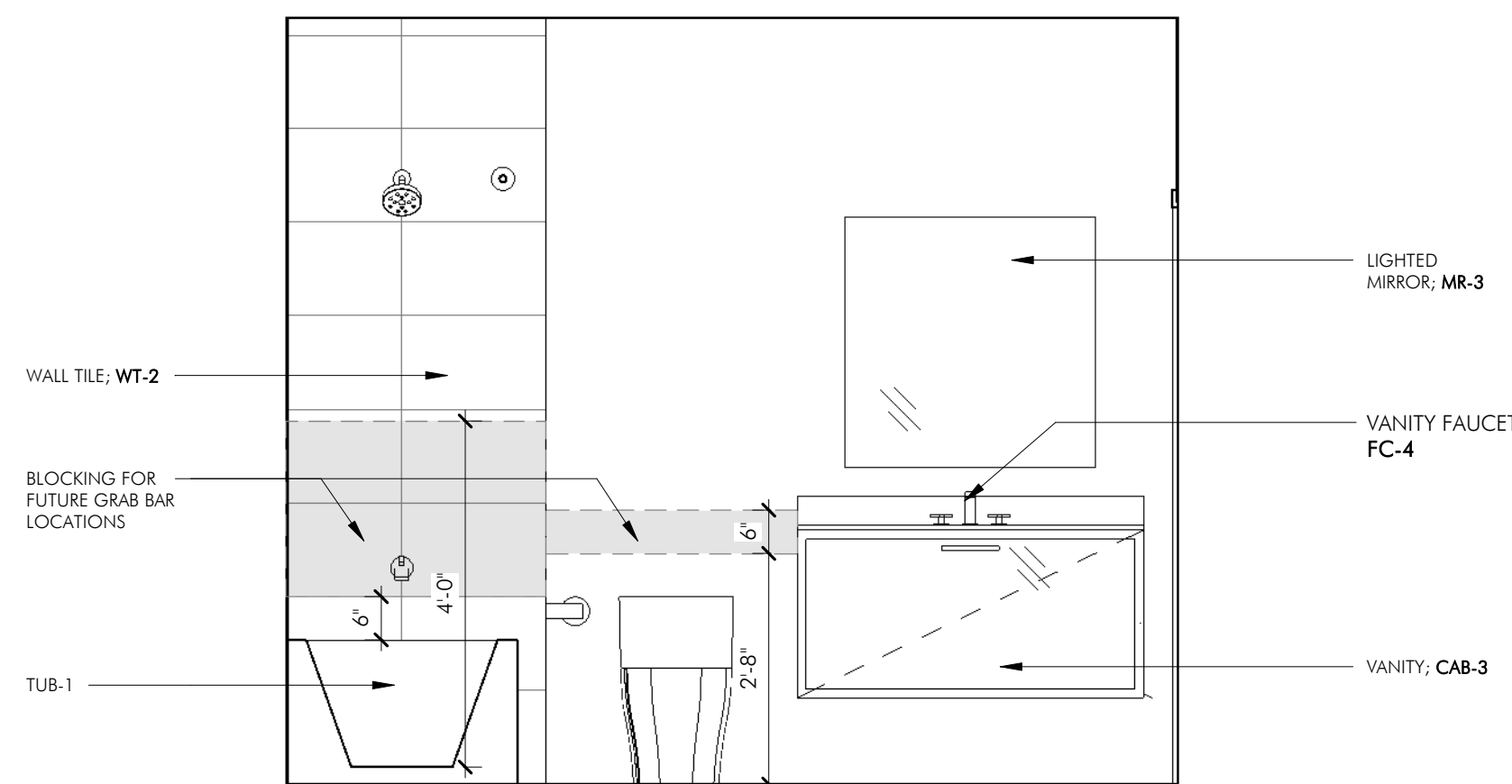
4 UNIT 1 - MASTER BATH ELEV. C  
1/2" = 1'-0"



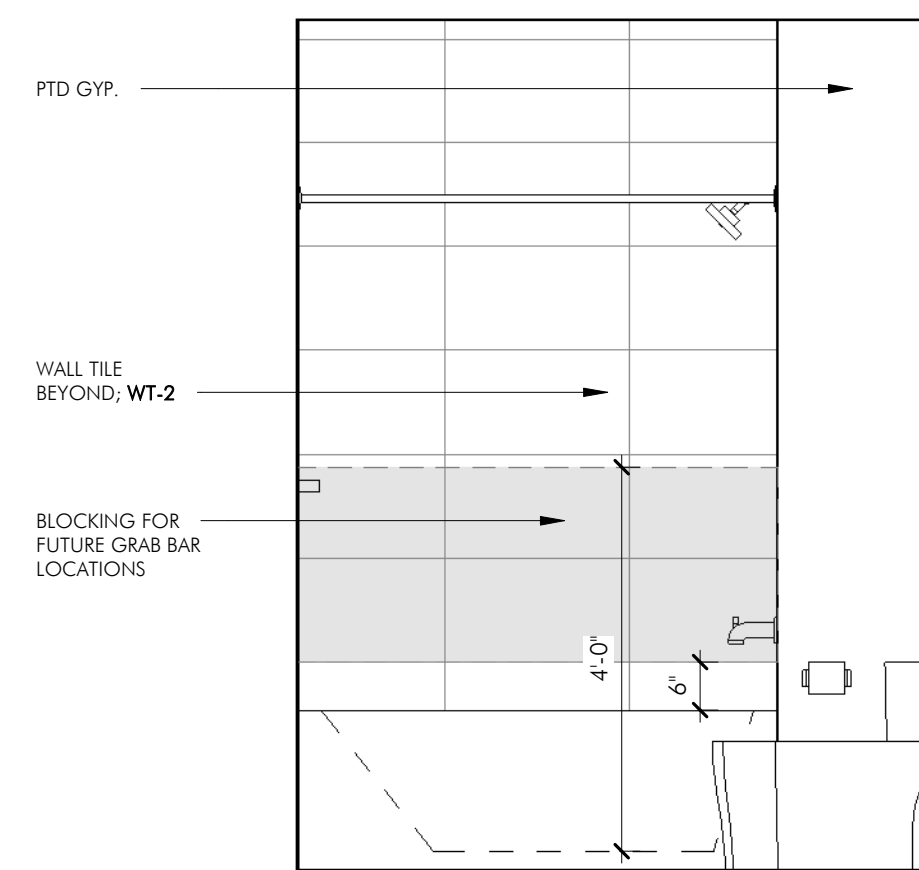
5 UNIT 1 - MASTER BATH ELEV. D  
1/2" = 1'-0"



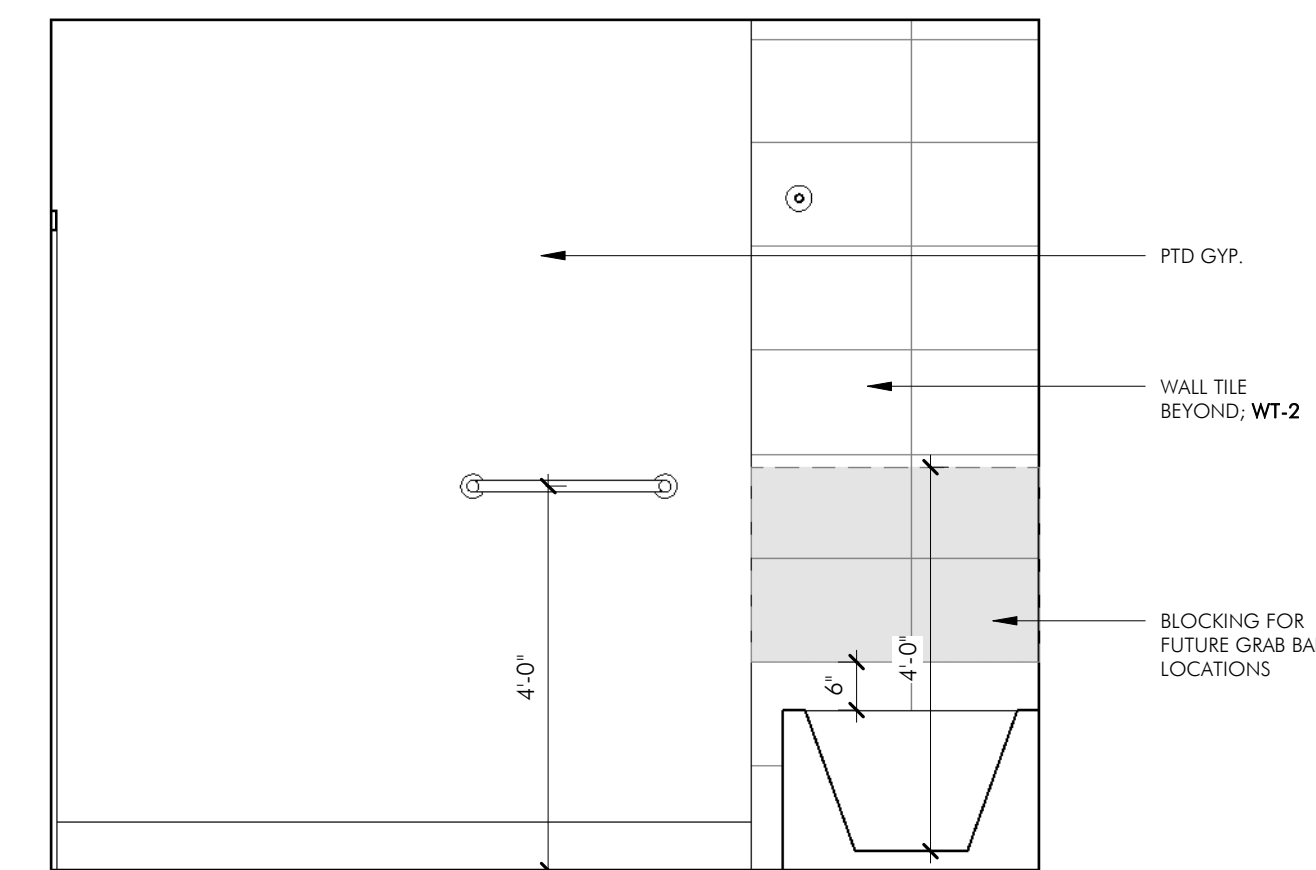
6 UNIT 1 - BATHROOM - ENLARGED PLAN  
1/2" = 1'-0"



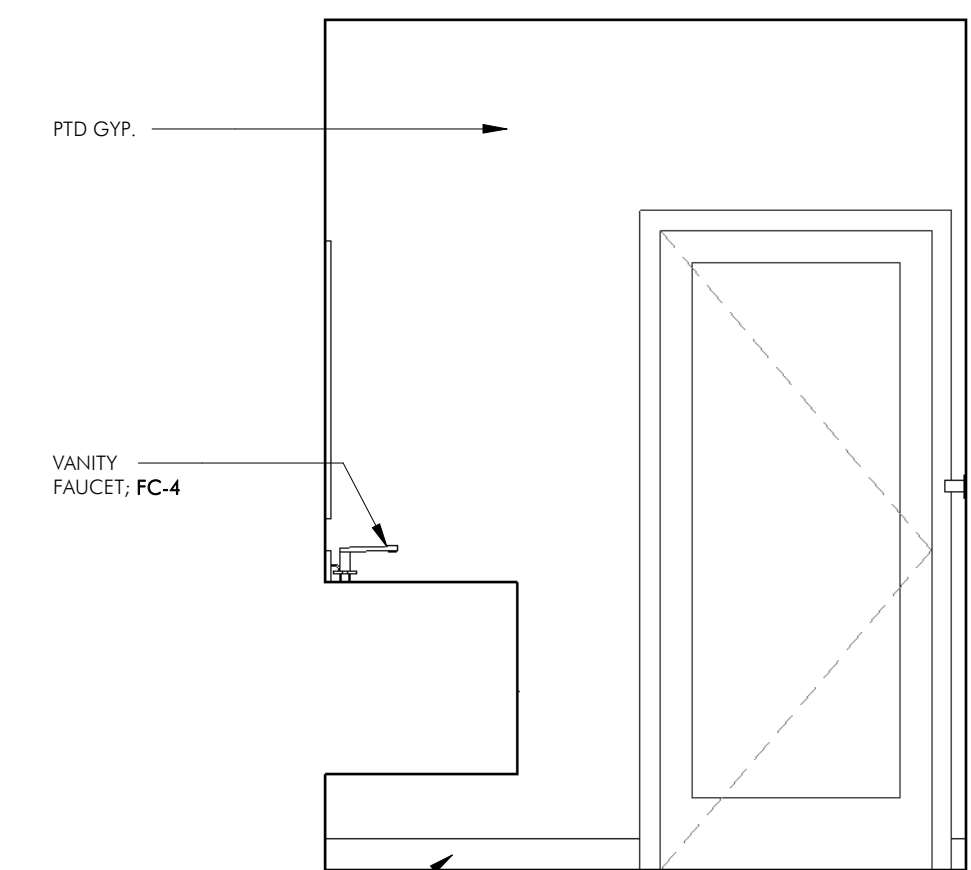
7 UNIT 1 - BATHROOM ELEV. A  
1/2" = 1'-0"



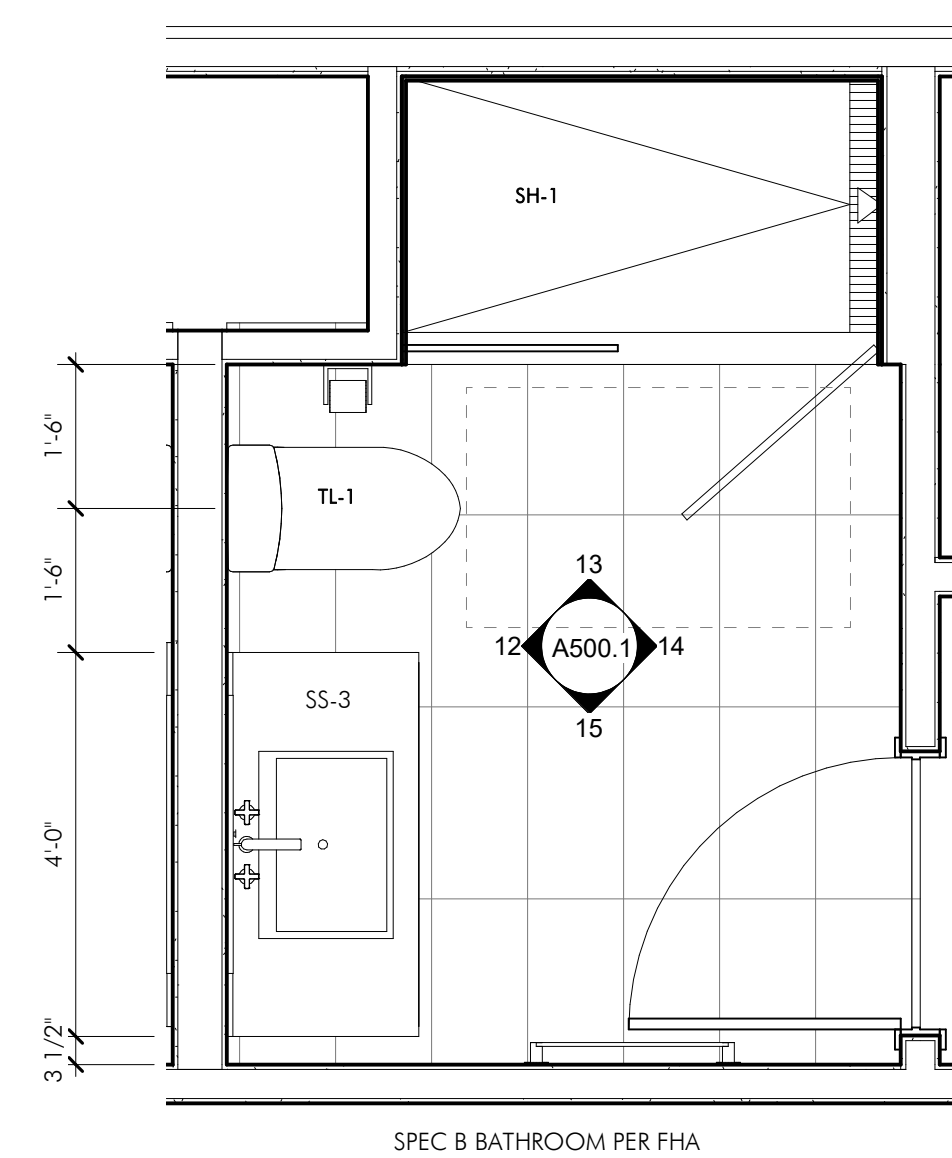
8 UNIT 1 - BATHROOM ELEV. B  
1/2" = 1'-0"



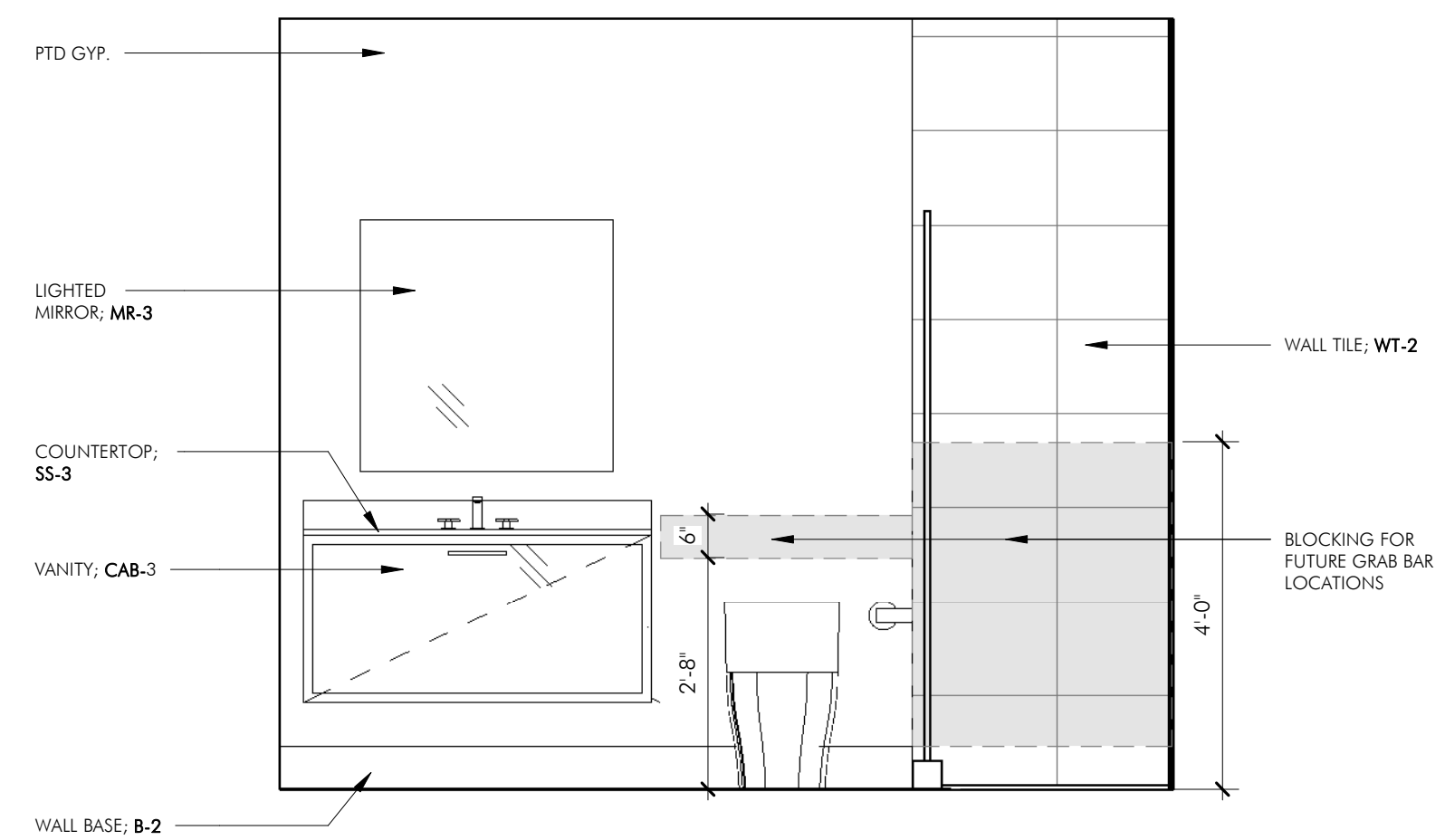
9 UNIT 1 - BATHROOM ELEV. C  
1/2" = 1'-0"



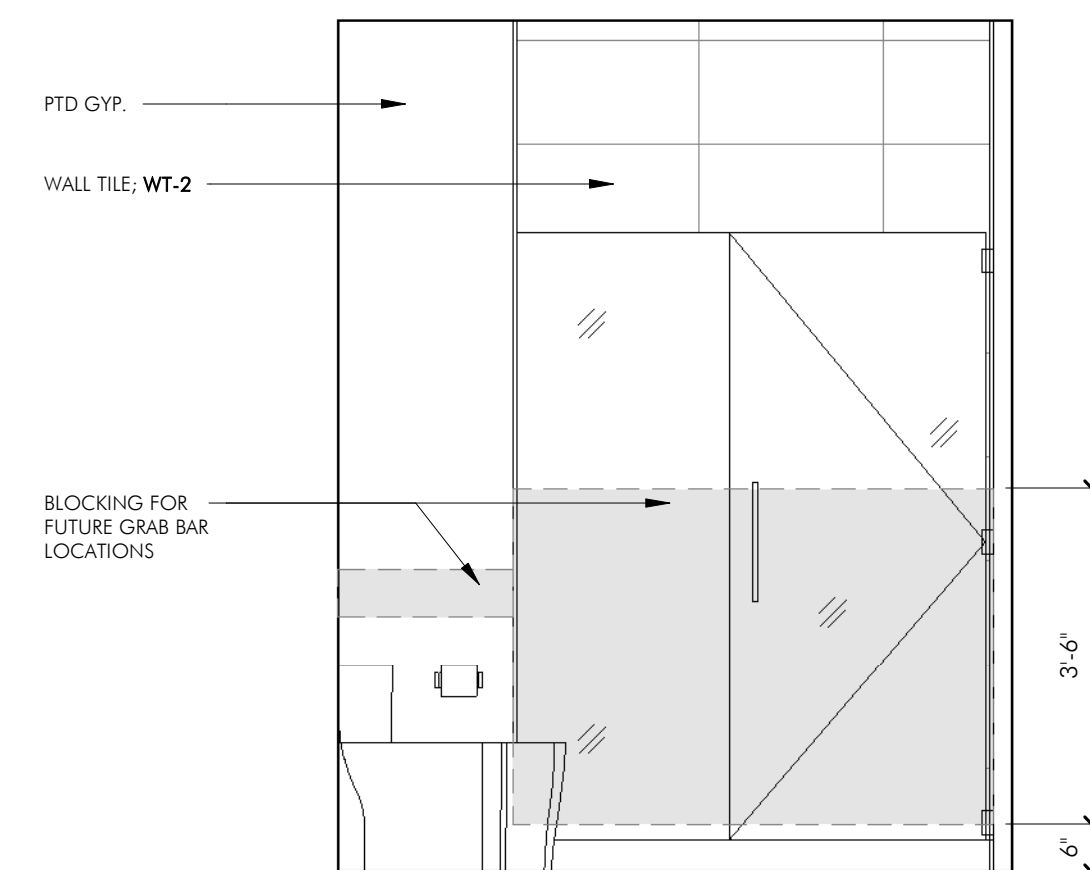
10 UNIT 1 - BATHROOM ELEV. D  
1/2" = 1'-0"



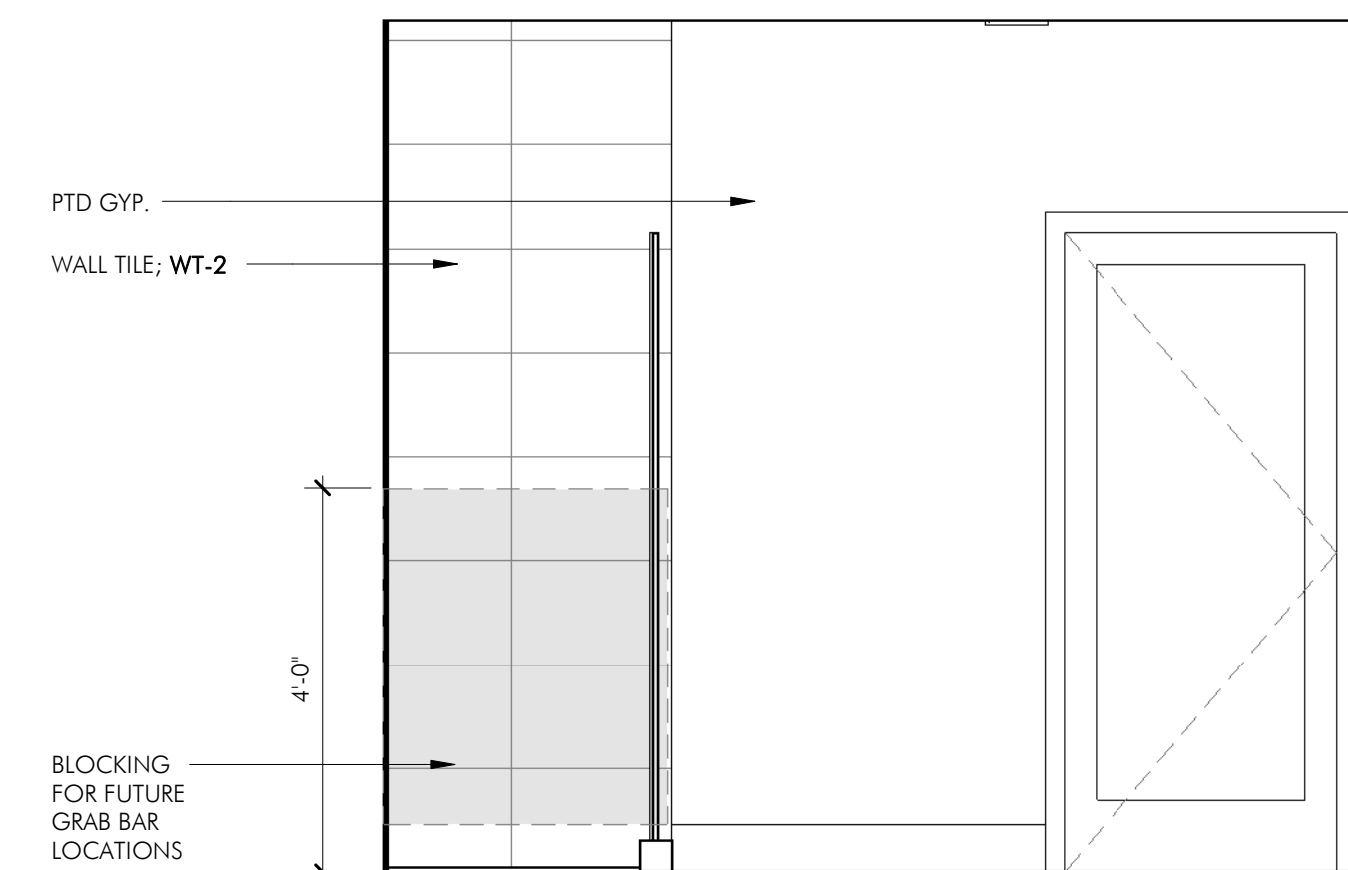
11 UNIT 1 - COMMON BATH - ENLARGED PLAN  
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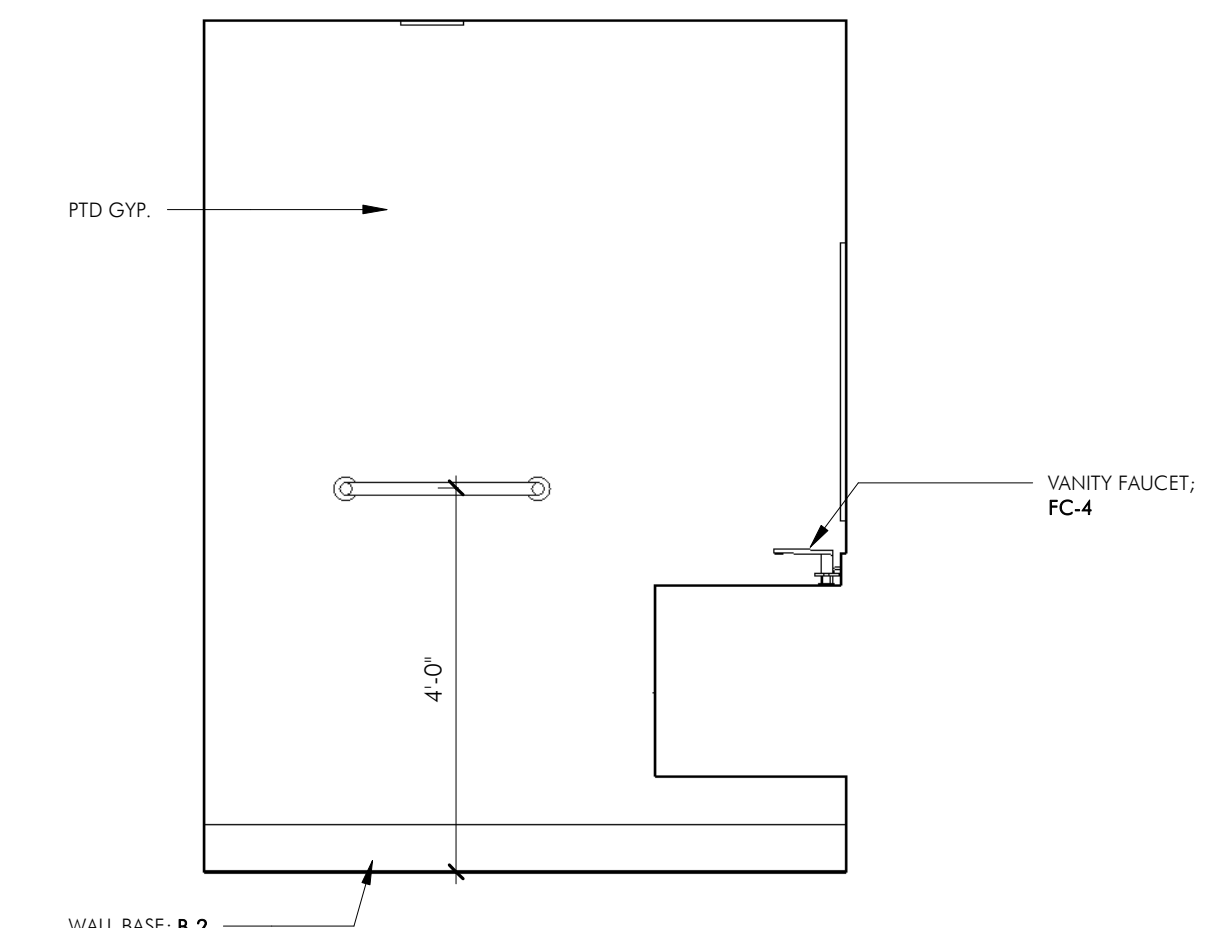
12 UNIT 1 - COMMON BATH ELEV. A  
1/2" = 1'-0"



13 UNIT 1 - COMMON BATH ELEV. B  
1/2" = 1'-0"



14 UNIT 1 - COMMON BATH ELEV. C  
1/2" = 1'-0"



15 UNIT 1 - COMMON BATH ELEV. D  
1/2" = 1'-0"

GENERAL NOTES:  
1. ALL BATHROOMS TO COMPLY WITH MAAB GROUP 1 REQUIREMENTS.  
2. ALL SHOWER DOORS SHALL BE 32" WIDE CLEAR.  
3. ALL SHOW DOORS MUST BE CAPABLE OF BEING REMOVED.

ARCHITECT  
**EMBARC**

580 HARRISON AVE, SUITE 21W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER  
MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS

CIVIL  
COLUMBIA DESIGN GROUP  
14 UPHAM AVE  
DORCHESTER, MA 02125  
617.506.1474

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H+O STRUCTURAL ENGINEERING  
180 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

M/P/P  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

ENERGY MODELING  
ENVEENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114

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ISSUE: ISSUED FOR CONSTRUCTION  
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SCALE: 1/2" = 1'-0"

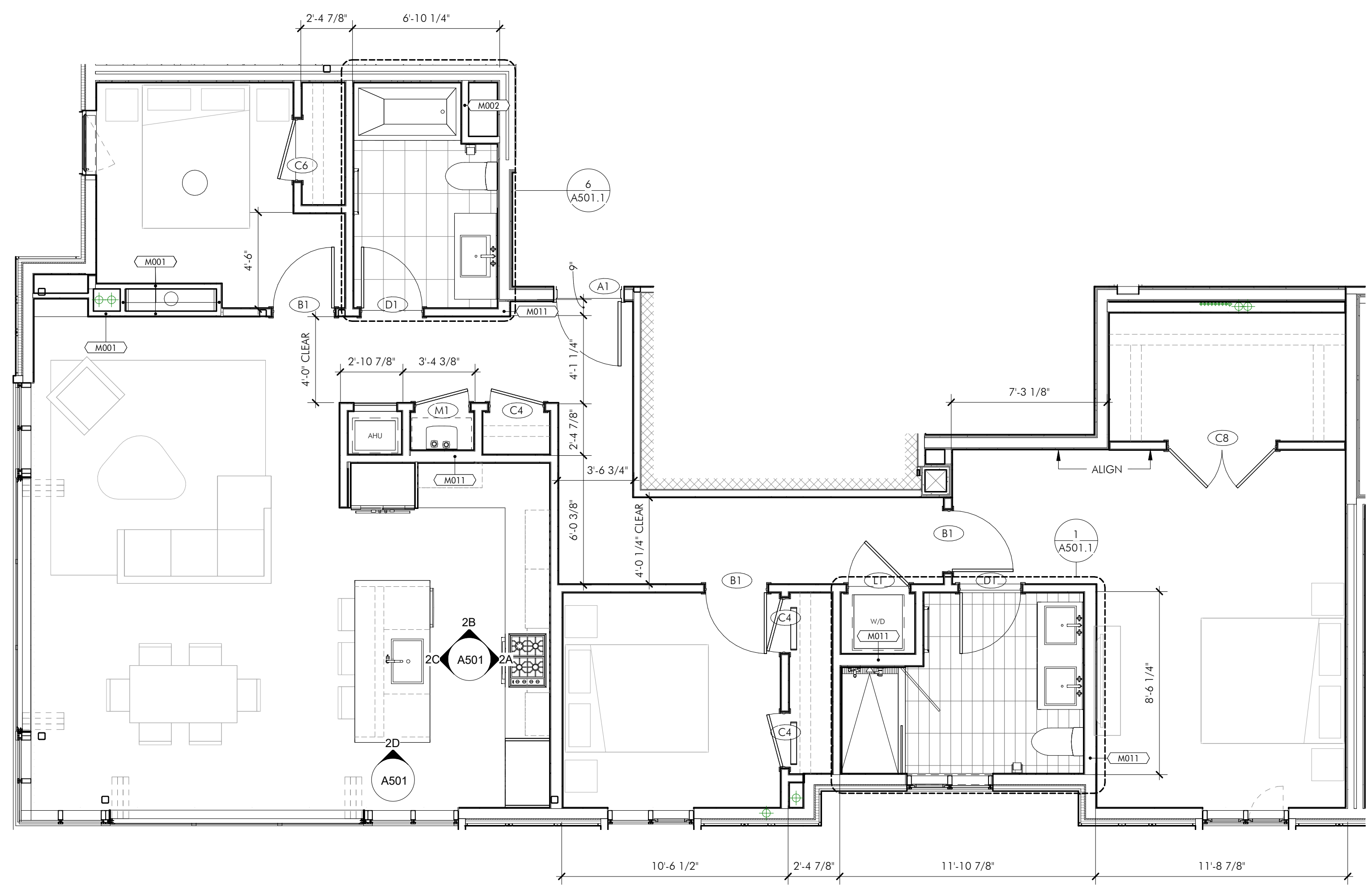
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UNIT 1  
ENLARGED BATH  
ELEVATIONS

DRAWING NUMBER

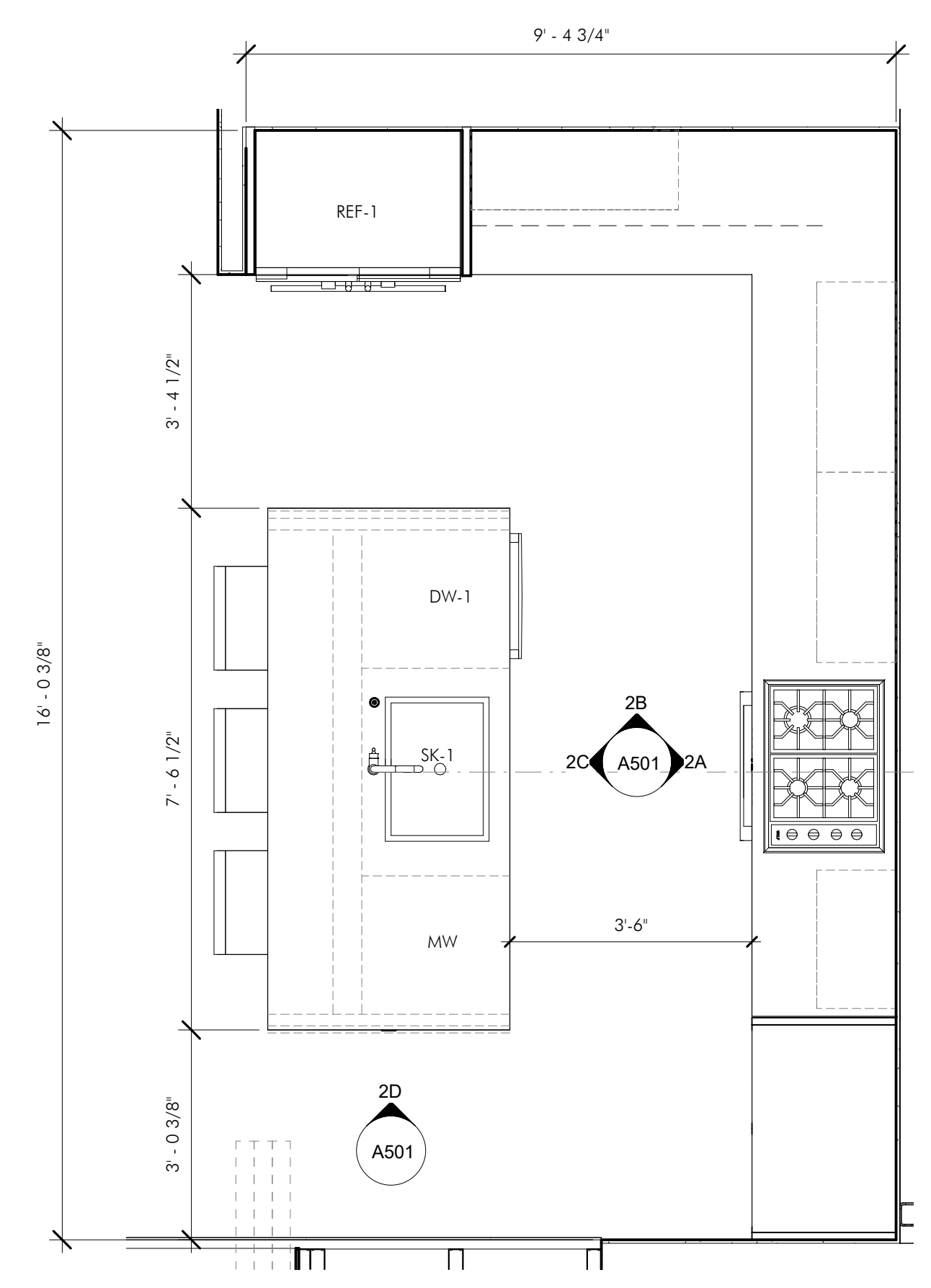
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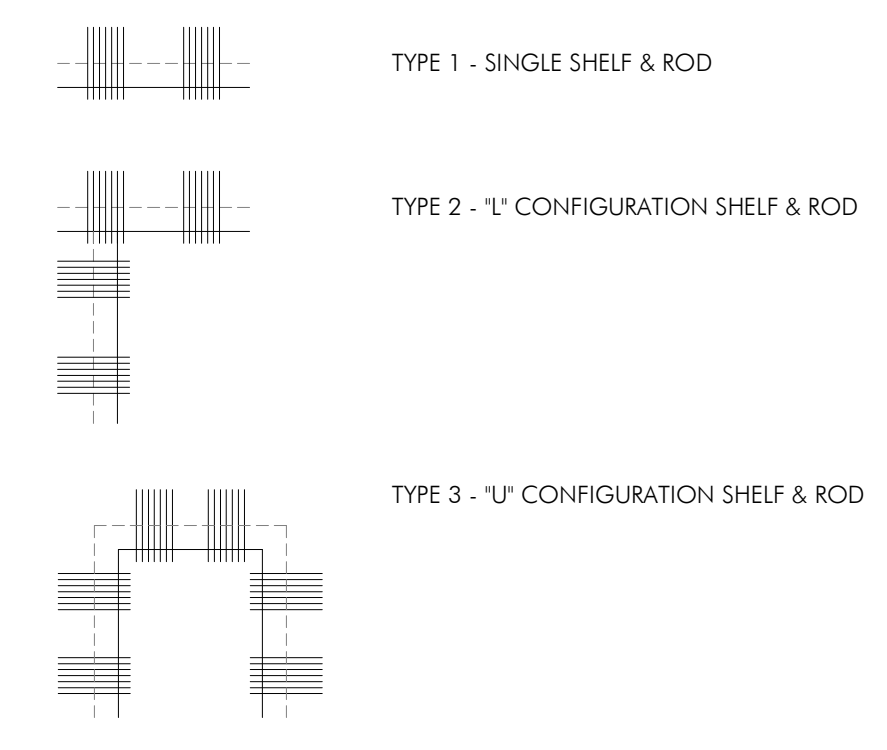
1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
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13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
14. ALL BEDROOMS AND DENIS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
15. QC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPS; REFER TO TAGS FOR CEILING FINISH, TYP.
18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.
19. ALL INTERIOR UNIT WALLS ARE M010 U.O.N.
20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION.
21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS.
23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS.
24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE.
25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20"; MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"
26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.



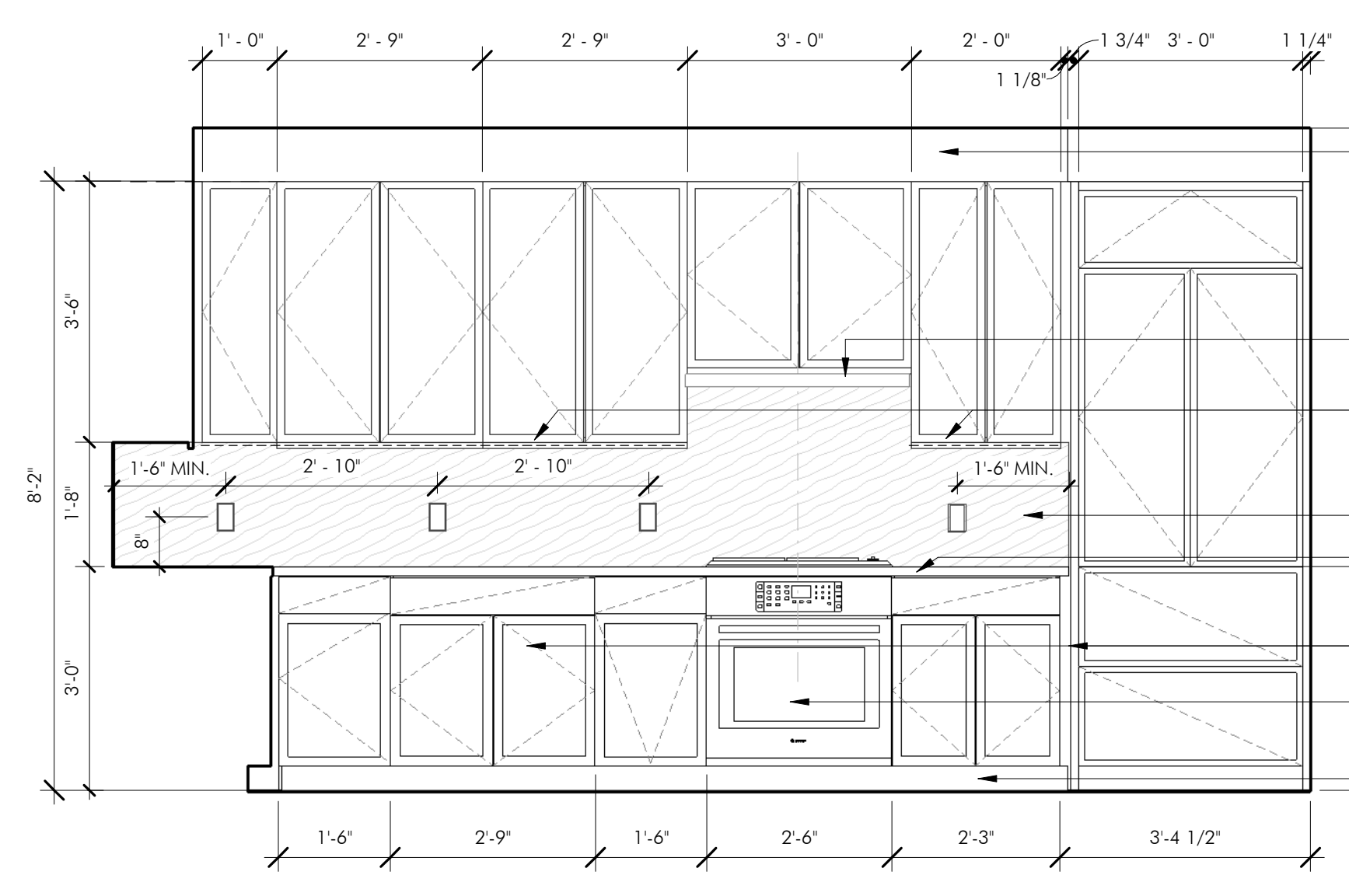
1 UNIT 2&6 - 3 BR  
1/4" = 1'-0"



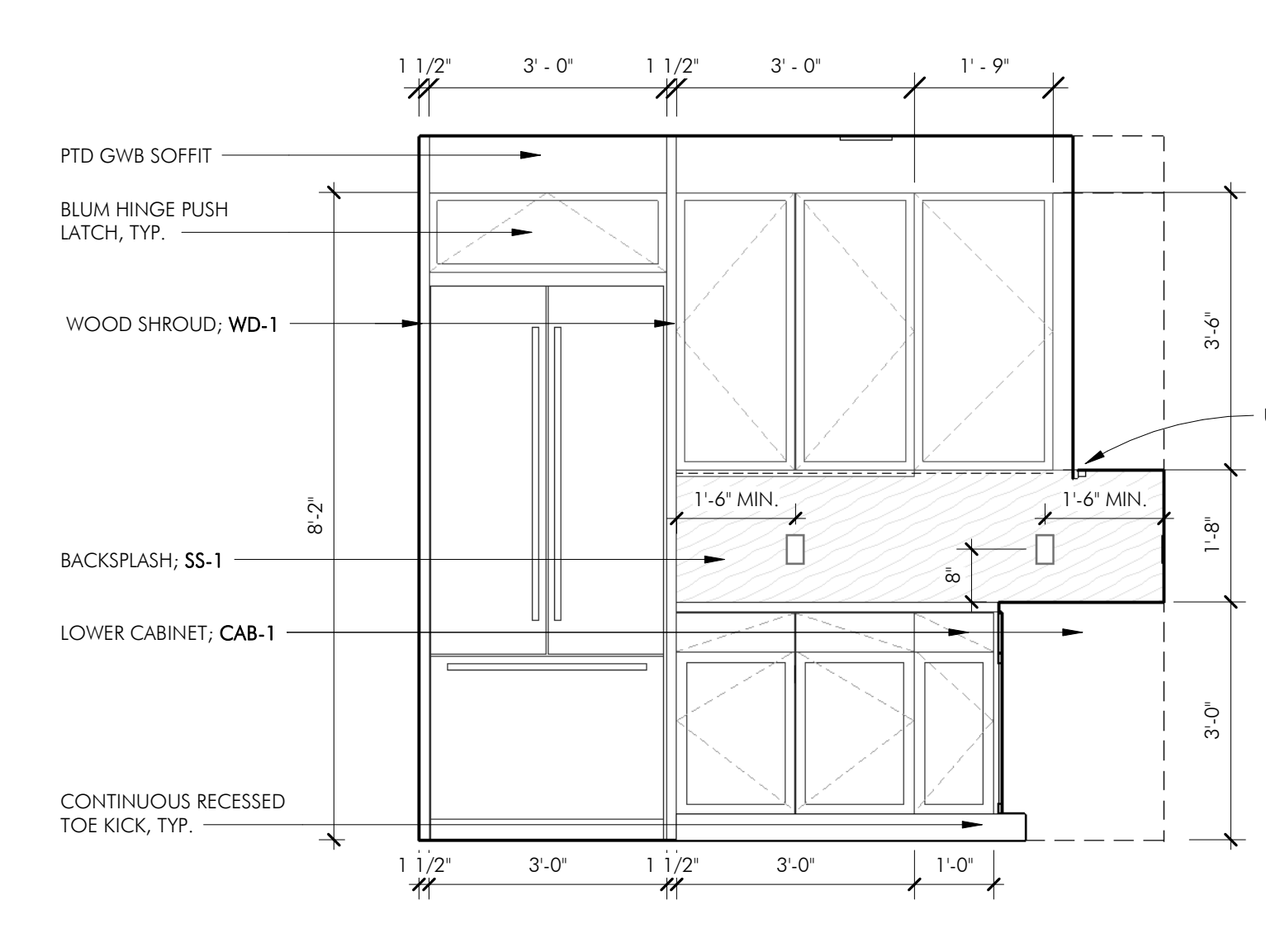
2 UNIT 2&6 - KITCHEN TYPE 2 - ENLARGED PLAN  
1/2" = 1'-0"



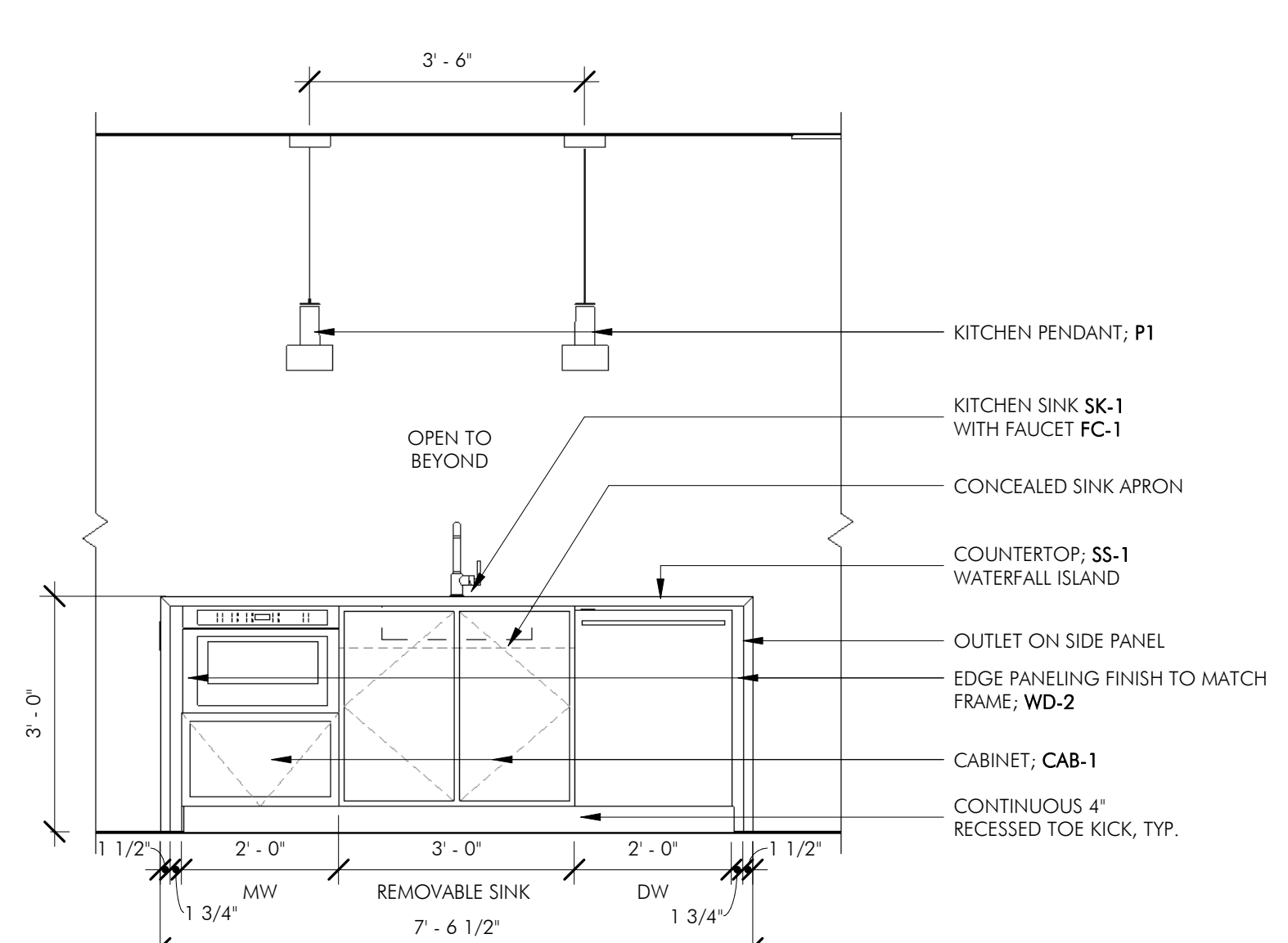
28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.



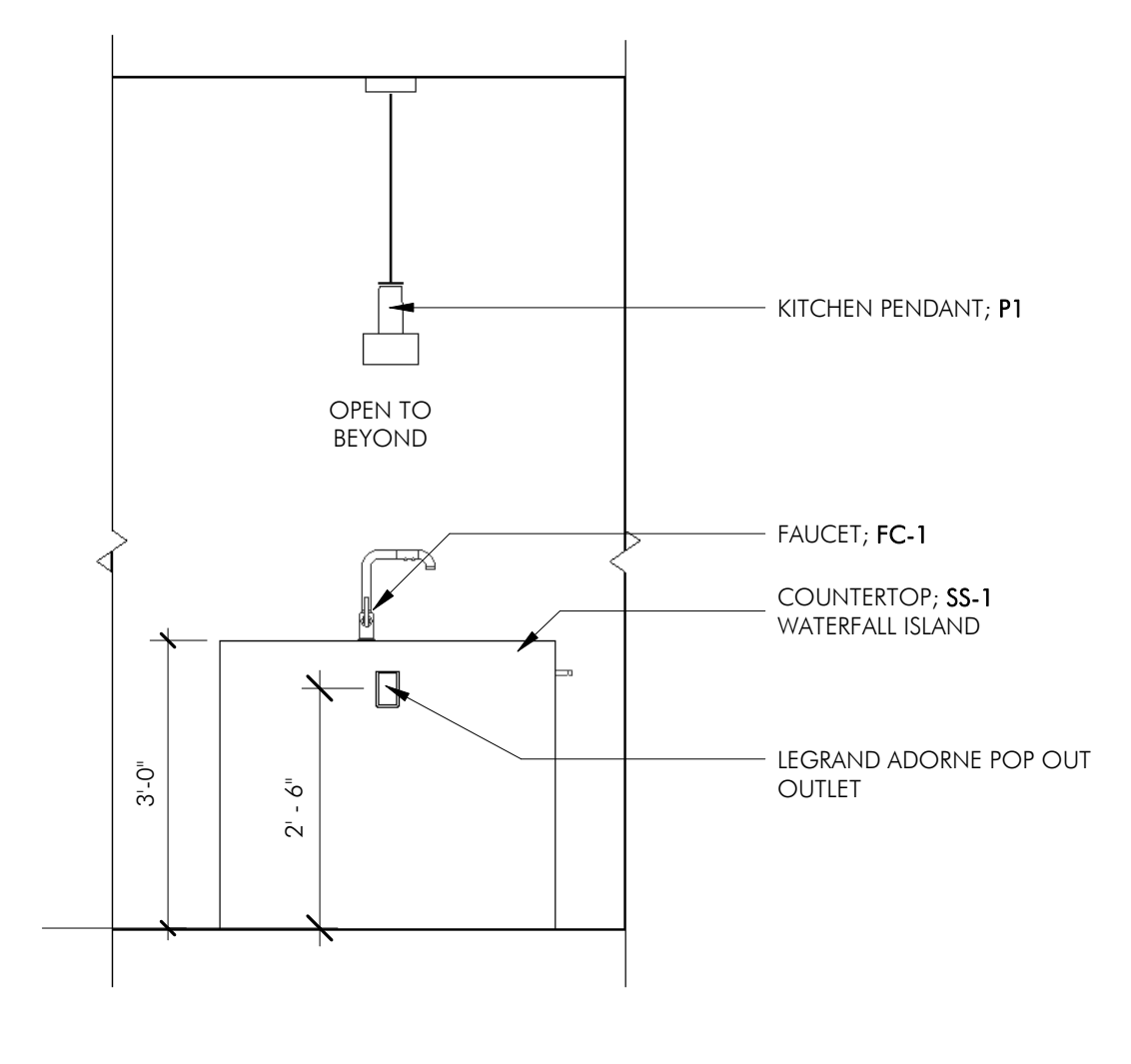
2A UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION A  
1/2" = 1'-0"



2B UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION B  
1/2" = 1'-0"



2C UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION C  
1/2" = 1'-0"



2D UNIT 2&6 - KITCHEN TYPE 2 - ELEVATION D  
1/2" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
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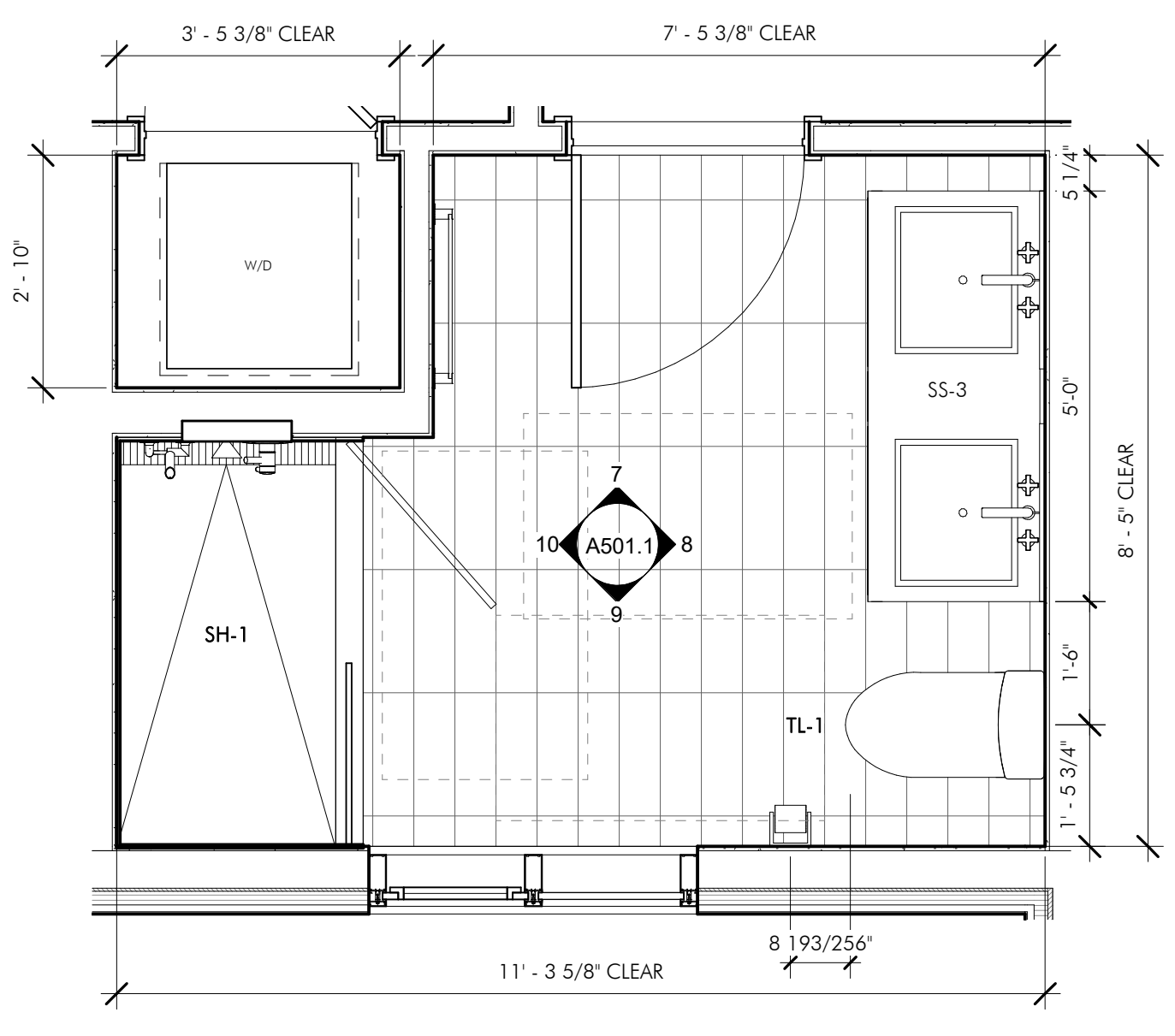
REVISIONS	MARK	ISSUE	DATE



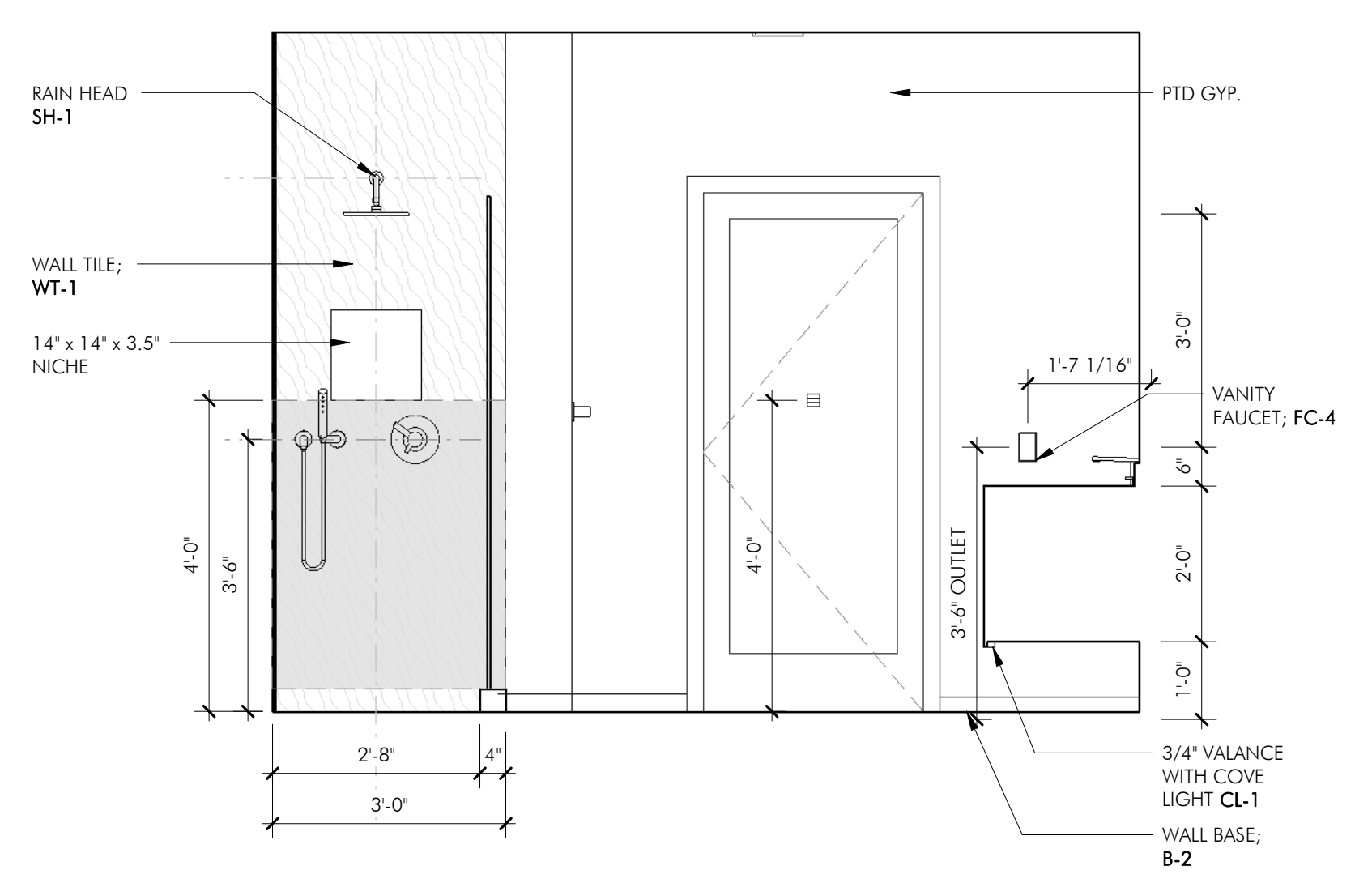
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**UNIT 2&6  
ENLARGED PLAN  
& KITCHEN ELEVS**

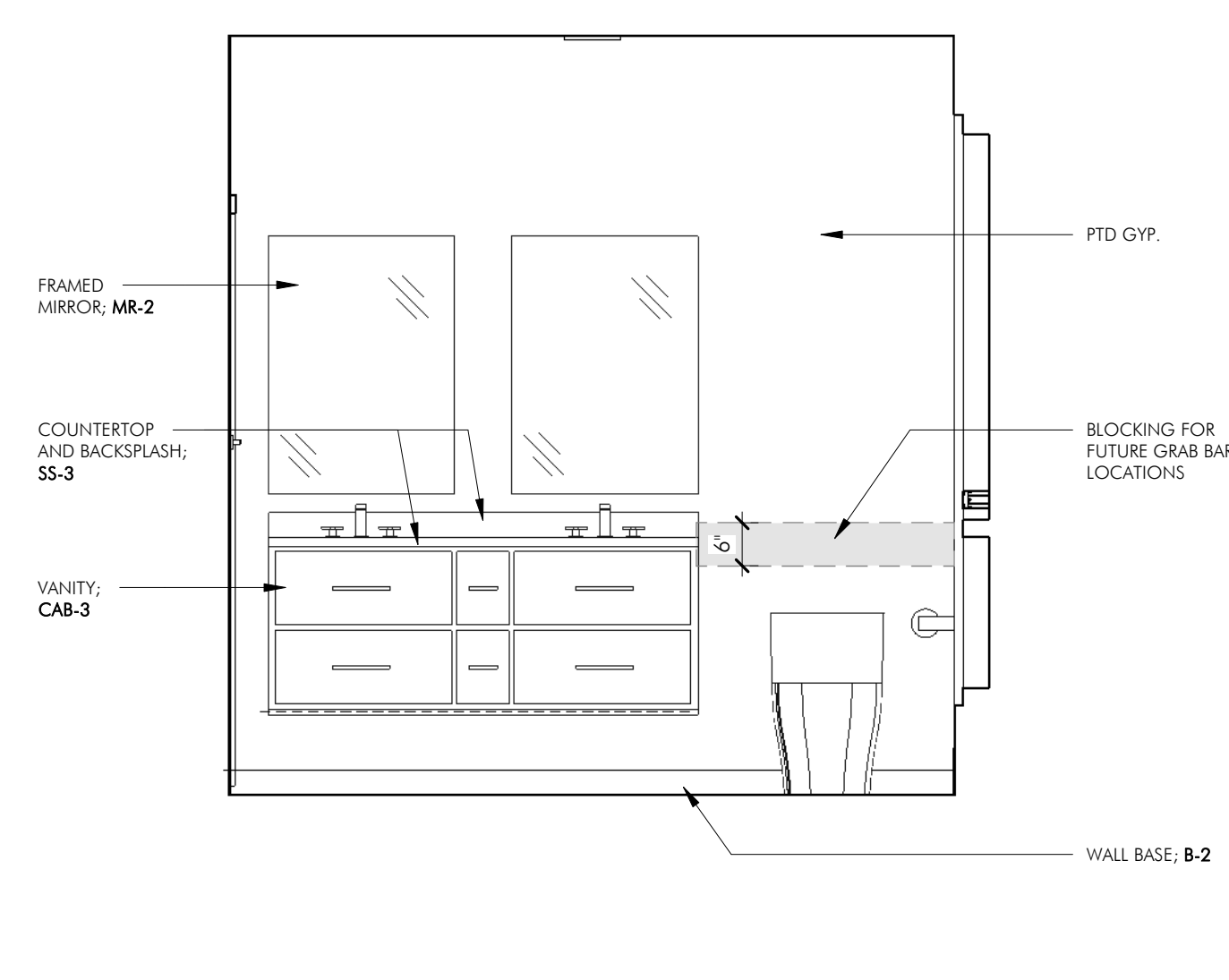
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**A501**



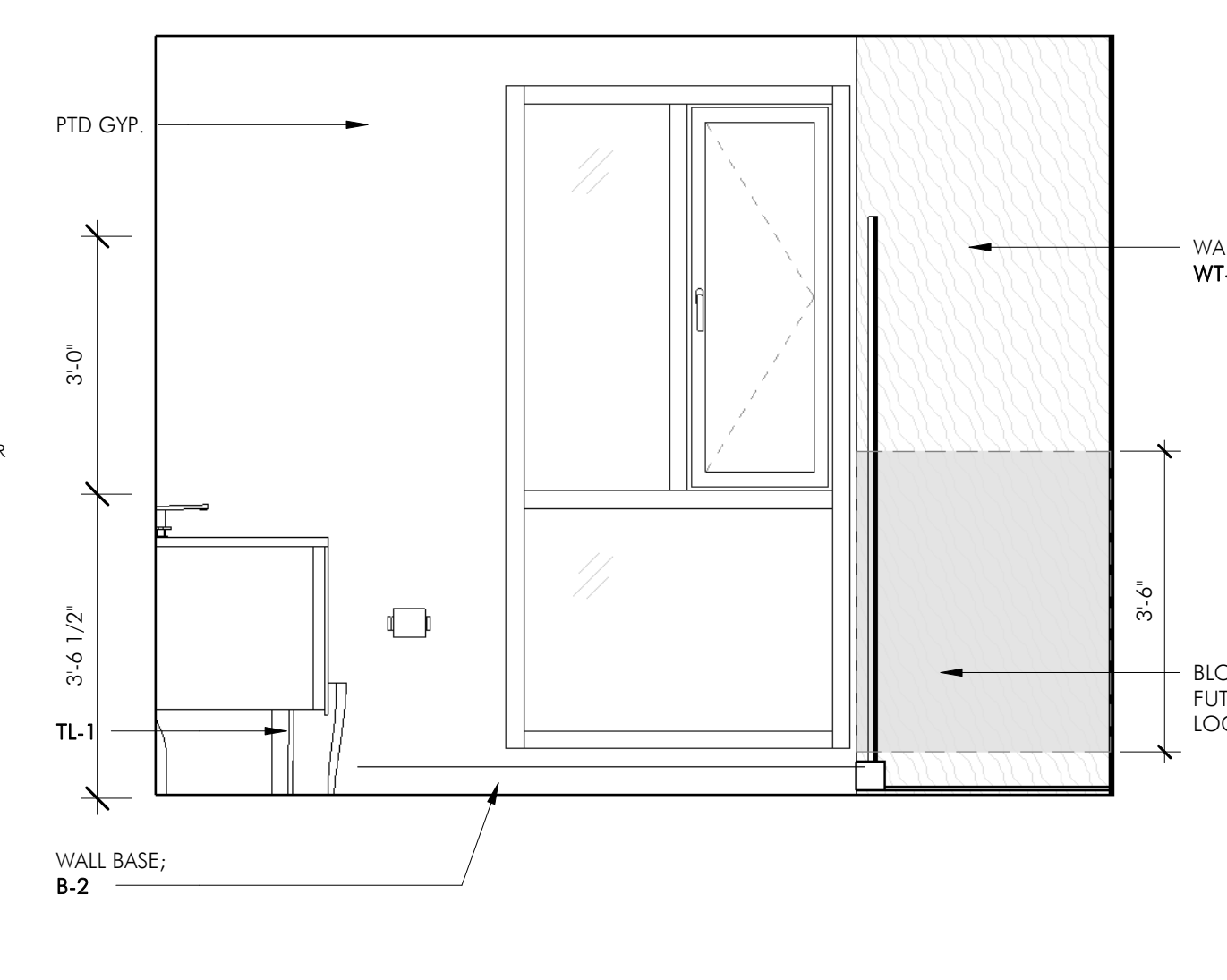
1 UNIT 2&6 - MASTER BATH - ENLARGED PLAN  
1/2" = 1'-0"



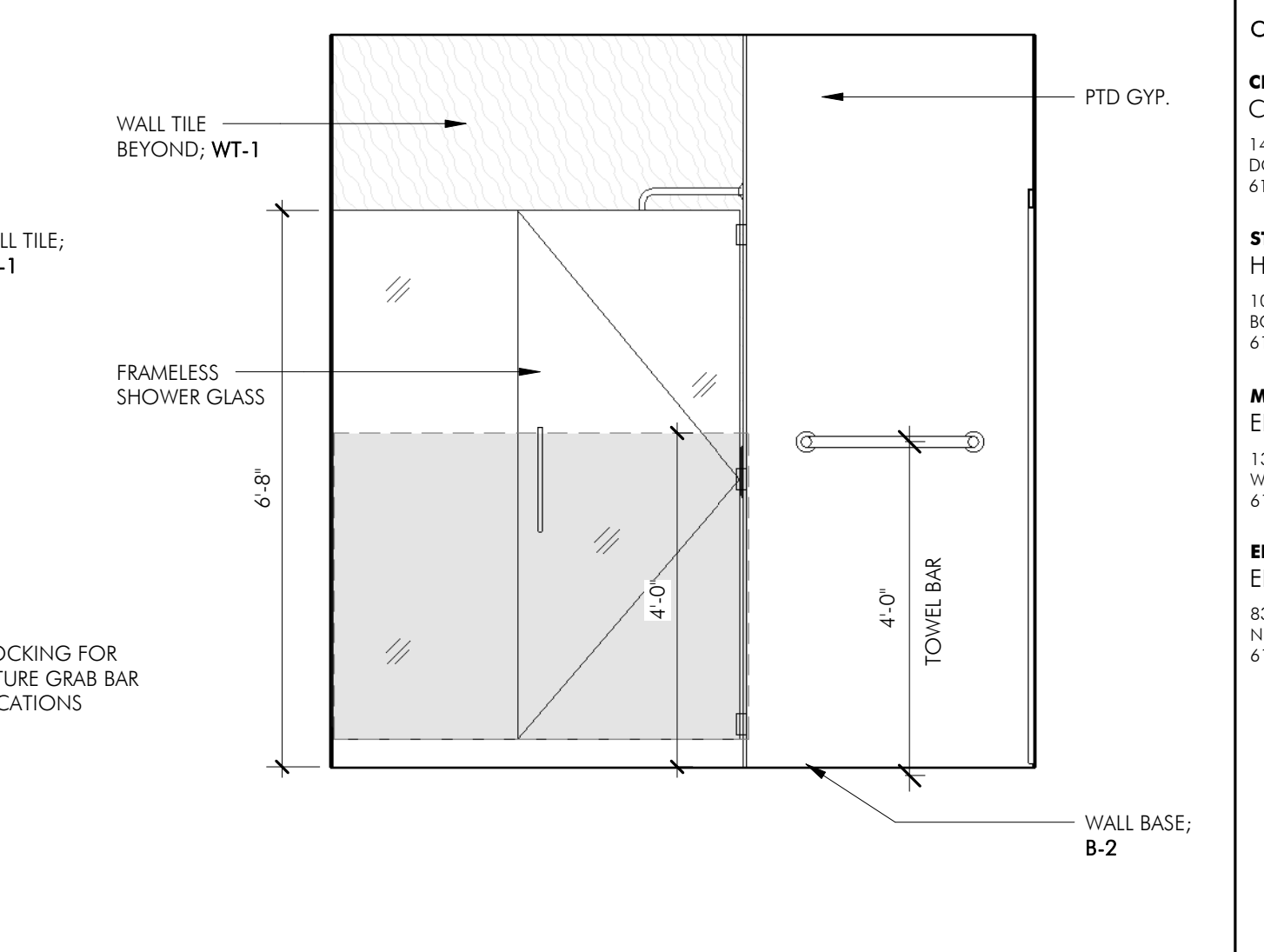
7 UNIT 2&6 - MASTER BATH ELEV. A  
1/2" = 1'-0"



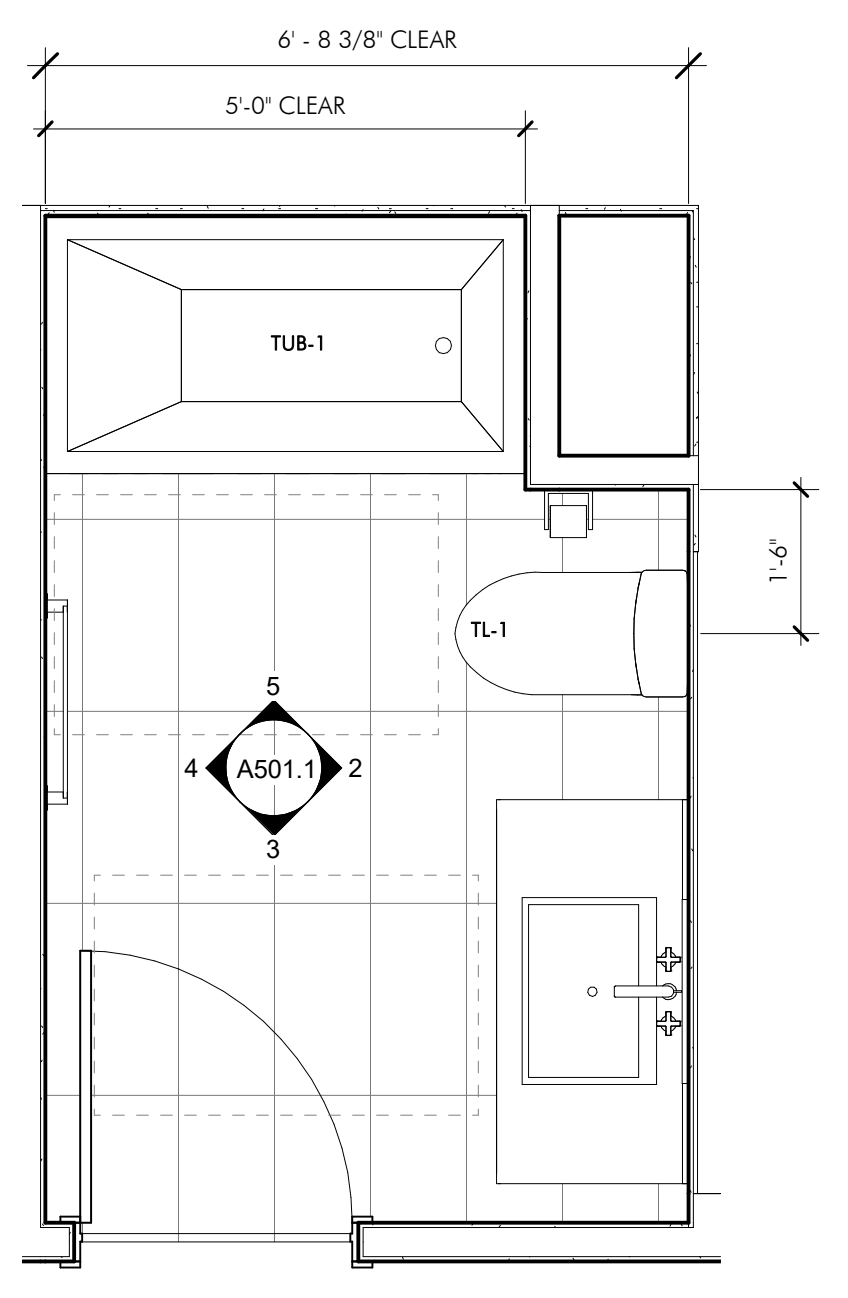
8 UNIT 2&6 - MASTER BATH ELEV. B  
1/2" = 1'-0"



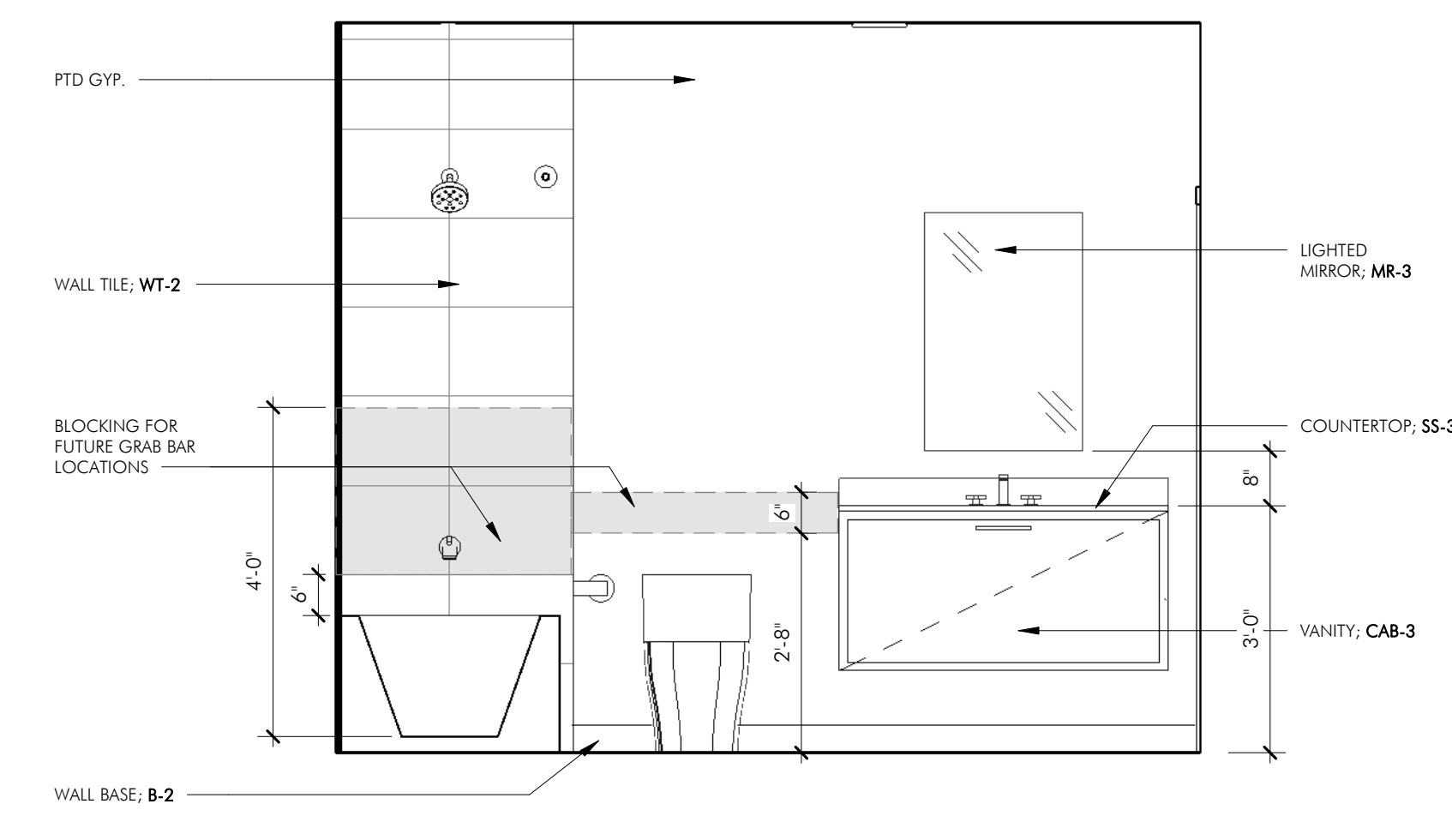
9 UNIT 2&6 - MASTER BATH ELEV. C  
1/2" = 1'-0"



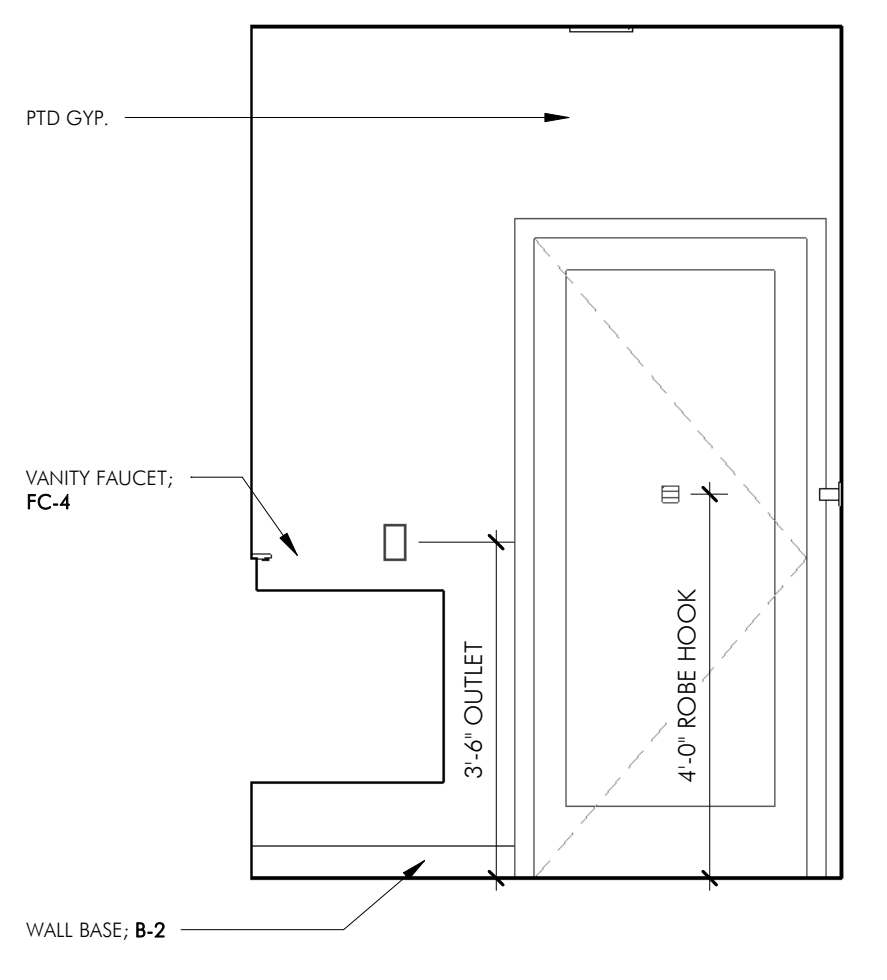
10 UNIT 2&6 - MASTER BATH ELEV. D  
1/2" = 1'-0"



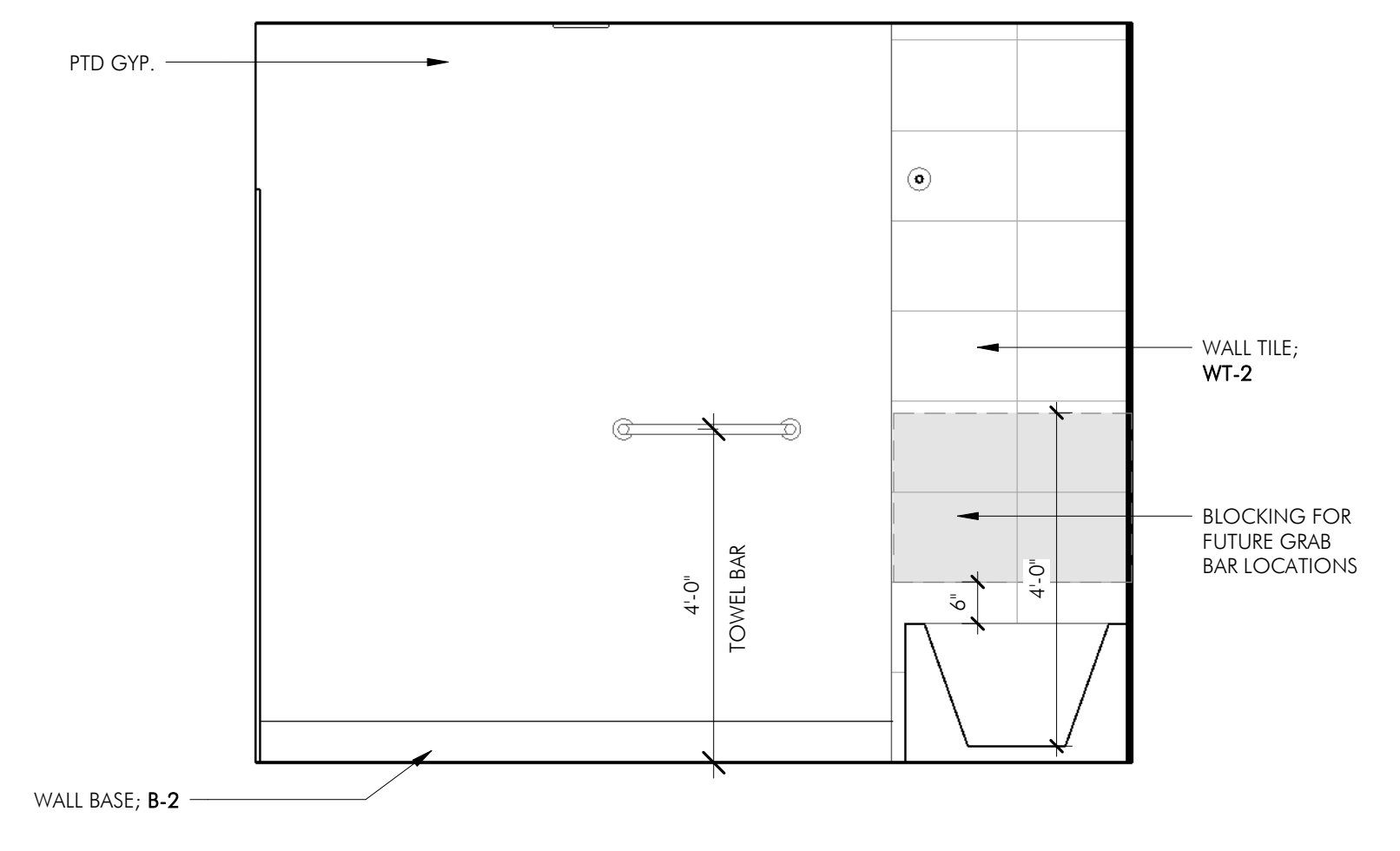
6 UNIT 2&6 - COMMON BATH - ENLARGED PLAN  
1/2" = 1'-0"



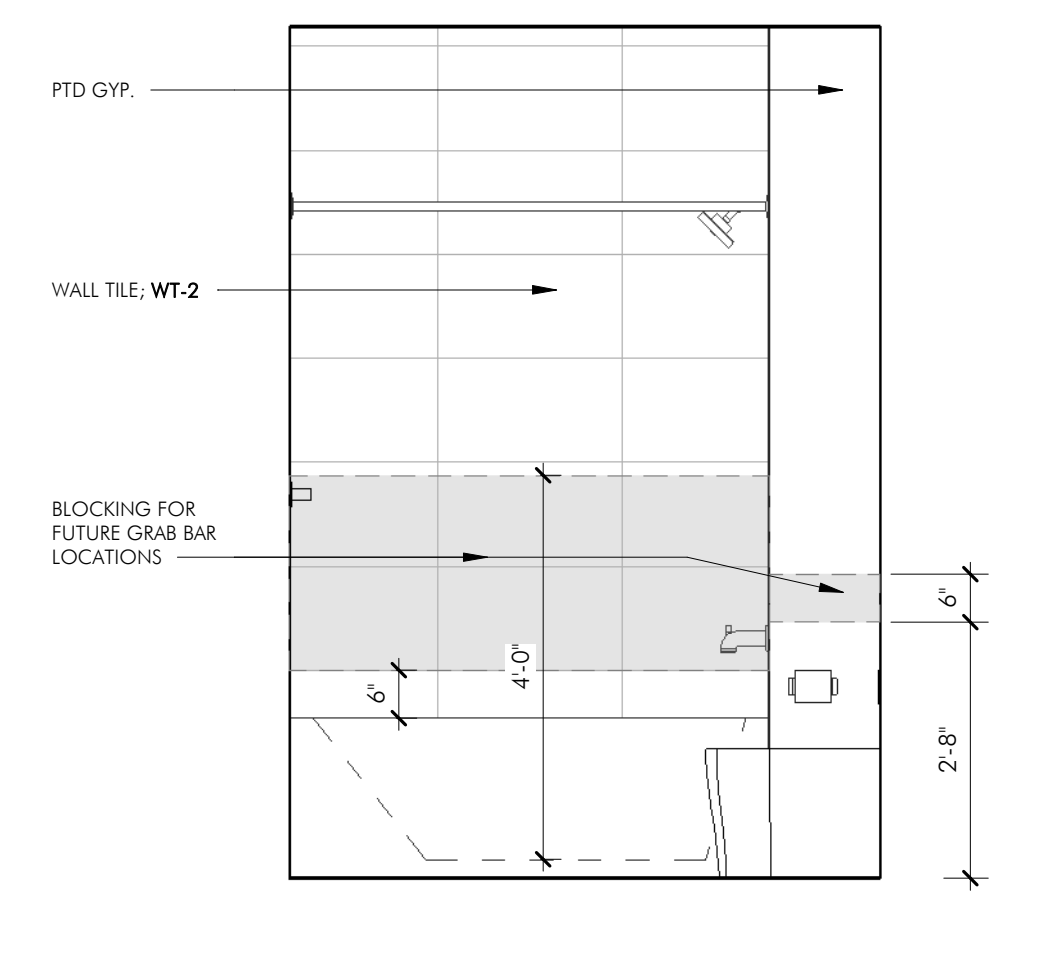
2 UNIT 2&6 - COMMON BATH ELEV. A  
1/2" = 1'-0"



3 UNIT 2&6 - COMMON BATH ELEV. B  
1/2" = 1'-0"



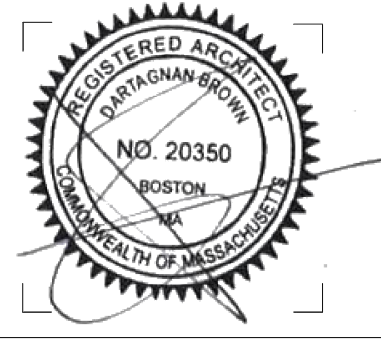
4 UNIT 2&6 - COMMON BATH ELEV. C  
1/2" = 1'-0"



5 UNIT 2&6 - COMMON BATH ELEV. D  
1/2" = 1'-0"

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

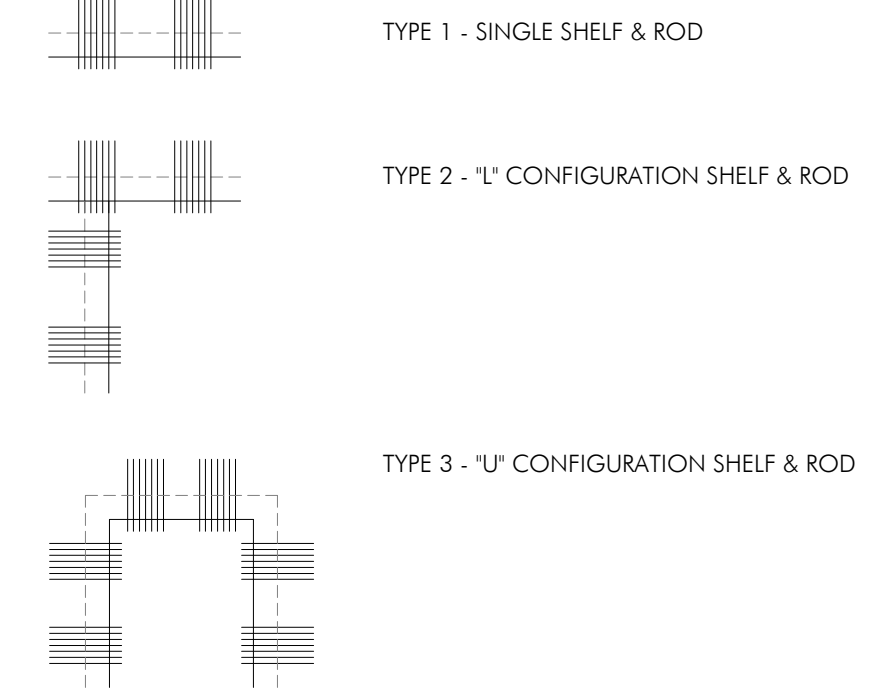
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/2" = 1'-0"

DRAWING TITLE  
UNIT 2&6  
ENLARGED BATH  
ELEVATIONS  
DRAWING NUMBER

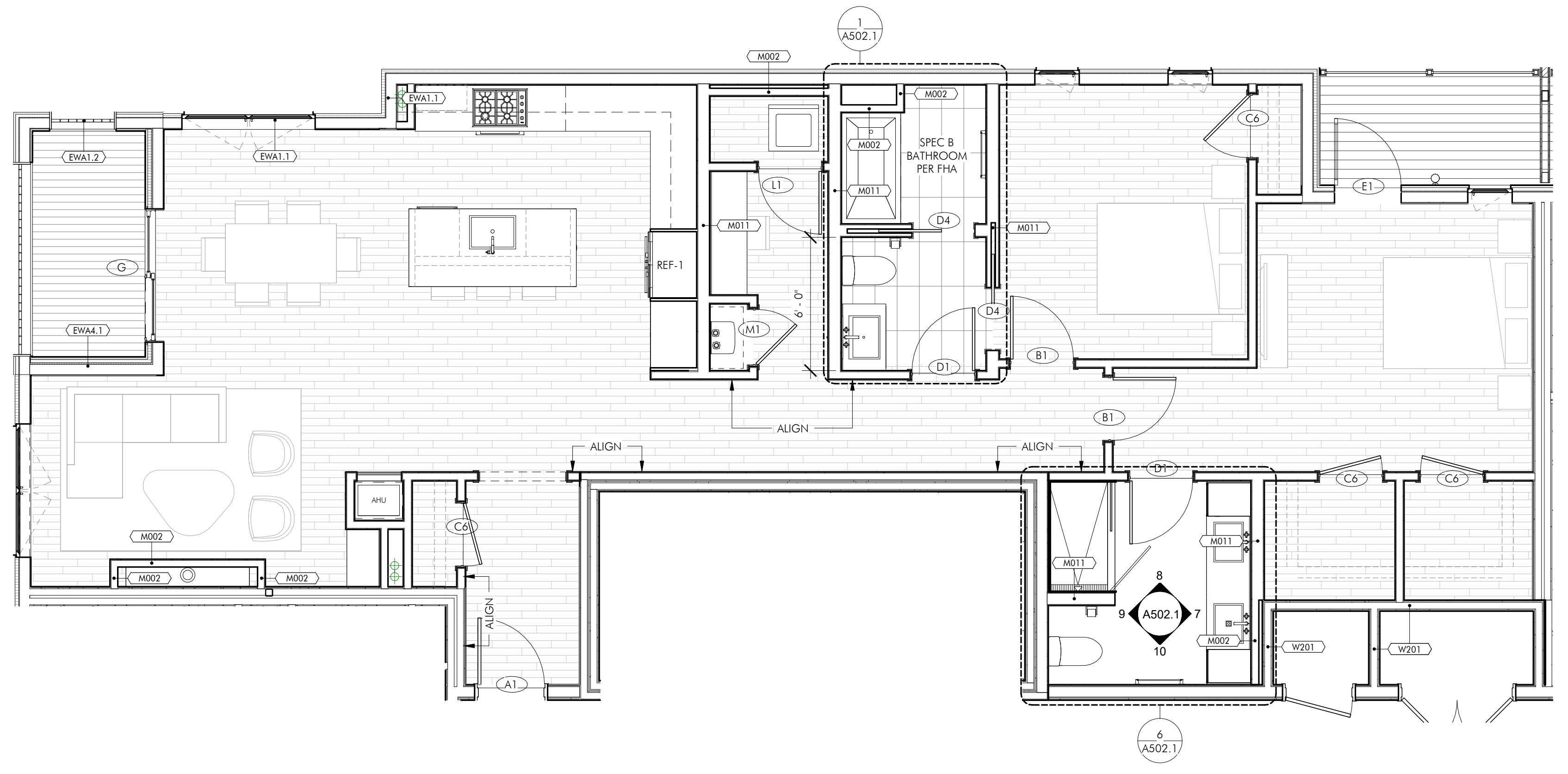
A501.1  
Copyright EMBARC, INC.

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2/10/2022 1:57:15 PM

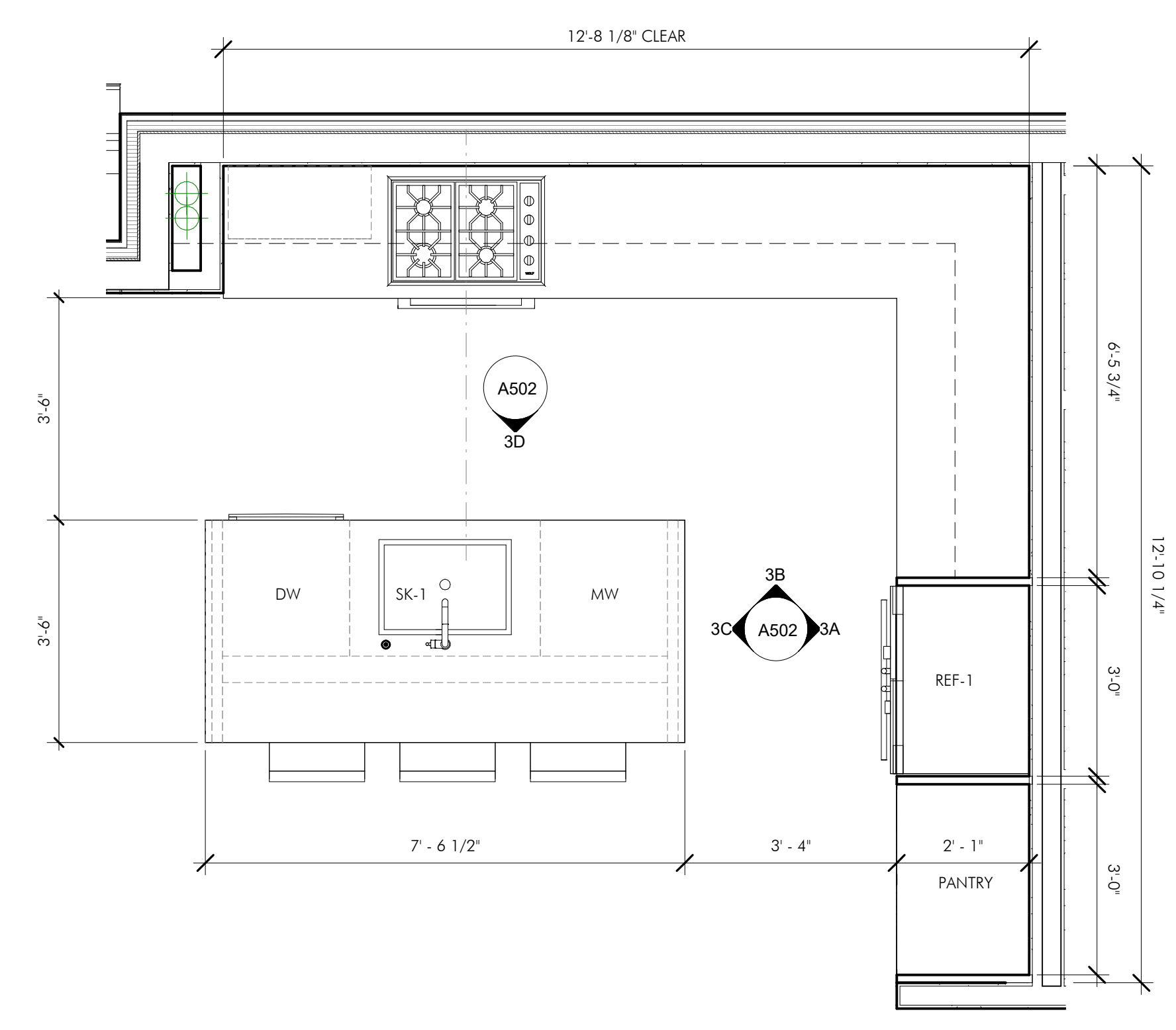
1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS "CLEAR" OR "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.B. REQUIREMENTS AND DETAILS.
8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.
13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.O.N.
17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPS; REFER TO TAGS FOR CEILING FINISH, TYP.
18. ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.
19. ALL INTERIOR UNIT WALLS ARE M010 U.O.N.
20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION.
21. ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS.
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24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE.
25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15".
26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.



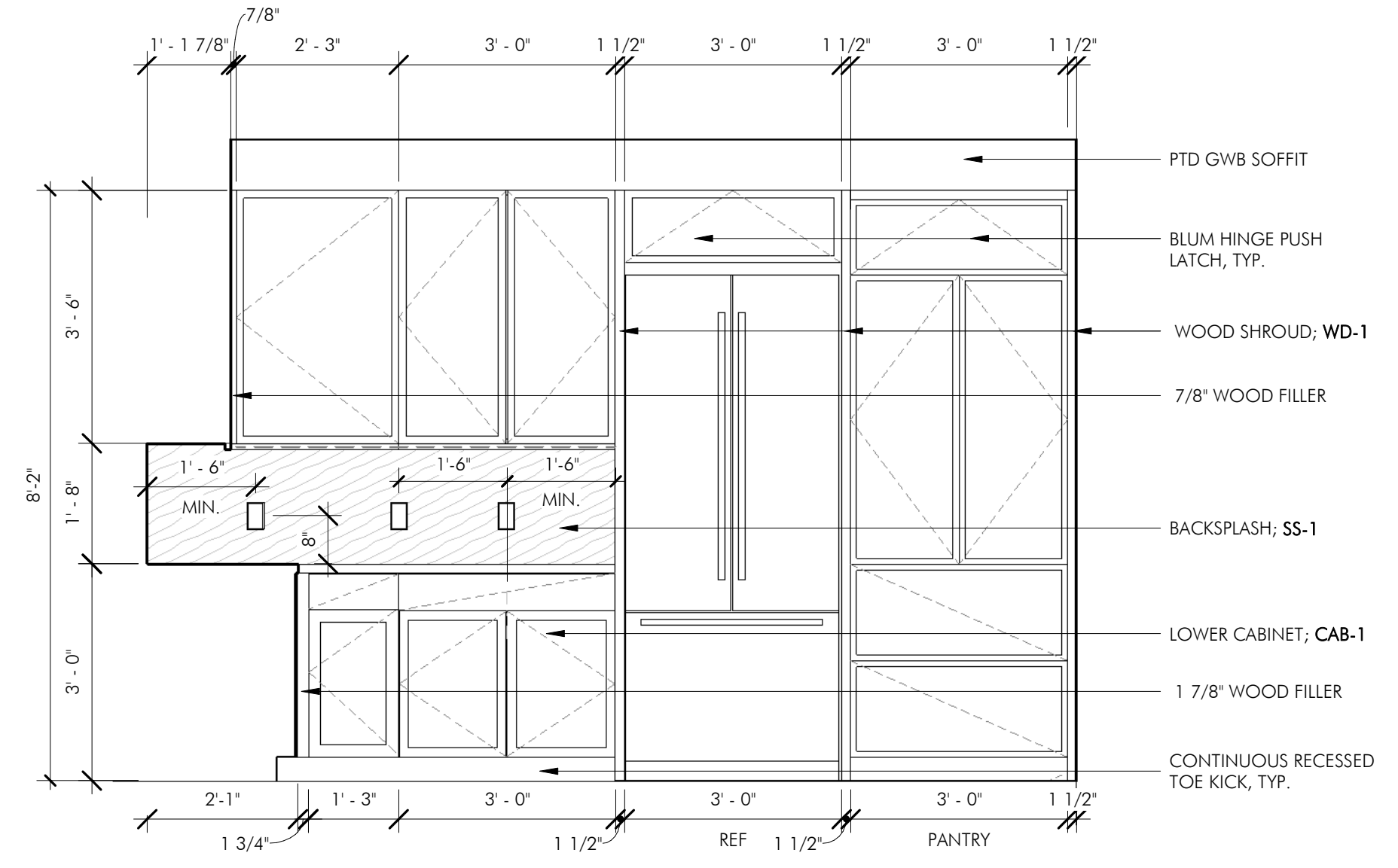
28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.



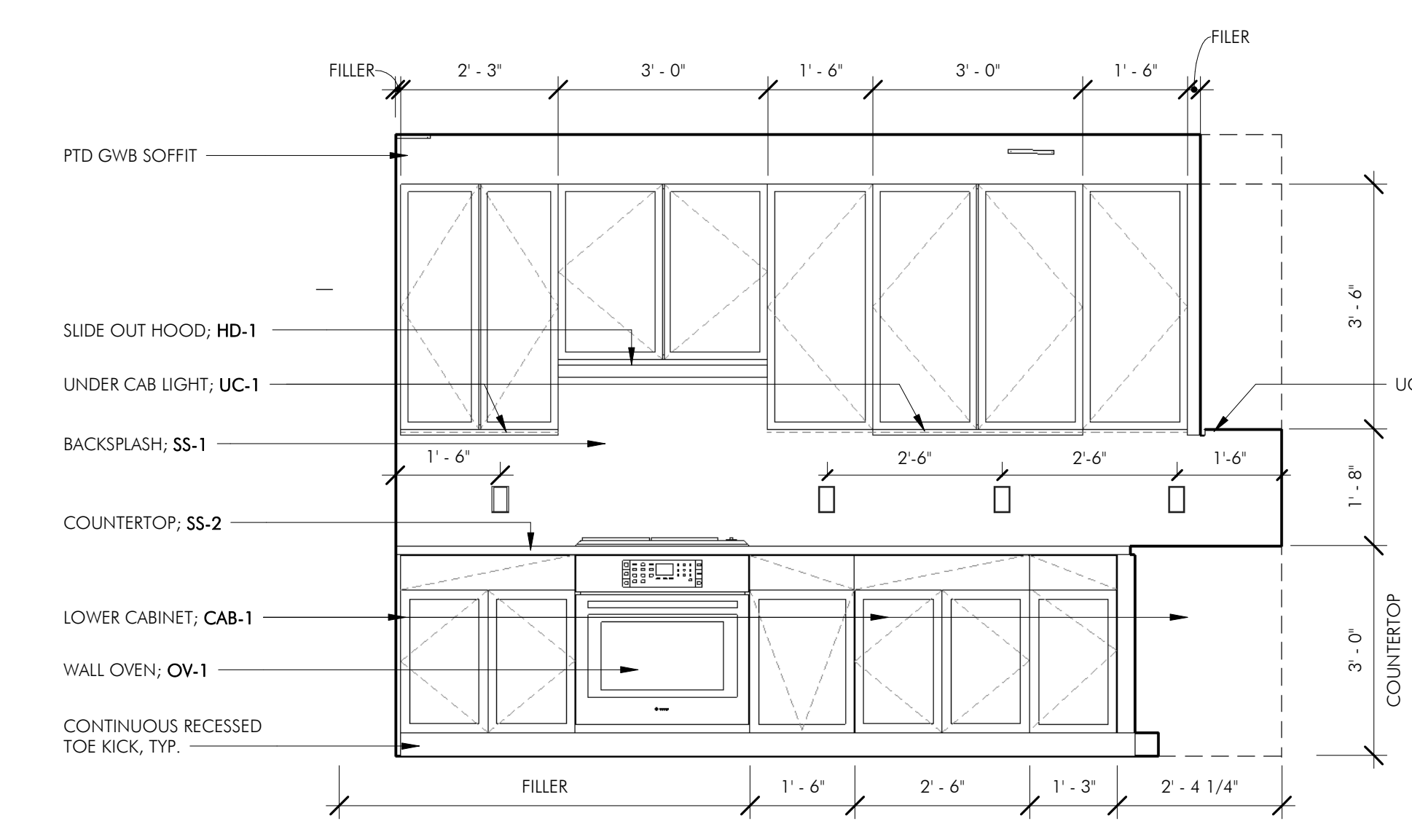
1 UNIT 3&7 - 2 BR  
1/4" = 1'-0"



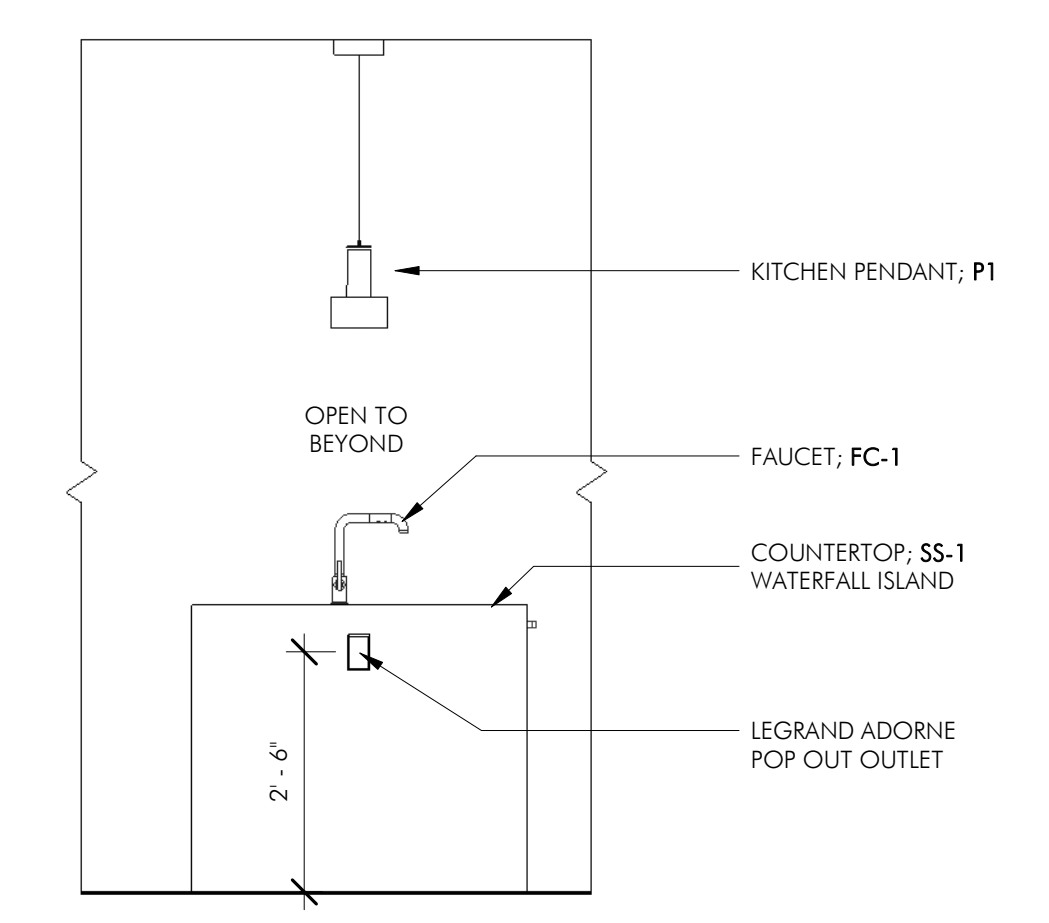
2 UNIT 3&7 - KITCHEN TYPE 3 - ENLARGED PLAN  
1/2" = 1'-0"



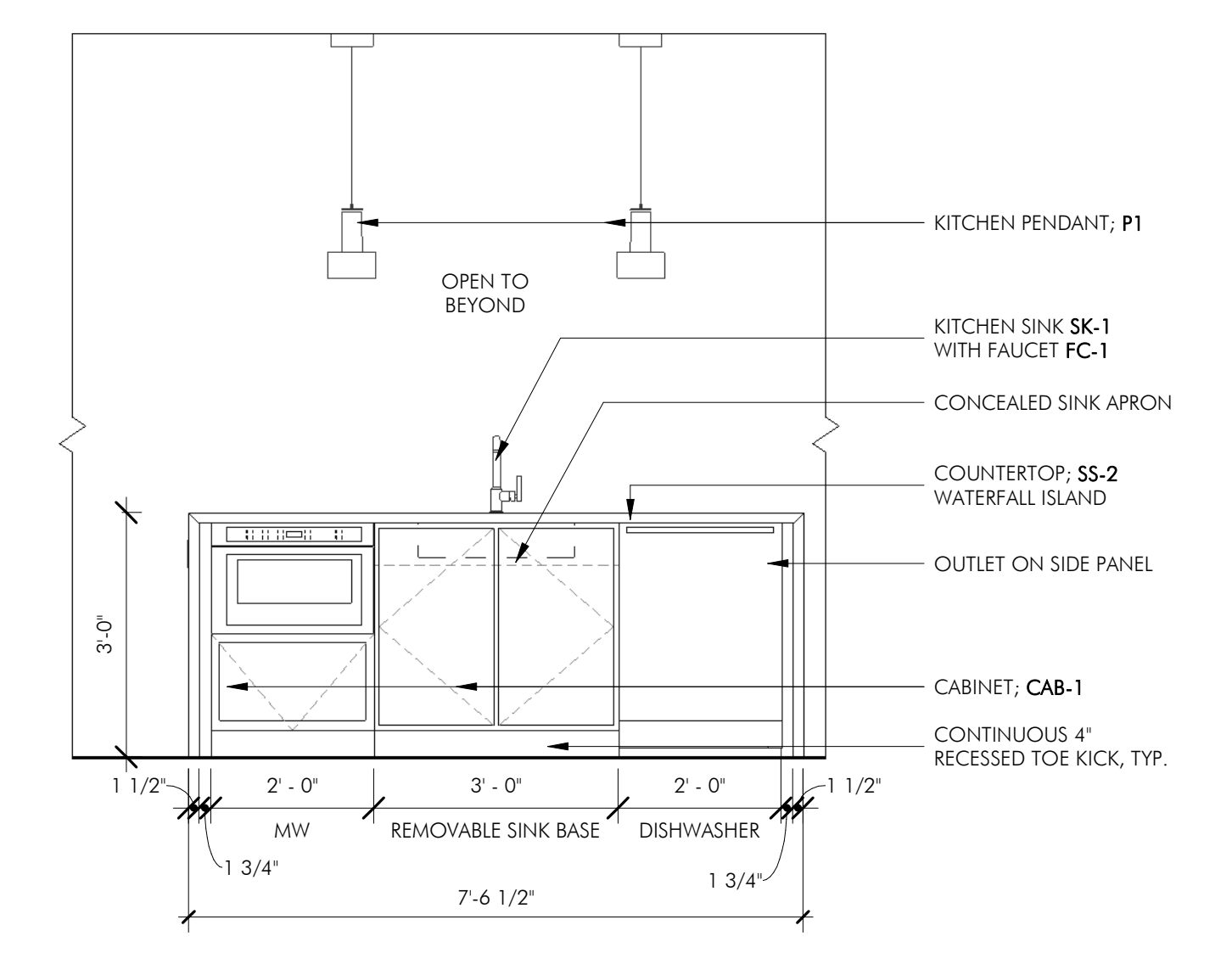
3A UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION A  
1/2" = 1'-0"



3B UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION B  
1/2" = 1'-0"



3C UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION C  
1/2" = 1'-0"



3D UNIT 3&7 - KITCHEN TYPE 3 - ELEVATION D  
1/2" = 1'-0"

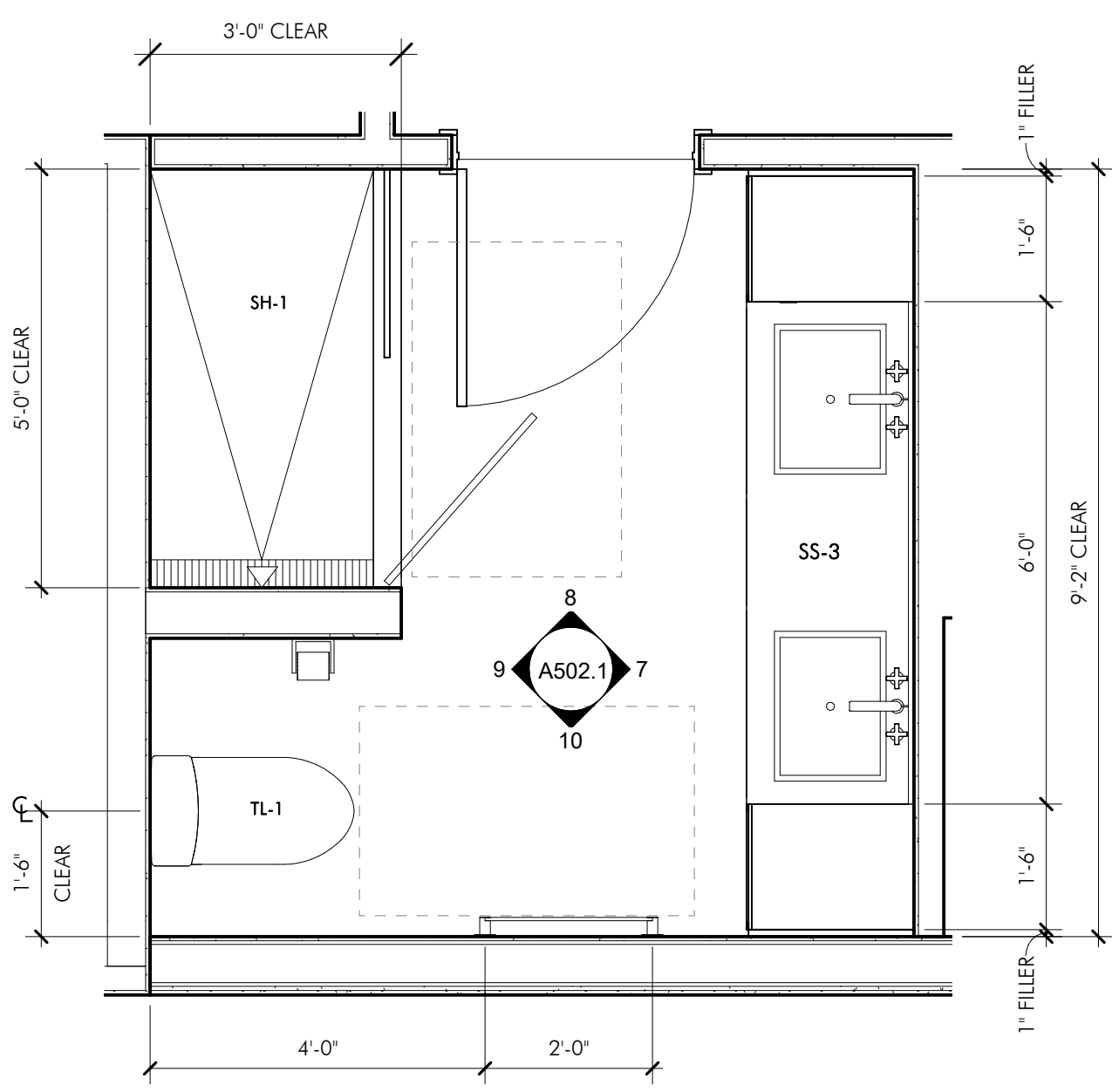
MARK	ISSUE	DATE



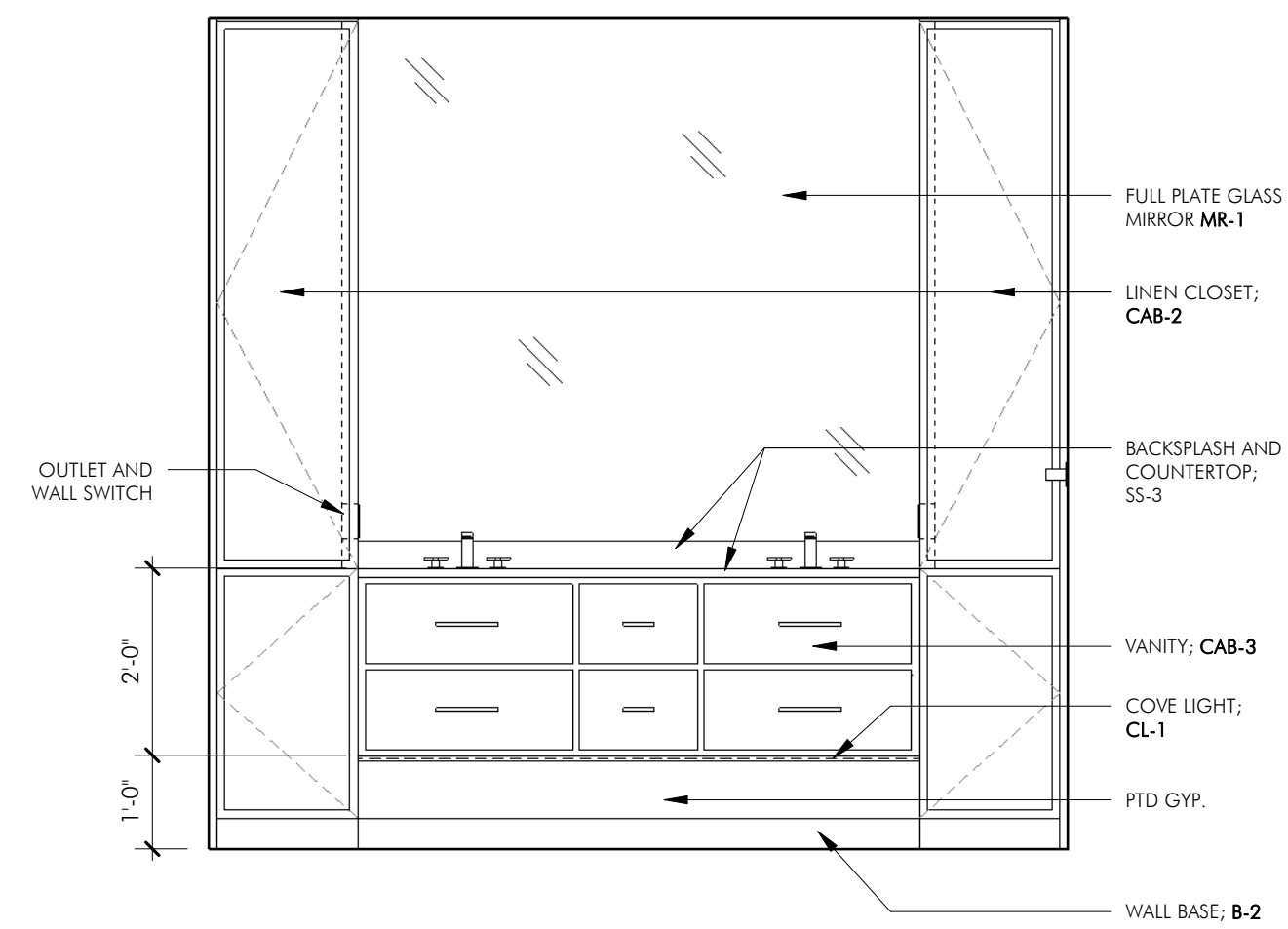
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
UNIT 3&7  
ENLARGED PLAN  
& KITCHEN ELEVS  
DRAWING NUMBER

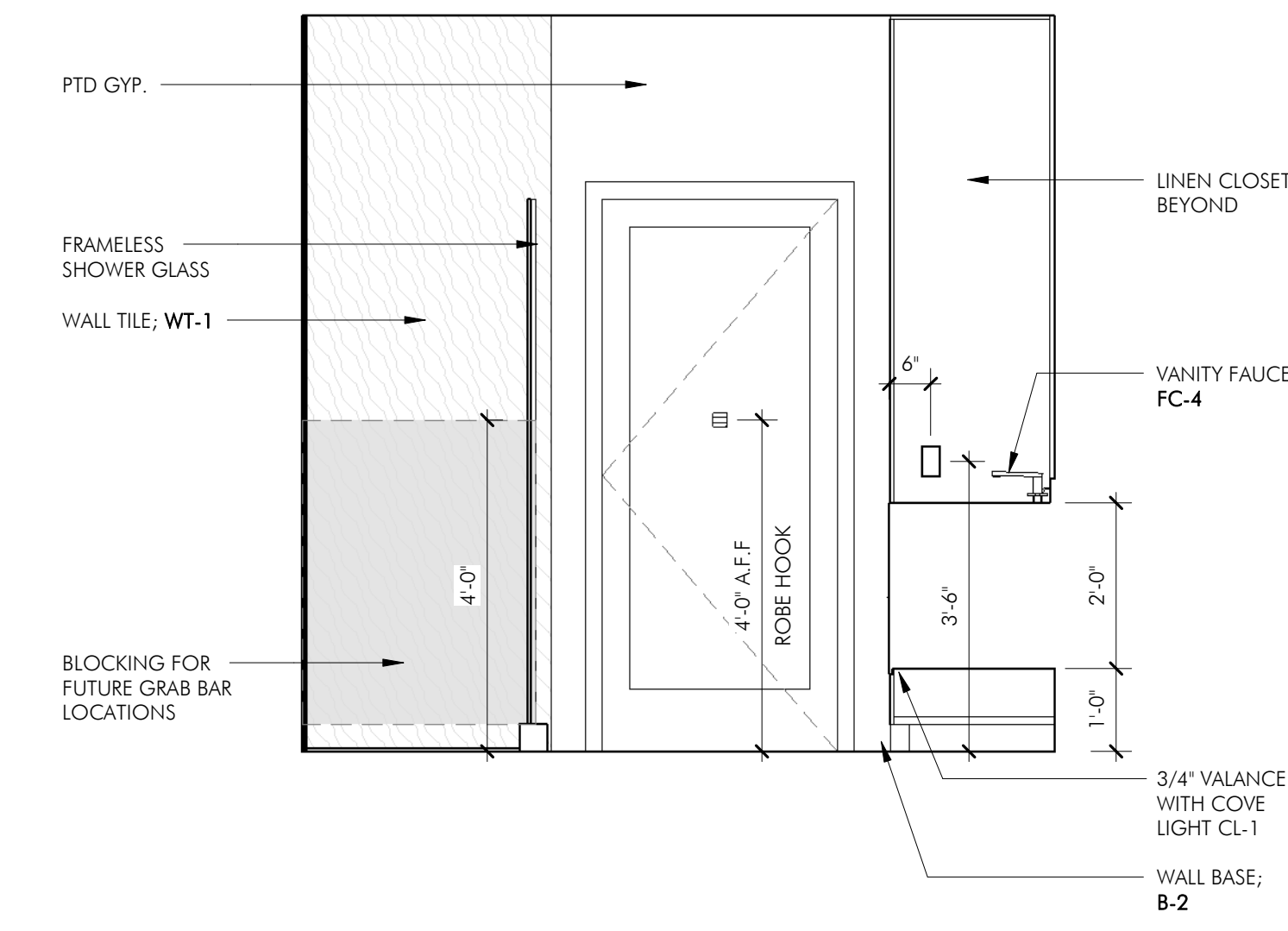
A502  
Copyright © EMBARC, INC.



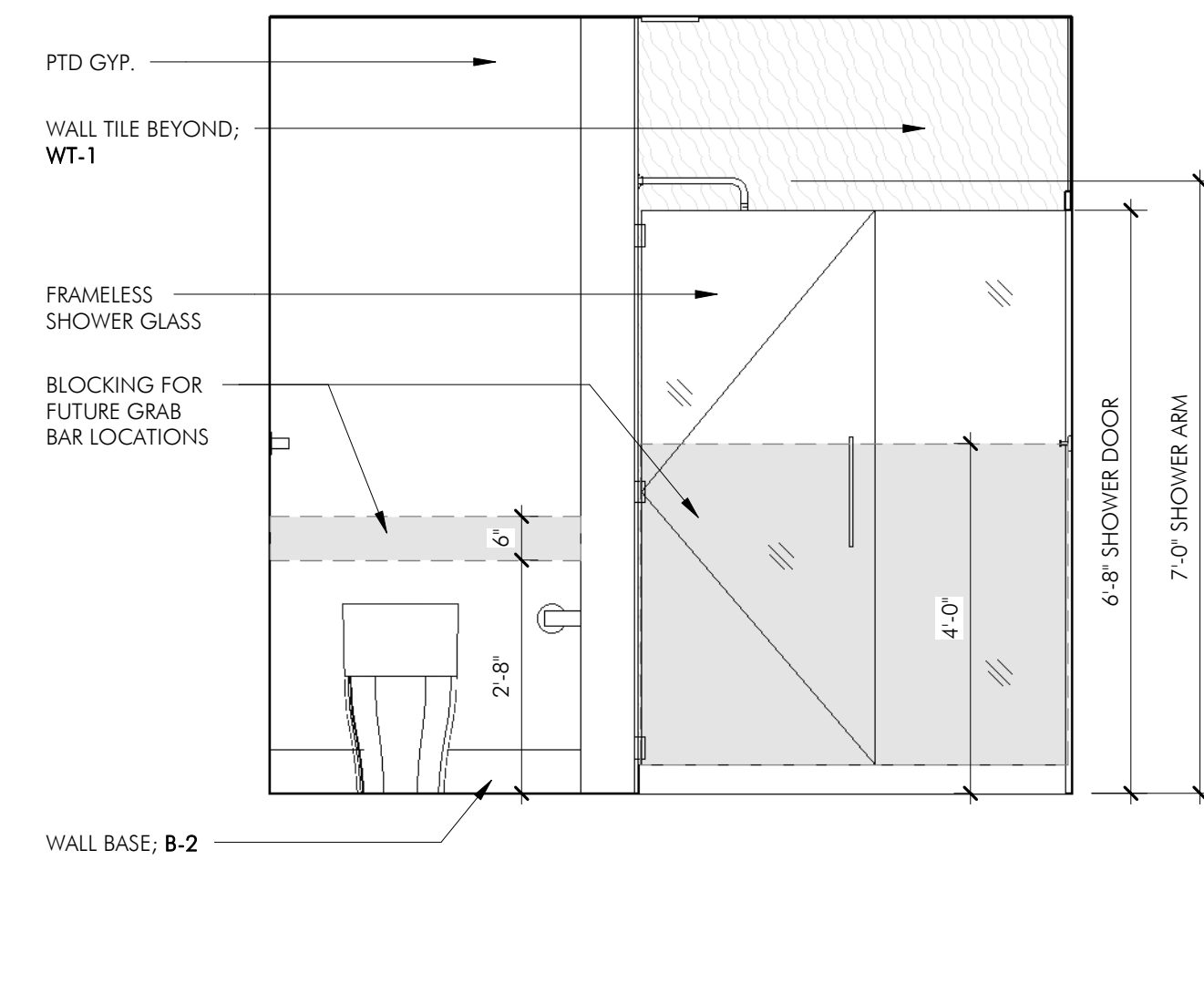
6 UNIT 3&7 - MASTER BATH - ENLARGED PLAN  
1/2" = 1'-0"



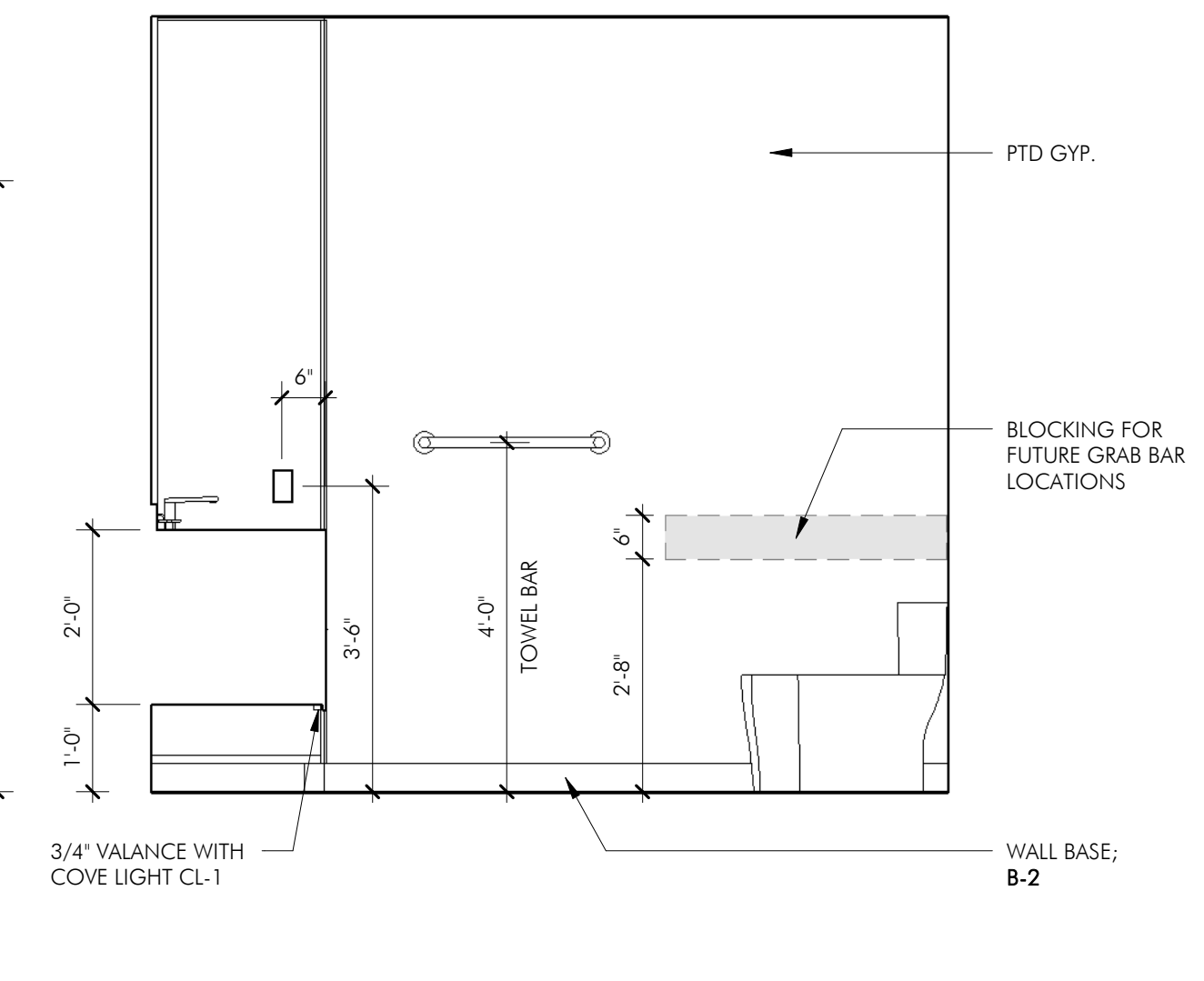
7 UNIT 3&7 - MASTER BATH - ELEV. A  
1/2" = 1'-0"



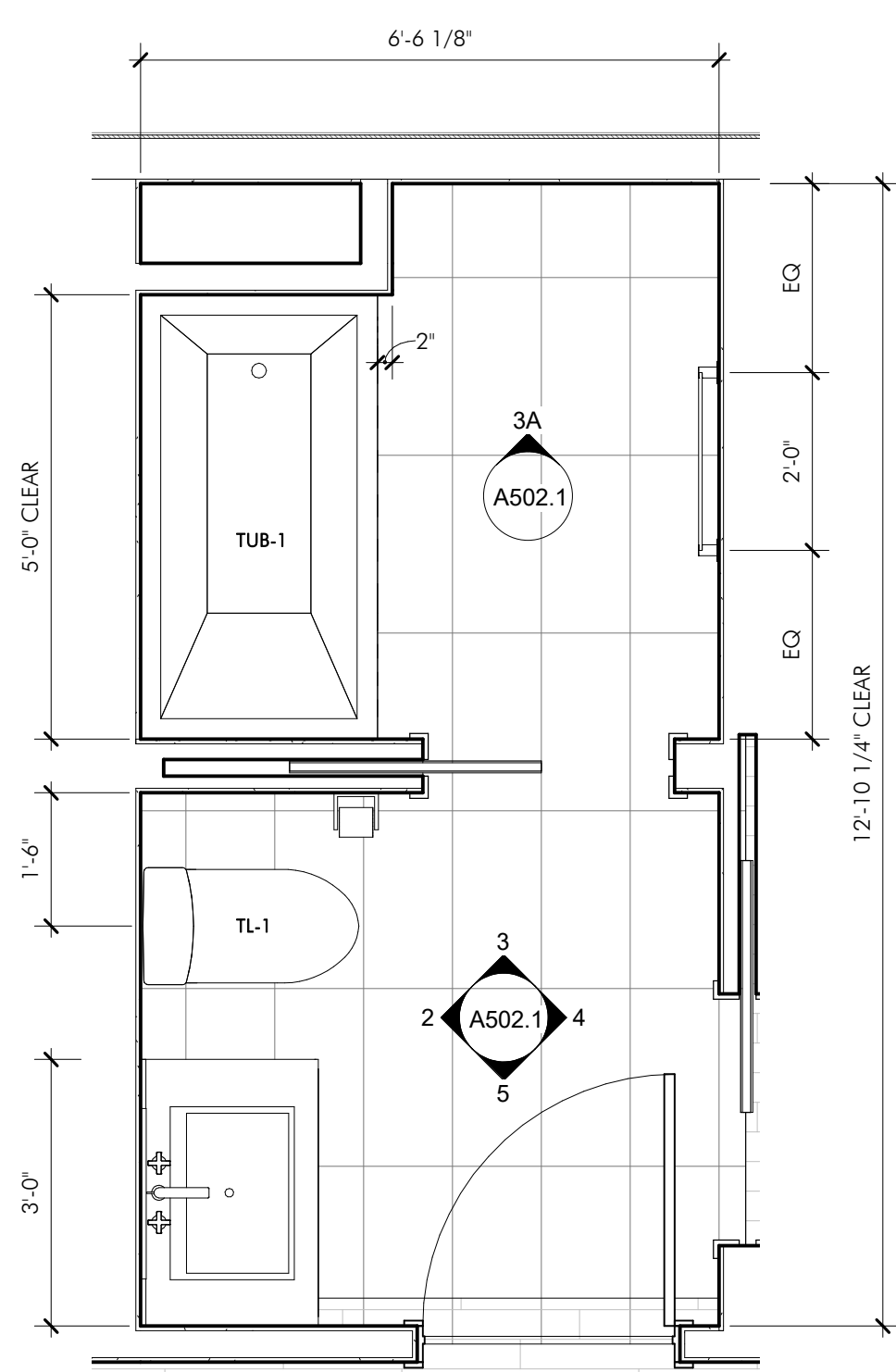
8 UNIT 3&7 - MASTER BATH - ELEV. B  
1/2" = 1'-0"



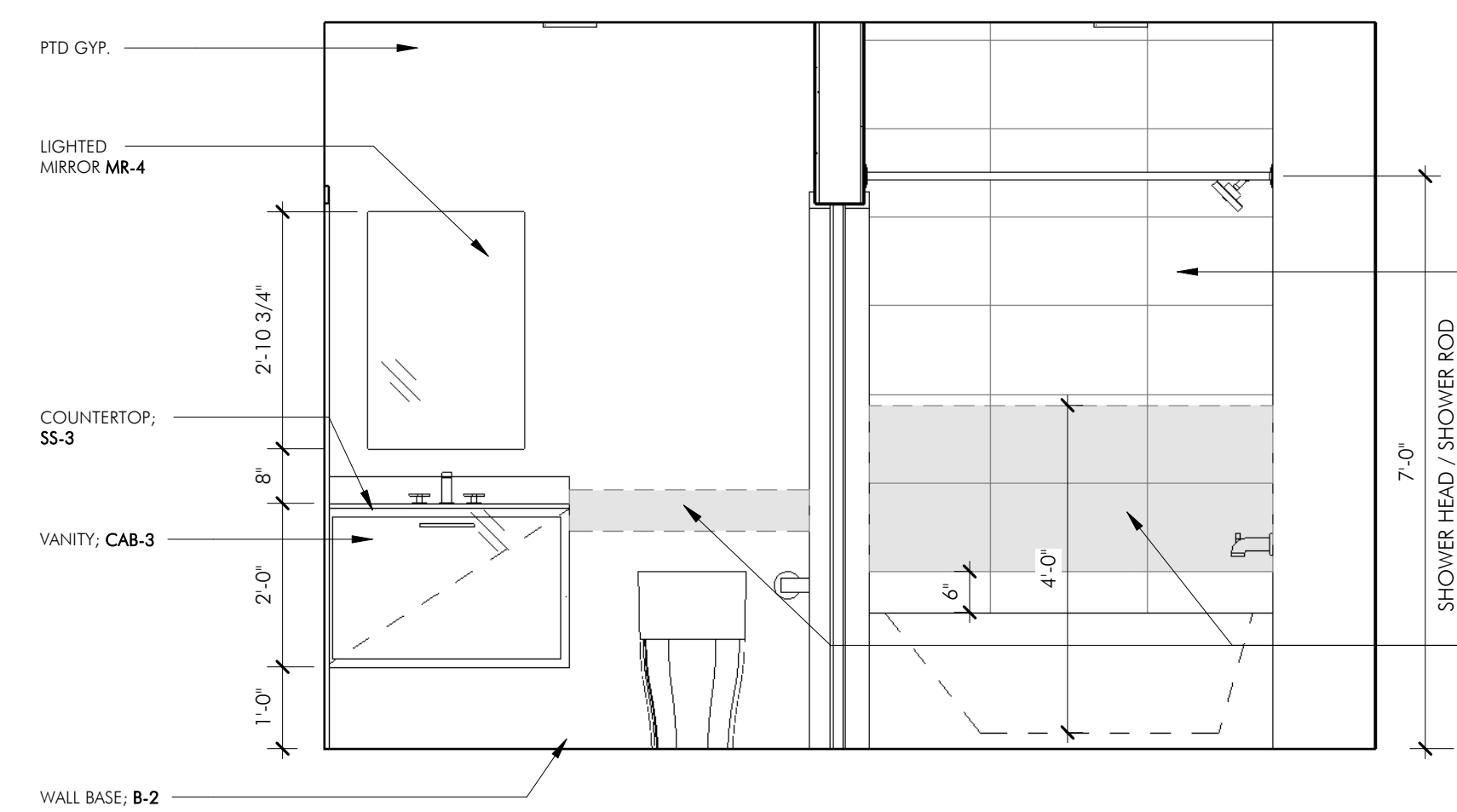
9 UNIT 3&7 - MASTER BATH - ELEV. C  
1/2" = 1'-0"



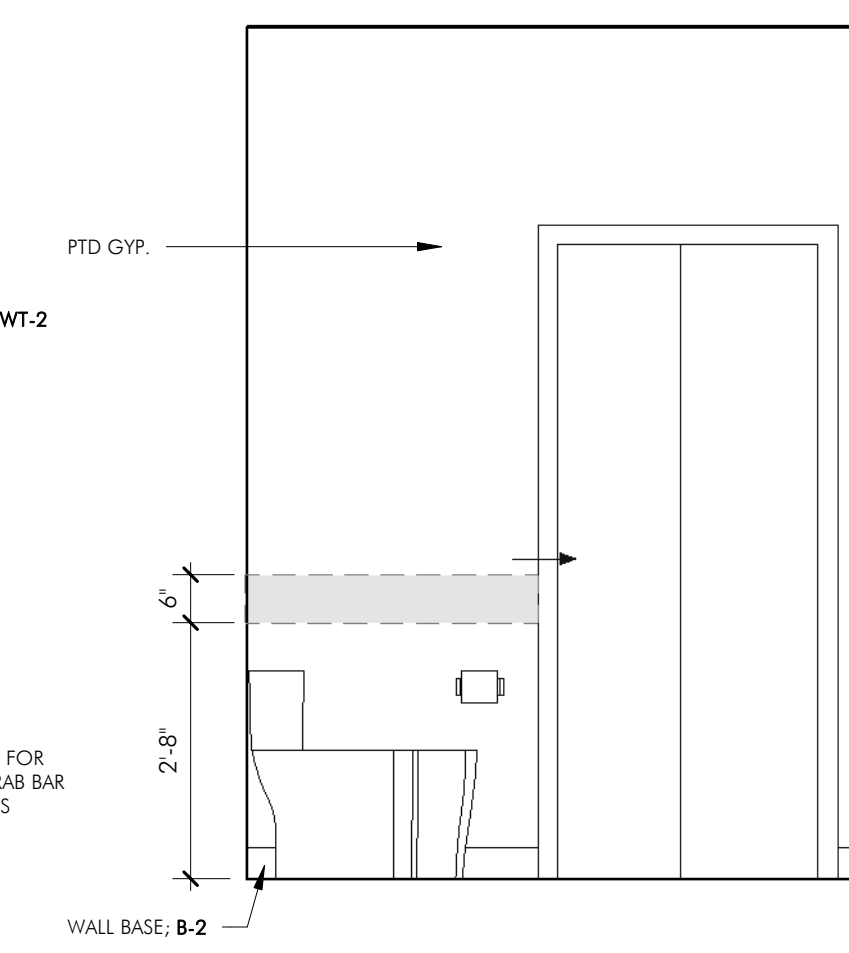
10 UNIT 3&7 - MASTER BATH - ELEV. D  
1/2" = 1'-0"



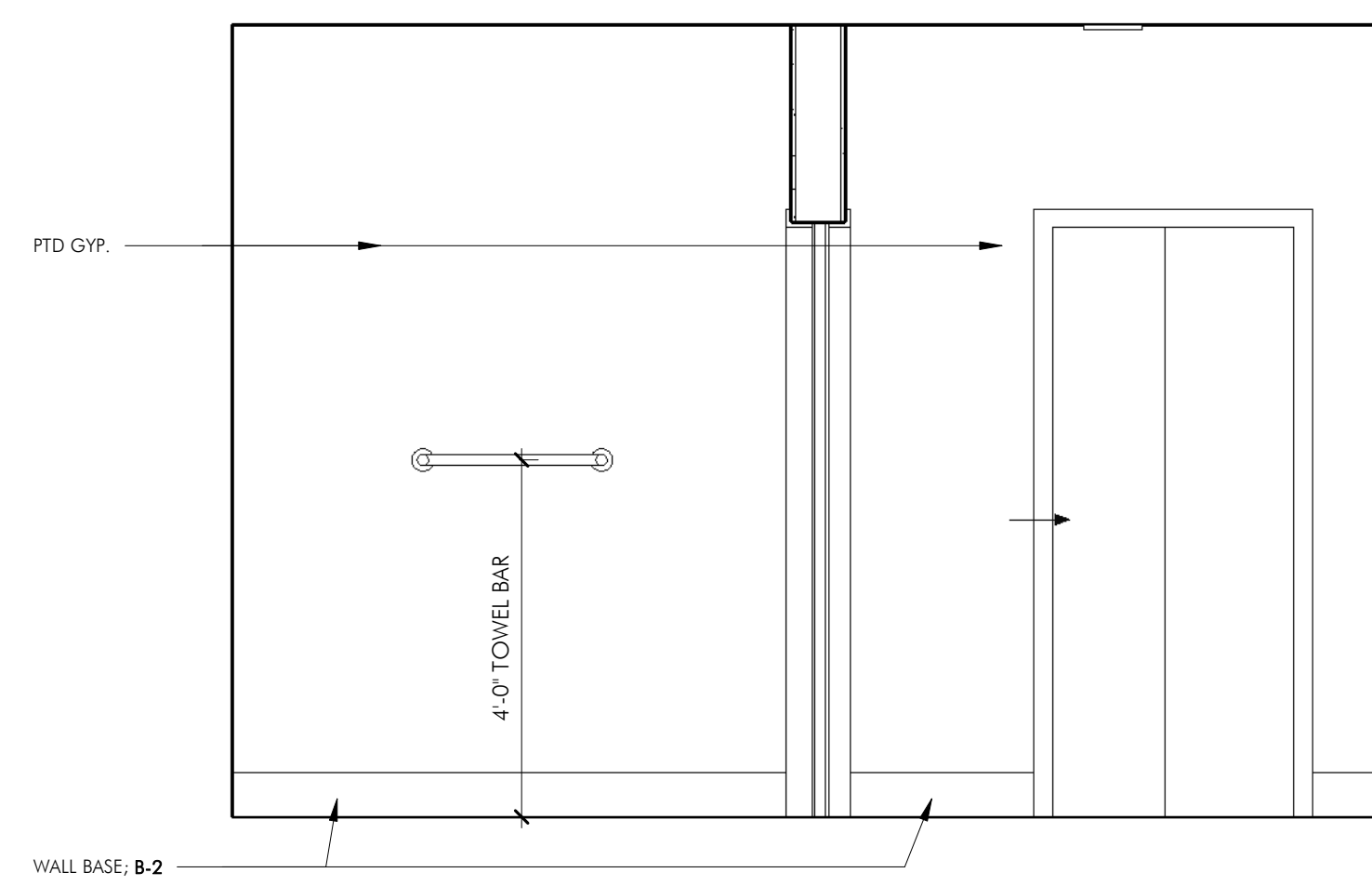
1 UNIT 3&7 - COMMON BATH - ENLARGED PLAN  
1/2" = 1'-0"



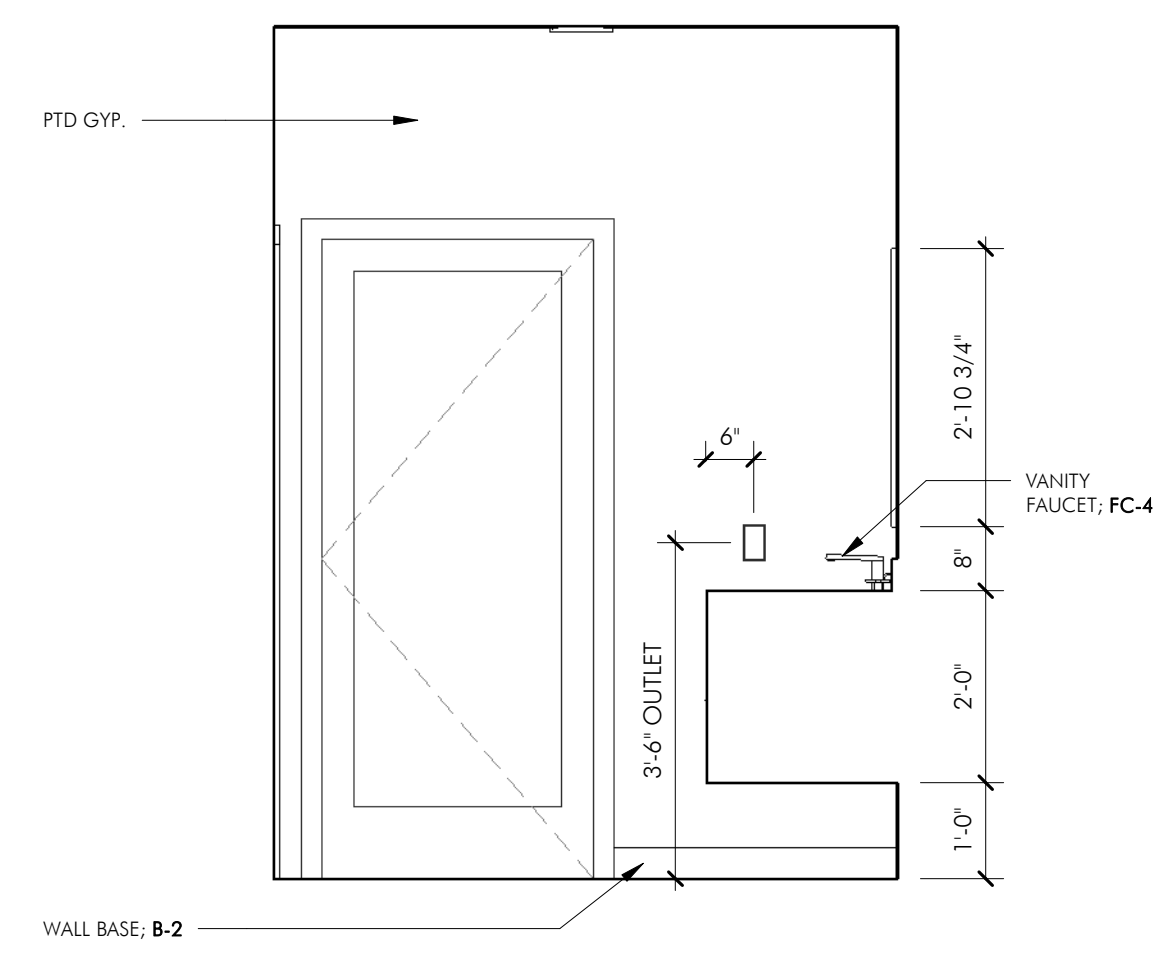
2 UNIT 3&7 - COMMON BATH ELEV. A  
1/2" = 1'-0"



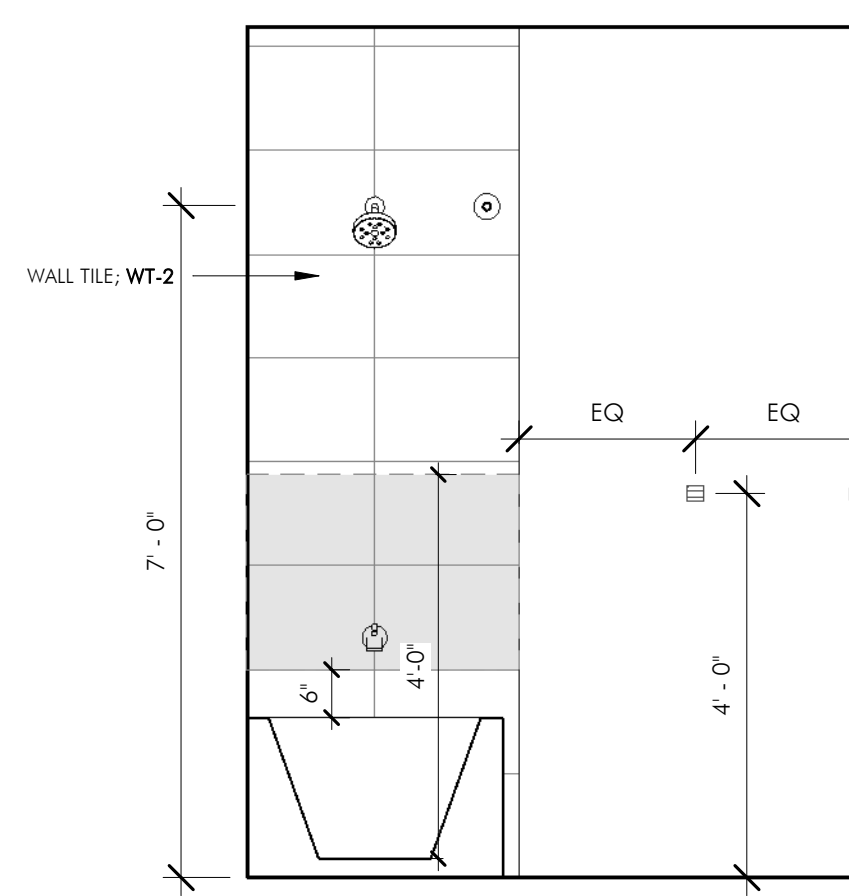
3 UNIT 3&7 - COMMON BATH ELEV. B  
1/2" = 1'-0"



4 UNIT 3&7 - COMMON BATH ELEV. C  
1/2" = 1'-0"

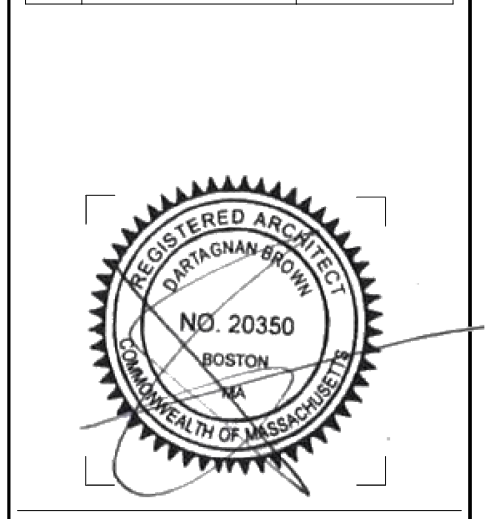


5 UNIT 3&7 - COMMON BATH ELEV. D  
1/2" = 1'-0"



3A UNIT 3&7 - COMMON BATH ELEV. E  
1/2" = 1'-0"

REVISIONS	MARK	ISSUE	DATE



**DRAWING INFORMATION**

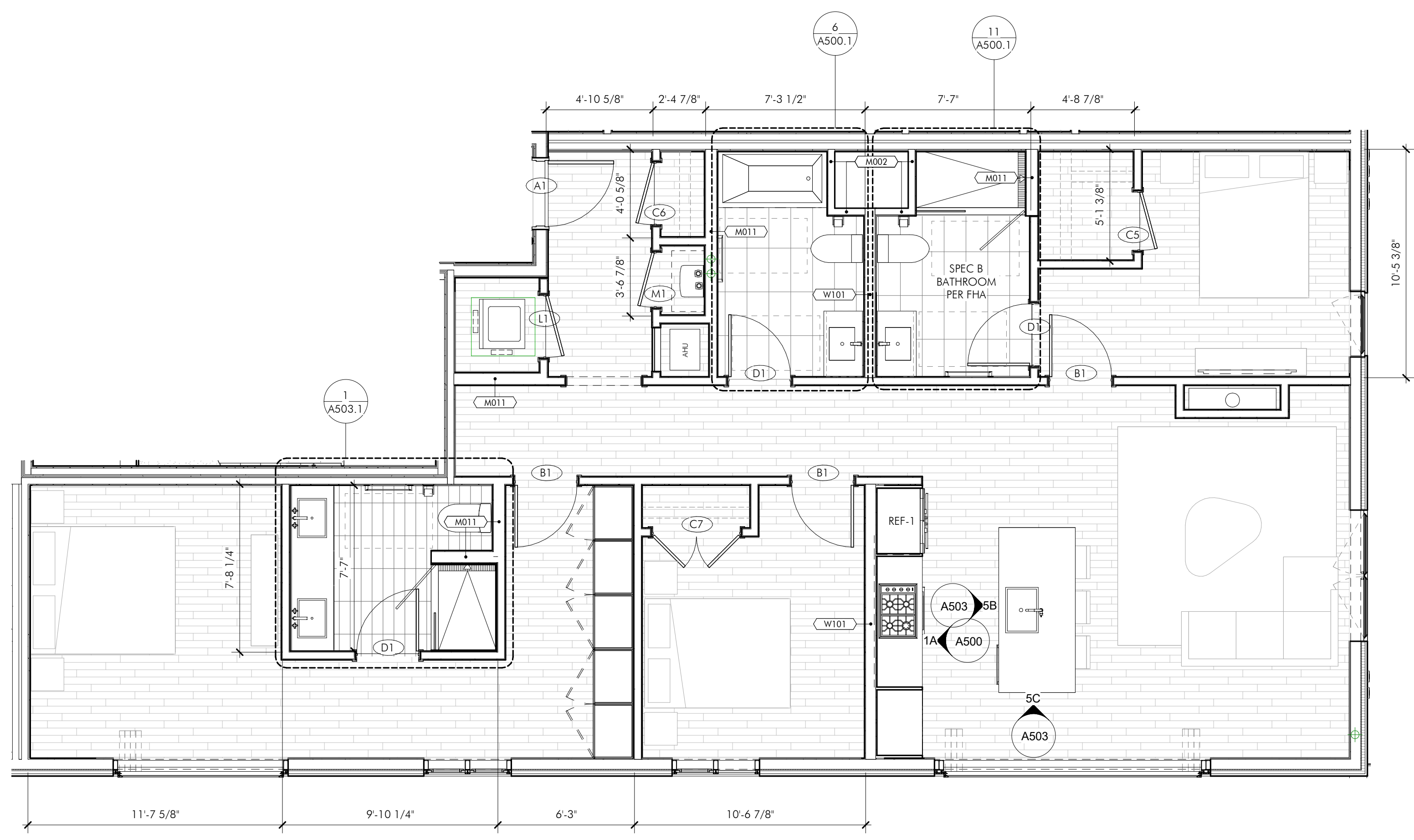
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/2" = 1'-0"

**DRAWING TITLE**  
UNIT 3&7  
ENLARGED BATH  
ELEVATIONS

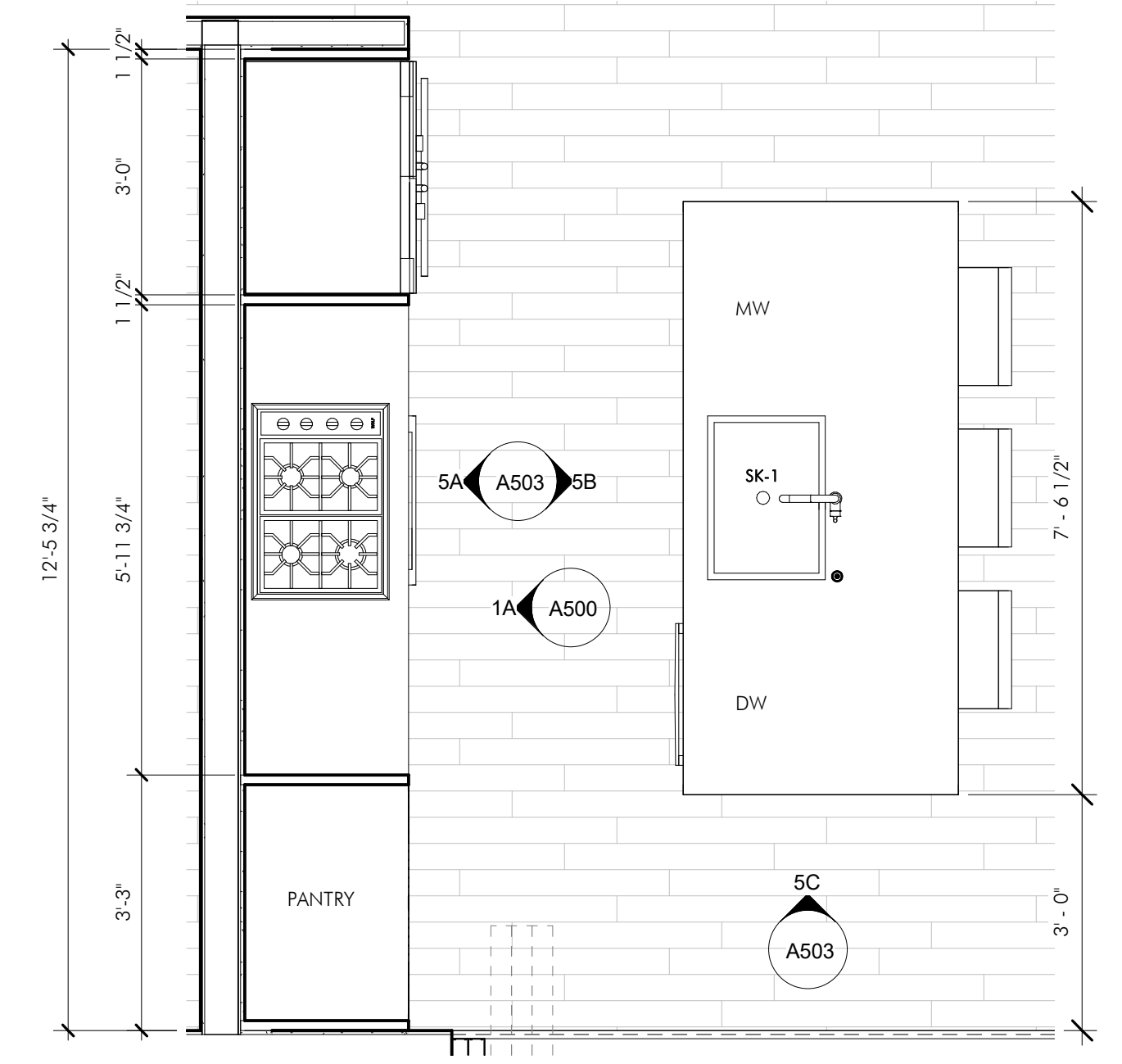
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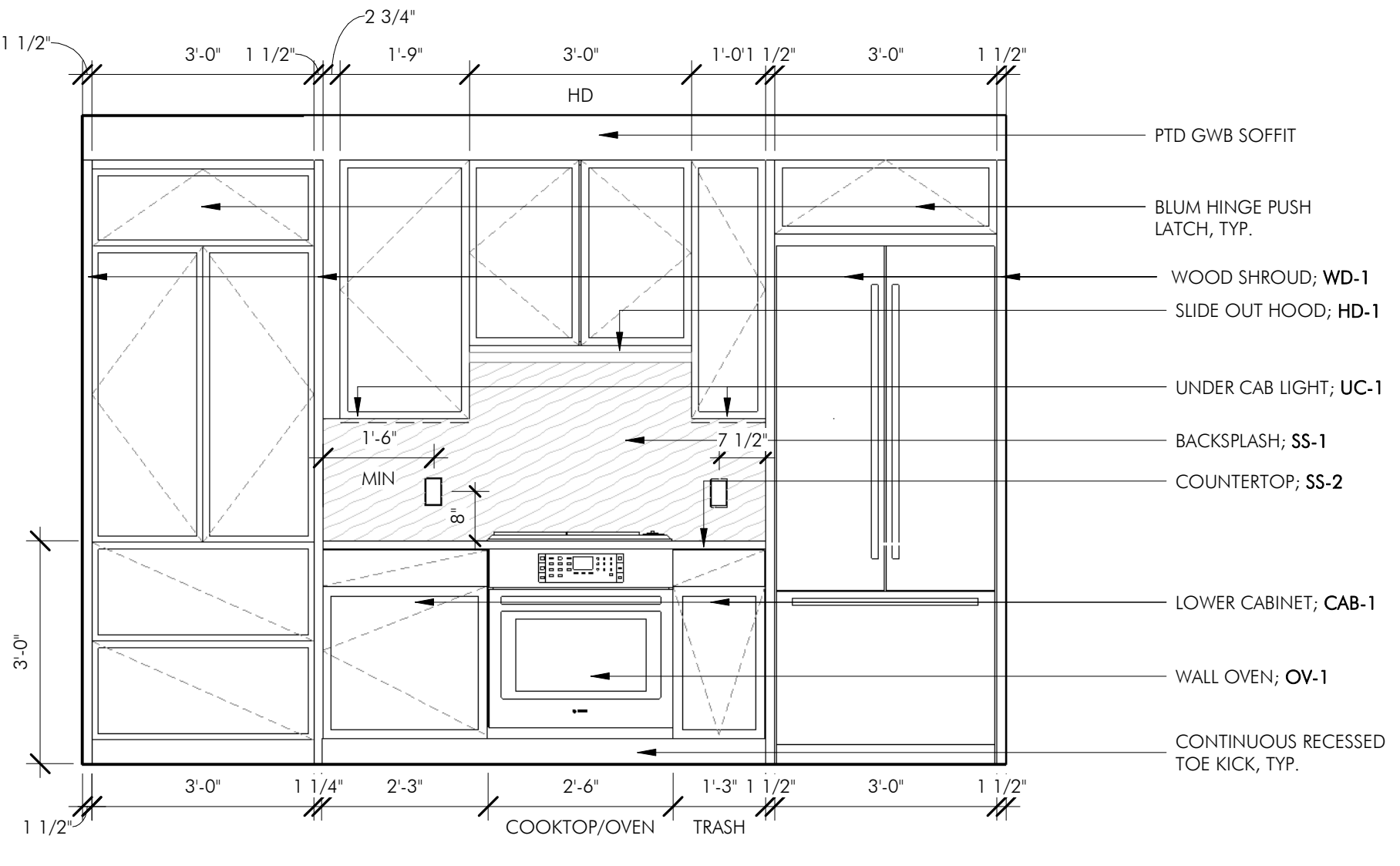
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- DIMENSIONS NOTED AS "CLEAR" OF "CL" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC.). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
- REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.
- REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
- REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
- REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.B. REQUIREMENTS AND DETAILS.
- FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR. REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
- REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  - LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC. ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
  - ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.
  - ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
  - ALL BEDROOMS AND DENIS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
  - GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
  - ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.O.N.
  - UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPs; REFER TO TAGS FOR CEILING FINISH, TYP.
  - ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.
  - ALL INTERIOR UNIT WALLS ARE M010 U.O.N.
  - REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION
  - ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
  - REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS
  - ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS
  - NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE
  - MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"
  - ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
  - RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 64" AFF.



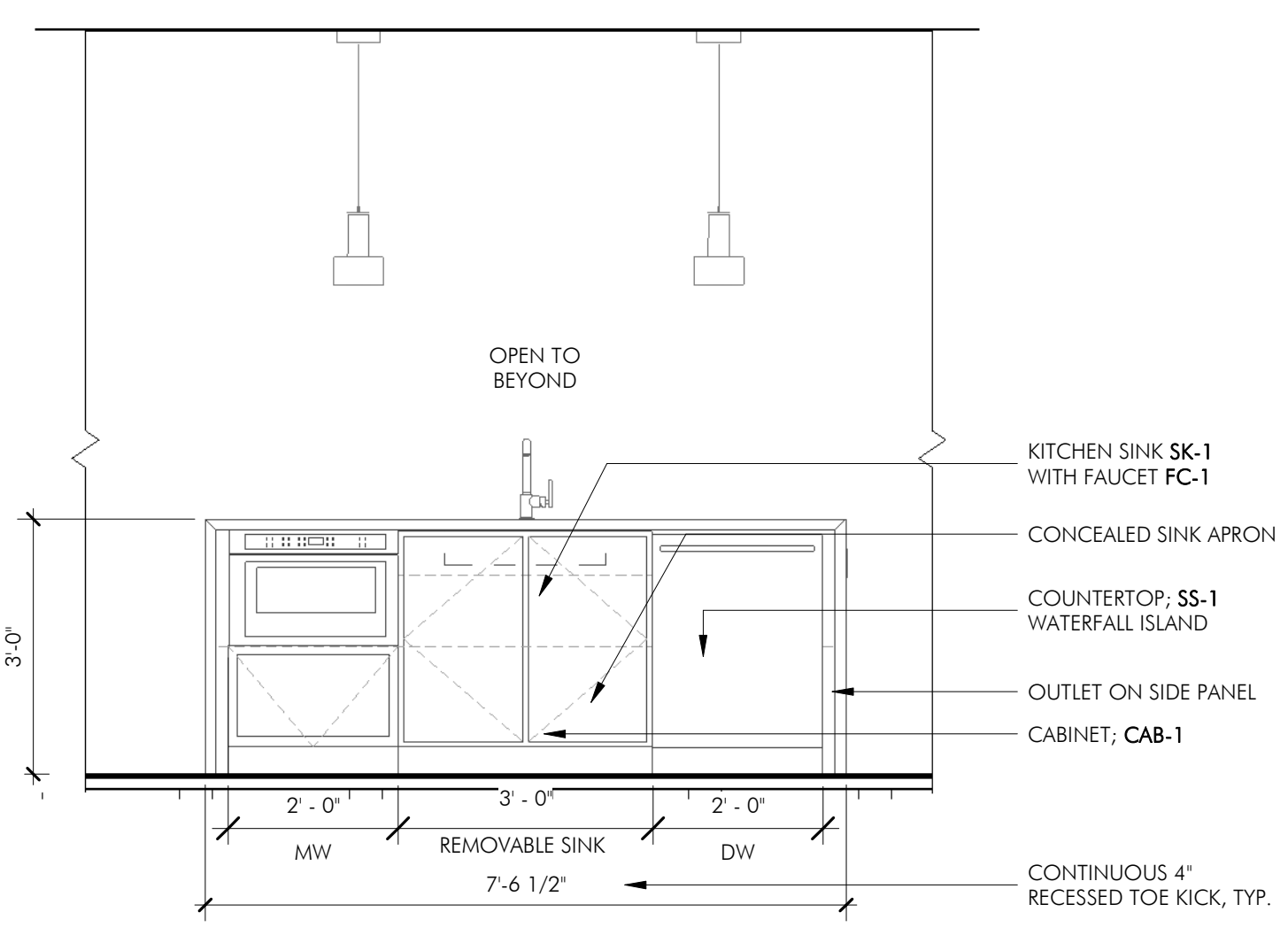
**1 UNIT 5 - 3 BR**  
1/4" = 1'-0"



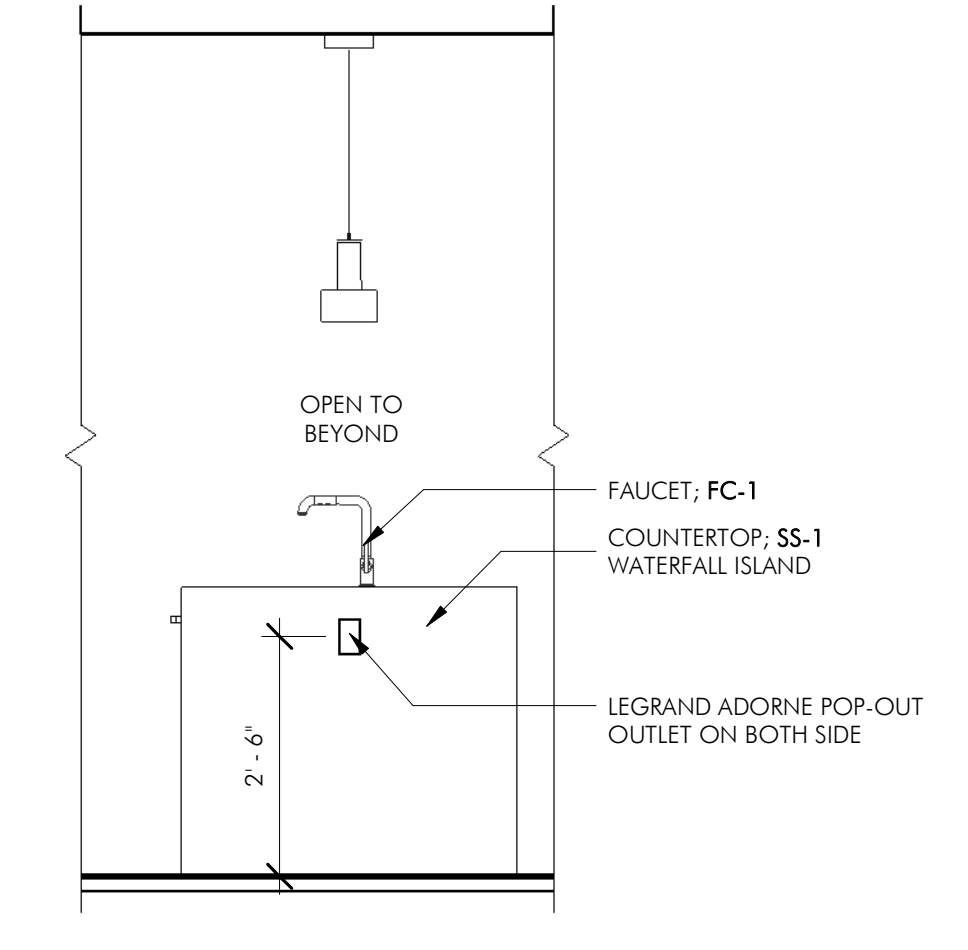
**2 KITCHEN TYPE 5 - ENLARGED PLAN**  
1/2" = 1'-0"



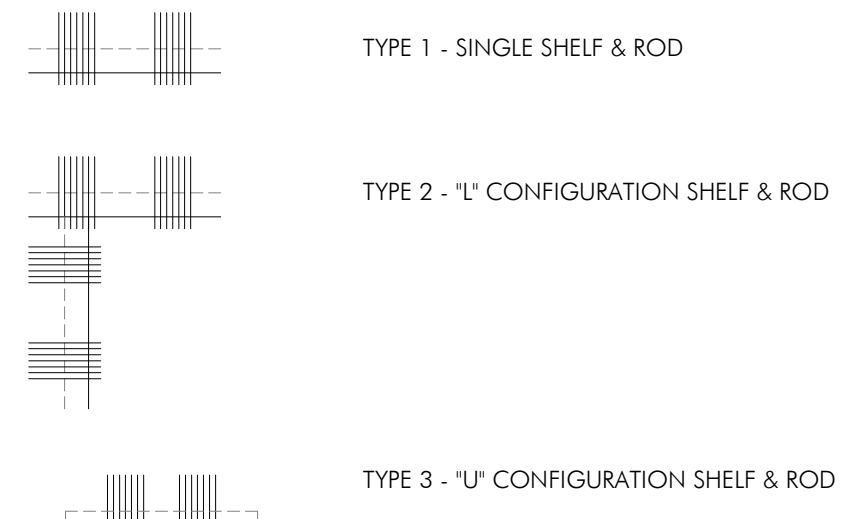
**5A KITCHEN TYPE 5 - ELEVATION A**  
1/2" = 1'-0"



**5B KITCHEN TYPE 5 - ELEVATION B**  
1/2" = 1'-0"



**5C KITCHEN TYPE 5 - ELEVATION C**  
1/2" = 1'-0"



28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.

33 A STREET  
SOUTH BOSTON, MA

ISSUED FOR CONSTRUCTION

MARK	ISSUE	DATE

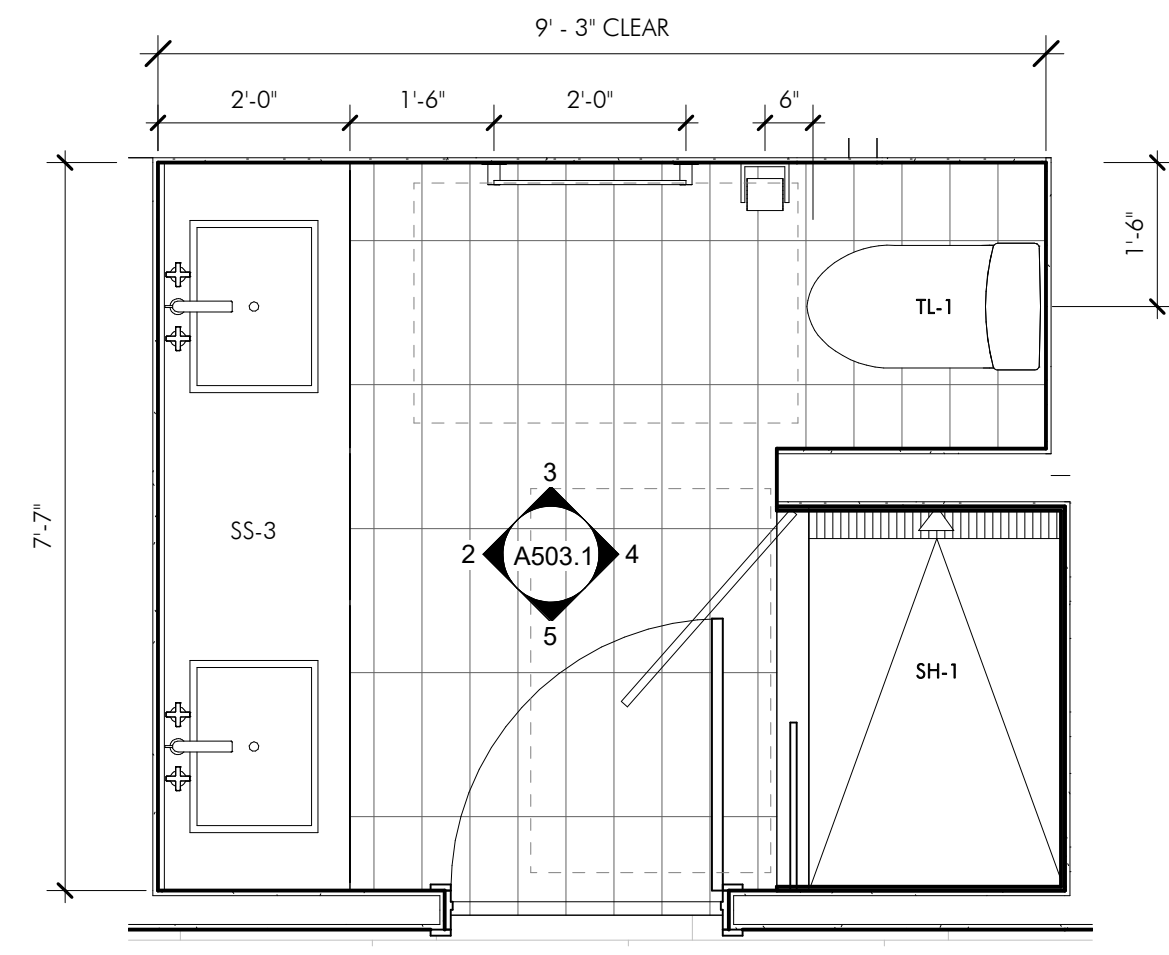


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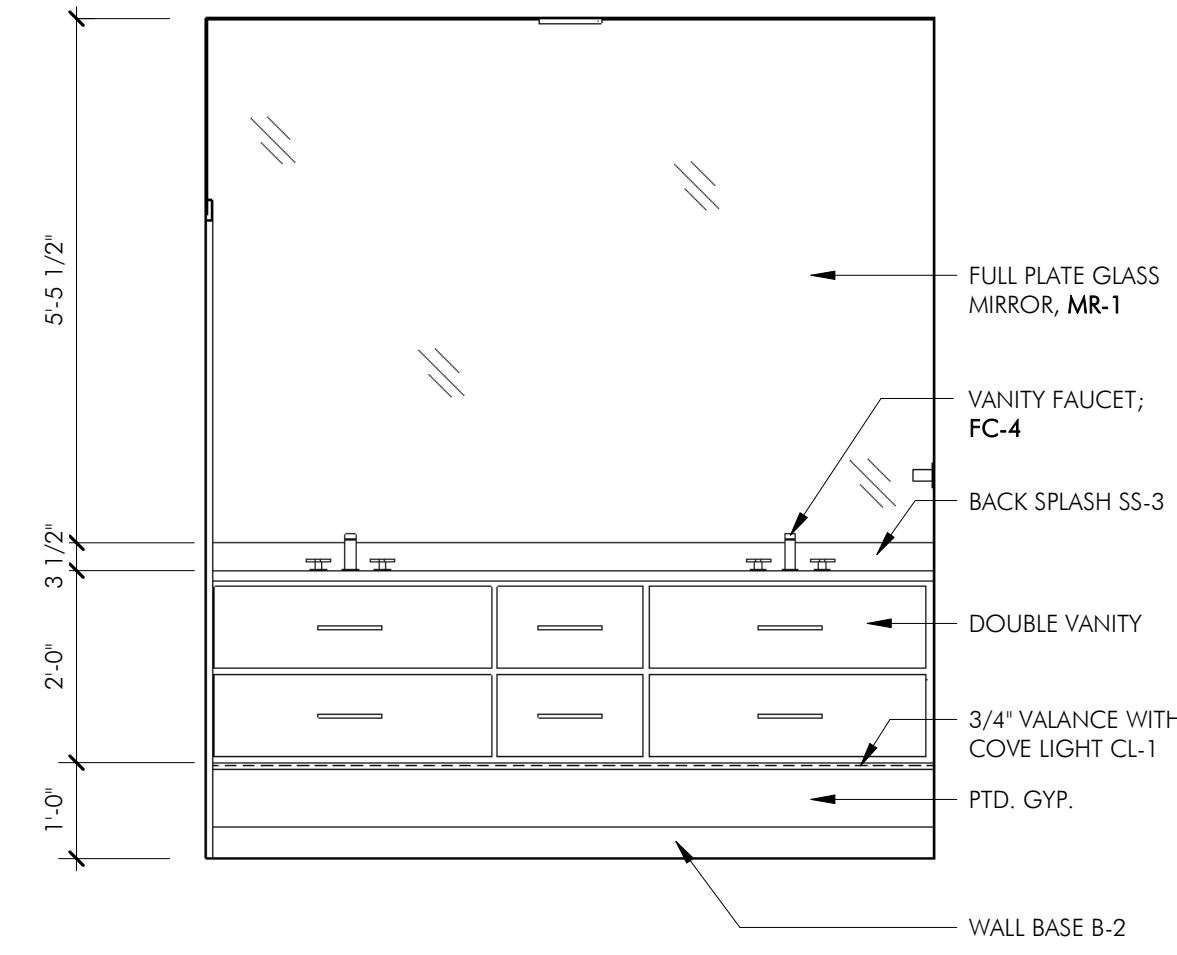
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	09/07/2022
PROJECT #:	20020
SCALE:	As Indicated

DRAWING TITLE  
**UNIT 5  
ENLARGED PLAN  
& KITCHEN ELEVS**

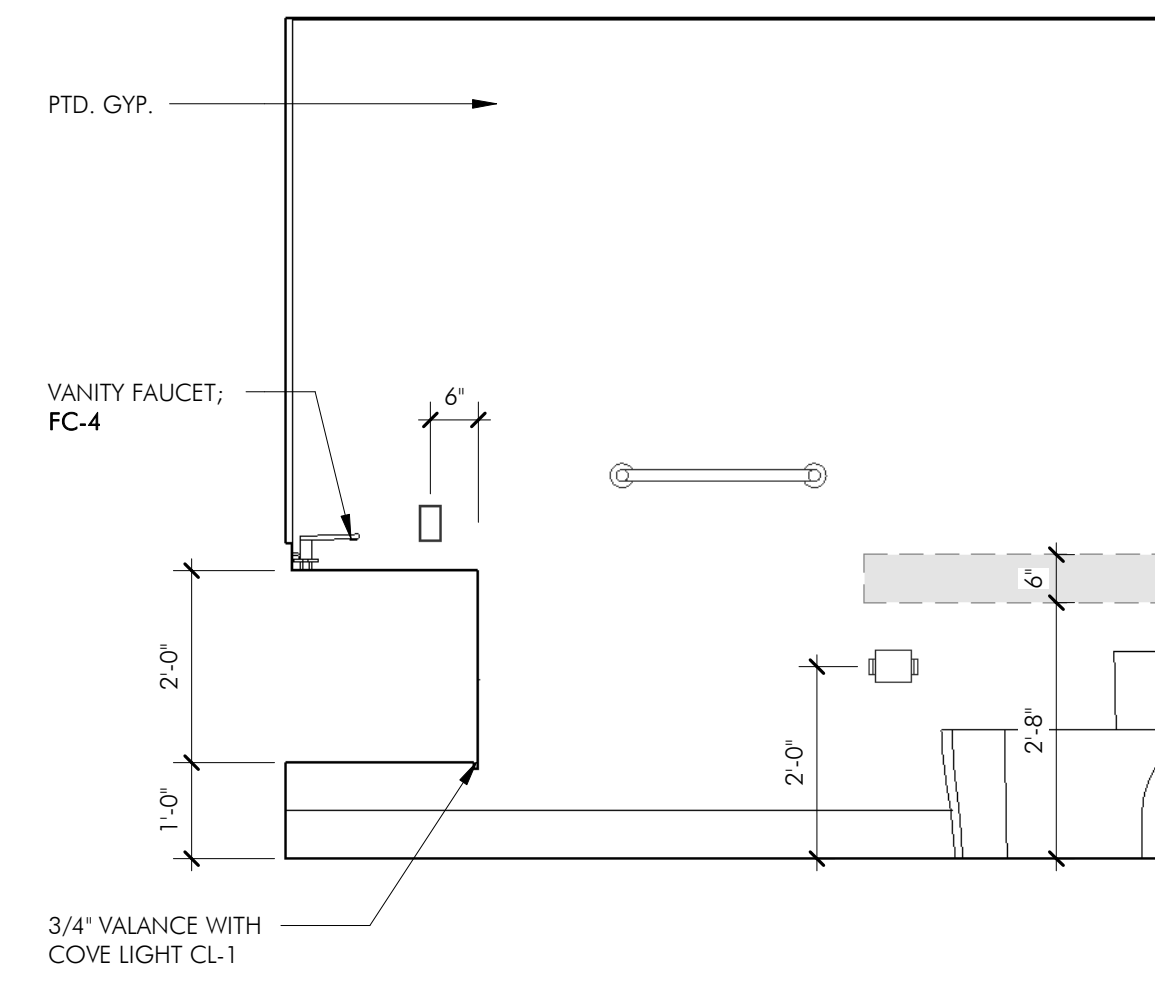
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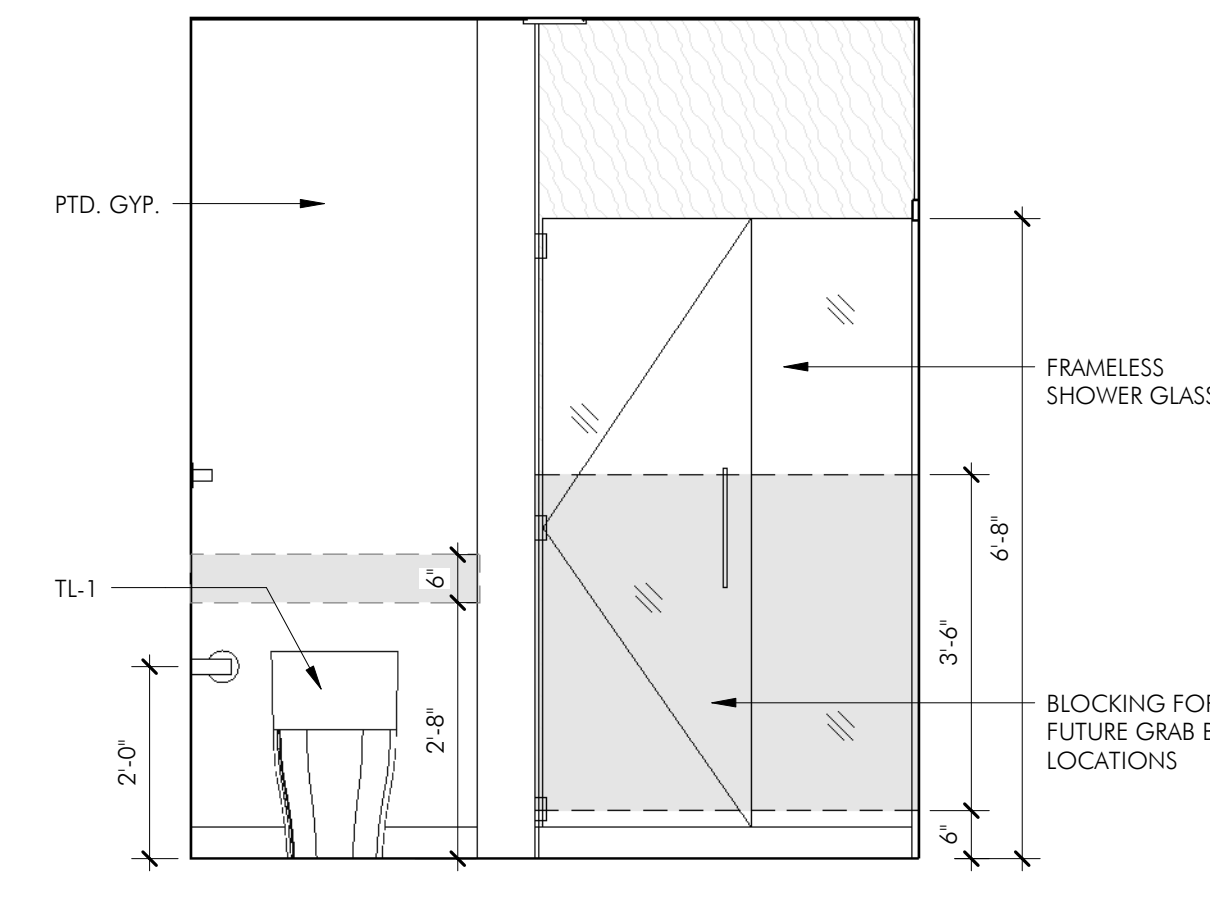
1 UNIT 5 - MASTER BATH - ENLARGED PLAN  
1/2" = 1'-0"



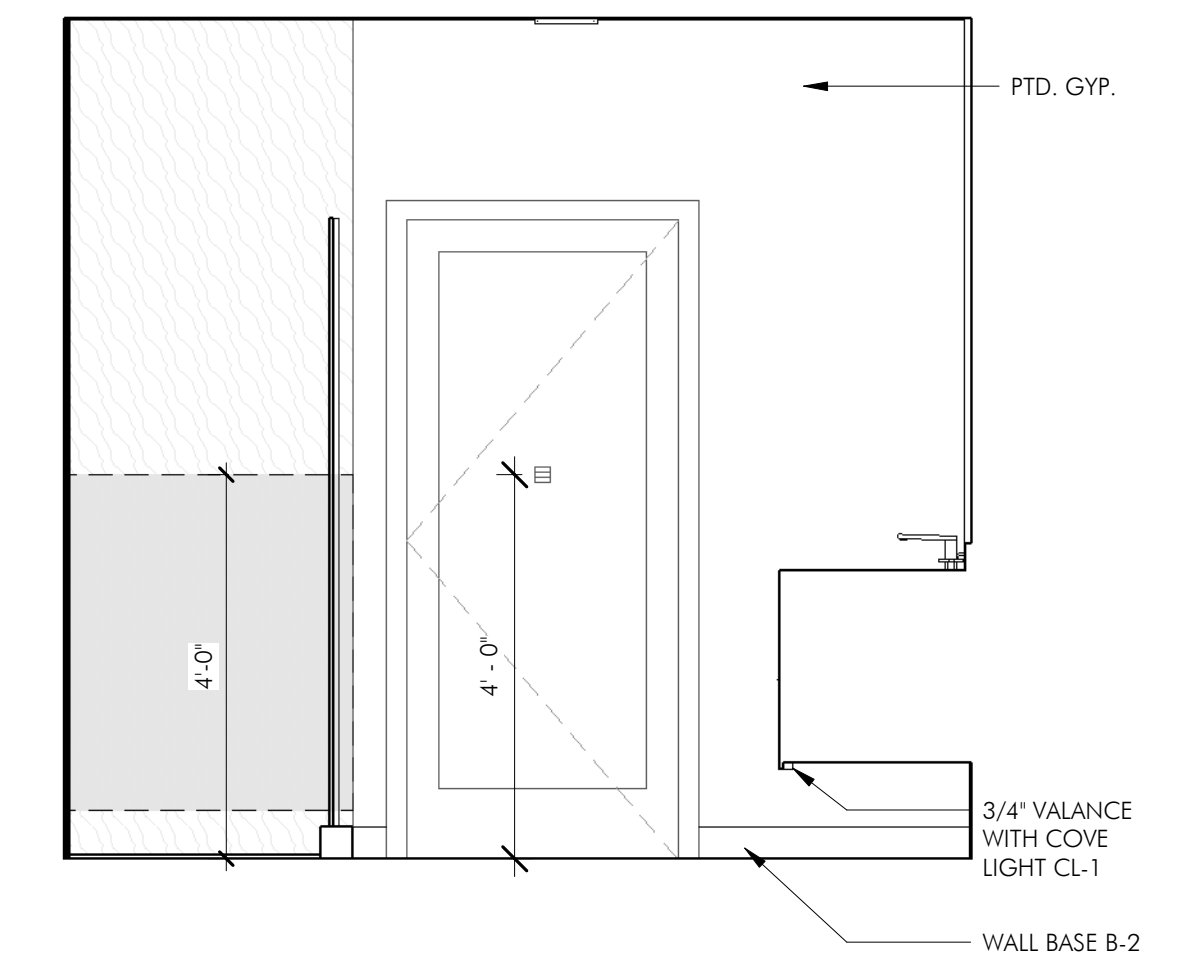
2 UNIT 5 - MASTER BATH - ELEVATION A  
1/2" = 1'-0"



3 UNIT 5 - MASTER BATH - ELEVATION B  
1/2" = 1'-0"



4 UNIT 5 - MASTER BATH - ELEVATION C  
1/2" = 1'-0"



5 UNIT 5 - MASTER BATH - ELEVATION D  
1/2" = 1'-0"

ARCHITECT  
**EMBARC**

580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER

MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPRHAM AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
180 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

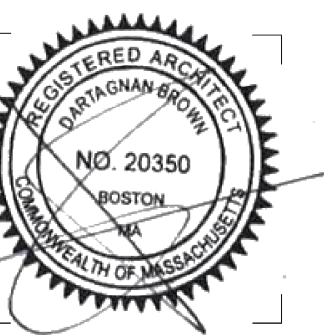
**ENERGY MODELING**  
ENENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114

33 A STREET  
SOUTH BOSTON, MA

ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

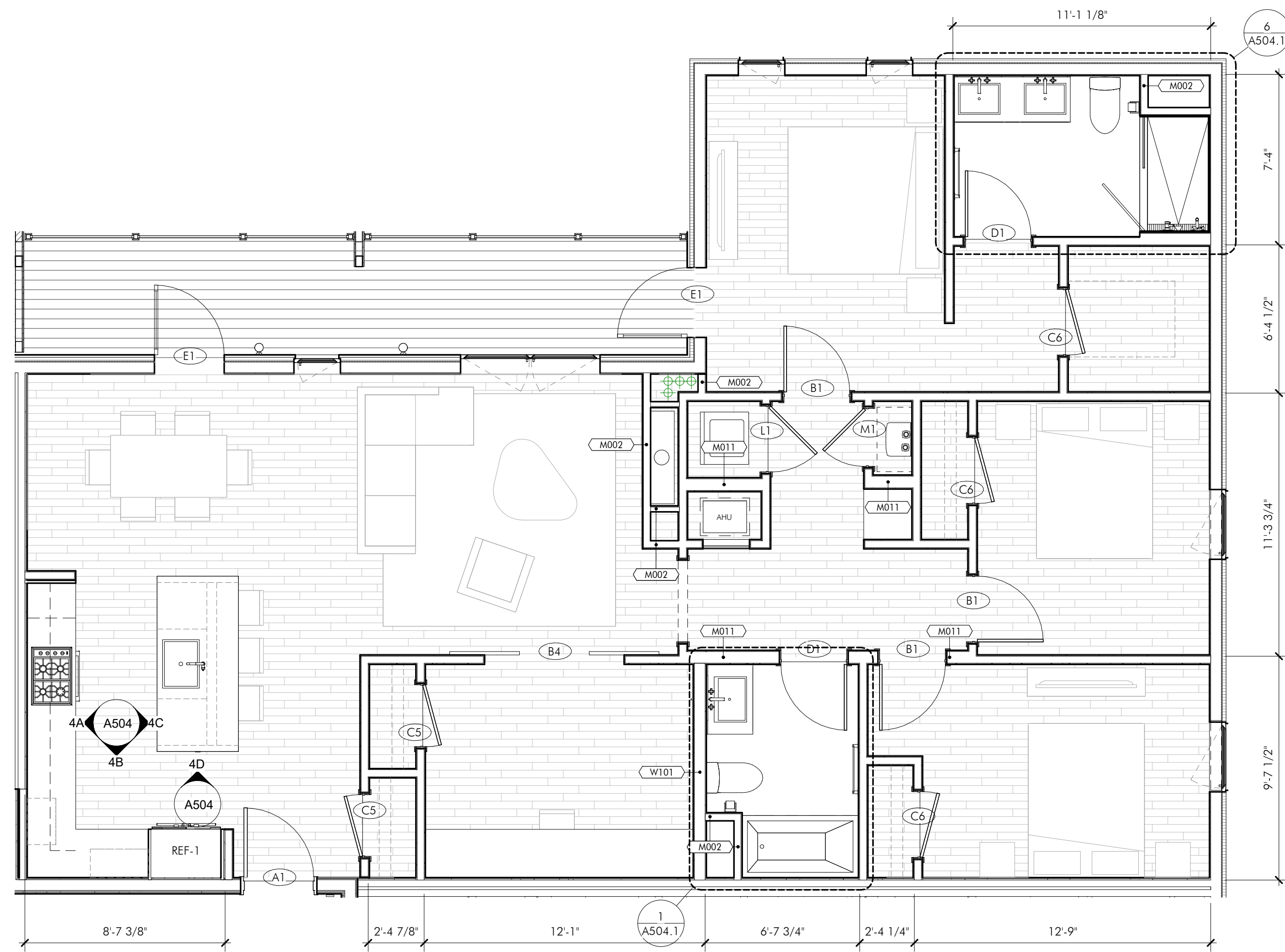
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DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/2" = 1'-0"

DRAWING TITLE  
UNIT 5  
ENLARGED BATH  
ELEVATIONS

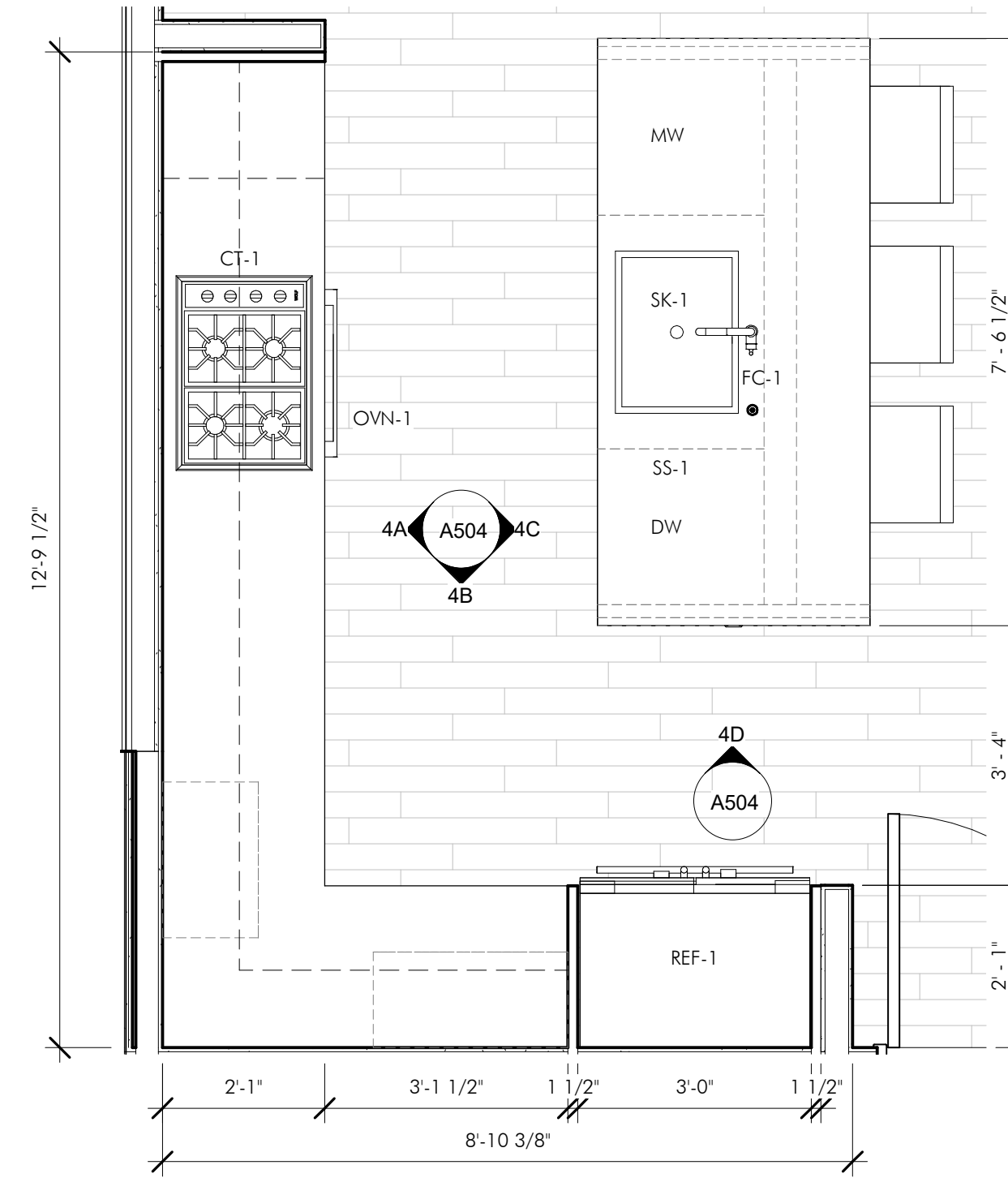
DRAWING NUMBER

A503.1

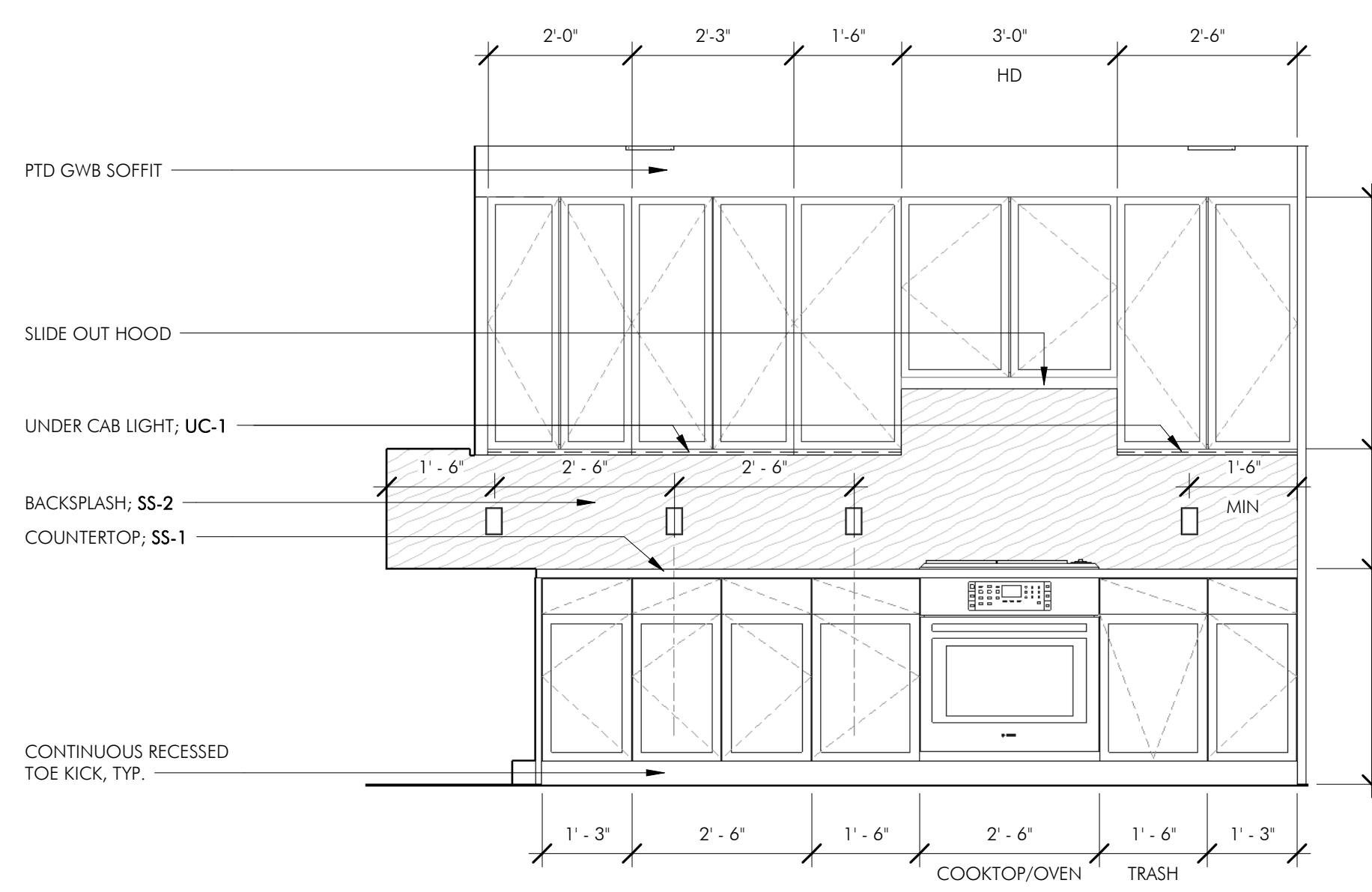
Copyright © EMBARC, INC.



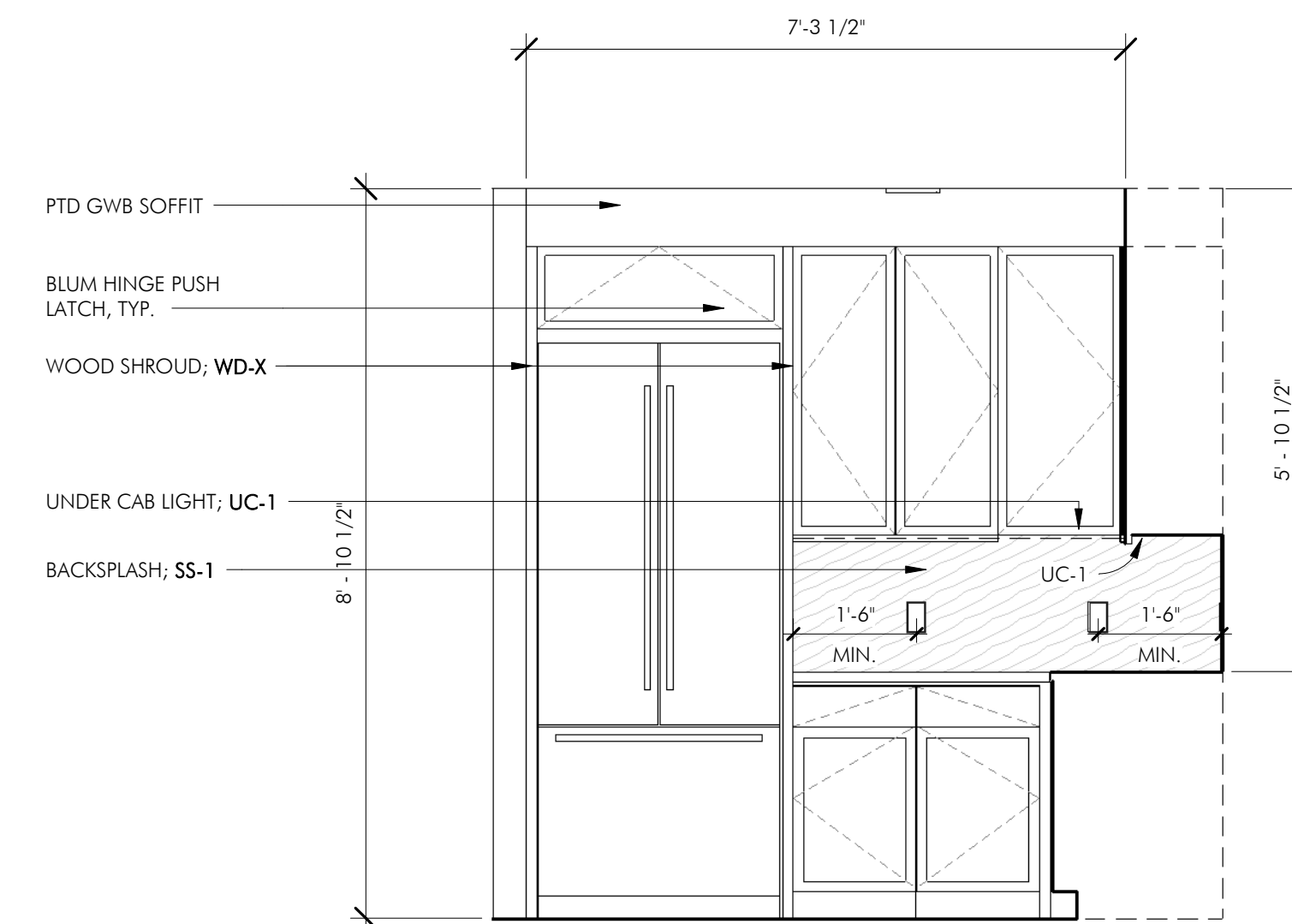
1 UNIT 4&8 - 3+ BR  
1/4" = 1'-0"



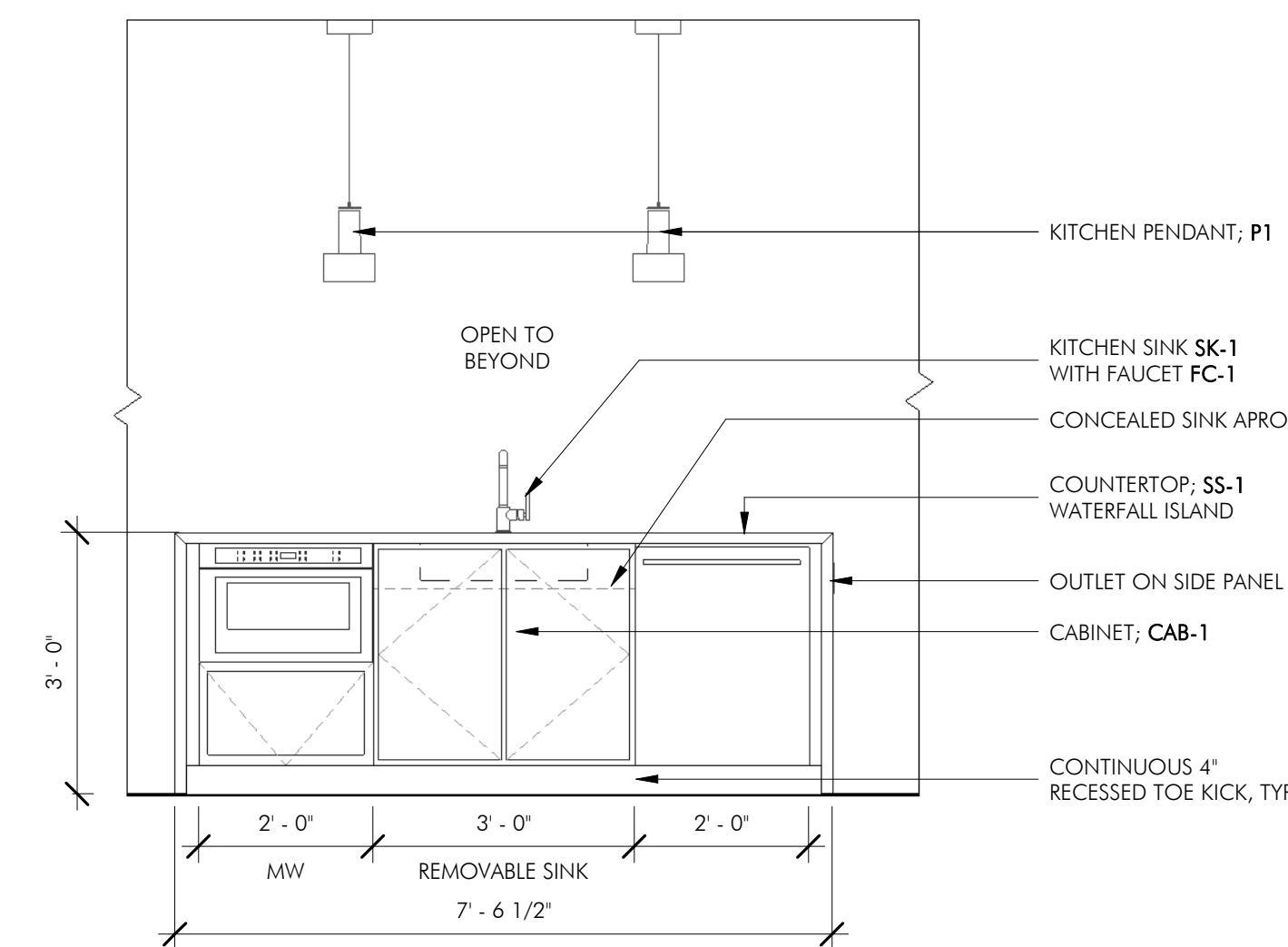
2 UNIT 4 - KITCHEN TYPE 4 - ENLARGED PLAN  
1/2" = 1'-0"



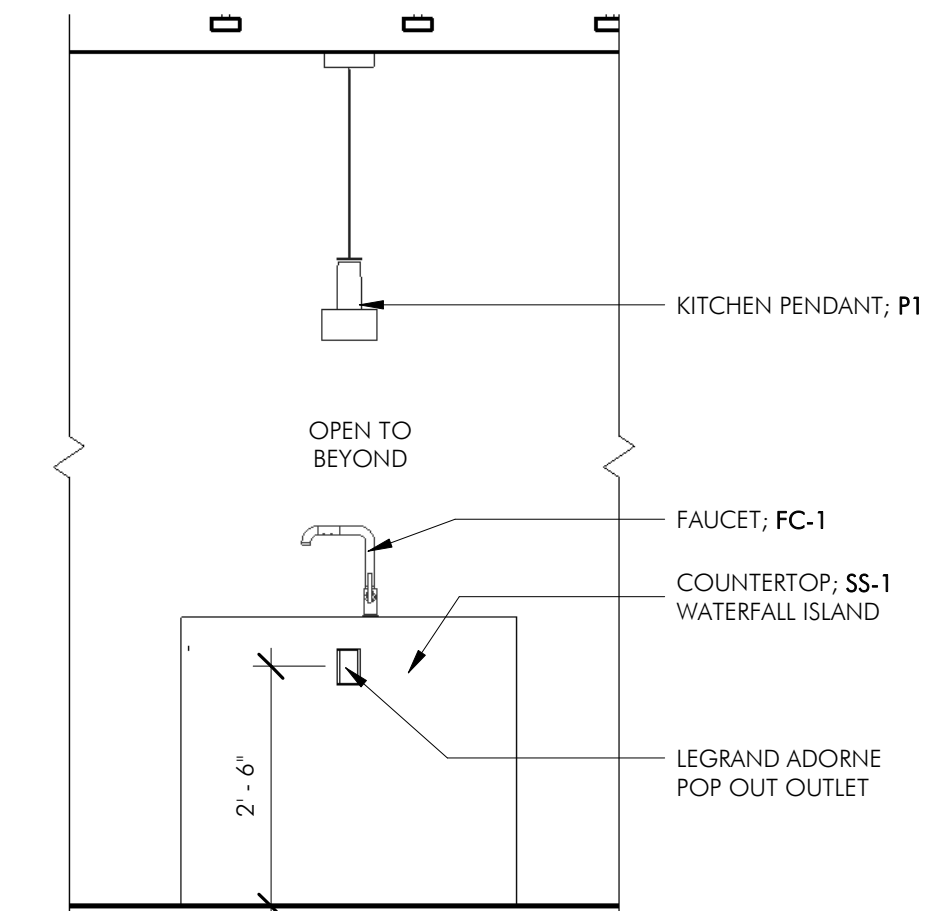
4A UNIT 4 - KITCHEN TYPE 4 - ELEVATION A  
1/2" = 1'-0"



4B UNIT 4 - KITCHEN TYPE 4 - ELEVATION B  
1/2" = 1'-0"



4C UNIT 4 - KITCHEN TYPE 4 - ELEVATION C  
1/2" = 1'-0"



4D UNIT 4 - KITCHEN TYPE 4 - ELEVATION D  
1/2" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

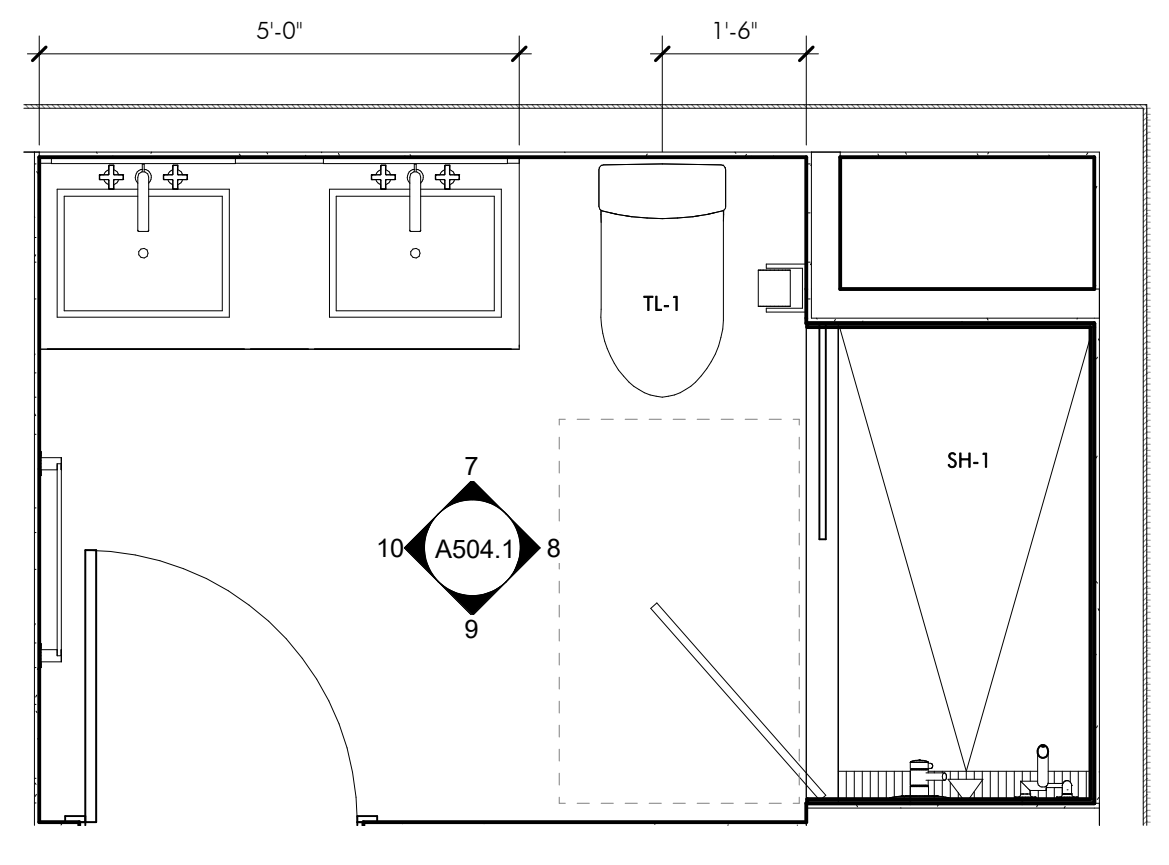
REVISIONS	MARK	ISSUE	DATE



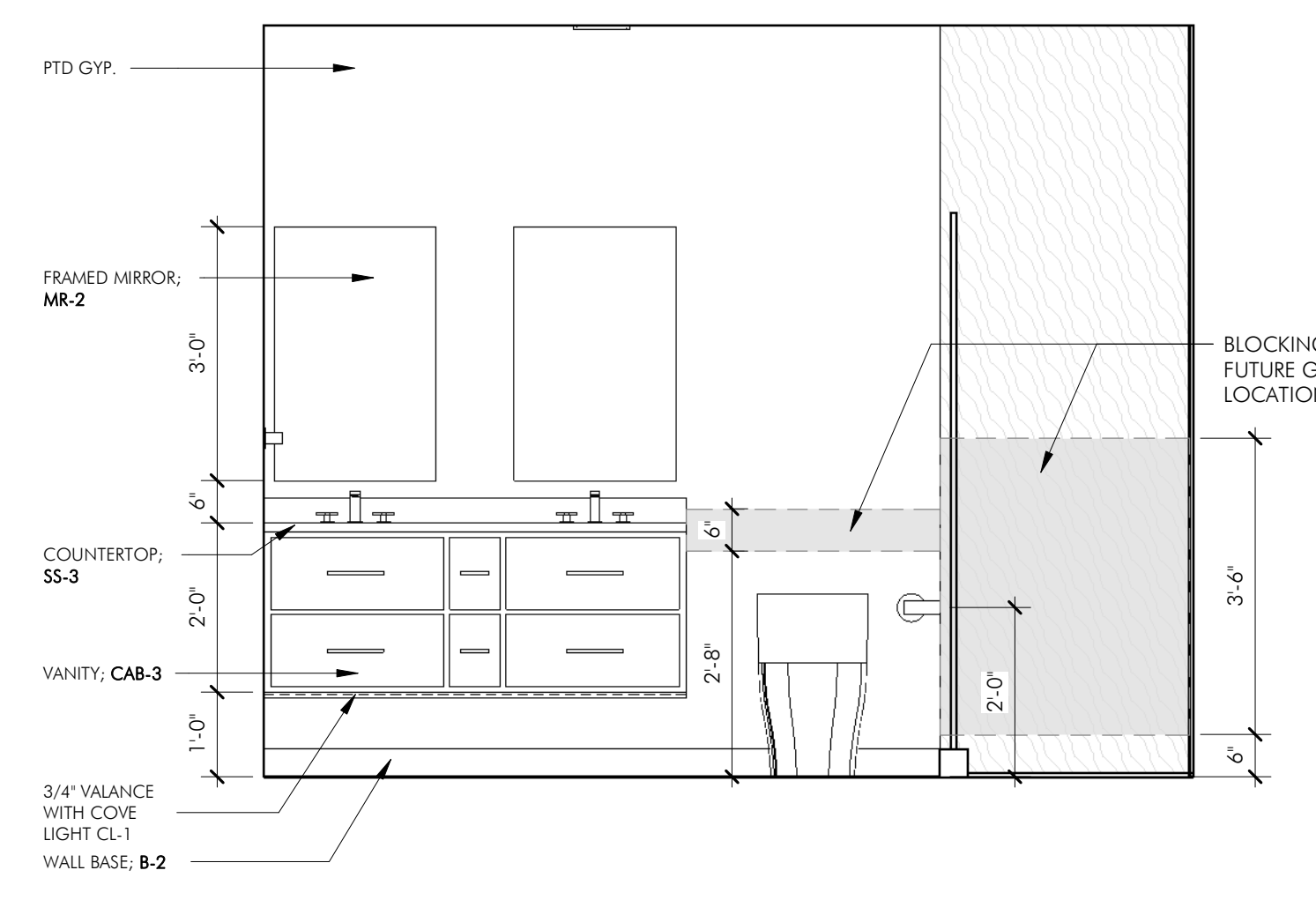
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As Indicated

DRAWING TITLE  
UNIT 4&8  
ENLARGED PLAN  
& KITCHEN ELEVS  
DRAWING NUMBER

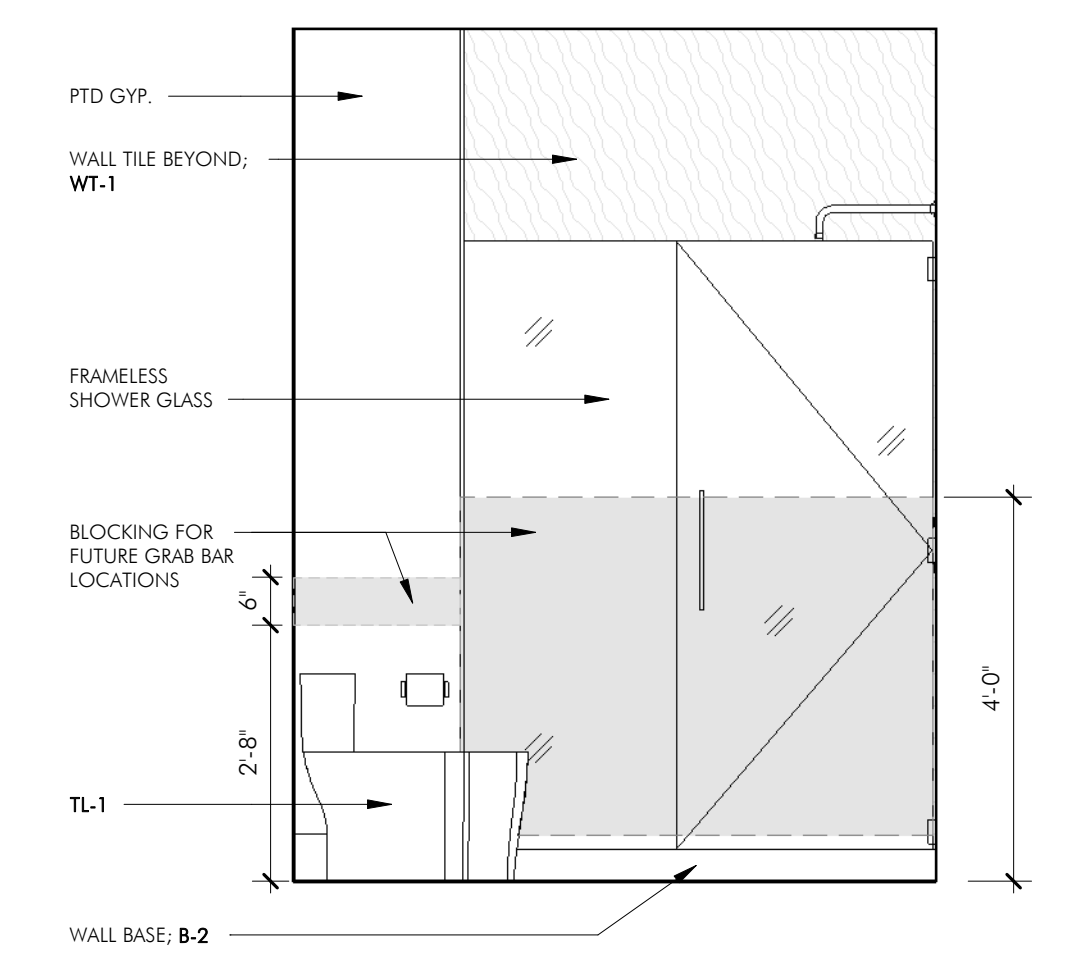
A504



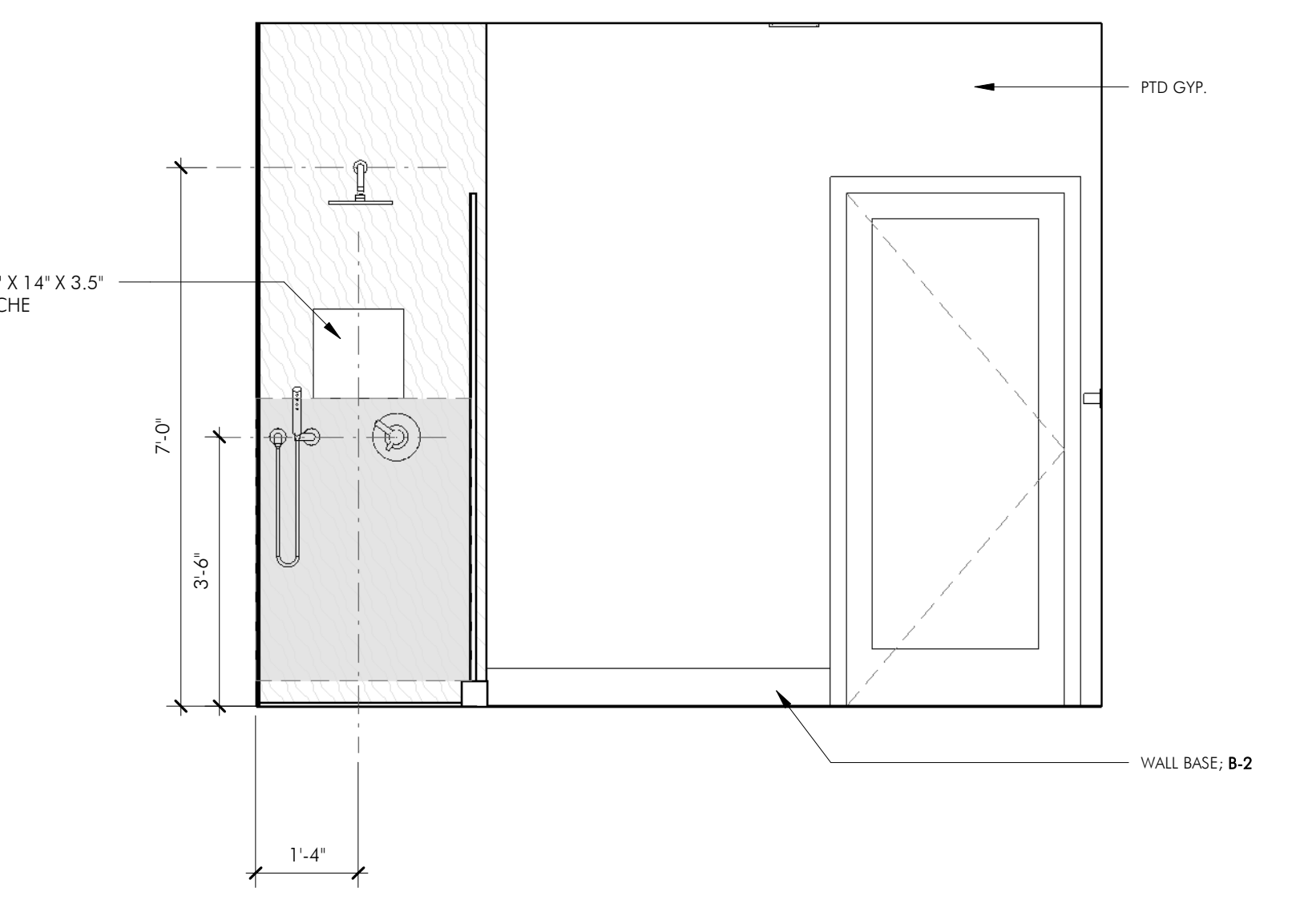
6 UNIT 4 - MASTER BATH - ENLARGED ELEVATION  
1/2" = 1'-0"



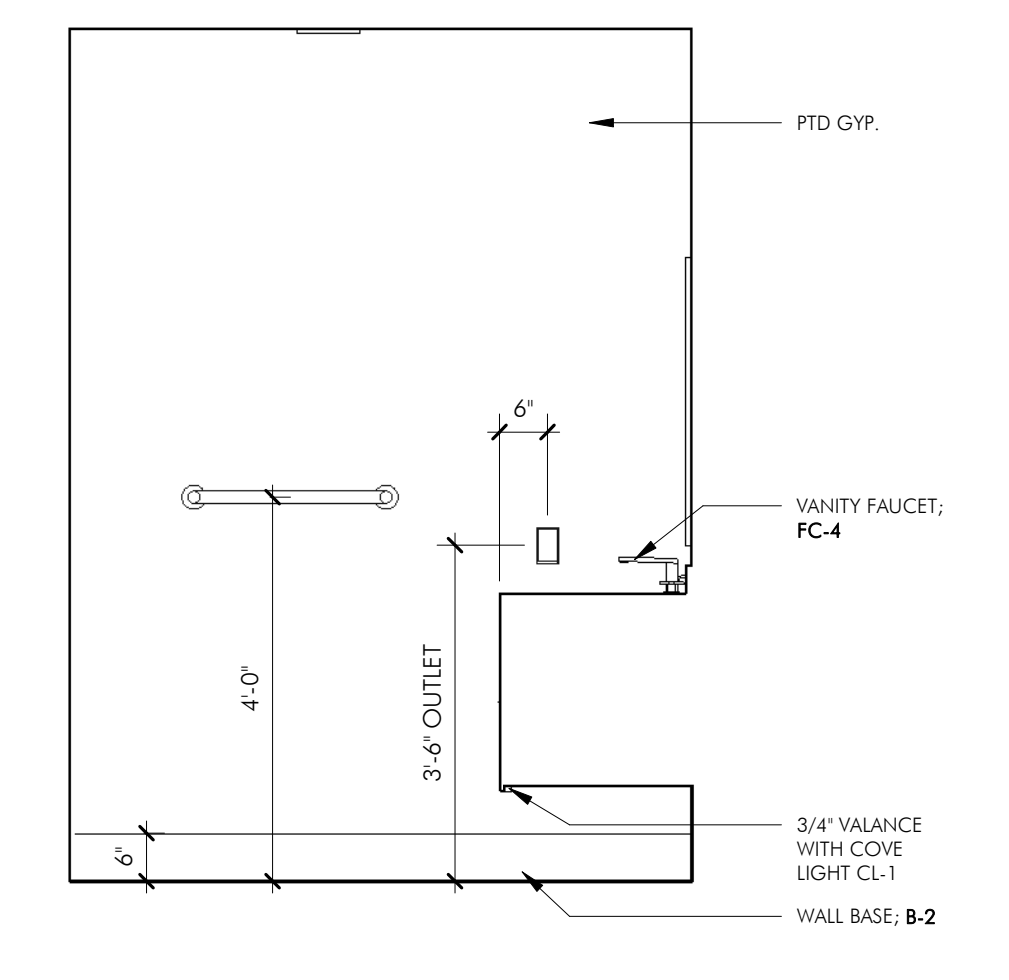
7 UNIT 4&8 - MASTER BATH ELEV. A  
1/2" = 1'-0"



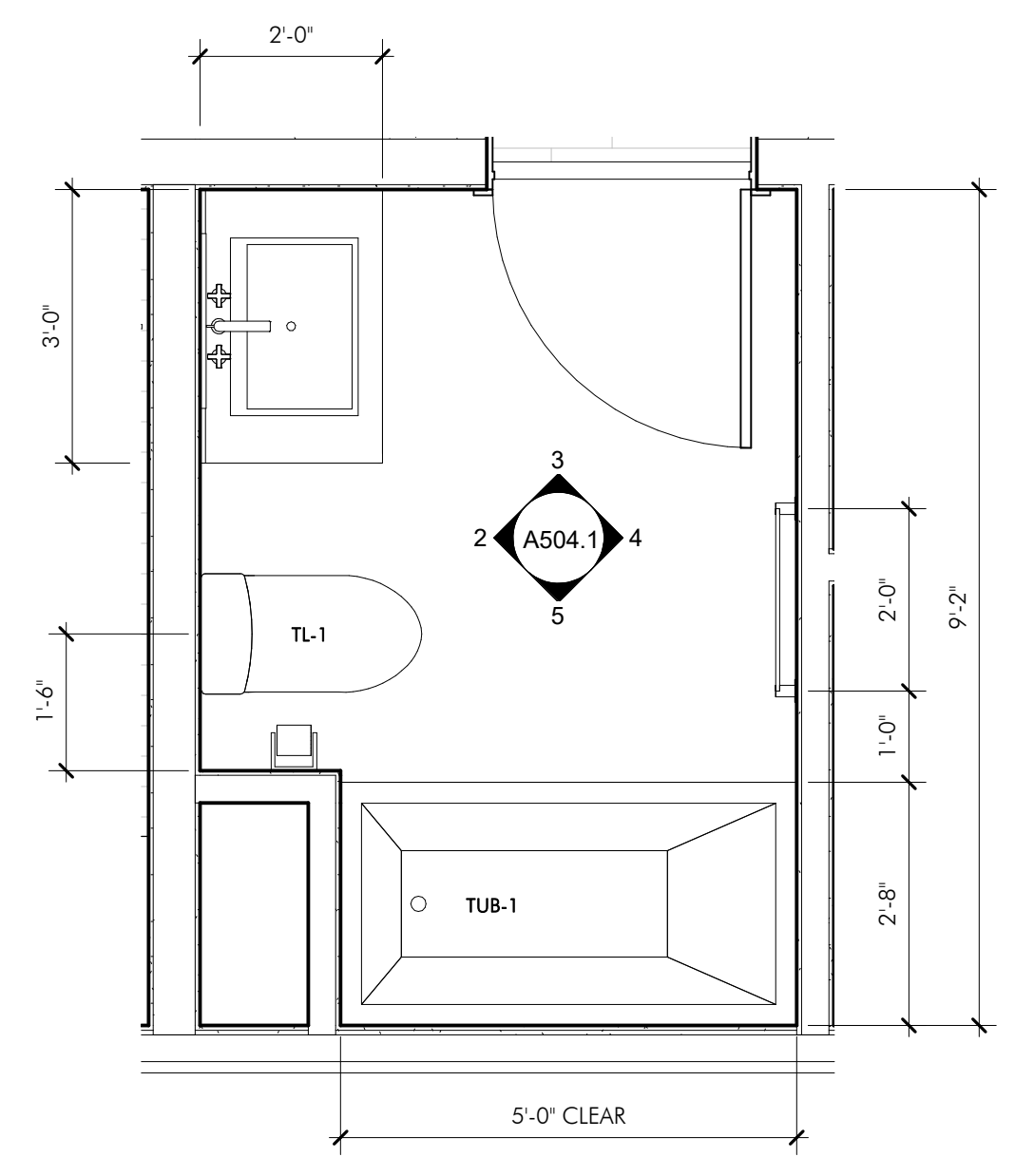
8 UNIT 4&8 - MASTER BATH ELEV. B  
1/2" = 1'-0"



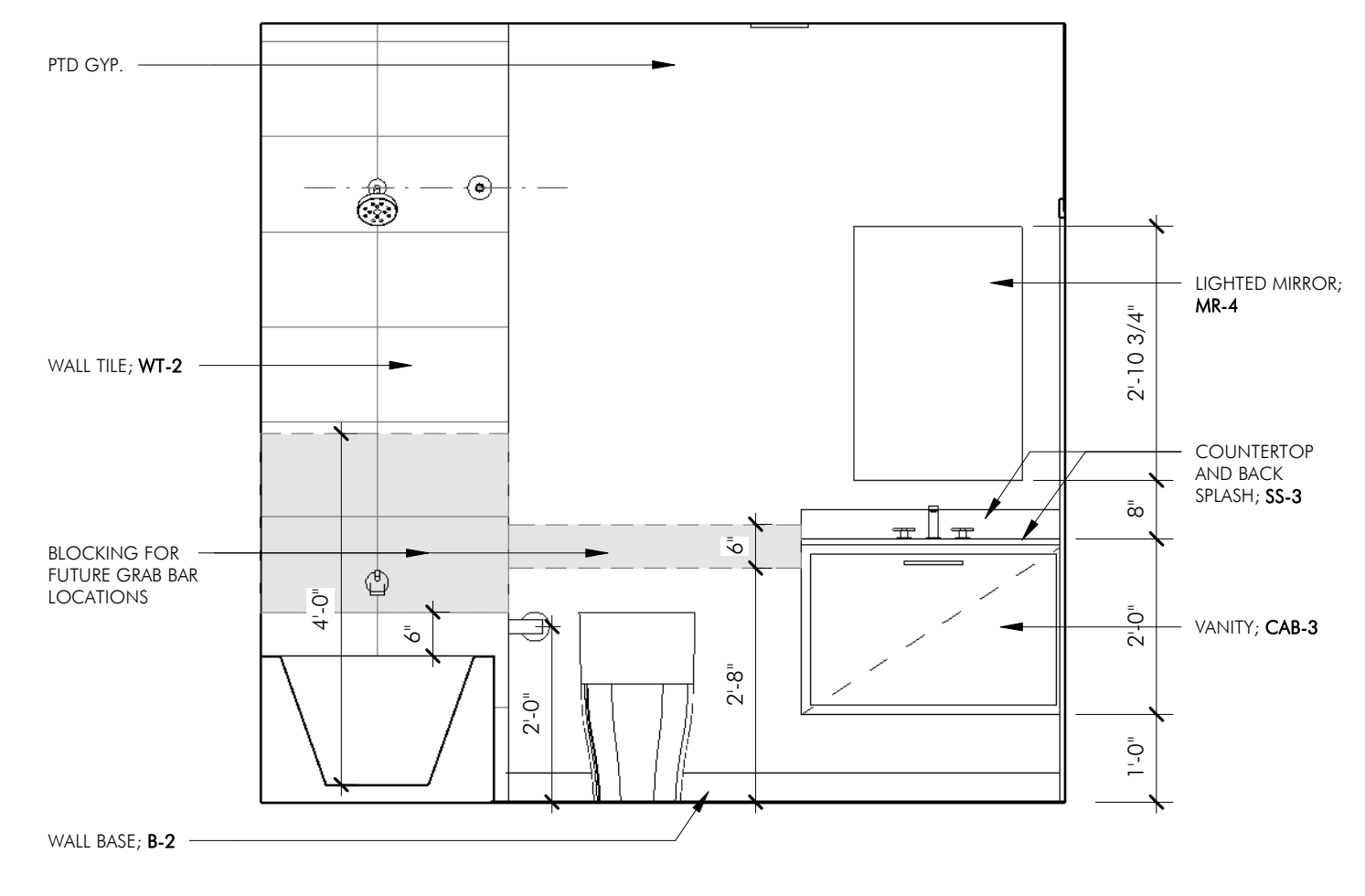
9 UNIT 4&8 - MASTER BATH ELEV. C  
1/2" = 1'-0"



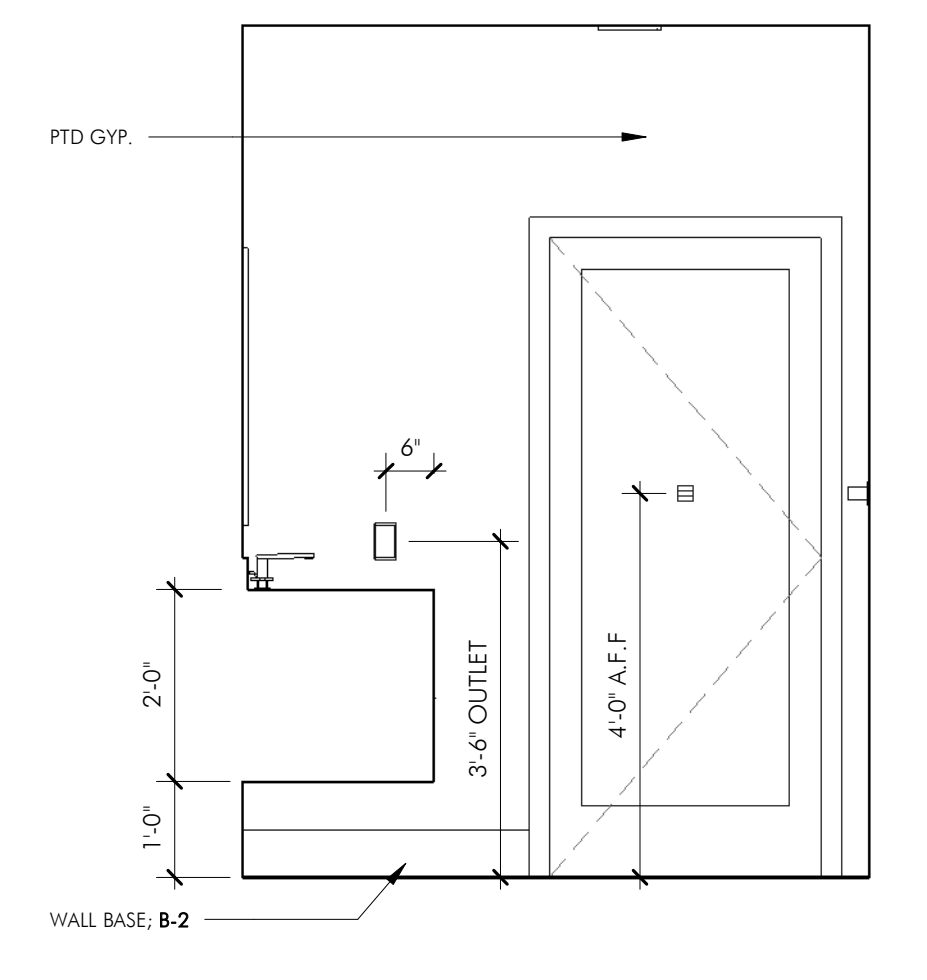
10 UNIT 4&8 - MASTER BATH ELEV. D  
1/2" = 1'-0"



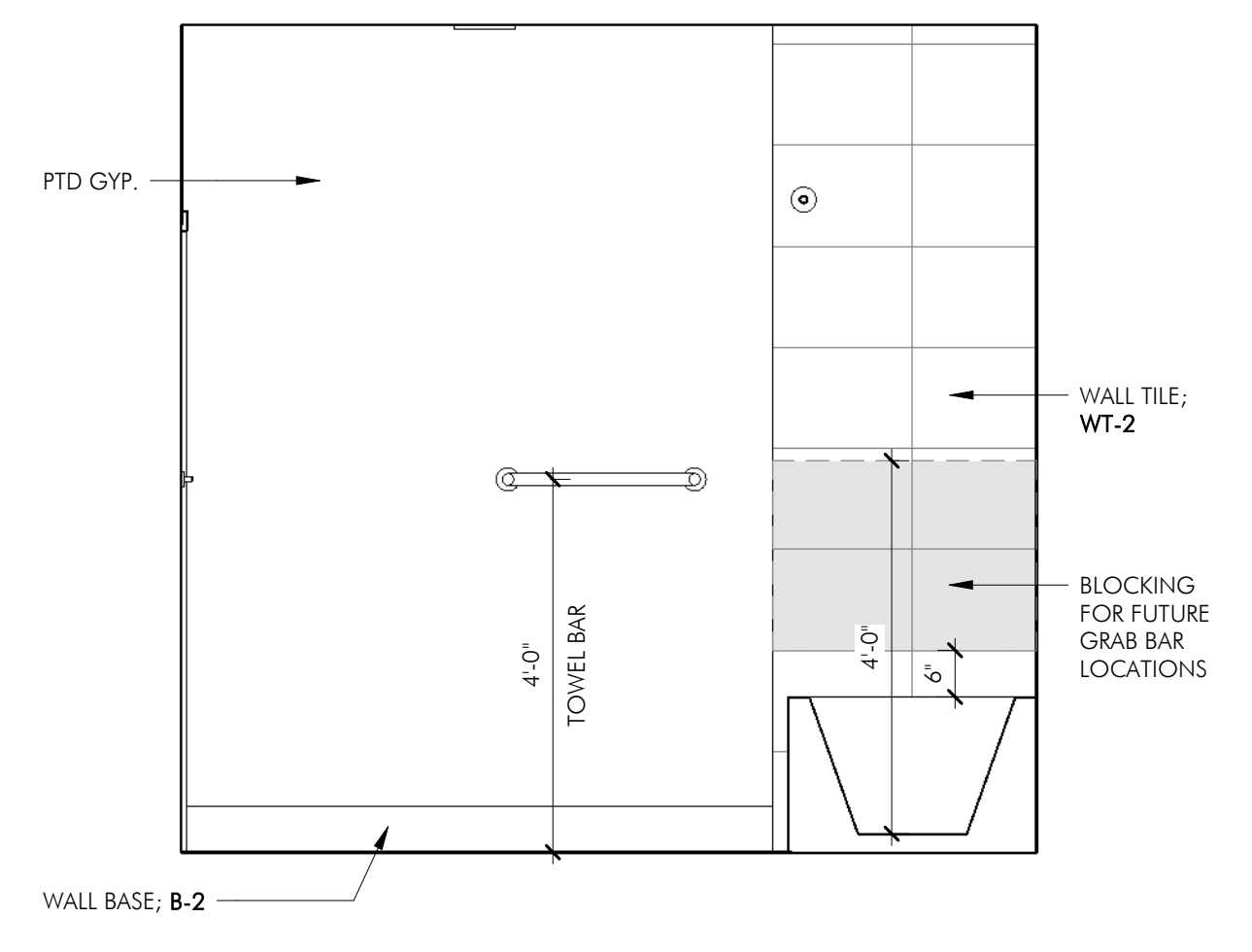
1 UNIT 4 - COMMON BATH - ENLARGED ELEVATION  
1/2" = 1'-0"



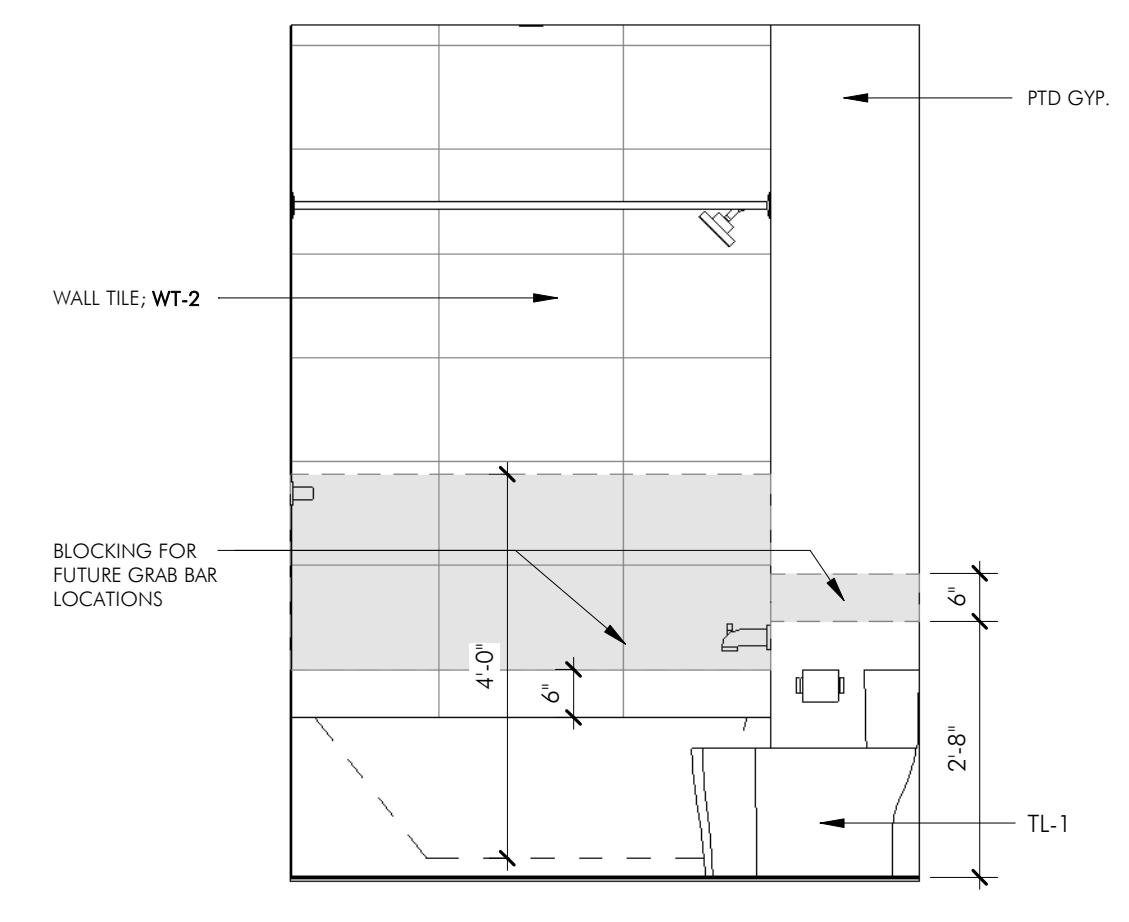
2 UNIT 4&8 - COMMON BATH ELEV. A  
1/2" = 1'-0"



3 UNIT 4&8 - COMMON BATH ELEV. B  
1/2" = 1'-0"



4 UNIT 4&8 - COMMON BATH ELEV. C  
1/2" = 1'-0"



5 UNIT 4&8 - COMMON BATH ELEV. D  
1/2" = 1'-0"

33 A STREET  
SOUTH BOSTON, MA  
ISSUED FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE

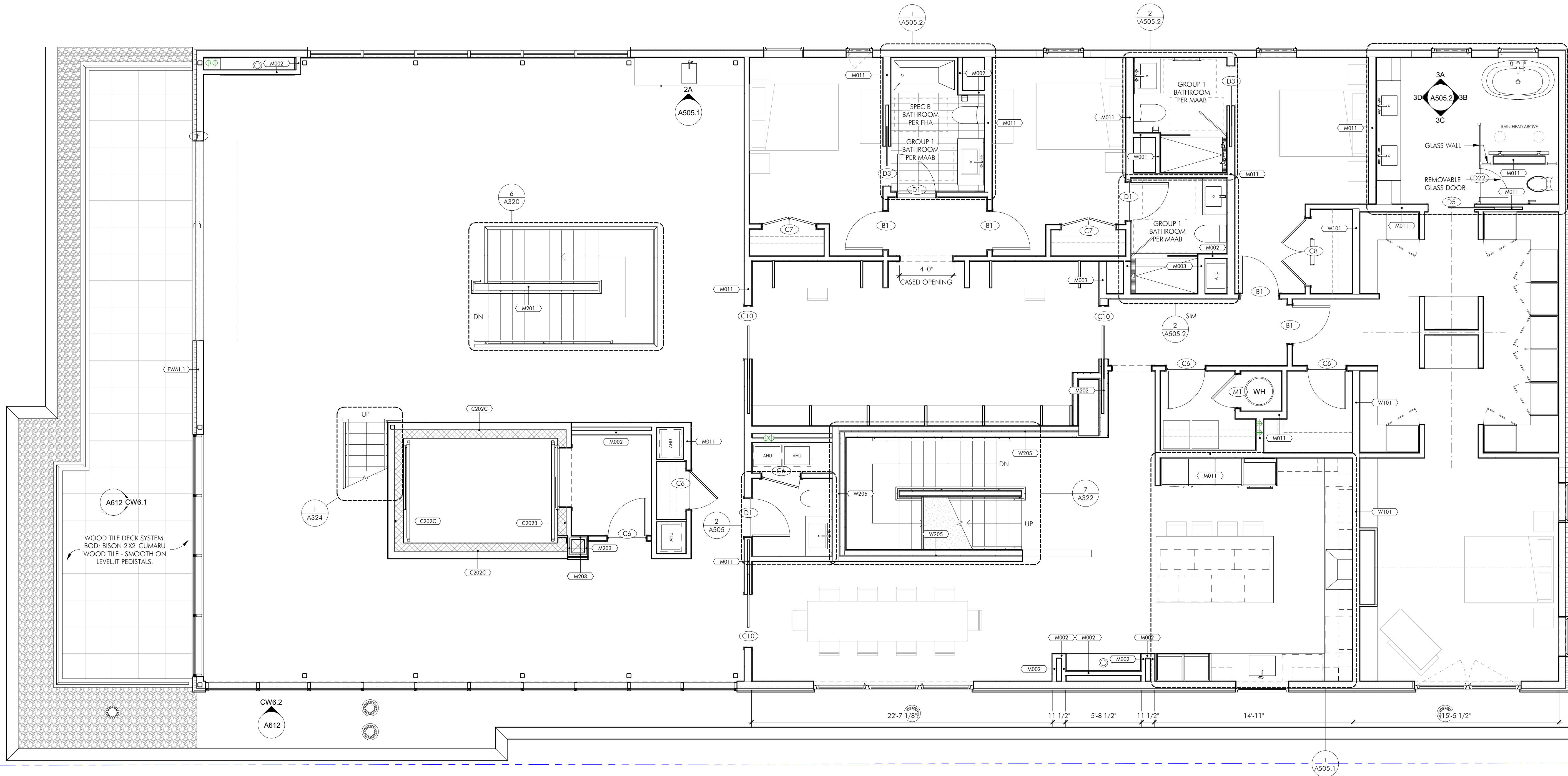


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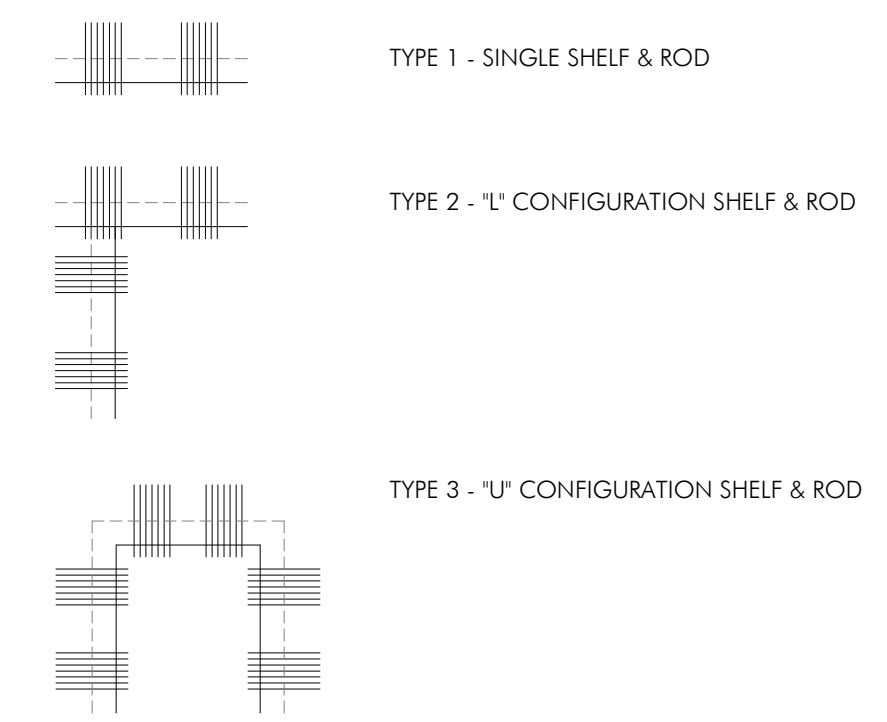
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/2" = 1'-0"

DRAWING TITLE  
UNIT 4&8  
ENLARGED BATH  
ELEVATIONS

DRAWING NUMBER  
**A504.1**

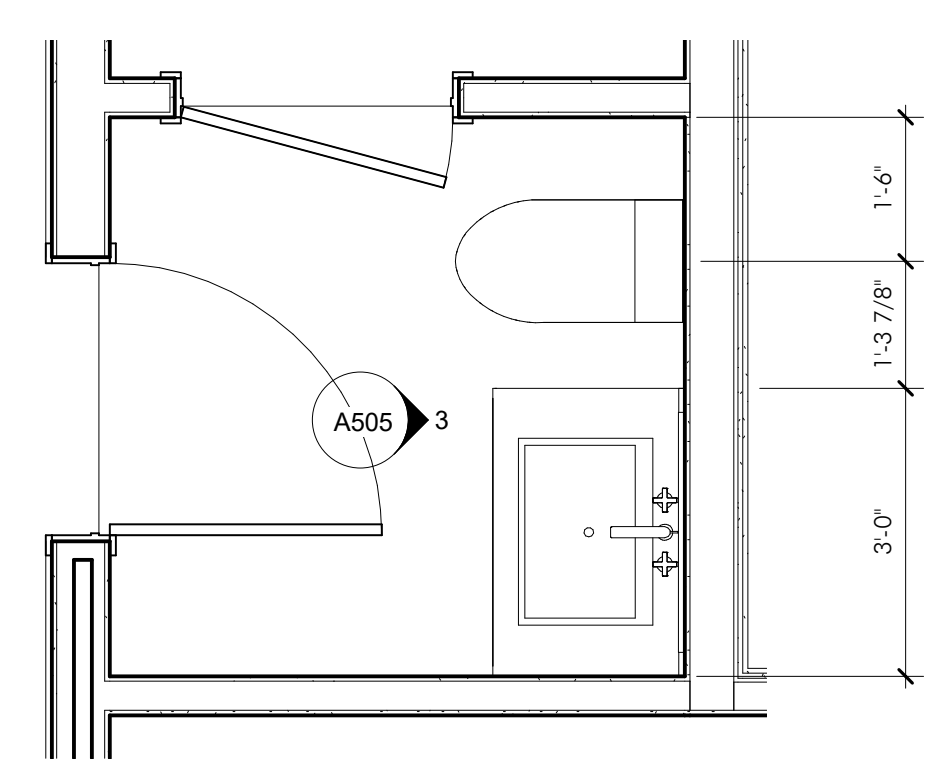


1. ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
2. DIMENSIONS NOTED AS 'CLEAR' OF 'CLR' DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
3. REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.
4. REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
5. REFER TO STRUCTURAL DRAWINGS AND TYPICAL PARTITION TYPE SHEETS FOR INTERMEDIATE BEARING WALL LOCATIONS AND DETAILS.
6. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
7. REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
8. FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR; REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
9. REFER TO FINISH SCHEDULE AND DRAWINGS FOR FINISH REQUIREMENTS. ALL FLOORING SHALL BE INSTALLED CONTINUOUSLY UNDER ALL BUILT-IN CASEWORK.
10. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
11. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
12. ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.
13. ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
14. ALL BEDROOMS AND DENS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
15. GC TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
16. ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.O.N.
17. UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCP'S, REFER TO TAGS FOR CEILING FINISH, TYP.
18. ALL CEILINGS NOTED AS 'SOFFIT' TO BE INSTALLED BELOW RATED CEILING.
19. ALL INTERIOR UNIT WALLS ARE M010 U.O.N.
20. REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION.
21. ALL COAT CLOSETS (C1) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
22. REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS.
23. ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS.
24. NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE.
25. MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20"; MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15"
26. ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
27. RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 30" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.

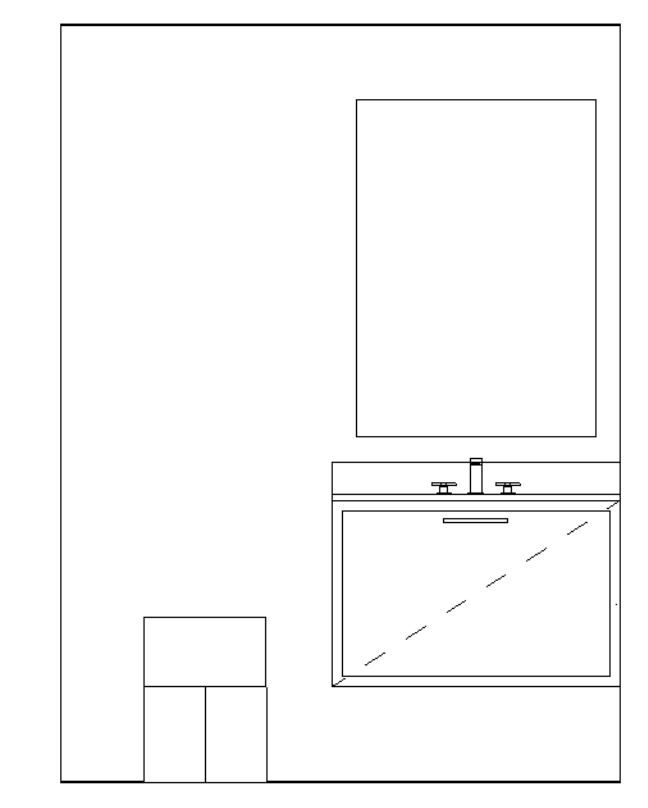


28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (5) ROWS 16" DEEP WIRE SHELVES.

1 ENLARGED PENTHOUSE UNIT PLAN  
1/4" = 1'-0"



2 ENLARGED PENTHOUSE POWDER ROOM PLAN  
1/2" = 1'-0"



3 PENTHOUSE POWDER ROOM - ELEVATION A  
1/2" = 1'-0"

ISSUED FOR CONSTRUCTION

33 A STREET  
SOUTH BOSTON, MA

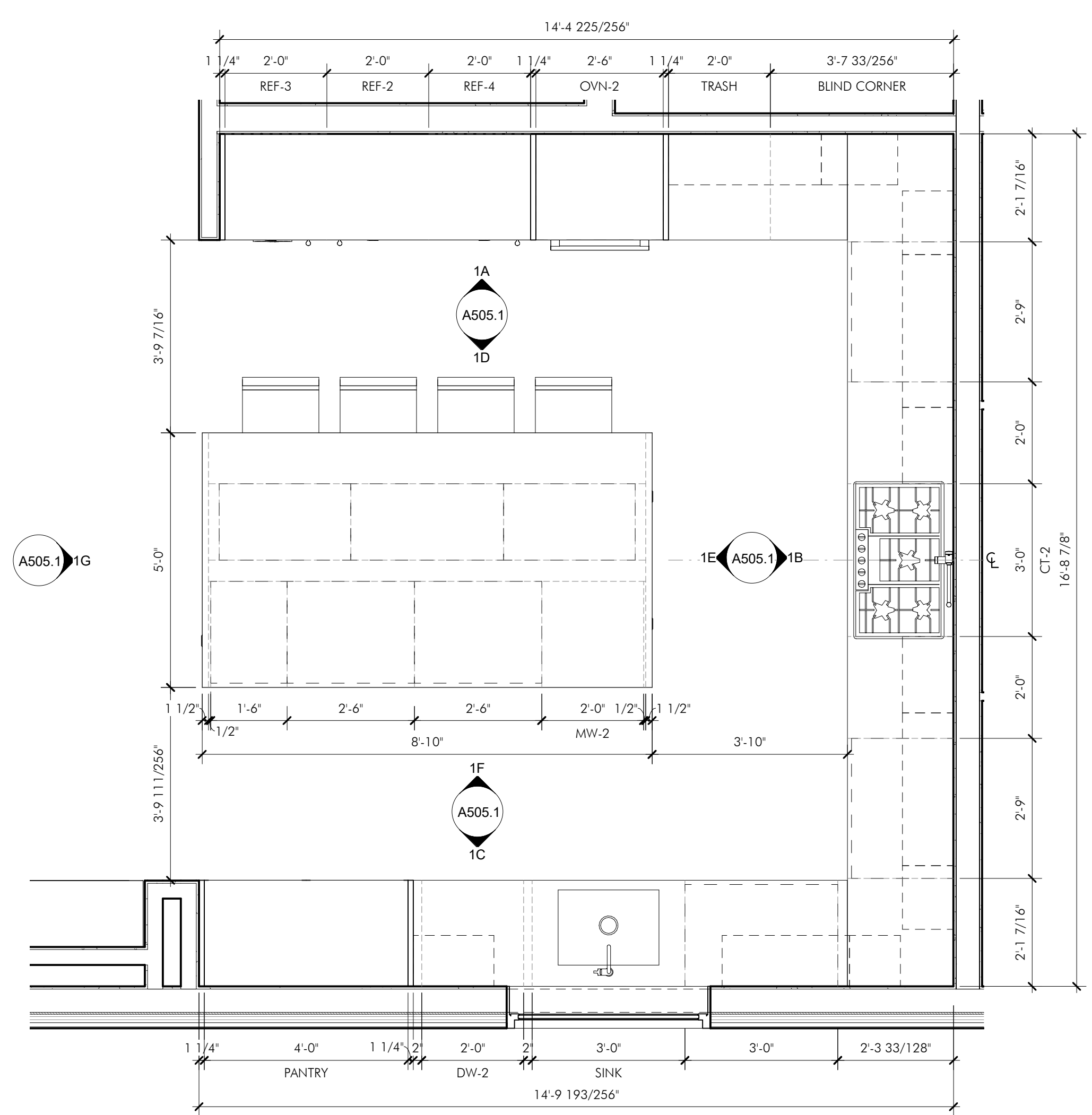
MARK	ISSUE	DATE



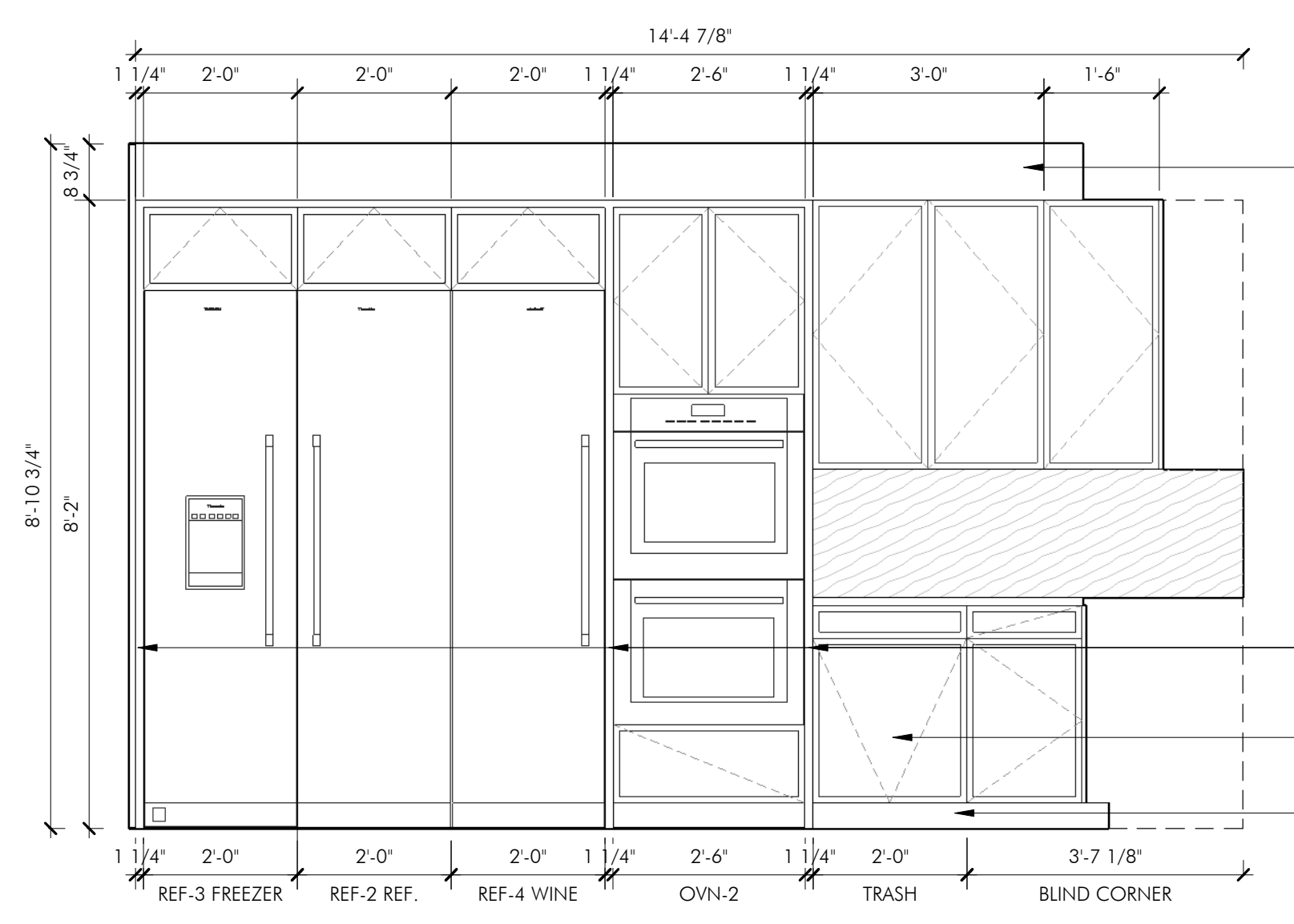
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**PENTHOUSE  
ENLARGED PLAN**

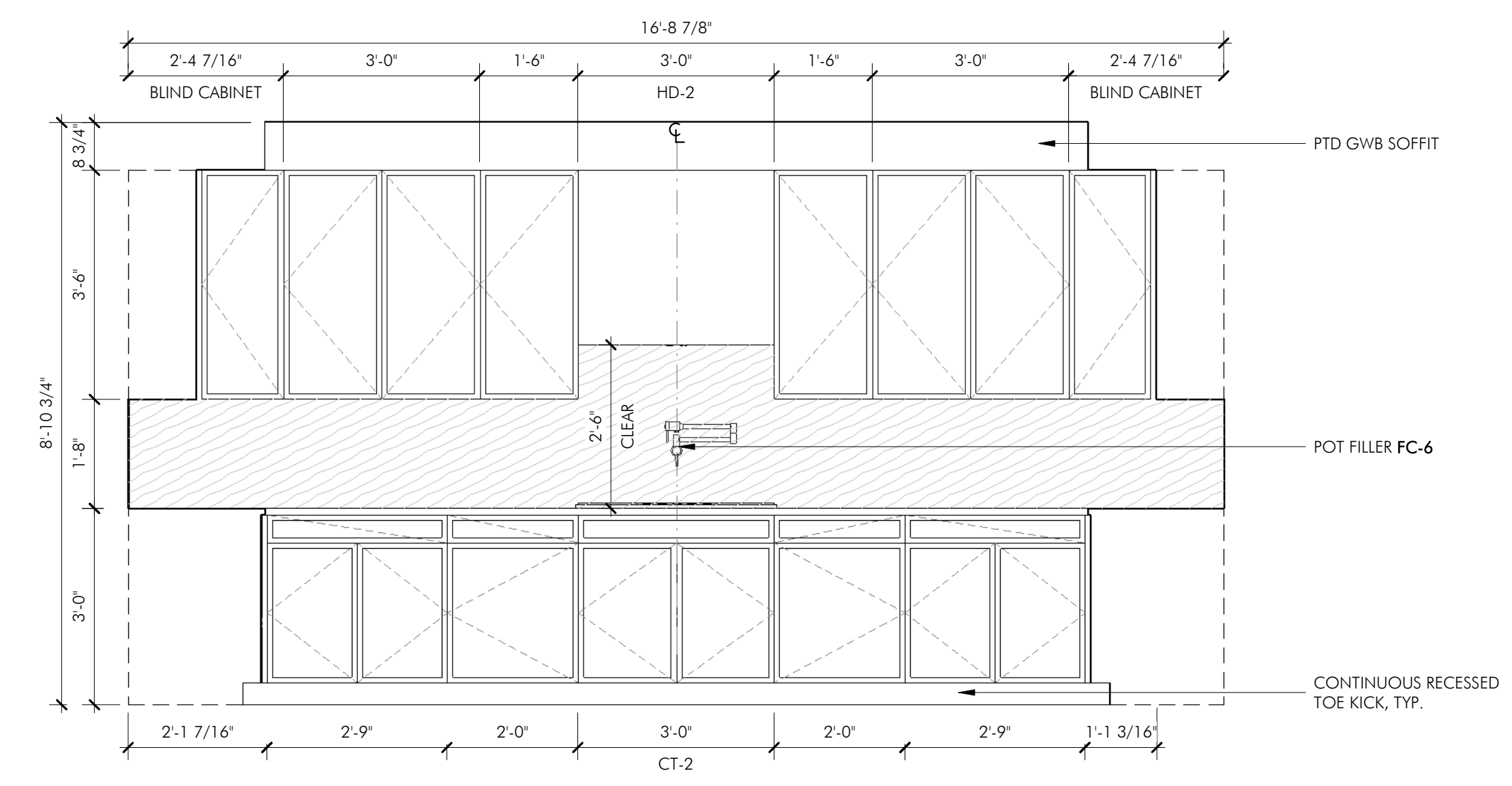
DRAWING NUMBER  
**A505**



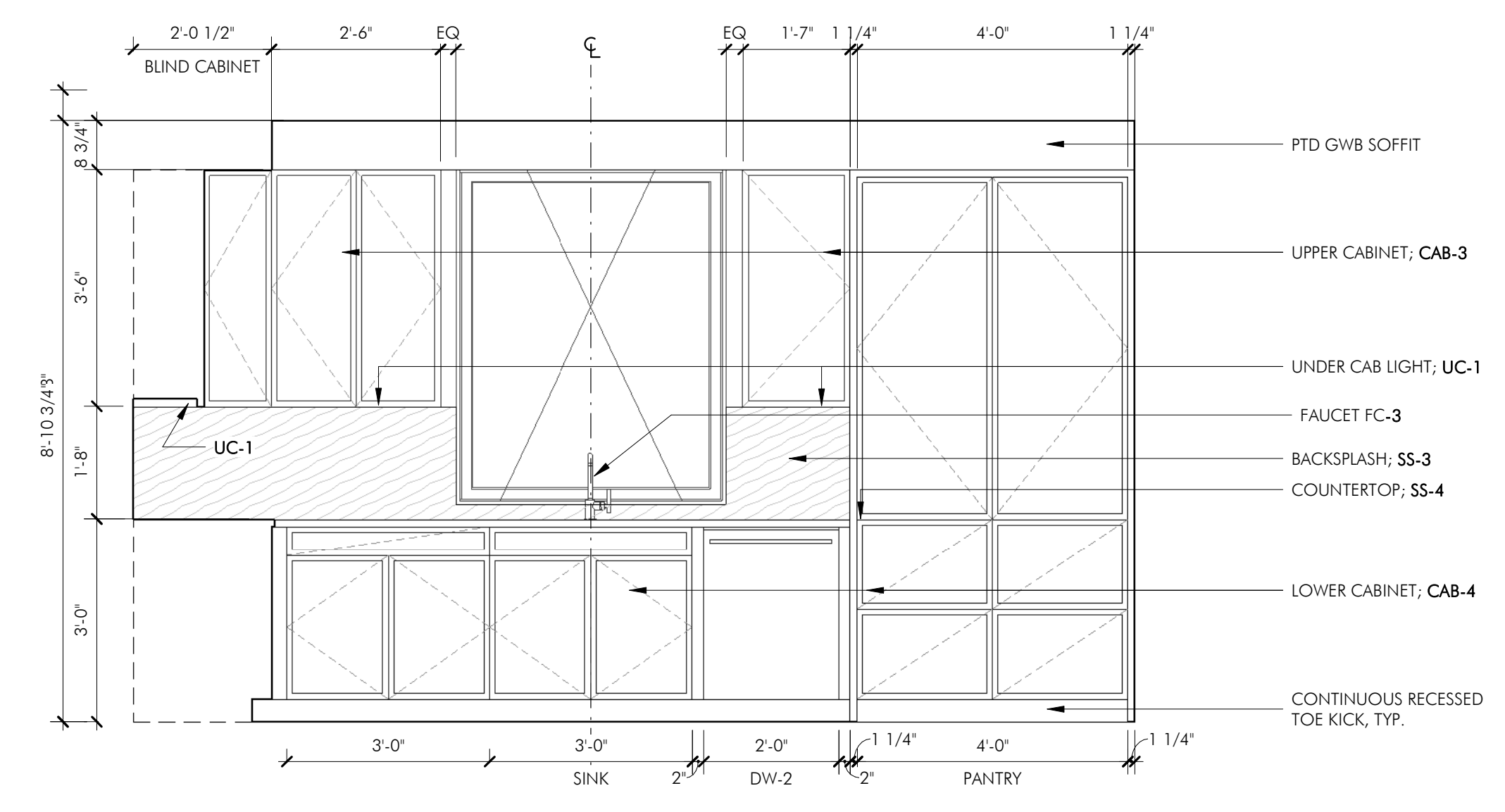
1 PENTHOUSE KITCHEN ENLARGED PLAN  
1/2" = 1'-0"



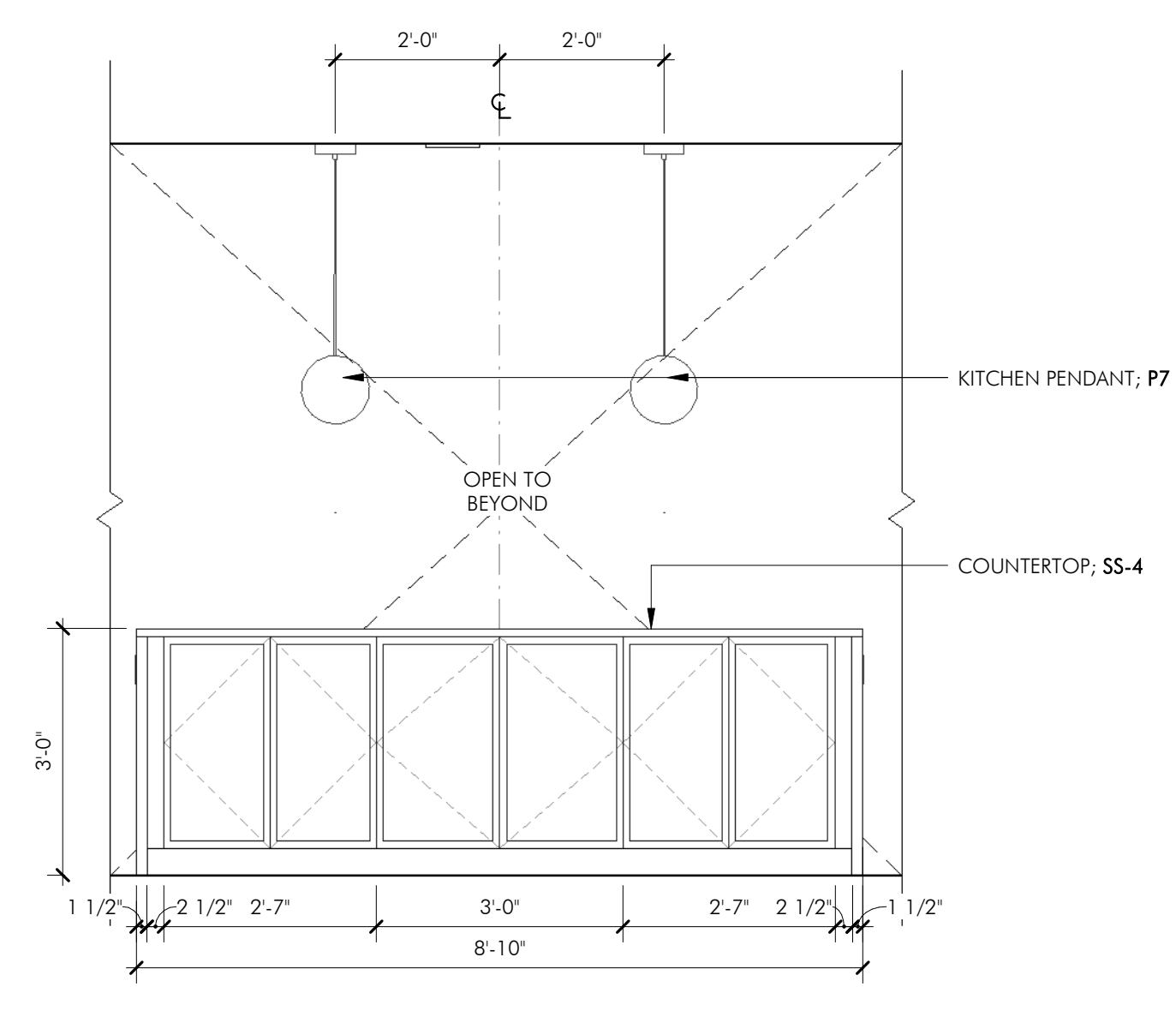
1A PENTHOUSE KITCHEN - ELEVATION A  
1/2" = 1'-0"



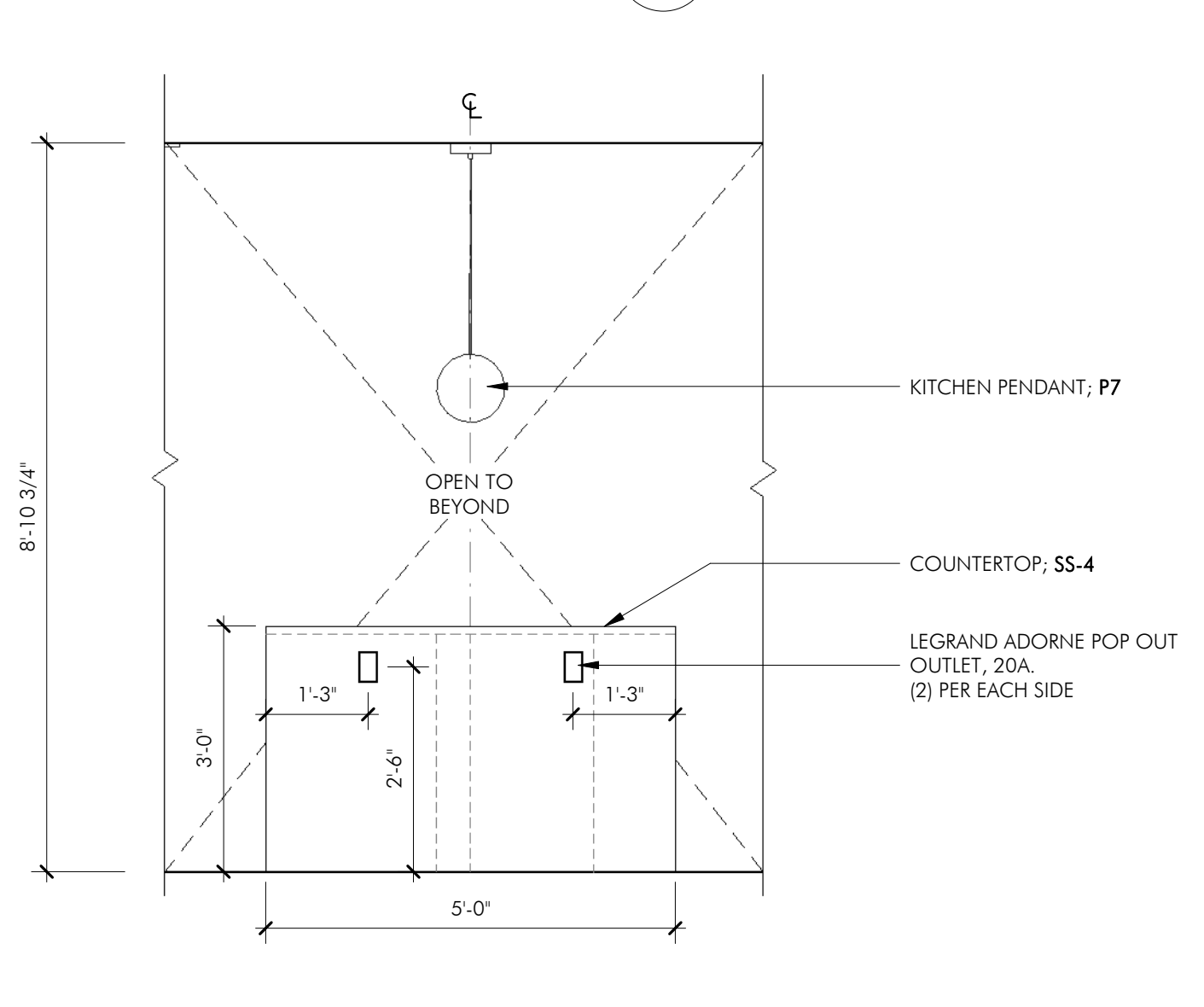
1B PENTHOUSE KITCHEN - ELEVATION B  
1/2" = 1'-0"



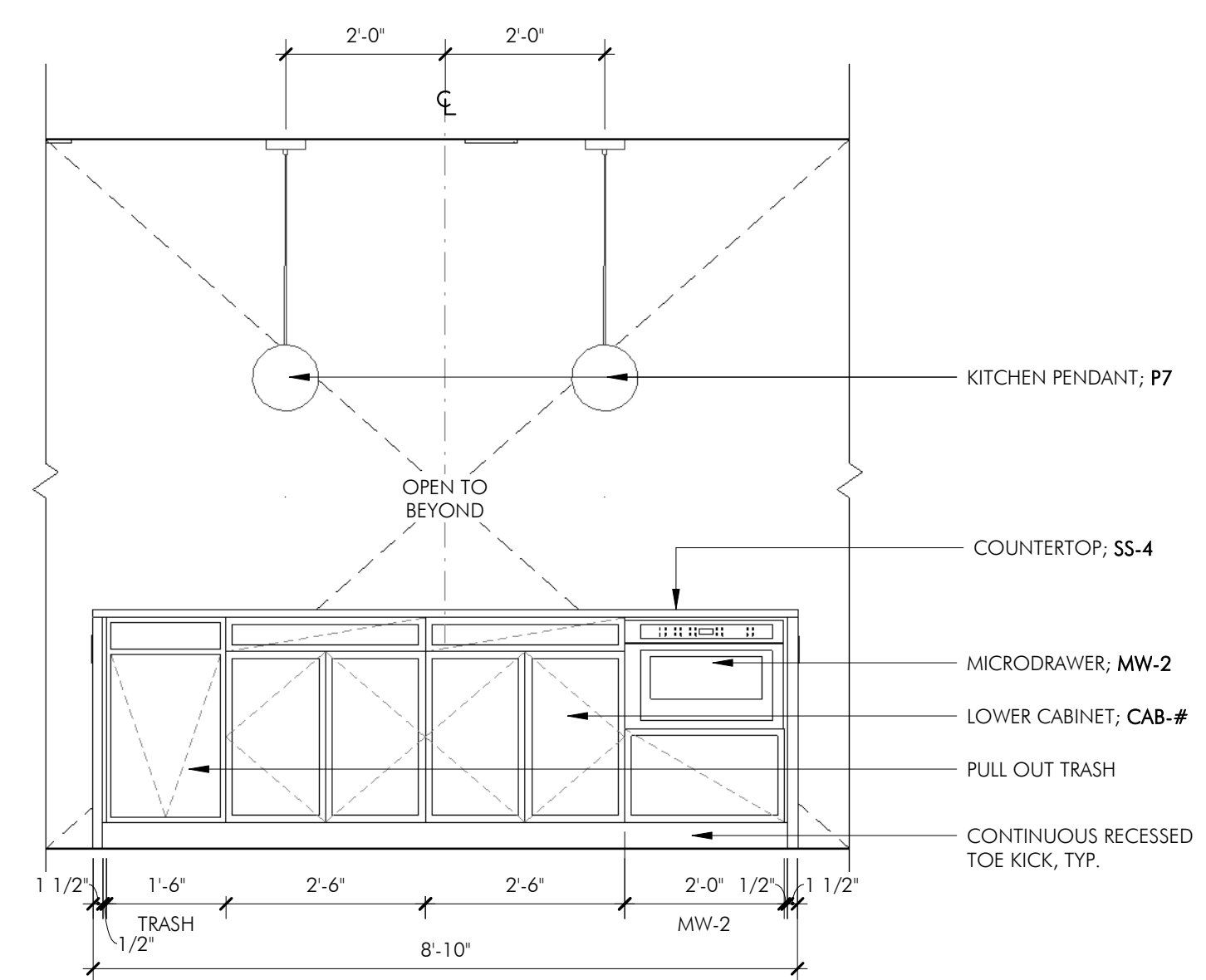
1C PENTHOUSE KITCHEN - ELEVATION C  
1/2" = 1'-0"



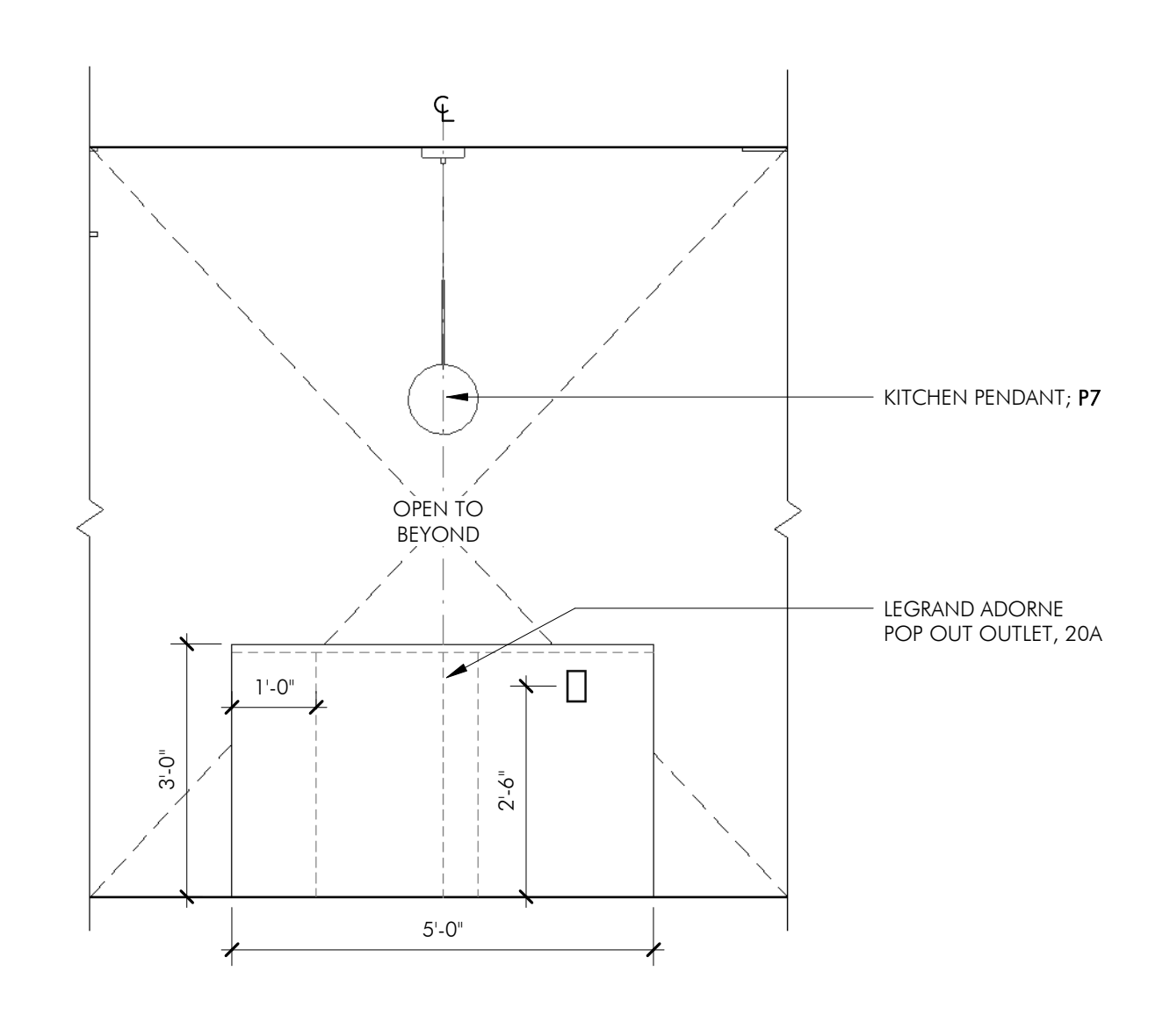
1D PENTHOUSE KITCHEN - ISLAND ELEVATION A  
1/2" = 1'-0"



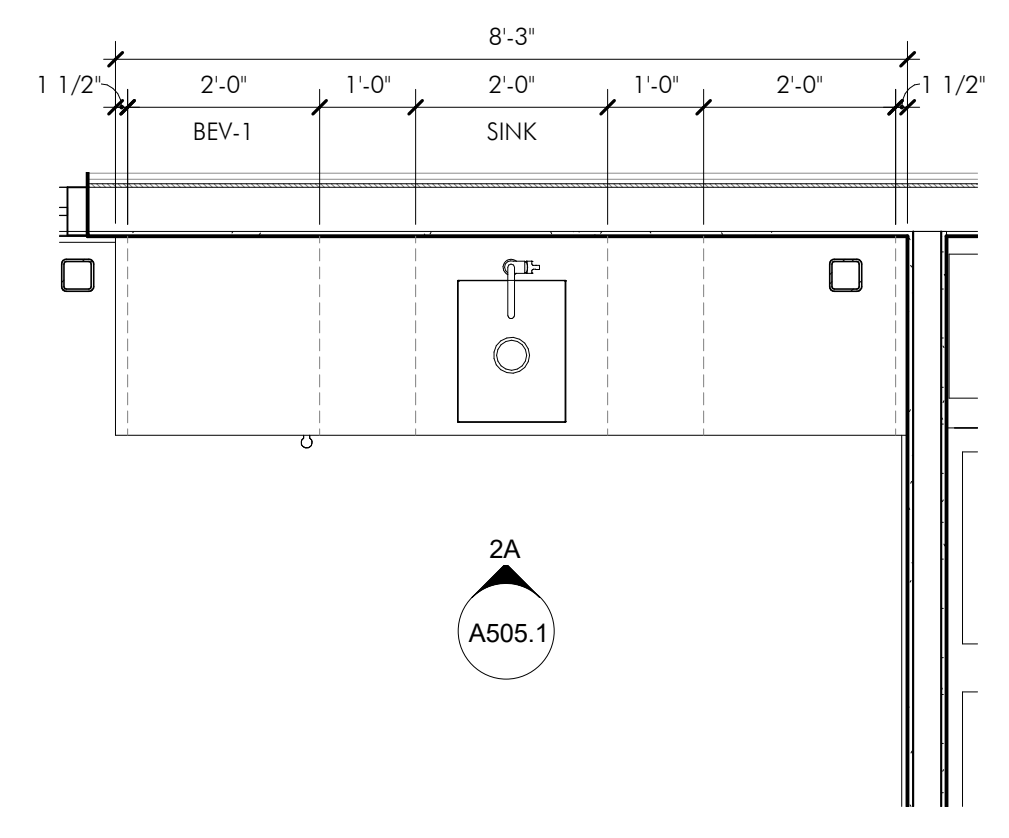
1E PENTHOUSE KITCHEN - ISLAND ELEVATION B  
1/2" = 1'-0"



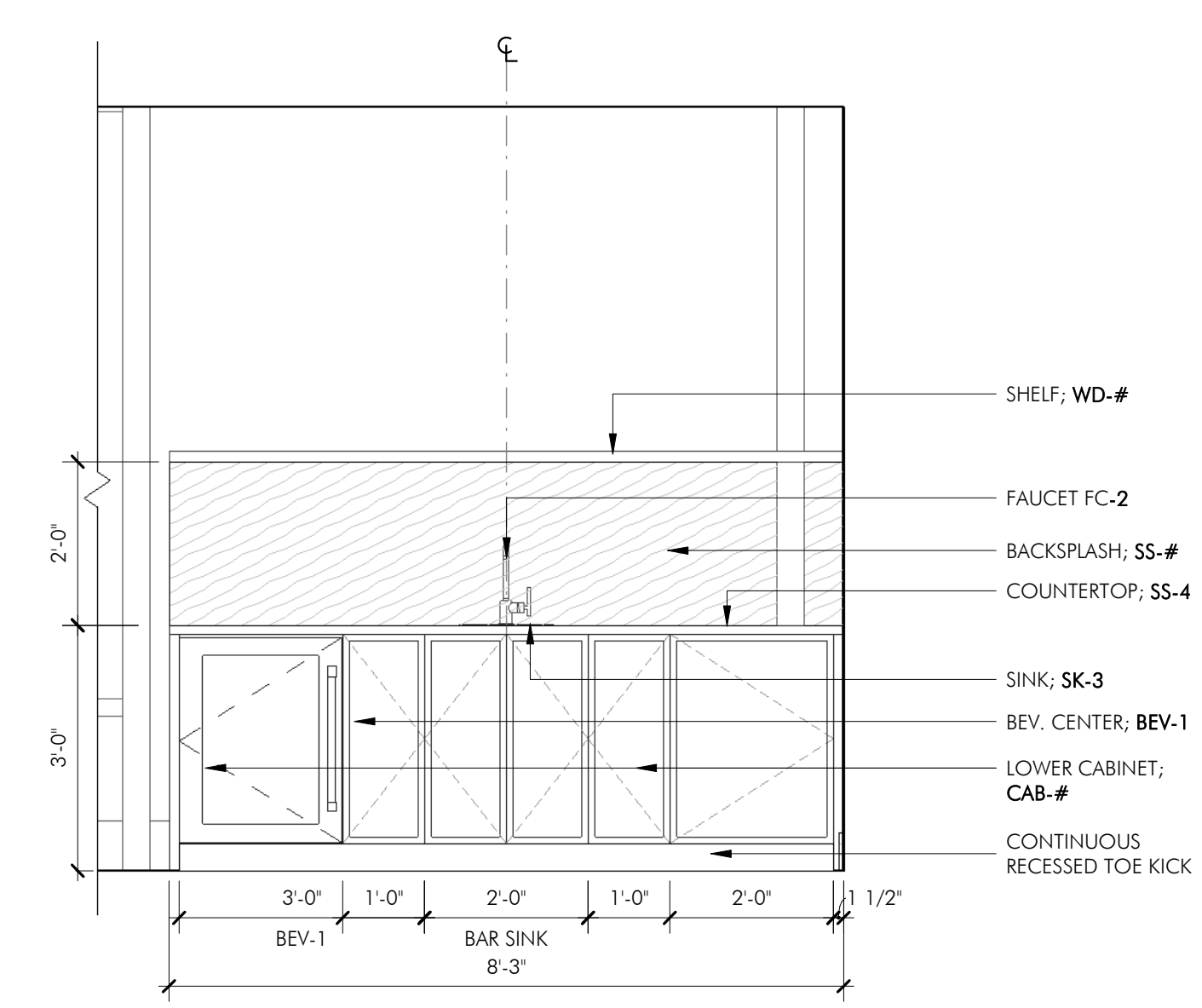
1F PENTHOUSE KITCHEN - ISLAND ELEVATION C  
1/2" = 1'-0"



1G PENTHOUSE KITCHEN - ISLAND ELEVATION D  
1/2" = 1'-0"



2 PENTHOUSE WET BAR - ENLARGED PLAN  
1/2" = 1'-0"



2A PENTHOUSE WET BAR - ELEVATION A  
1/2" = 1'-0"

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

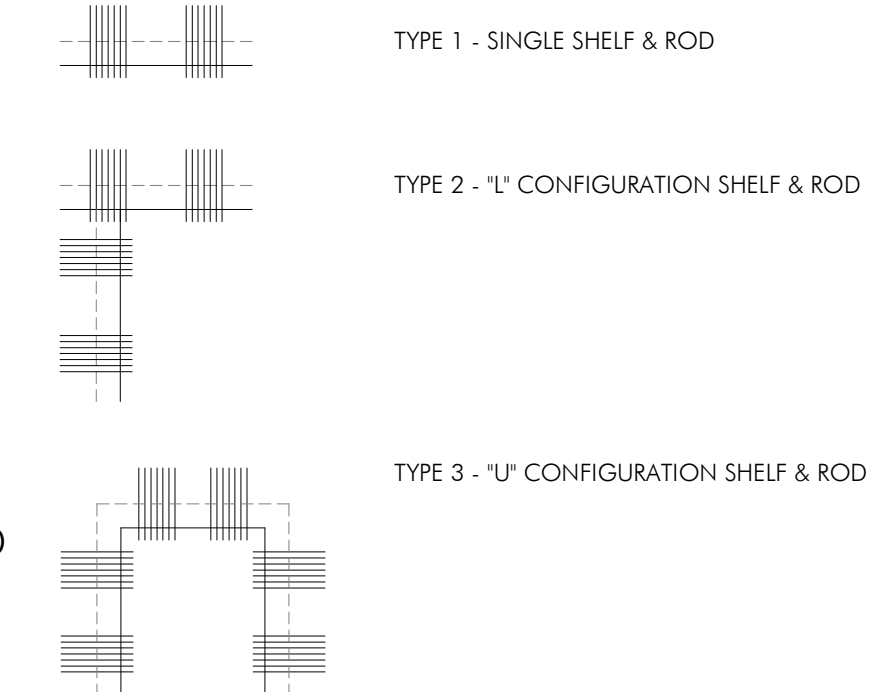
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/2" = 1'-0"

DRAWING TITLE  
PENTHOUSE  
KITCHEN -  
ENLARGED PLAN  
& ELEVATIONS

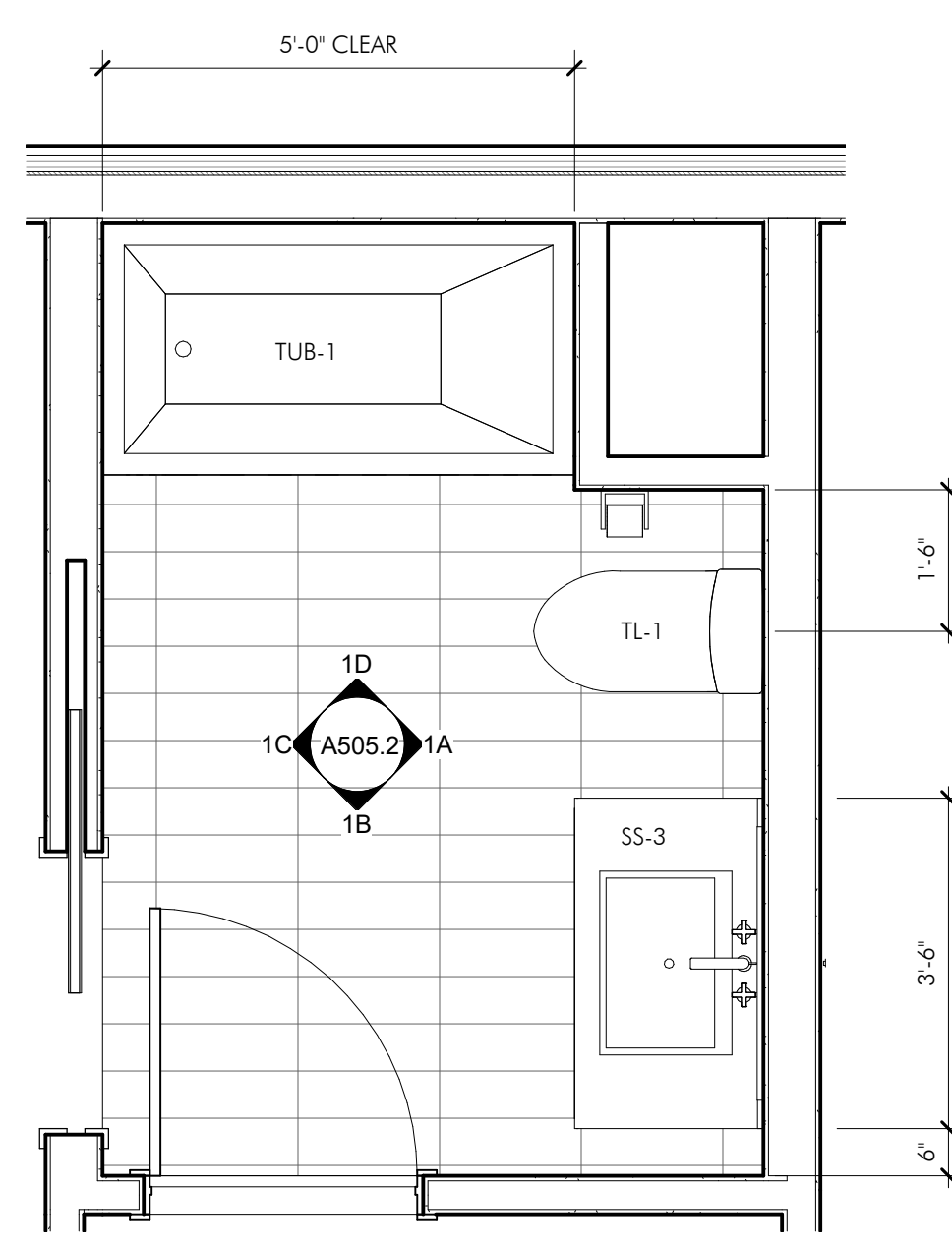
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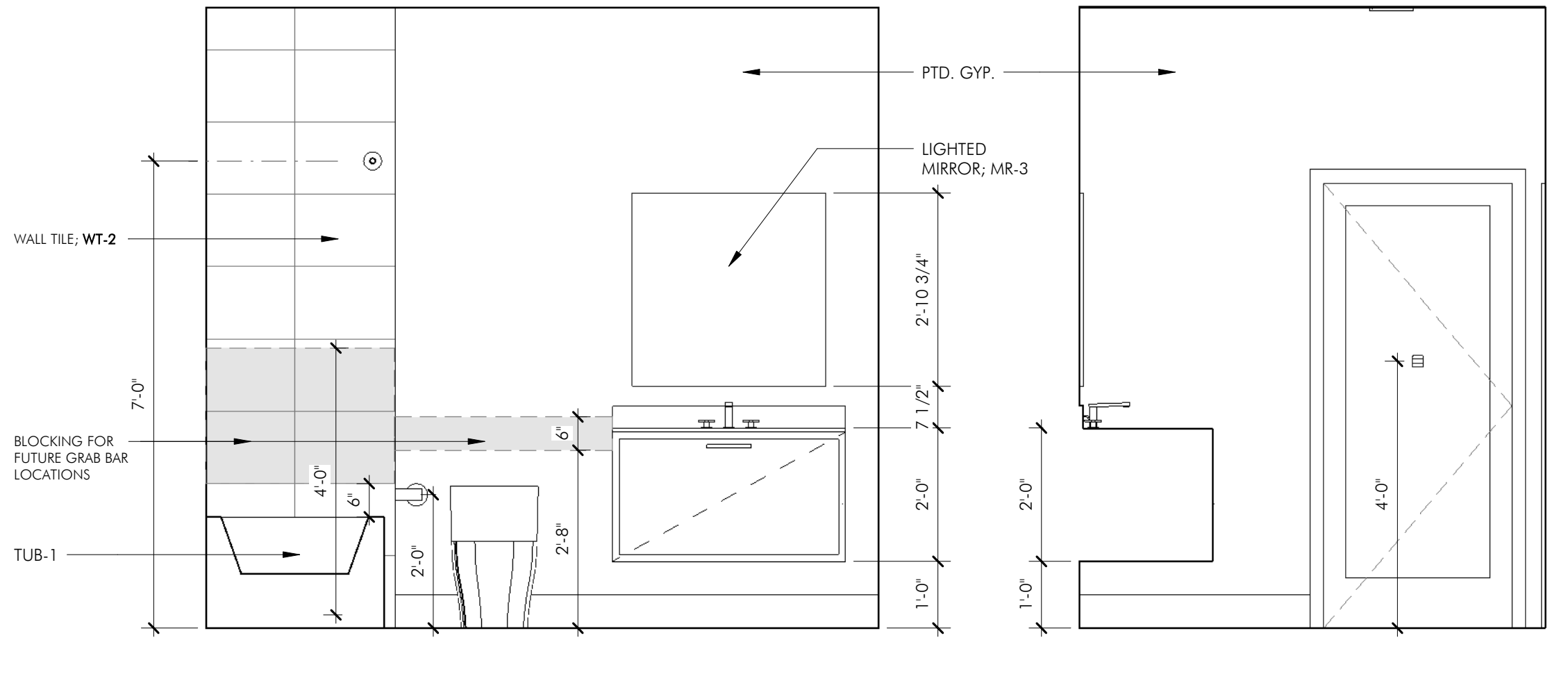
- ALL DIMENSIONS ARE TO FACE OF FRAMING (INCLUDING EXTERIOR WALLS) UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED AS "CLEAR" OF "CLR" DENOTE THE MINIMUM REQUIRED DISTANCE TO THE FACE OF WALL FINISHES (I.E. CERAMIC TILE, WALL BASE, ETC.). IF THE CLEAR DIMENSION INDICATED CANNOT BE ACHIEVED, TIMELY NOTIFICATION SHALL BE MADE TO THE ARCHITECT SO THAT A DECISION CAN BE CONFIRMED BEFORE PROCEEDING WITH THE LAYOUT.
- REFER TO OVERALL FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL WINDOW LAYOUT INFORMATION.
- REFER TO TYPICAL PARTITION TYPES SHEETS FOR DETAILS. ALL BEDROOM, BATHROOM, LAUNDRY AND MECHANICAL WALLS SHALL BE INSULATED FOR SOUND CONTROL.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. FUR OUT ANY MISALIGNMENTS BETWEEN INTERIOR UNIT PARTITIONS AND JOGS IN EXTERIOR WALLS.
- REFER TO CODE REVIEW, GENERAL NOTES, KITCHEN AND BATHROOM DETAILS FOR SPECIFIC M.A.A.B REQUIREMENTS AND DETAILS.
- FLOOR TRANSITIONS SHALL TYPICALLY OCCUR AT THE CENTERLINE OF DOOR. REFER TO FINISH SCHEDULE AND INTERIOR DETAILS FOR FINISH FLOORING.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL CONTROL ITEMS MUST BE POSITIONED SO THAT THE HIGHEST OPERABLE PART OF THE CONTROLS, DISPENSERS, RECEPTACLES, ETC. ARE LOCATED NOT HIGHER THAN 48" AFF. ALL CONTROLS SHALL BE LOCATED AT LEAST 18" FROM AN INTERIOR CORNER.
- ALL CLOTHES AND LINEN CLOSETS ARE 2'-0" DEEP CLEAR, UNLESS NOTED OTHERWISE. LINEN AND WALK-IN PANTRY TO BE RECEIVE 5 SHELVES.
- ALL W2 AND W8 FIXTURES TO BE CENTERED OVER DOOR.
- ALL BEDROOMS AND DENIS TO RECEIVE A MIN. OF (1) SWITCHED OUTLET.
- G.C. TO PROVIDE ADD/ALT PRICING FOR ADDITIONAL 3-WAY SWITCH ON BED WALL AT ALL MASTER BEDROOMS.
- ALL DOORS TO BE LOCATED 6" FROM ADJACENT WALL, U.N.O.
- UNIT FLOORING & LAYOUT UNDERLAY SHOWN FOR REFERENCE AT ALL ENLARGED UNIT PLAN RCPS, REFER TO TAGS FOR CEILING FINISH, TYP.
- ALL CEILINGS NOTED AS "SOFFIT" TO BE INSTALLED BELOW RATED CEILING.
- ALL INTERIOR UNIT WALLS ARE M010 U.O.N.
- REFER TO ENLARGED KITCHEN AND BATHROOM DRAWINGS FOR MORE INFORMATION.
- ALL COAT CLOSETS (CL) TO HAVE SAME FLOOR FINISH AS THE ROOM TO WHICH IT OPENS, U.O.N.
- REFER TO FLOOR PLANS FOR BALCONY AND DECK LOCATIONS AND DIMENSIONS.
- ALL OUTLETS SHALL BE LOCATED NO LESS THAN 18 INCHES FROM INTERIOR CORNERS.
- NO POINT ALONG THE COUNTERTOP IS MORE THAN 24" FROM A RECEPTACLE.
- MAXIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 20". MINIMUM HEIGHT ABOVE COUNTERTOP TO RECEPTACLE: 15".
- ALL KITCHEN AND BATH BASE CABINETS UNDER SINK TO BE REMOVABLE.
- RESIDENTIAL CLOSET IN BEDROOM TO HAVE (2) ROWS OF 12" DEEP WIRE SHELF W/ INTEGRATED ROD AT 80" AFF AND 42" AFF. COAT CLOSETS SHALL RECEIVE (1) ROW 12" DEEP WIRE SHELF W/ INTEGRATED ROD @ 54" AFF.



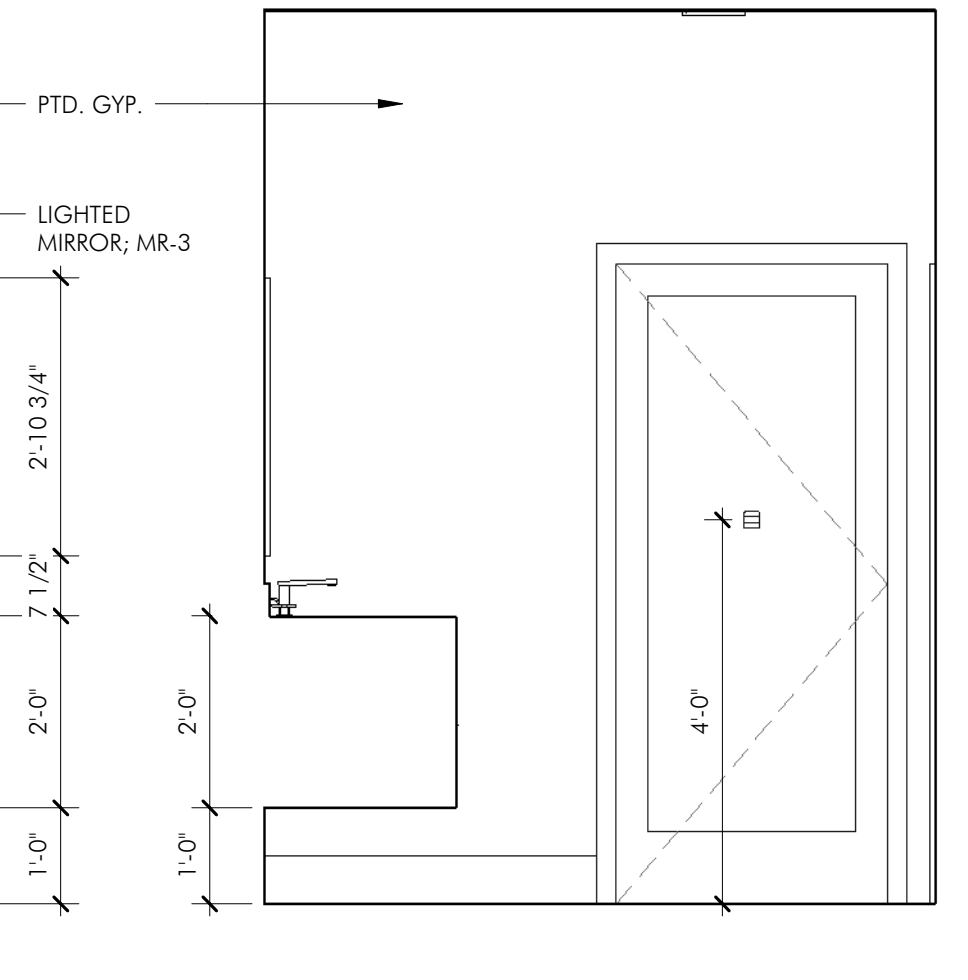
28. KITCHEN PANTRY AND GENERAL STORAGE CLOSETS SHALL RECEIVE (8) ROWS 16" DEEP WIRE SHELVES.



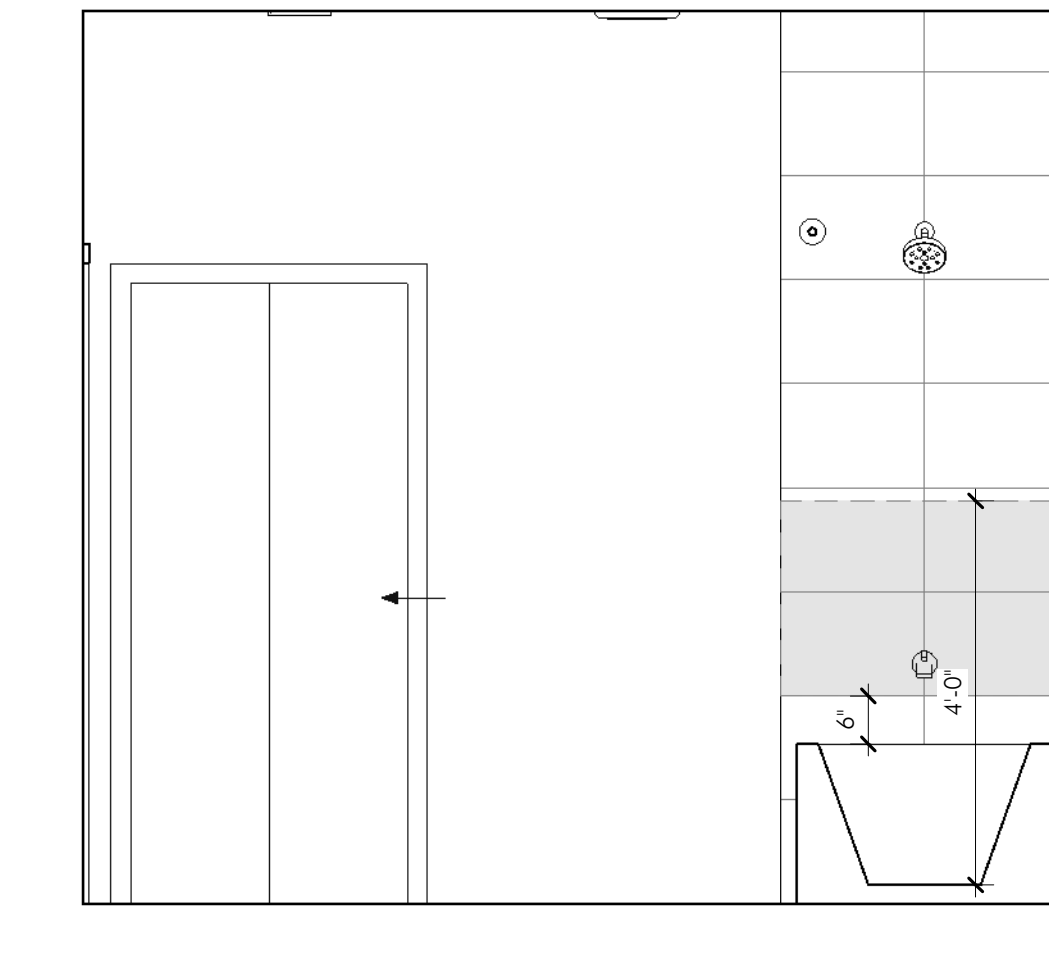
**1** PENTHOUSE - BATHROOM 1 - ENLARGED PLAN (GROUP 1)  
1/2" = 1'-0"



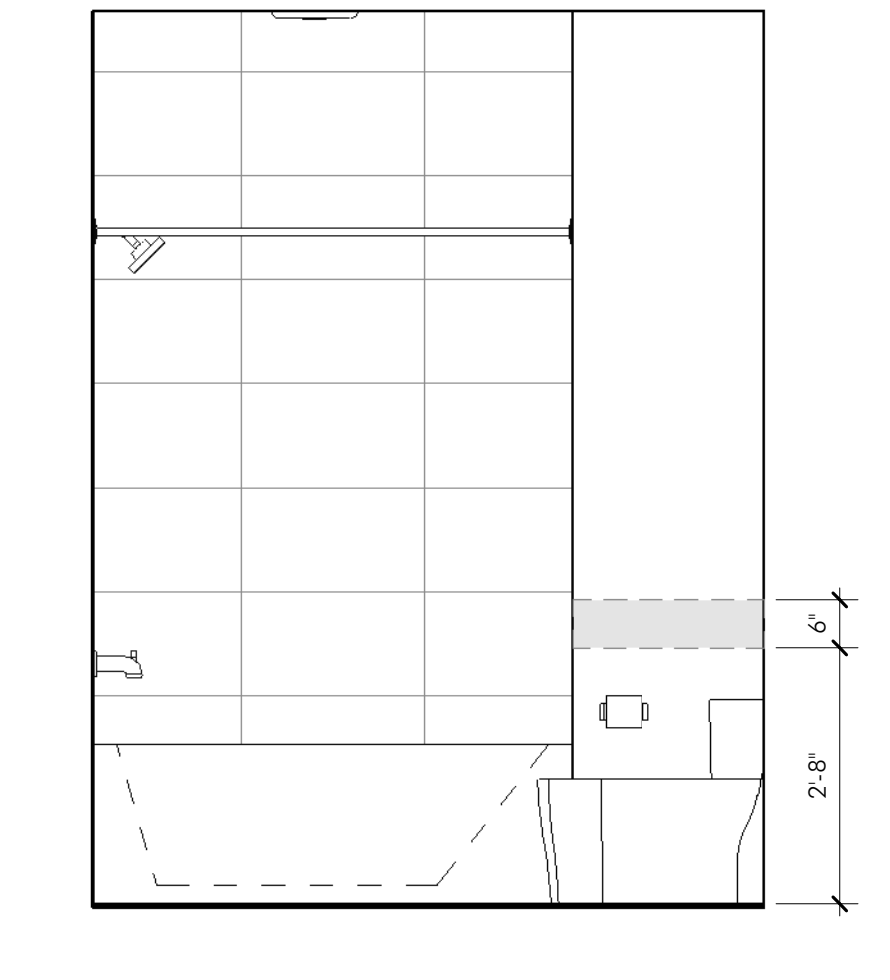
**1A** PENTHOUSE - BATHROOM 1 - ELEVATION A  
1/2" = 1'-0"



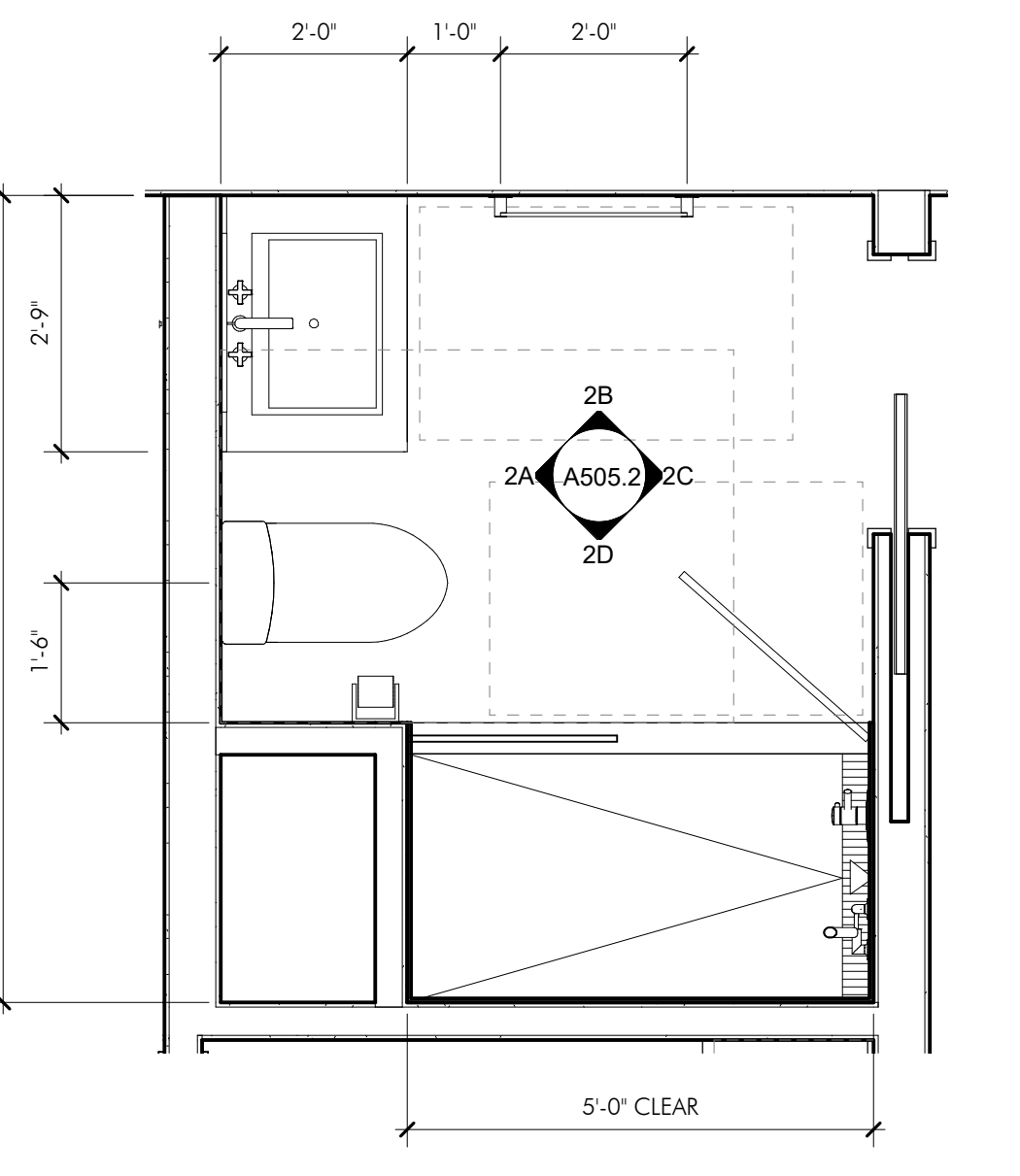
**1B** PENTHOUSE - BATHROOM 1 - ELEVATION B  
1/2" = 1'-0"



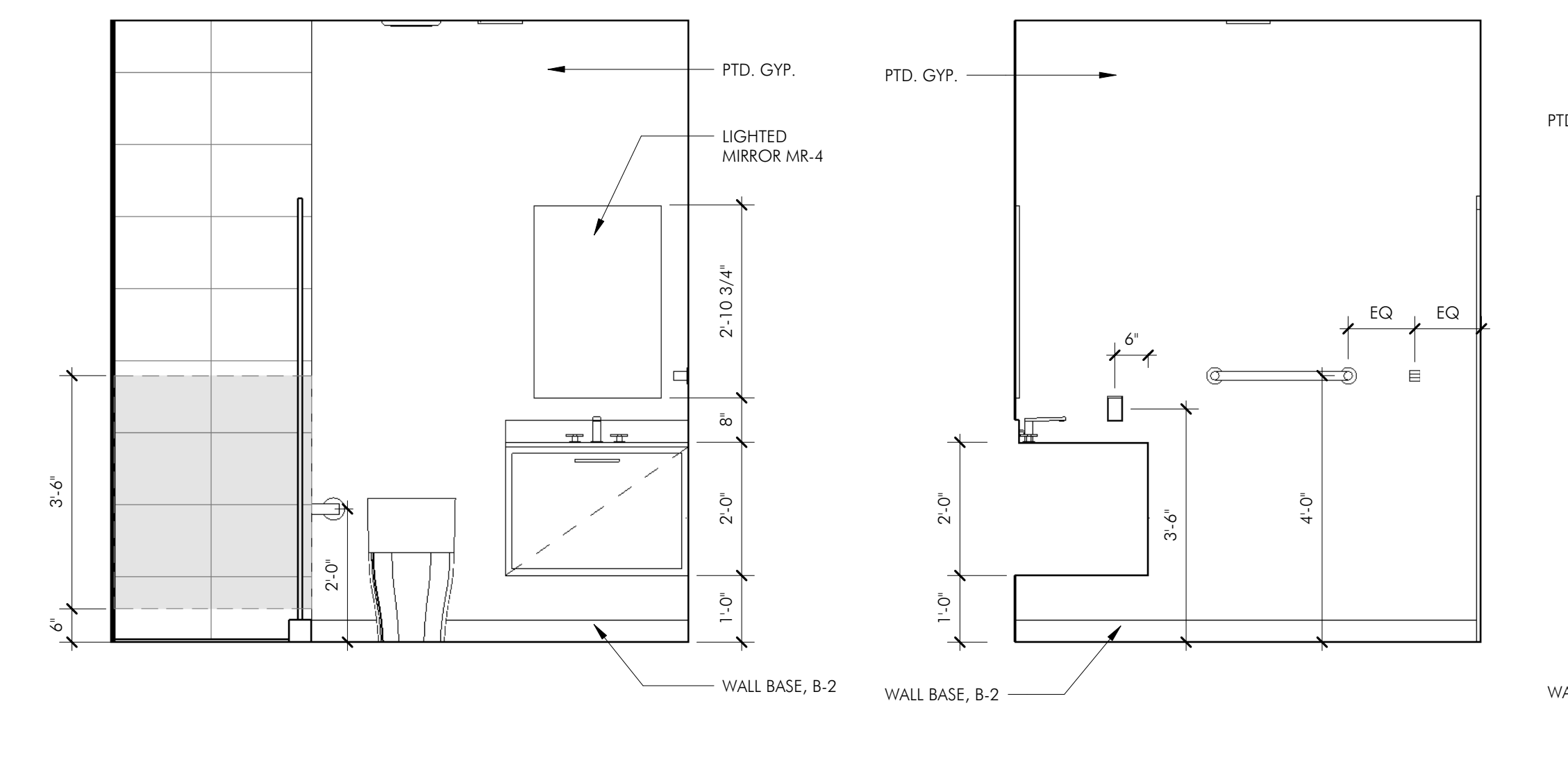
**1C** PENTHOUSE - BATHROOM 1 - ELEVATION C  
1/2" = 1'-0"



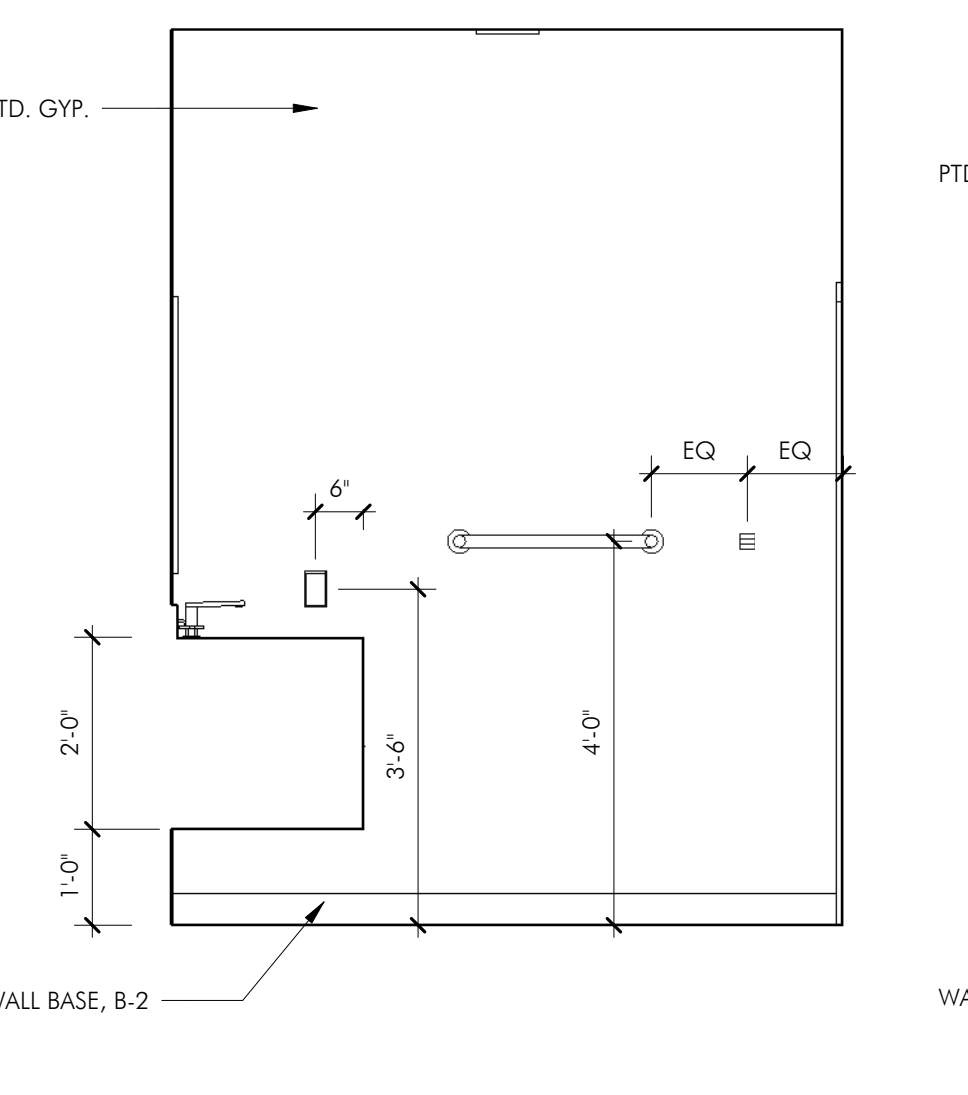
**1D** PENTHOUSE - BATHROOM 1 - ELEVATION D  
1/2" = 1'-0"



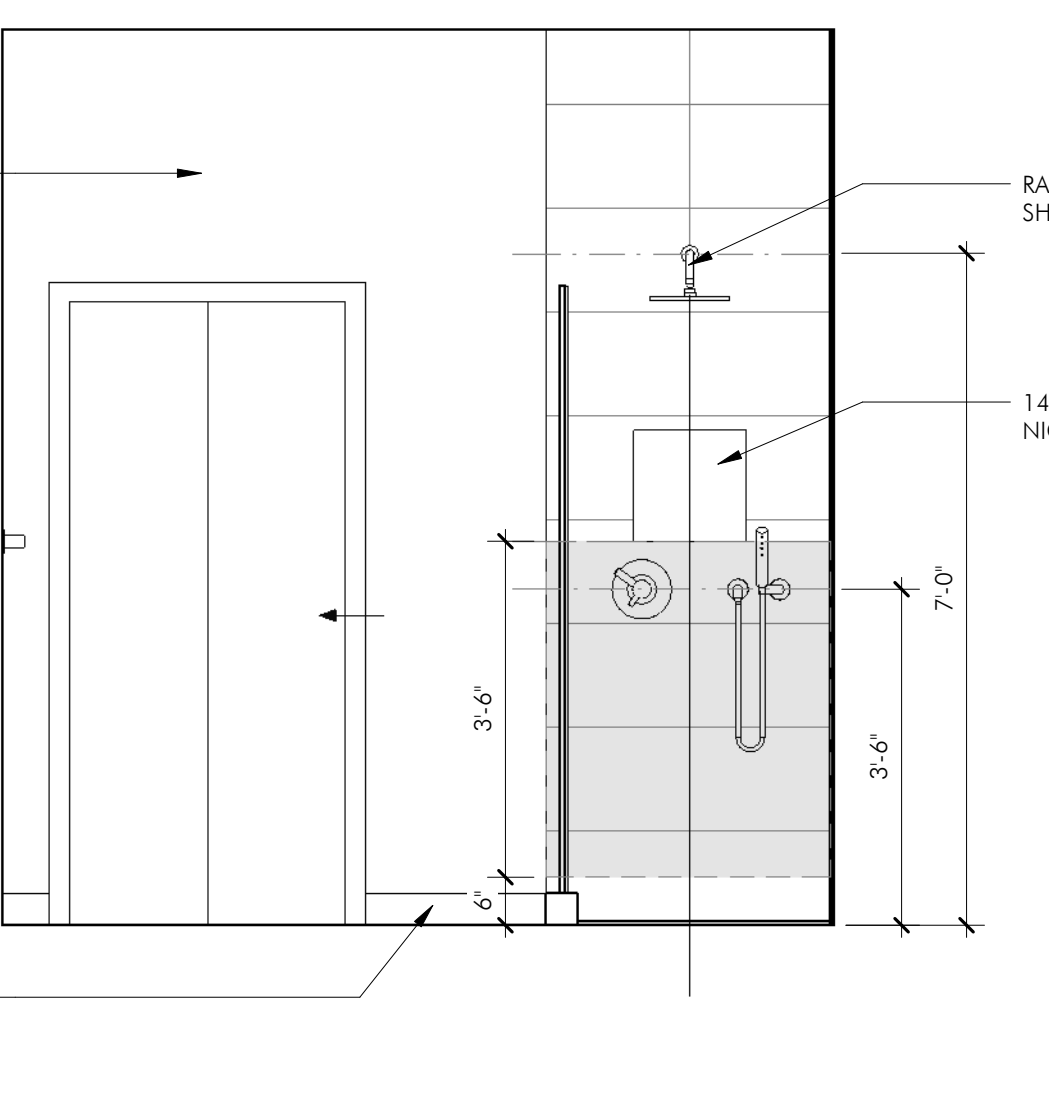
**2** PENTHOUSE - BATHROOM 2 - ENLARGED PLAN (GROUP 1)  
1/2" = 1'-0"  
GROUP 1 BATHROOM PER MAAB



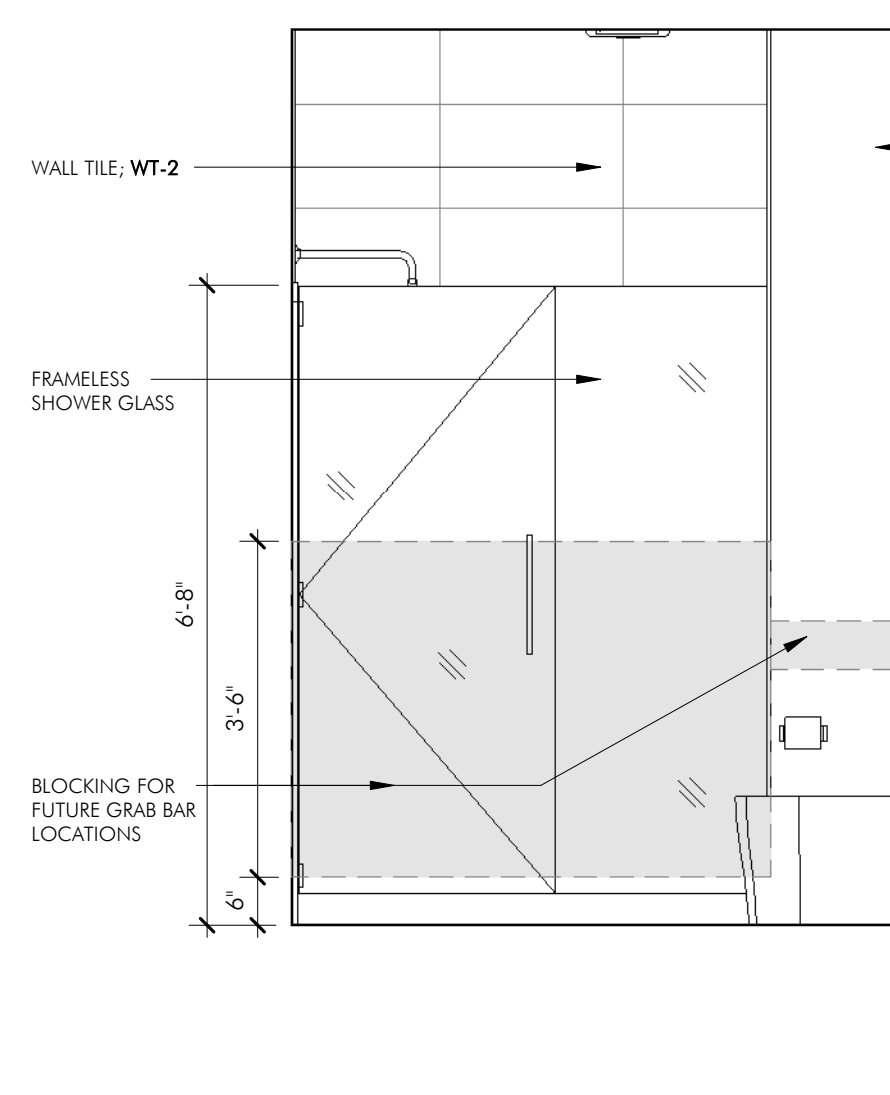
**2A** PENTHOUSE - BATHROOM 2 - ELEVATION A  
1/2" = 1'-0"



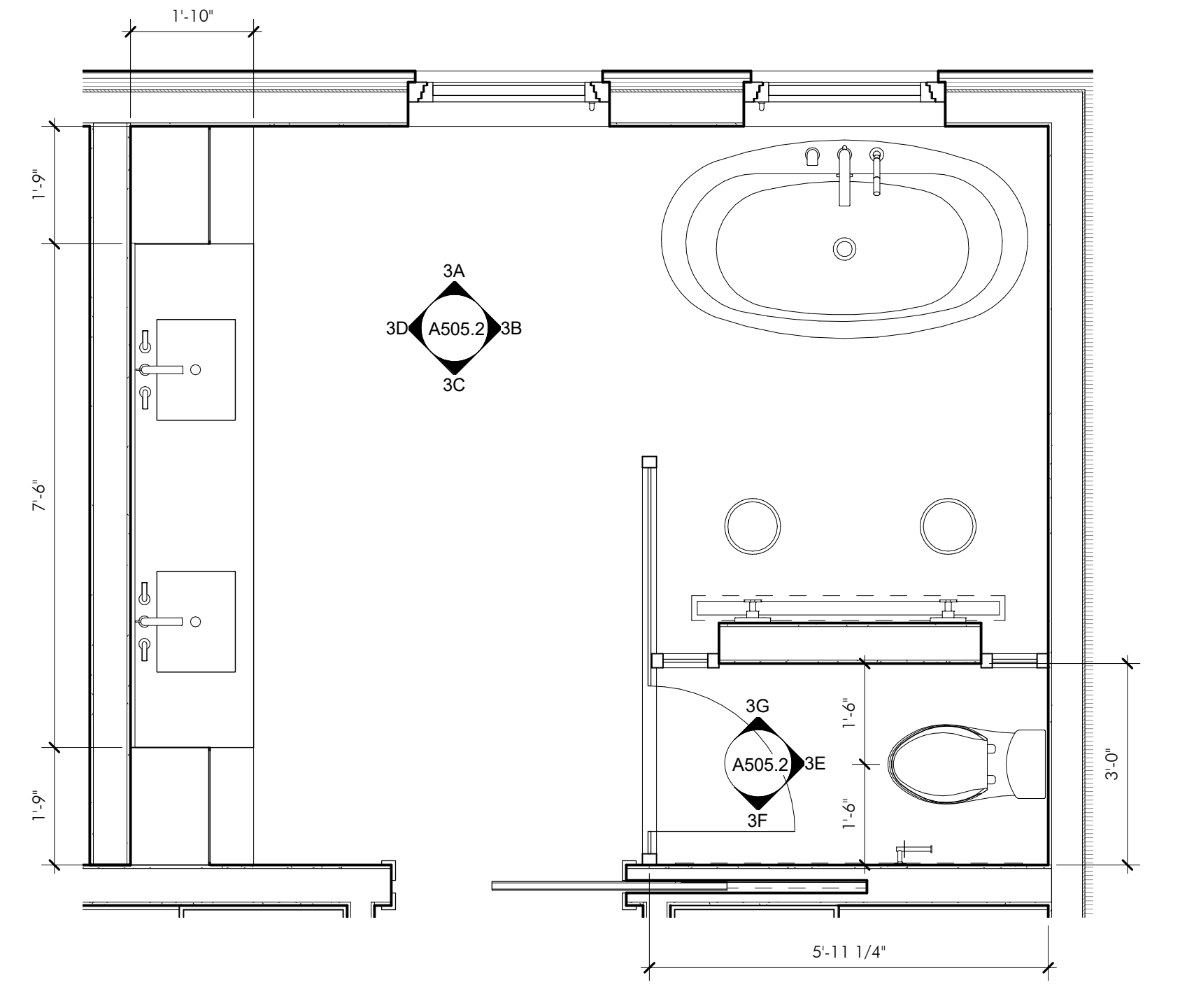
**2B** PENTHOUSE - BATHROOM 2 - ELEVATION B  
1/2" = 1'-0"



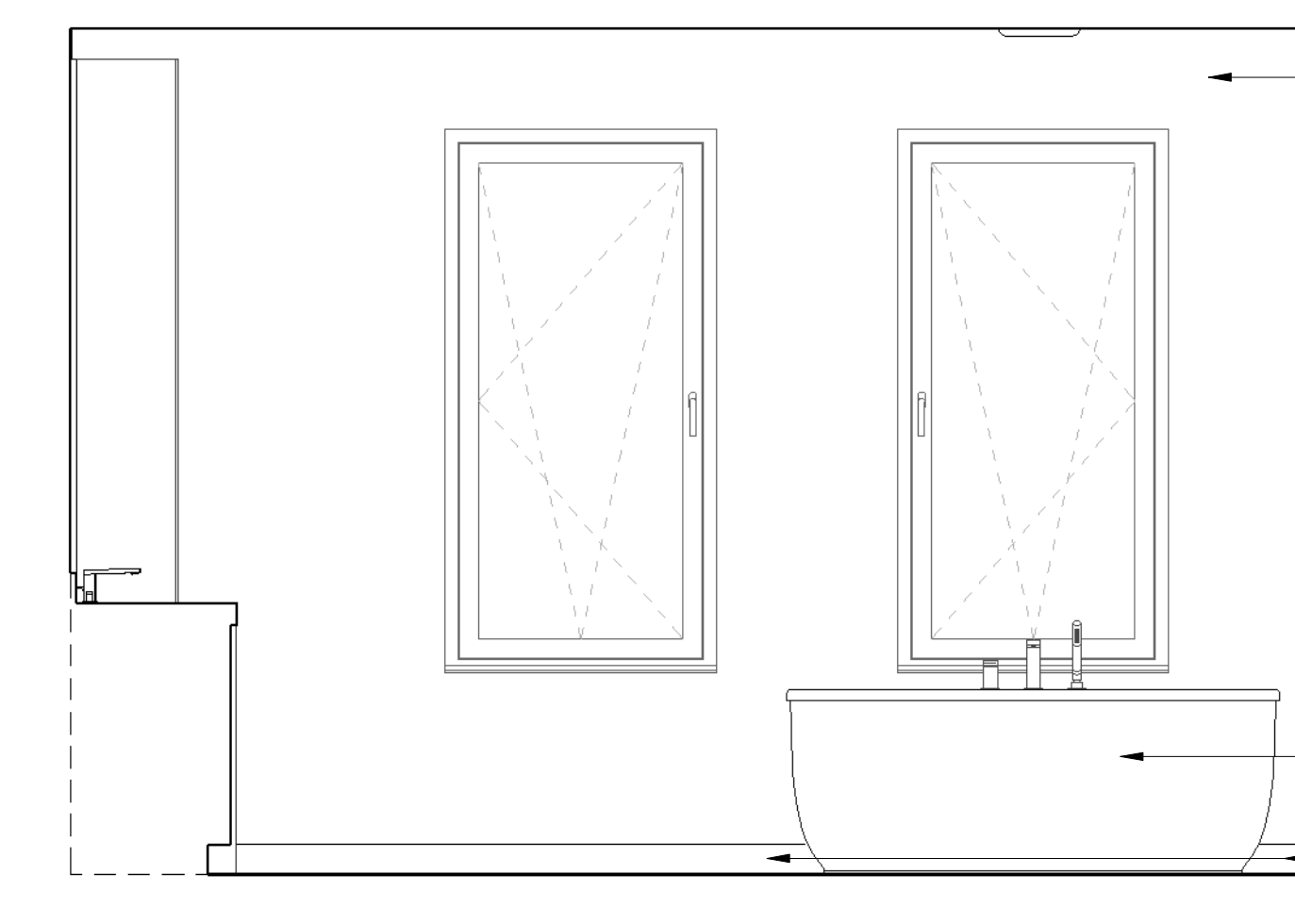
**2C** PENTHOUSE - BATHROOM 2 - ELEVATION C  
1/2" = 1'-0"



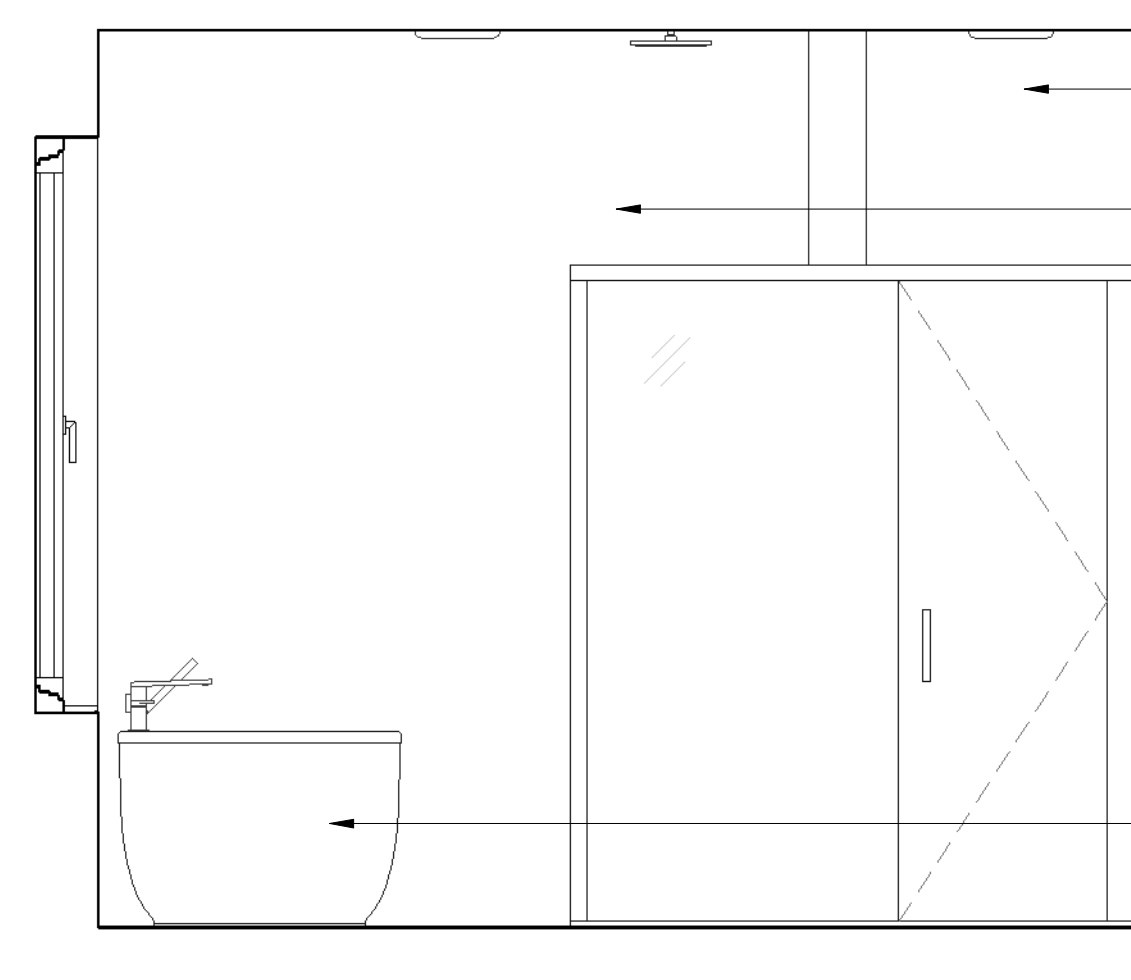
**2D** PENTHOUSE - BATHROOM 2 - ELEVATION D  
1/2" = 1'-0"



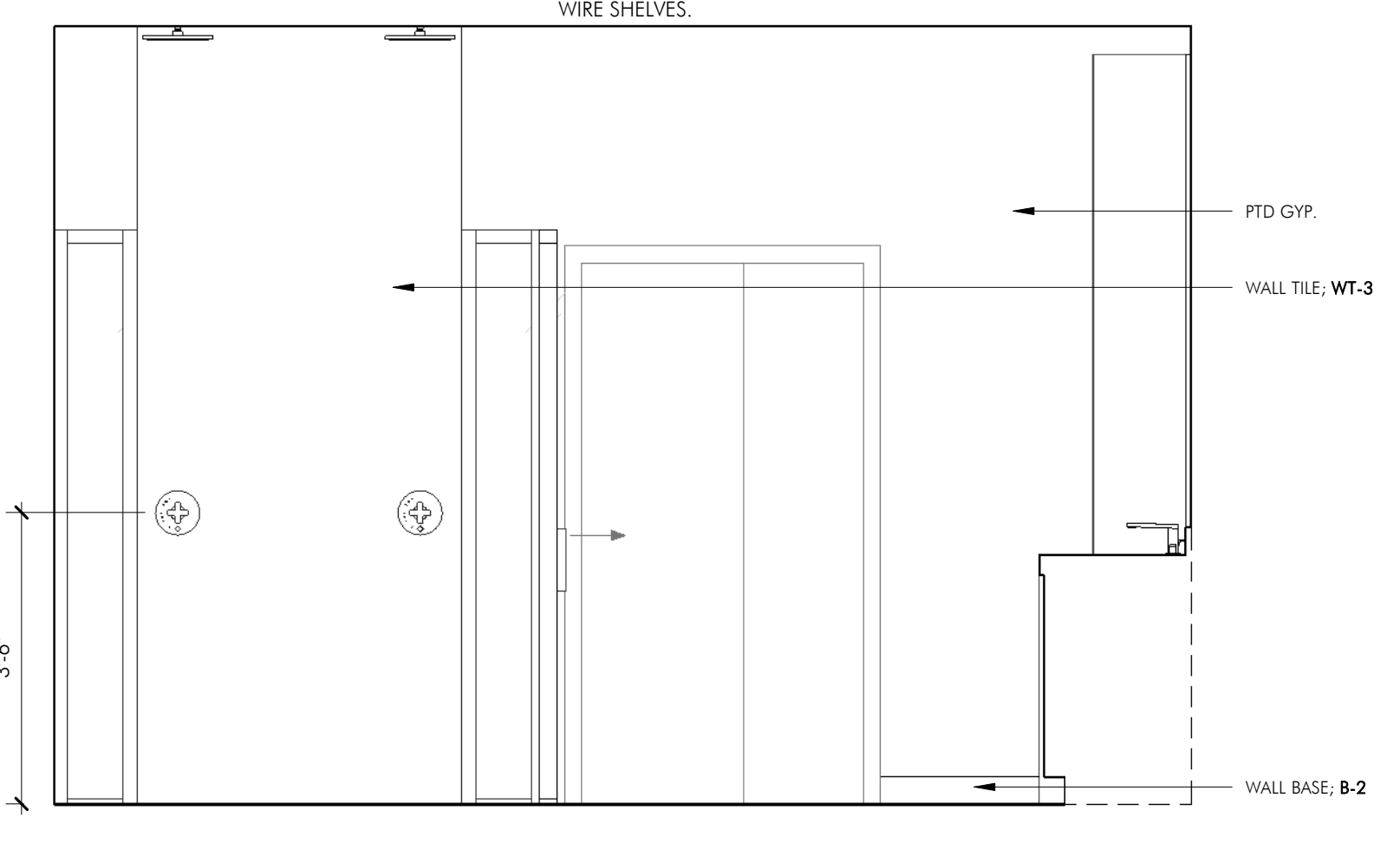
**3** PENTHOUSE - MASTER BATHROOM - ENLARGED PLAN  
1/2" = 1'-0"



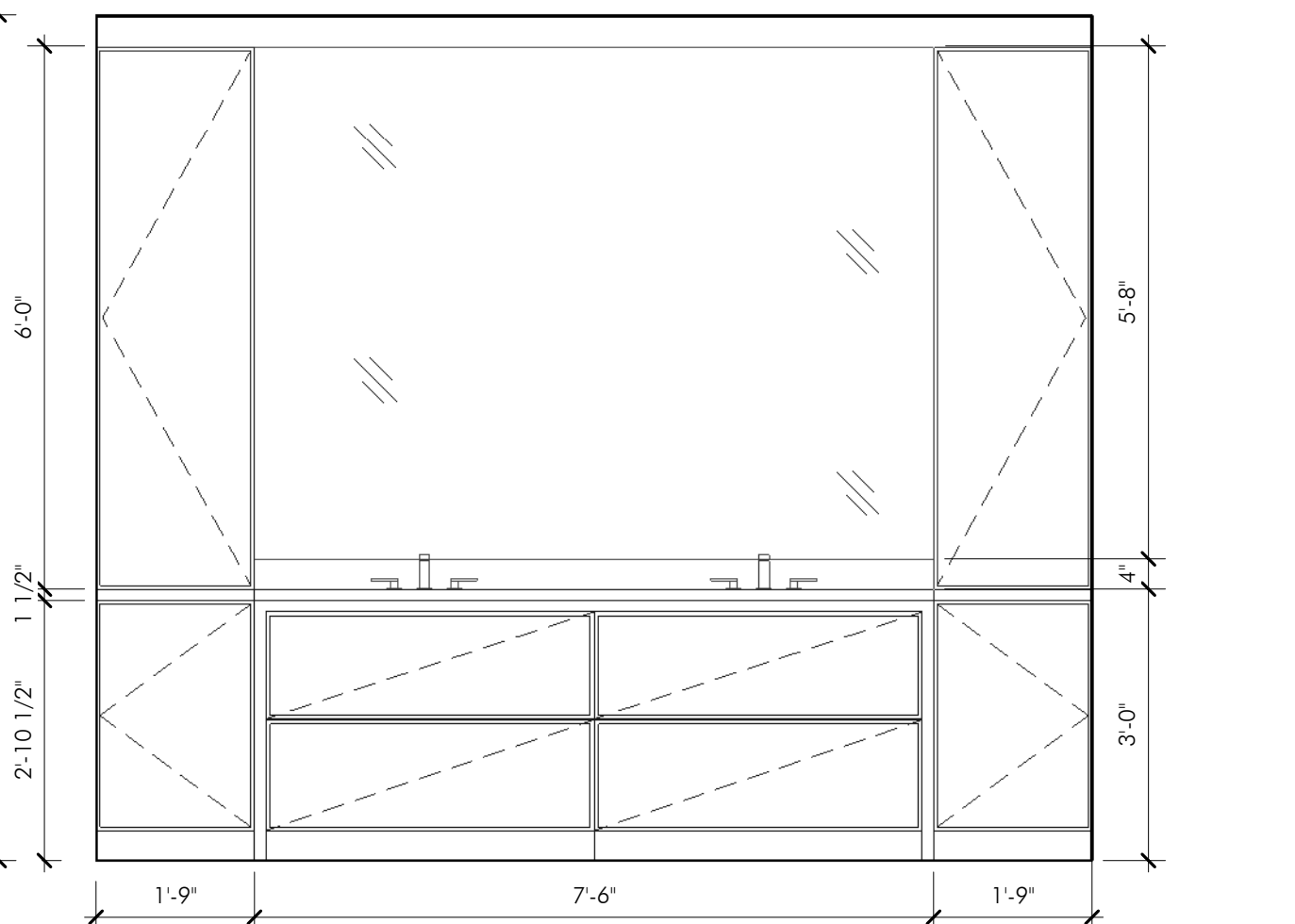
**3A** PENTHOUSE - MASTER BATHROOM - ELEVATION A  
1/2" = 1'-0"



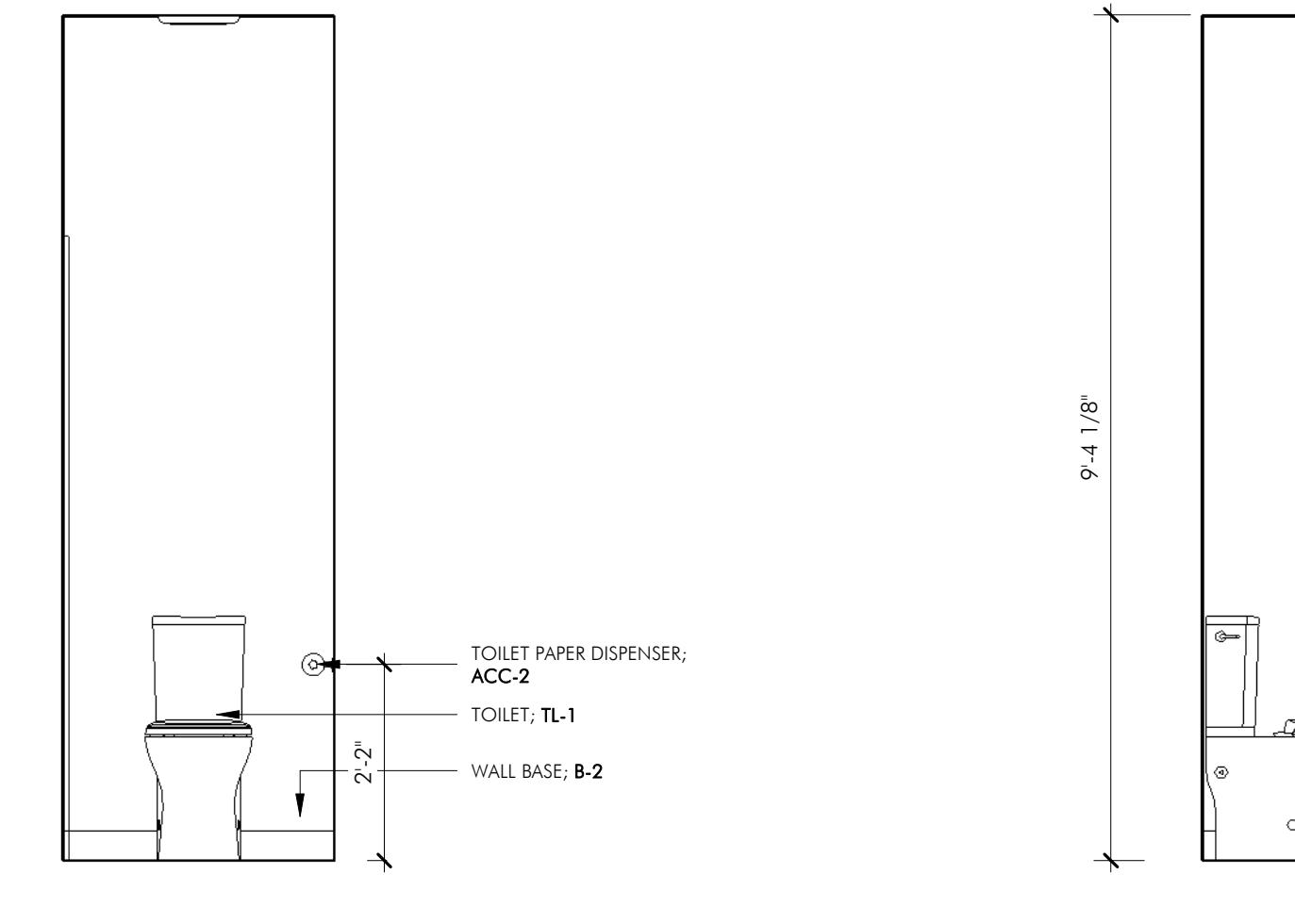
**3B** PENTHOUSE - MASTER BATHROOM - ELEVATION B  
1/2" = 1'-0"



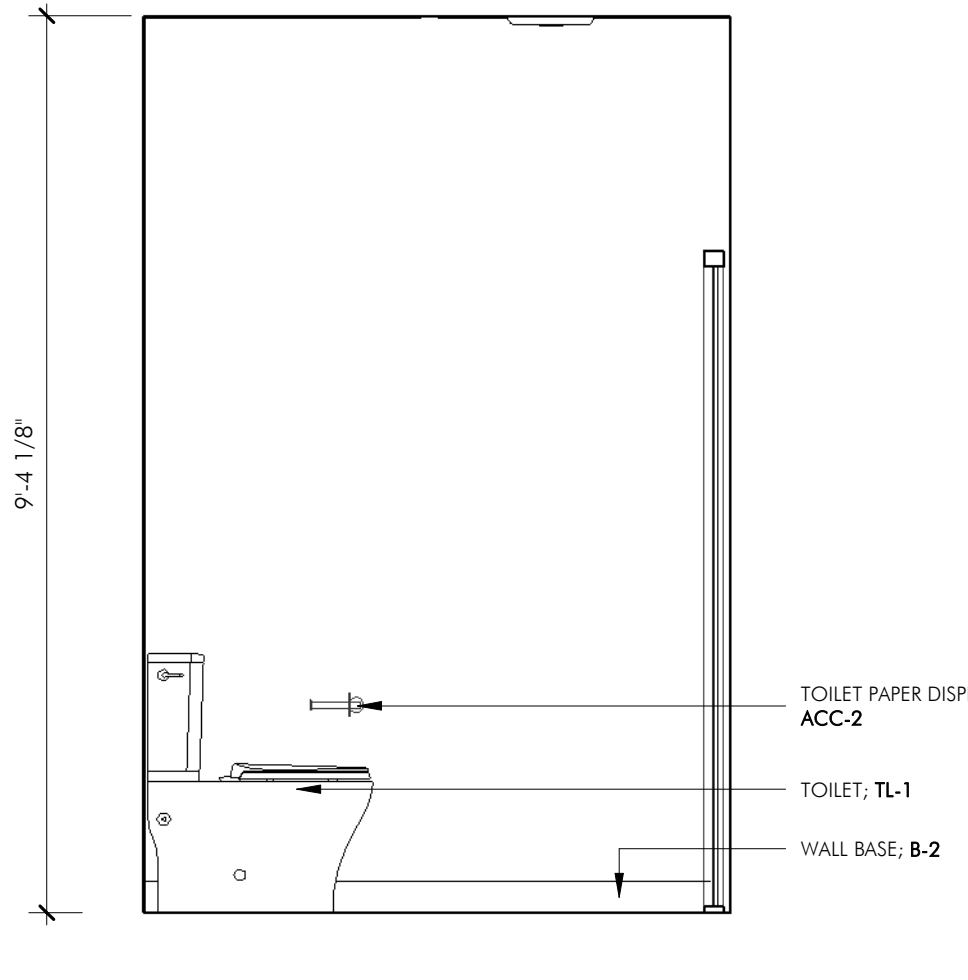
**3C** PENTHOUSE - MASTER BATHROOM - ELEVATION C  
1/2" = 1'-0"



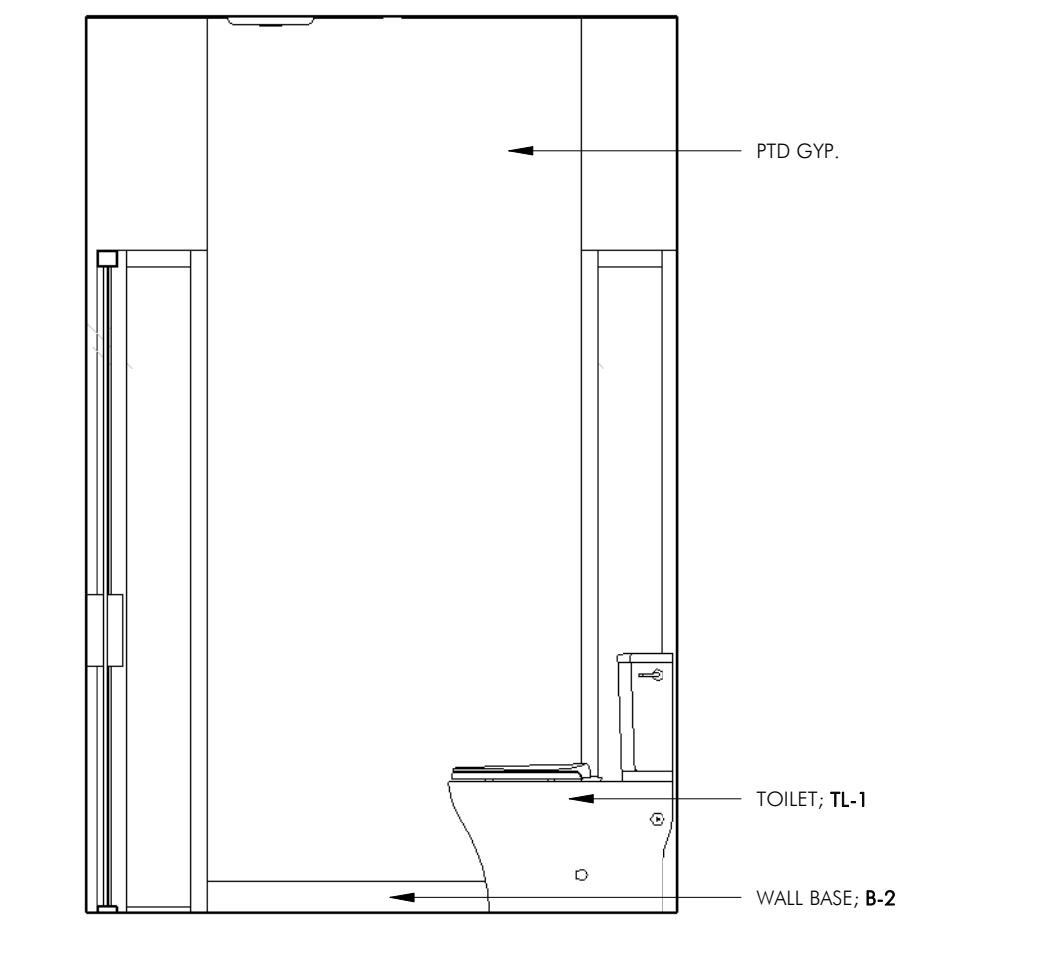
**3D** PENTHOUSE - MASTER BATHROOM - ELEVATION D  
1/2" = 1'-0"



**3E** PENTHOUSE - MASTER BATHROOM - ELEVATION E  
1/2" = 1'-0"



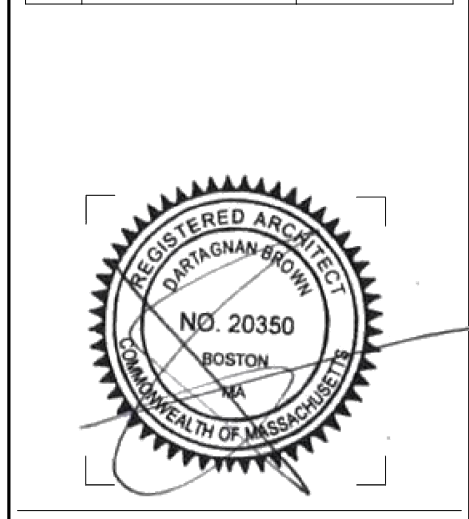
**3F** PENTHOUSE - MASTER BATHROOM - ELEVATION F  
1/2" = 1'-0"



**3G** PENTHOUSE - MASTER BATHROOM - ELEVATION G  
1/2" = 1'-0"

33 A STREET  
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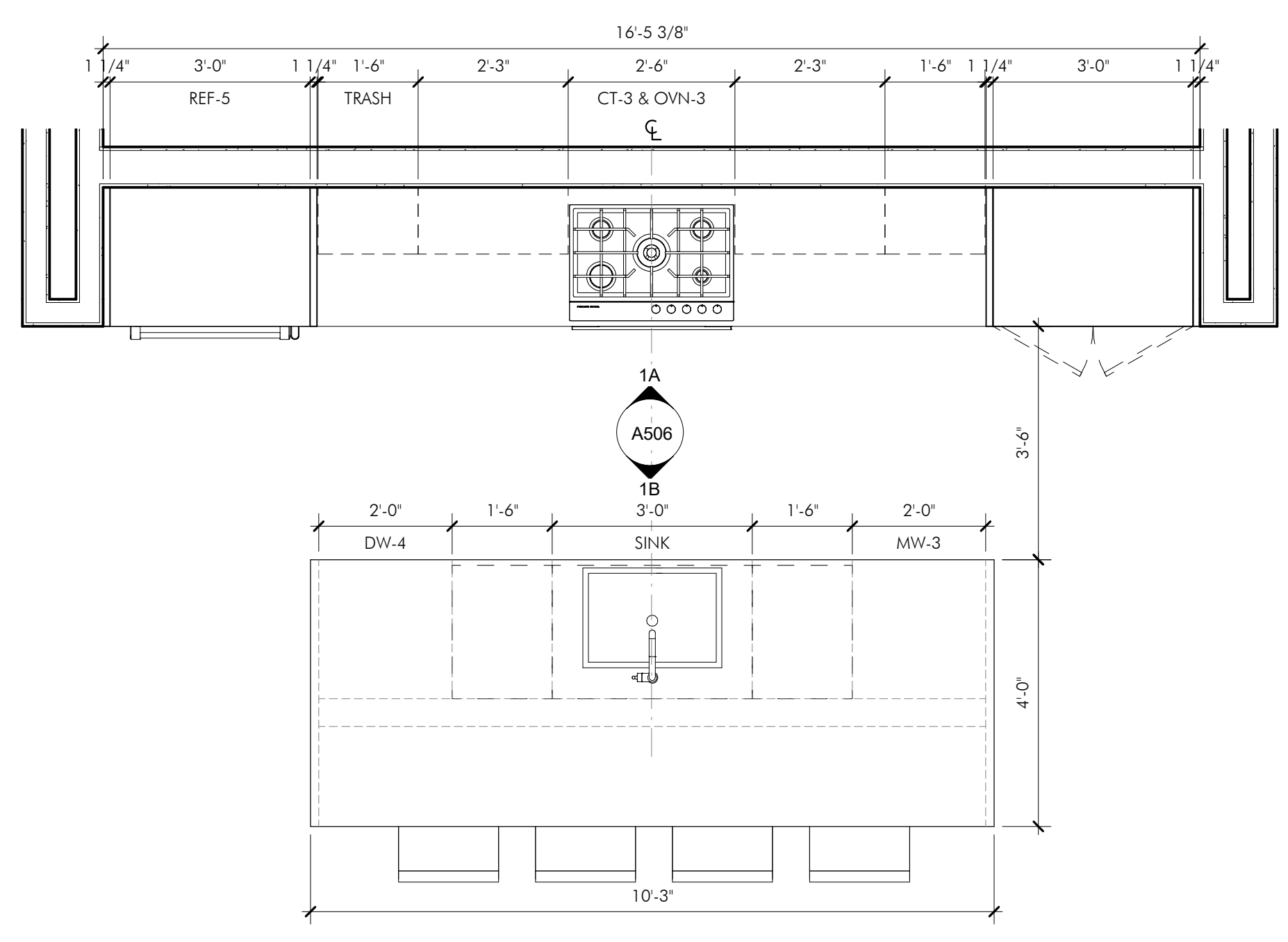
MARK	ISSUE	DATE



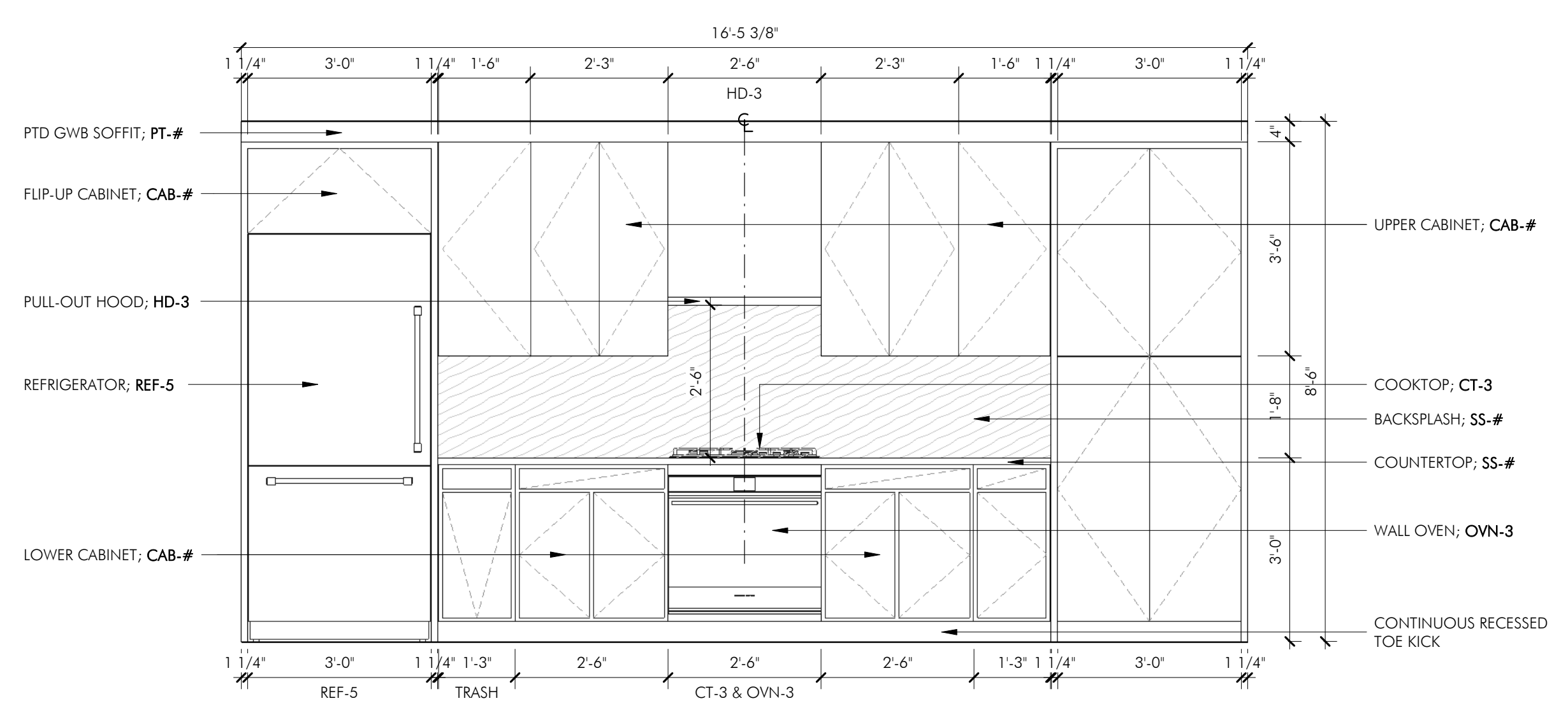
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**PENTHOUSE  
BATHS -  
ENLARGED PLANS  
& ELEVATIONS**

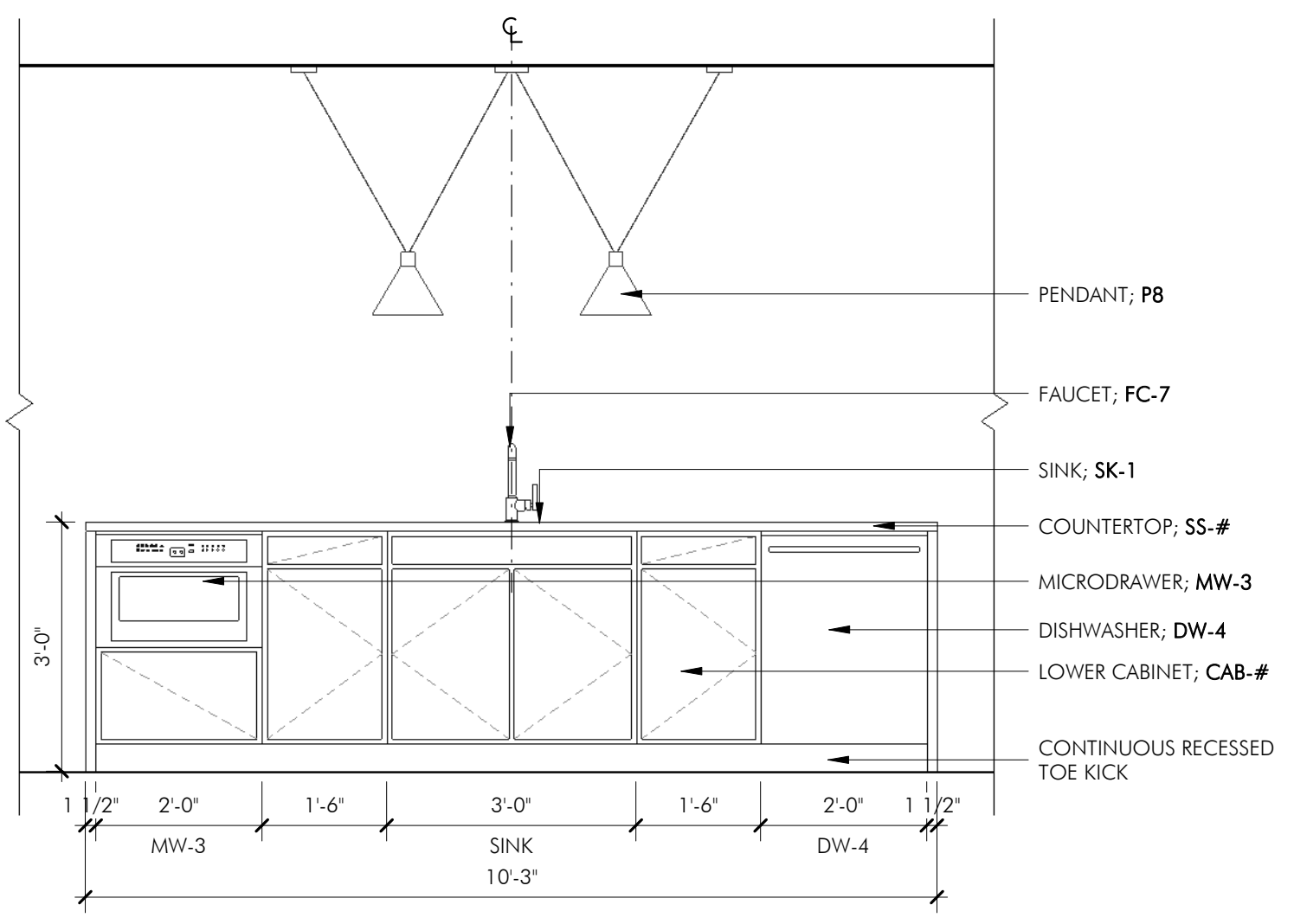
**A505.2**  
Issued: EMBARC, INC.



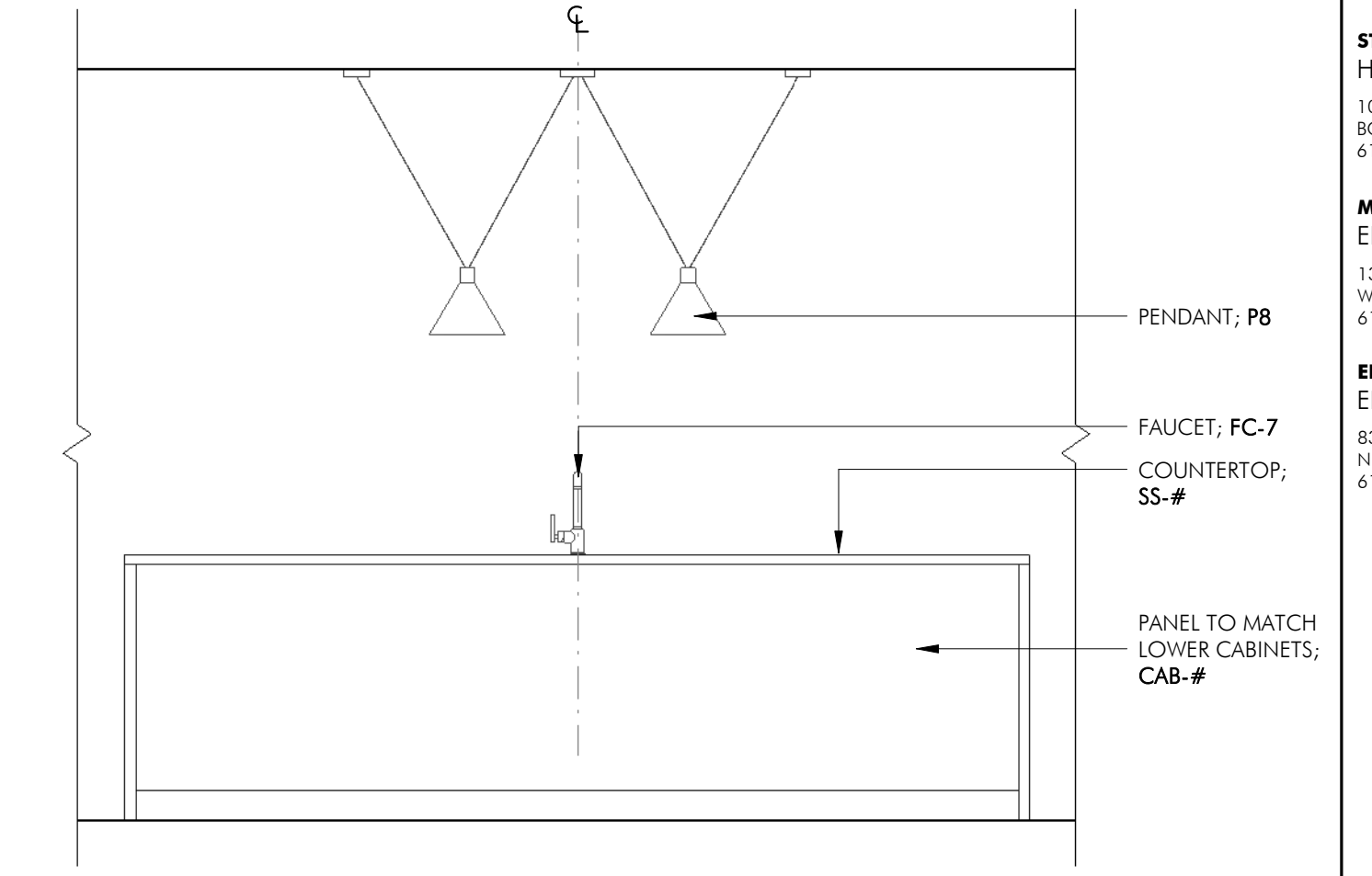
1 2ND FLOOR - STUDIO 1 KITCHEN - ENLARGED PLAN  
1/2" = 1'-0"



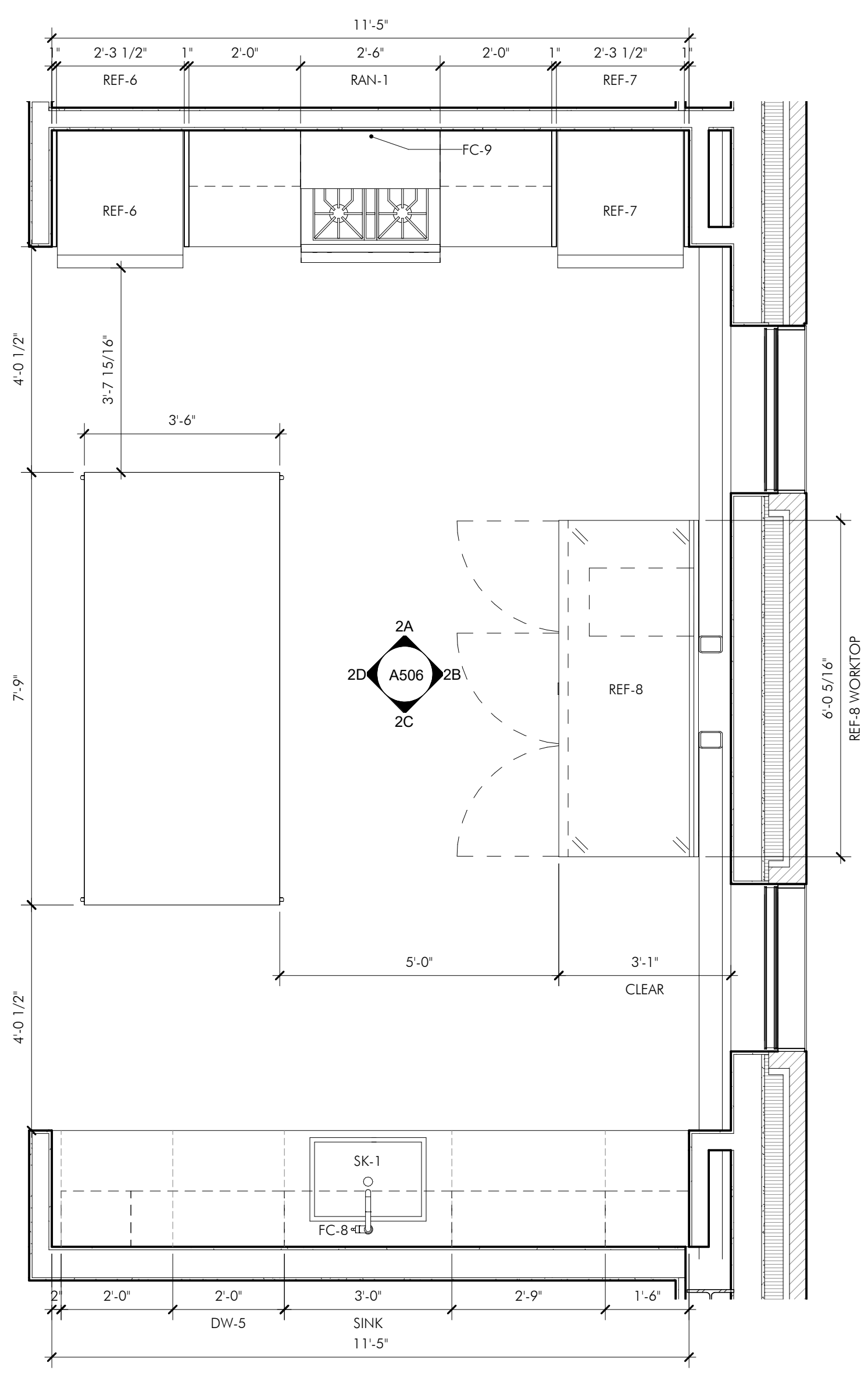
1A 2ND FLOOR - STUDIO 1 KITCHEN - ELEVATION A  
1/2" = 1'-0"



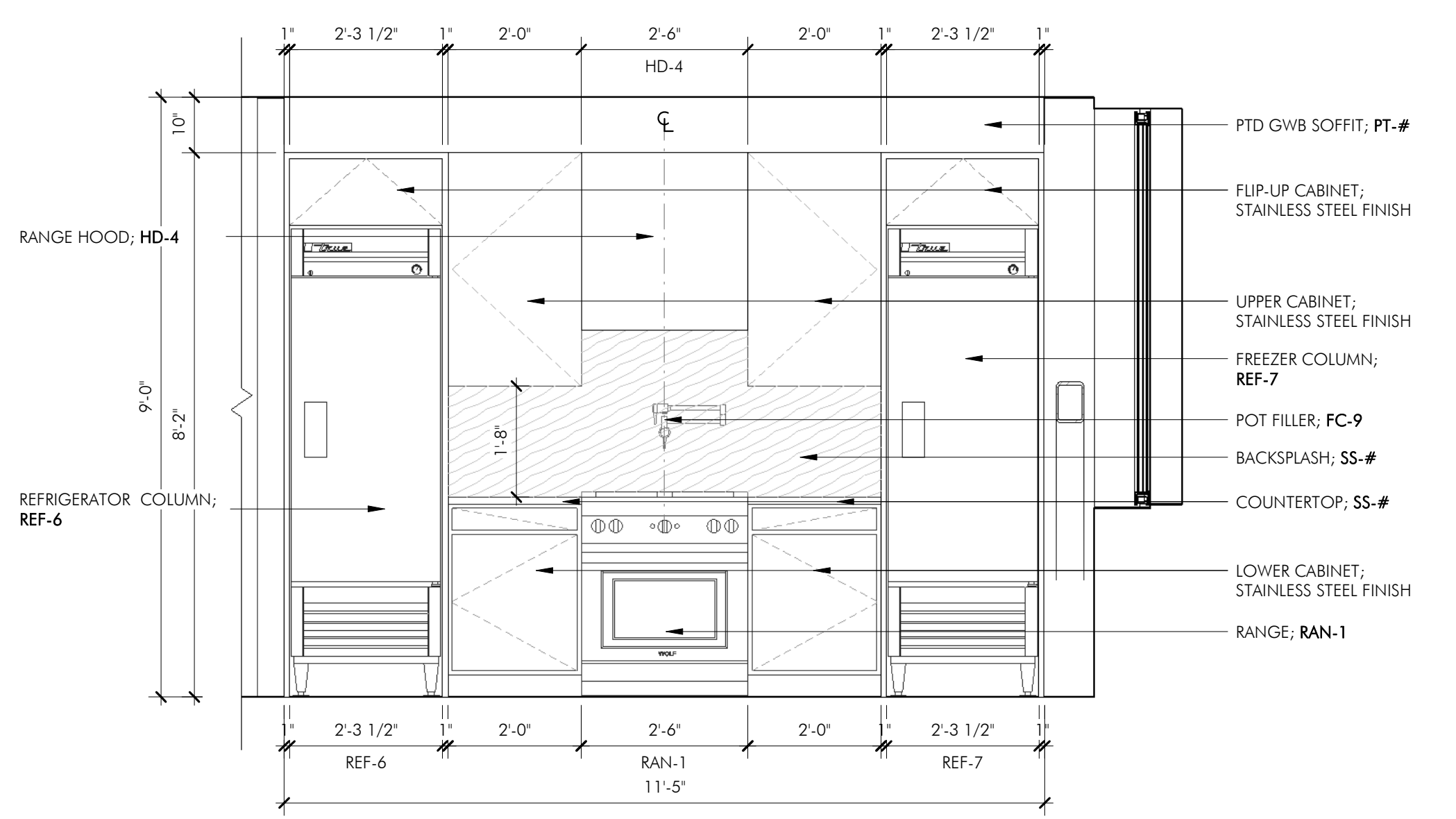
1B 2ND FLOOR - STUDIO 1 KITCHEN - ELEVATION B  
1/2" = 1'-0"



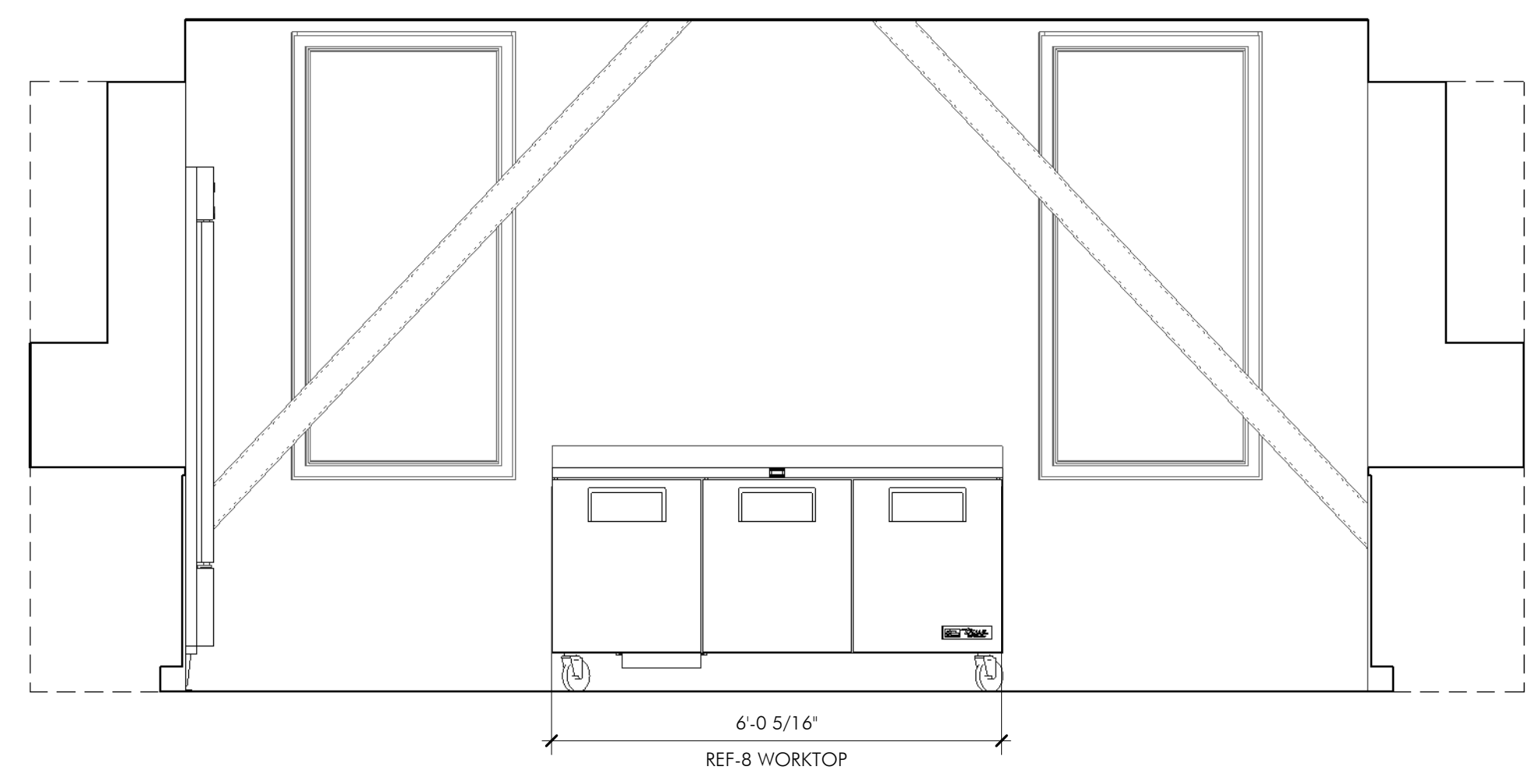
1C 2ND FLOOR - STUDIO 1 KITCHEN - ELEVATION C  
1/2" = 1'-0"



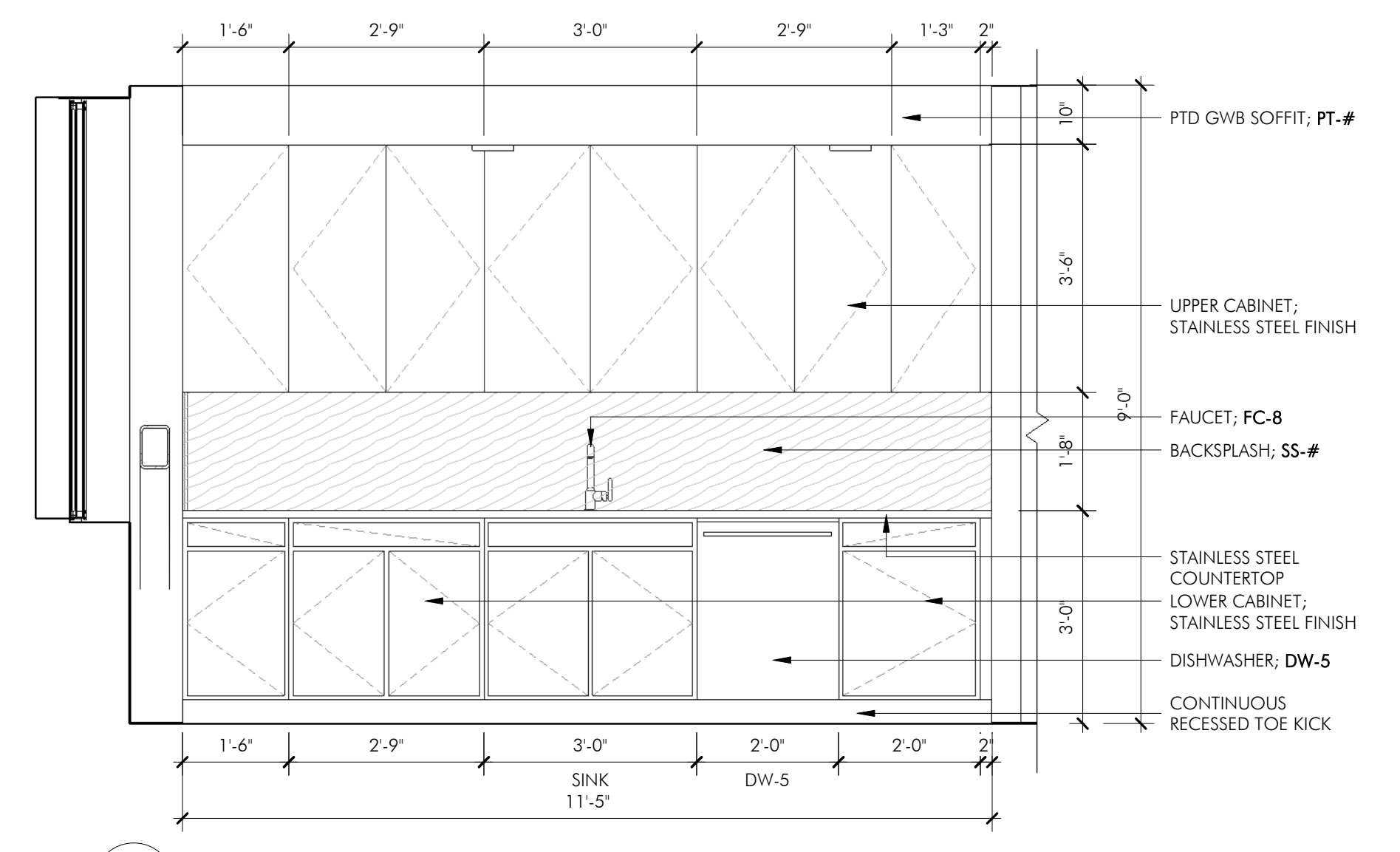
2 2ND FLOOR - STUDIO 2 KITCHEN - ENLARGED PLAN  
1/2" = 1'-0"



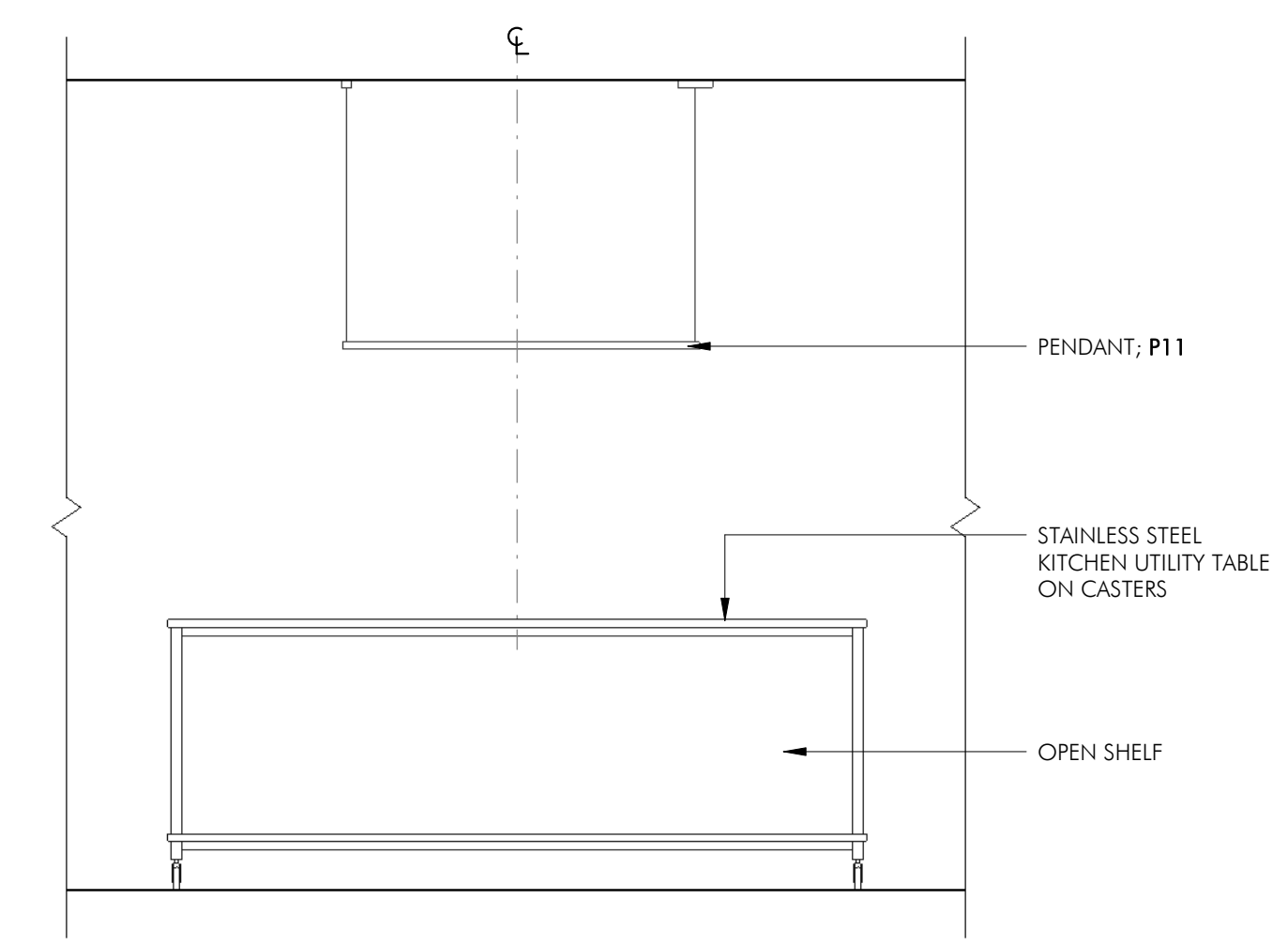
2A 2ND FLOOR - STUDIO 2 KITCHEN - ELEVATION A  
1/2" = 1'-0"



2B 2ND FLOOR - STUDIO 2 KITCHEN - ELEVATION B  
1/2" = 1'-0"



2C 2ND FLOOR - STUDIO 2 KITCHEN - ELEVATION C  
1/2" = 1'-0"



2D 2ND FLOOR - STUDIO 2 KITCHEN - ELEVATION D  
1/2" = 1'-0"

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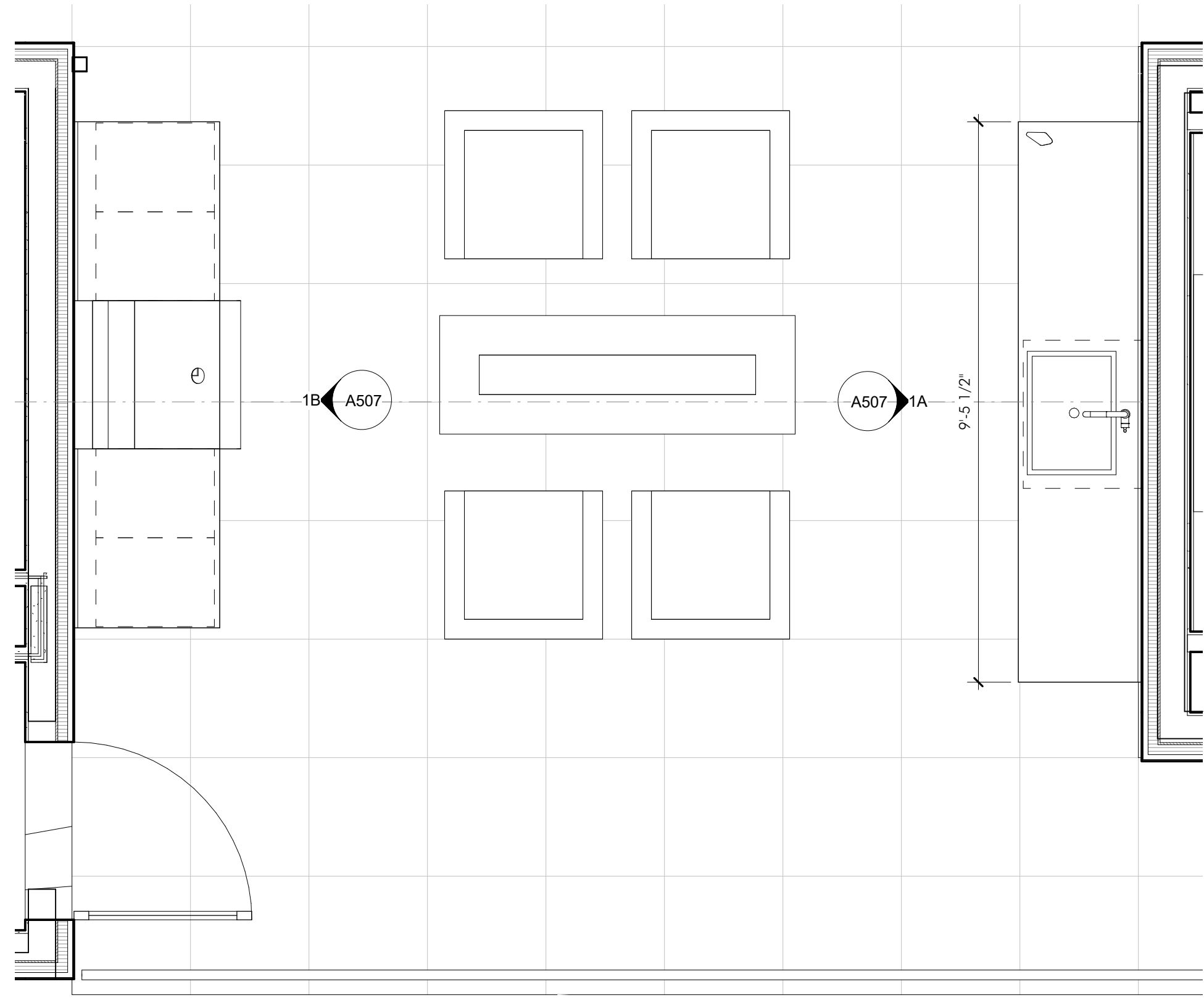
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ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/2" = 1'-0"

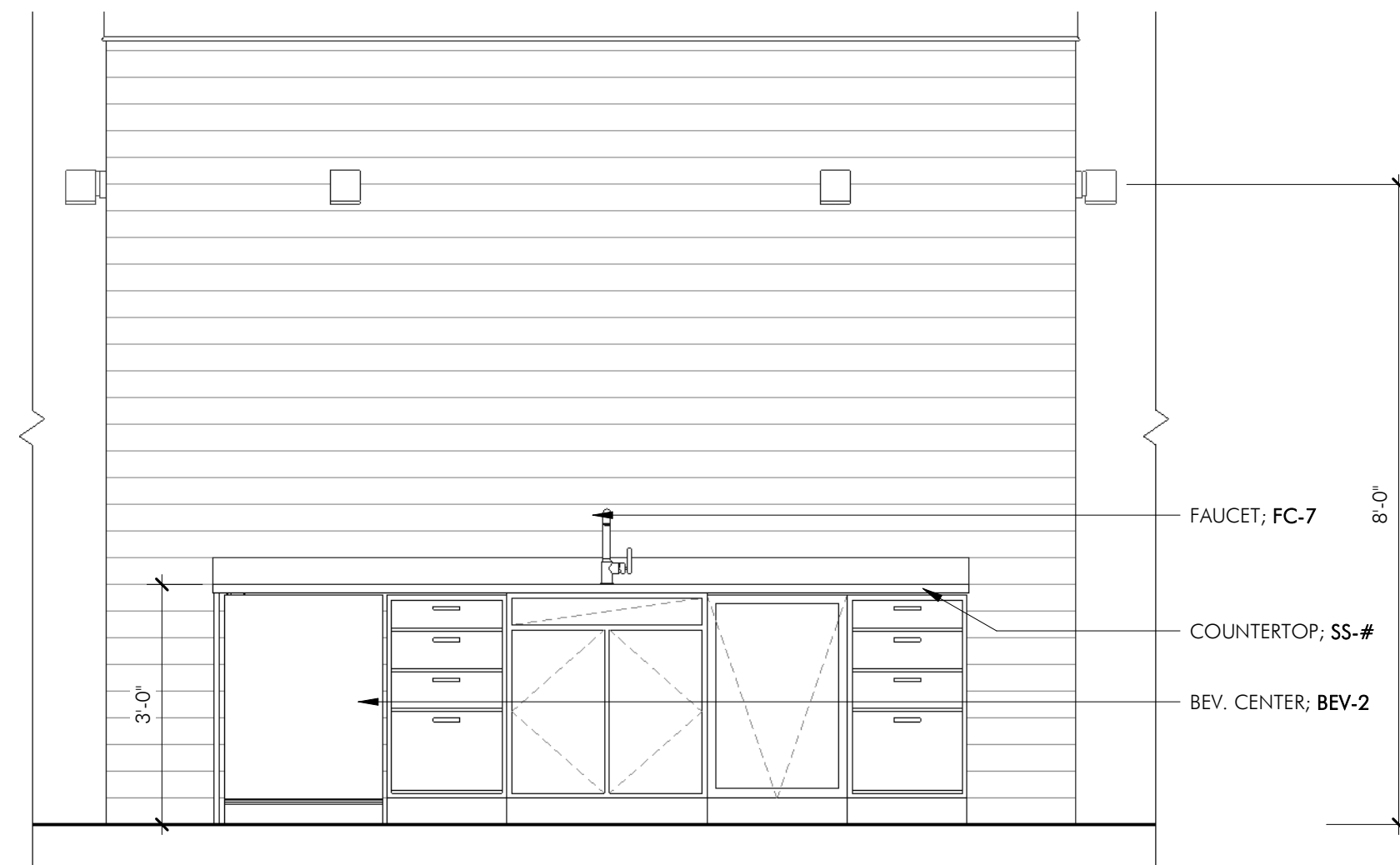
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**STUDIOS 1 & 2  
ENLARGED PLANS  
& ELEVATIONS**

DRAWING NUMBER  
**A506**

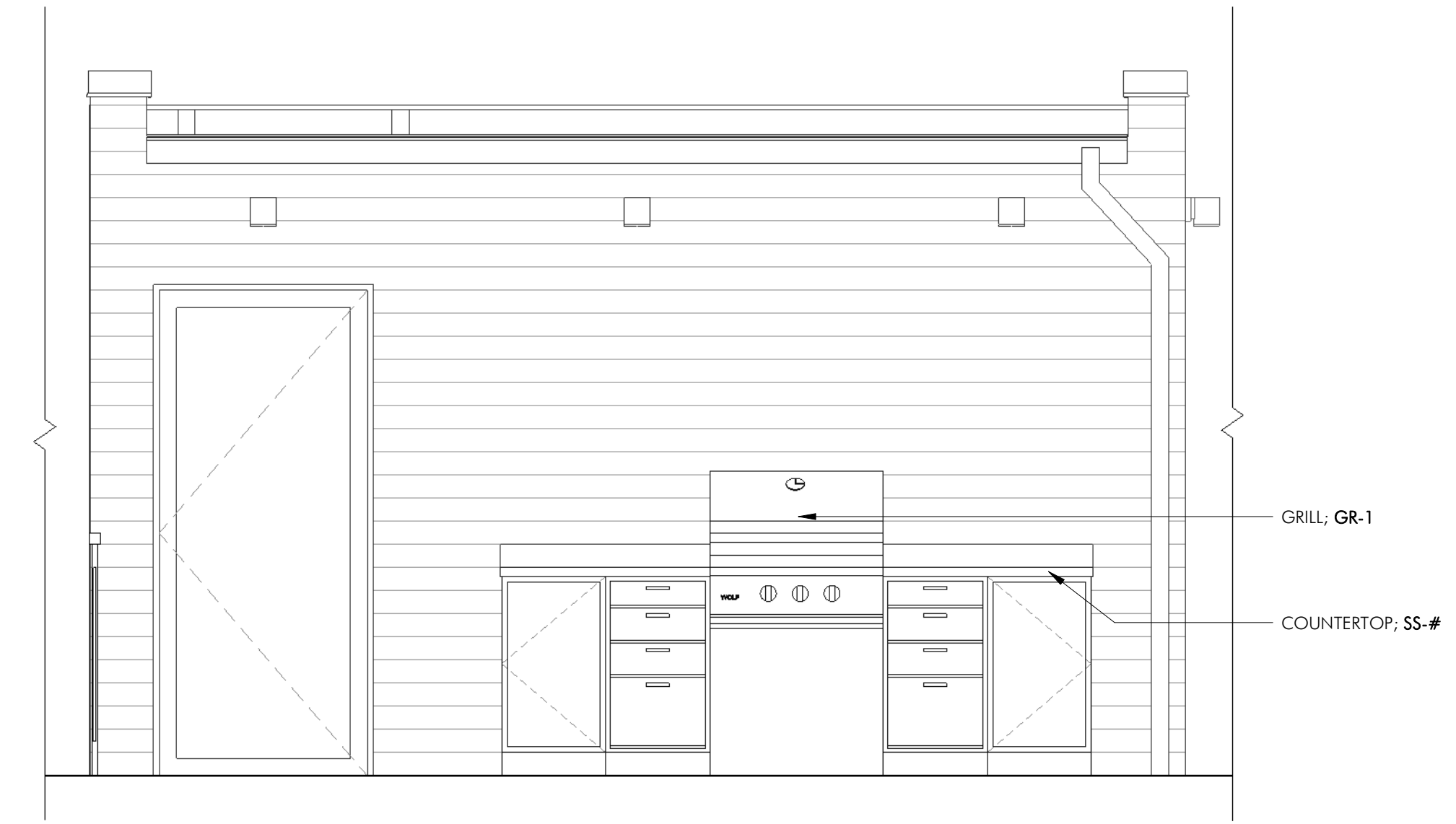




**1** ROOF DECK GRILL ENLARGED PLAN  
1/2" = 1'-0"



**1A** ROOF DECK GRILL - ELEVATION A  
1/2" = 1'-0"



**1B** ROOF DECK GRILL - ELEVATION B  
1/2" = 1'-0"

ARCHITECT  
**EMBARC**

580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER

MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPRHAM AVE.  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
180 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**  
EDE, INC.  
135 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**  
ENENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114

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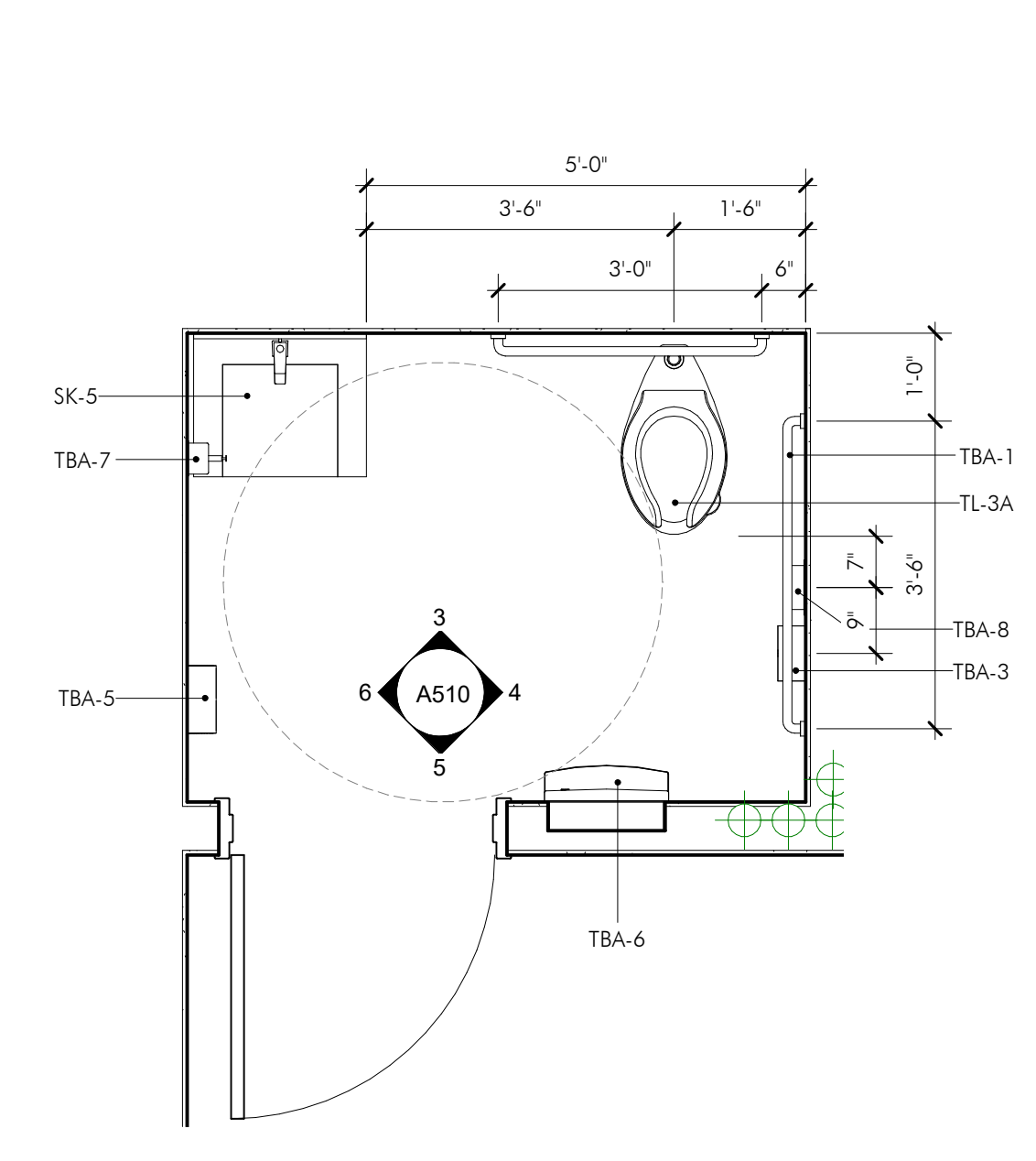
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/2" = 1'-0"

DRAWING TITLE  
ROOF DECK  
GRILL - ENLARGED  
PLAN & ELEV

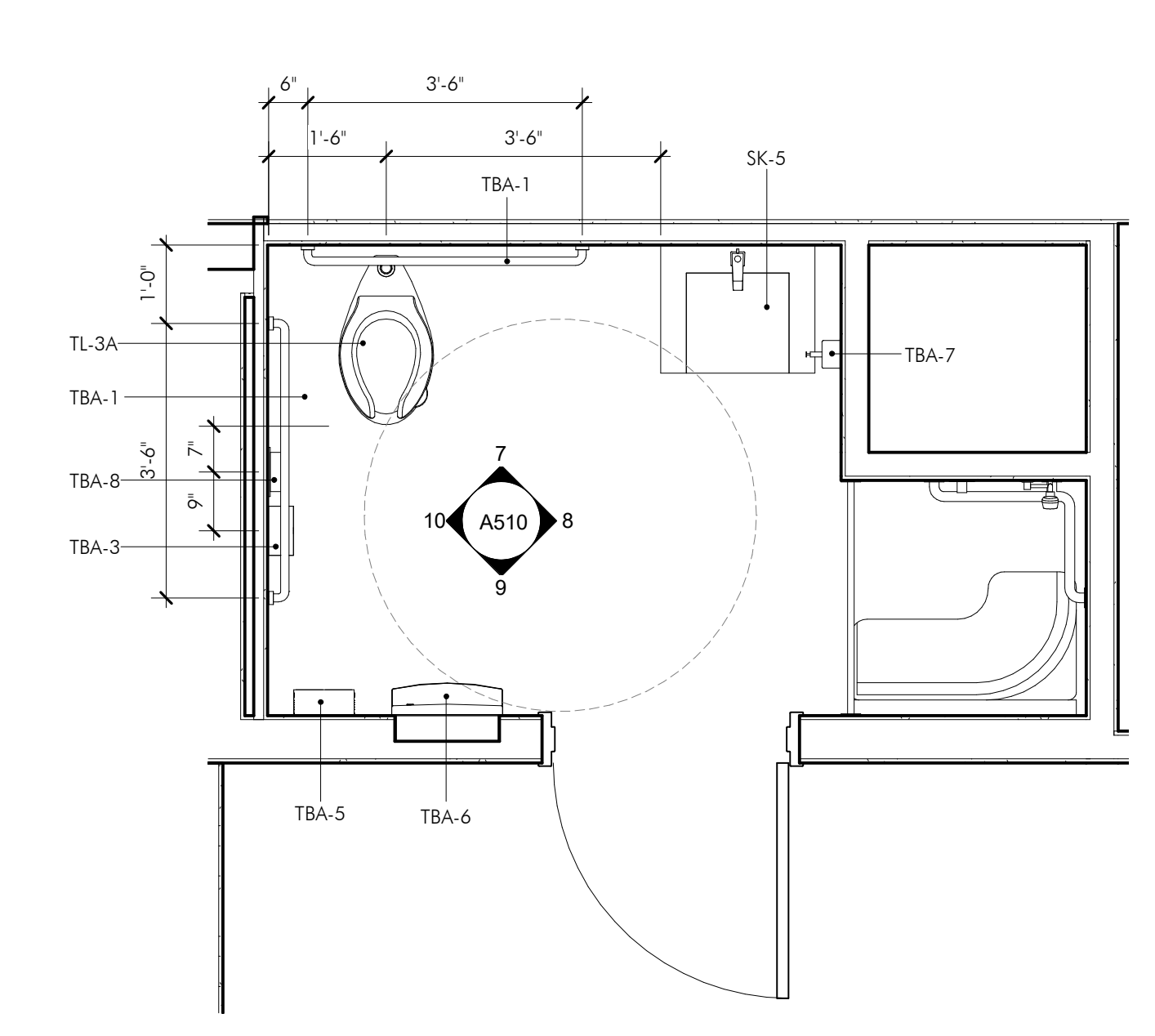
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**A507**

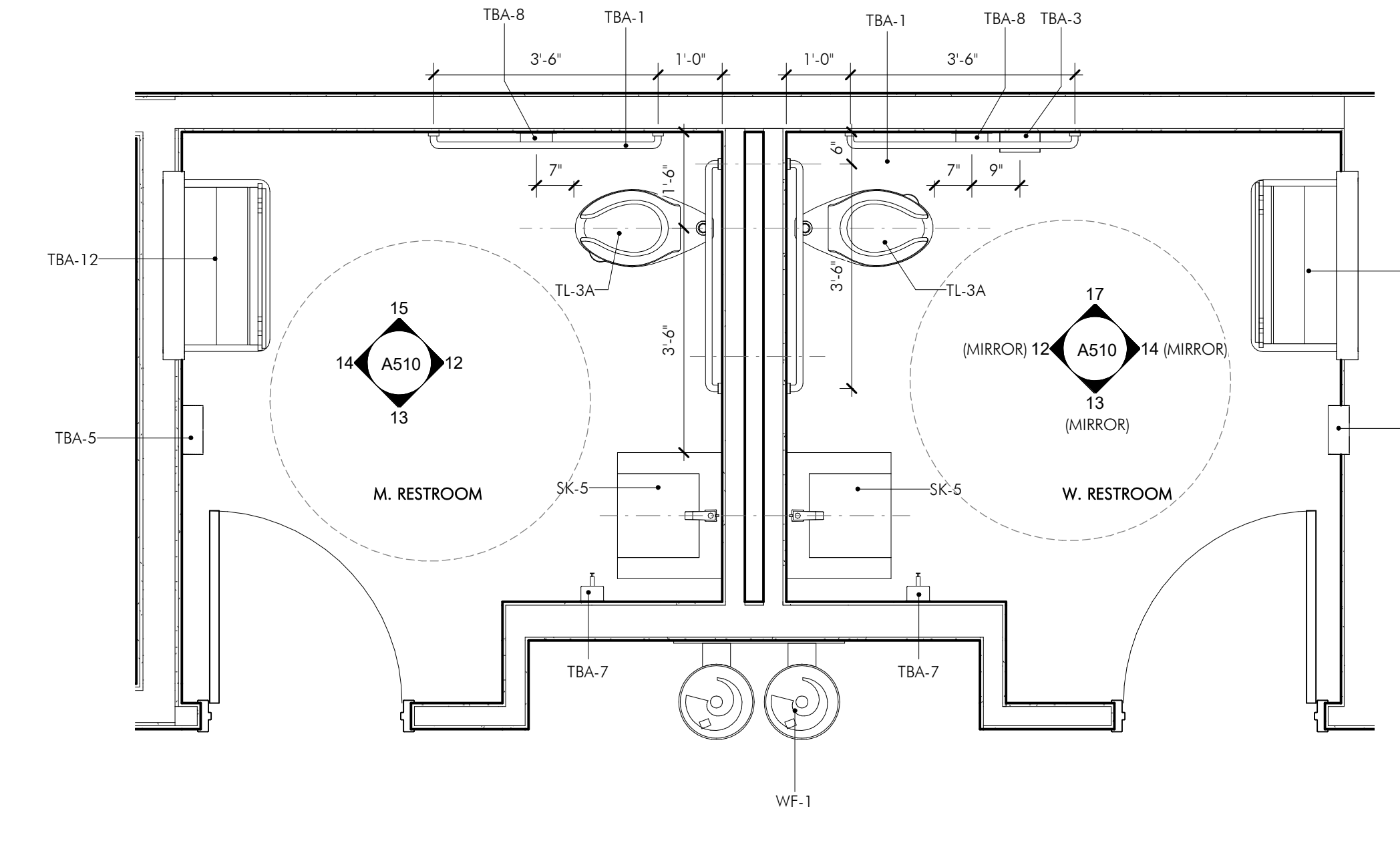
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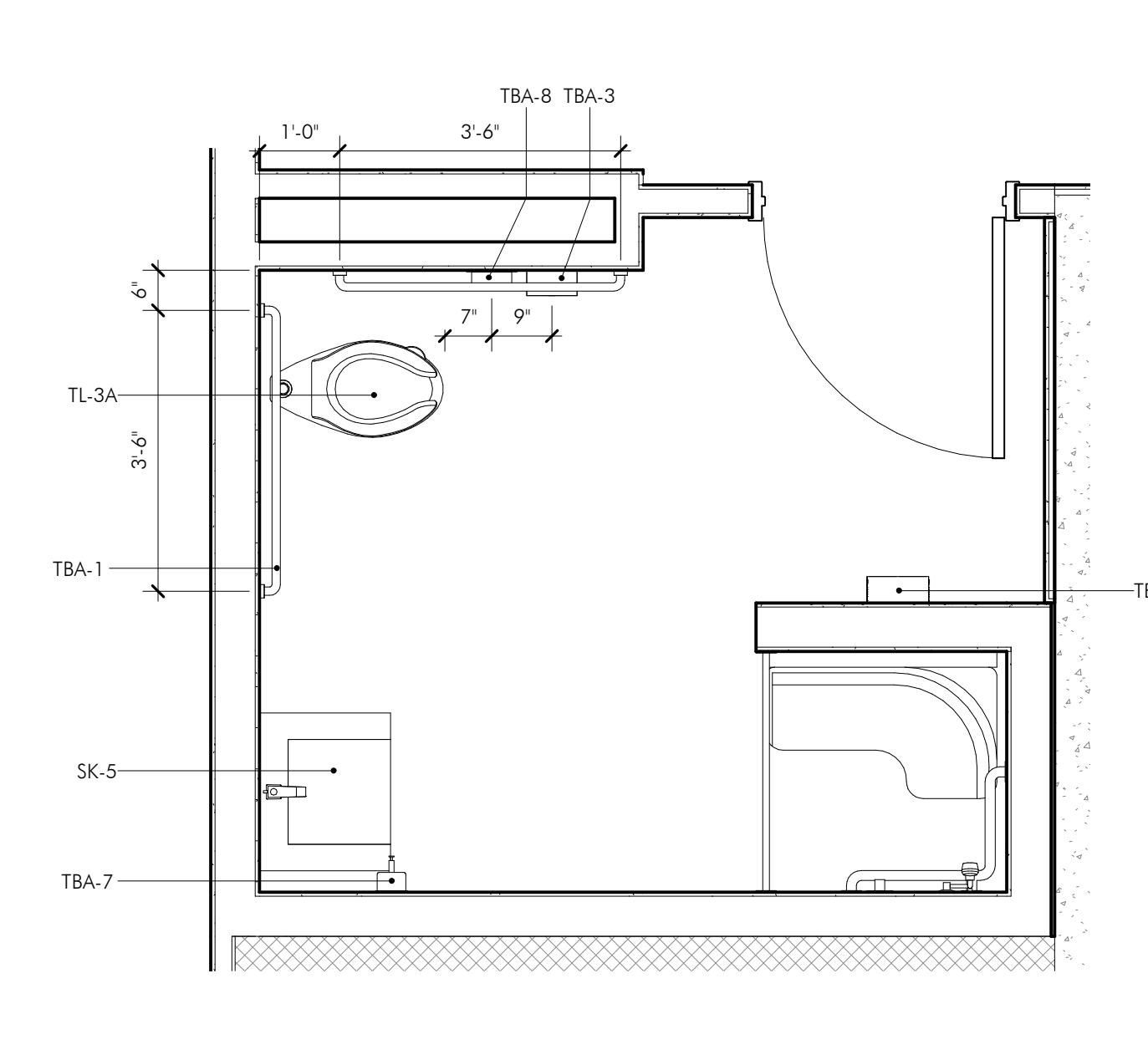
1 SECOND FLOOR - TOILET ROOM  
1/2" = 1'-0"



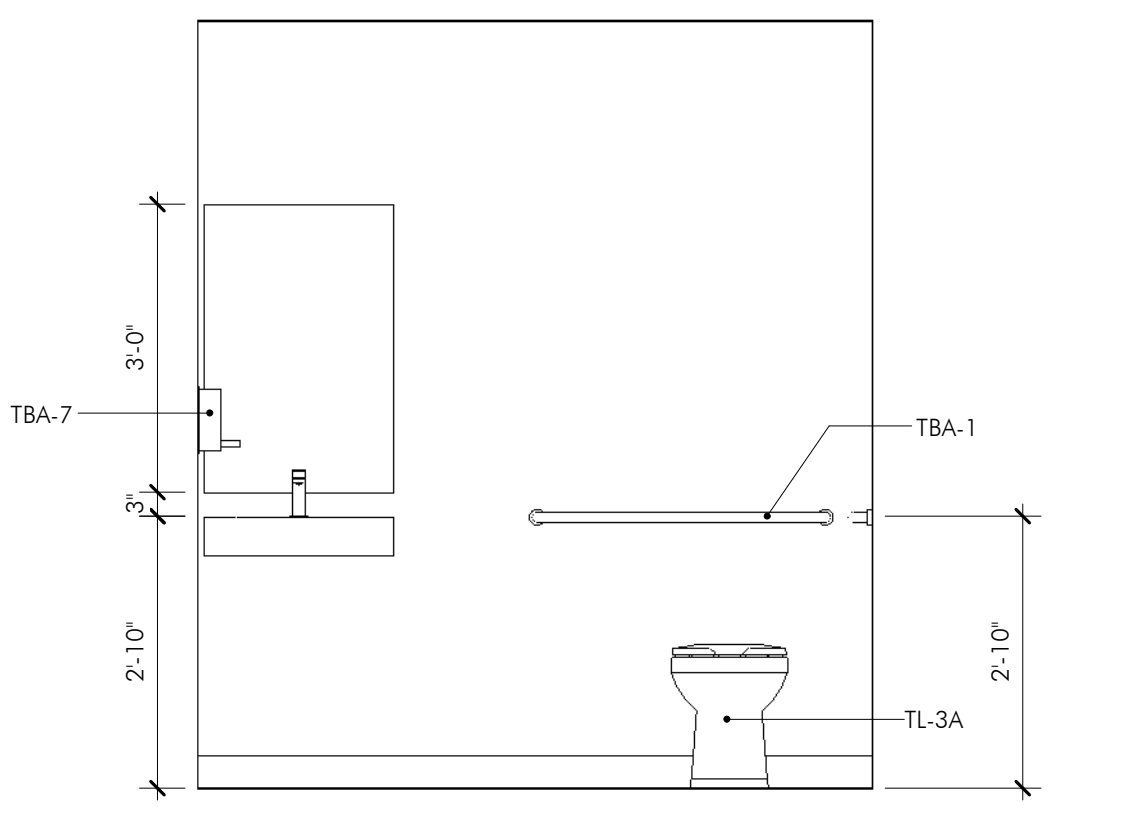
2 SECOND FLOOR - BATHROOM  
1/2" = 1'-0"



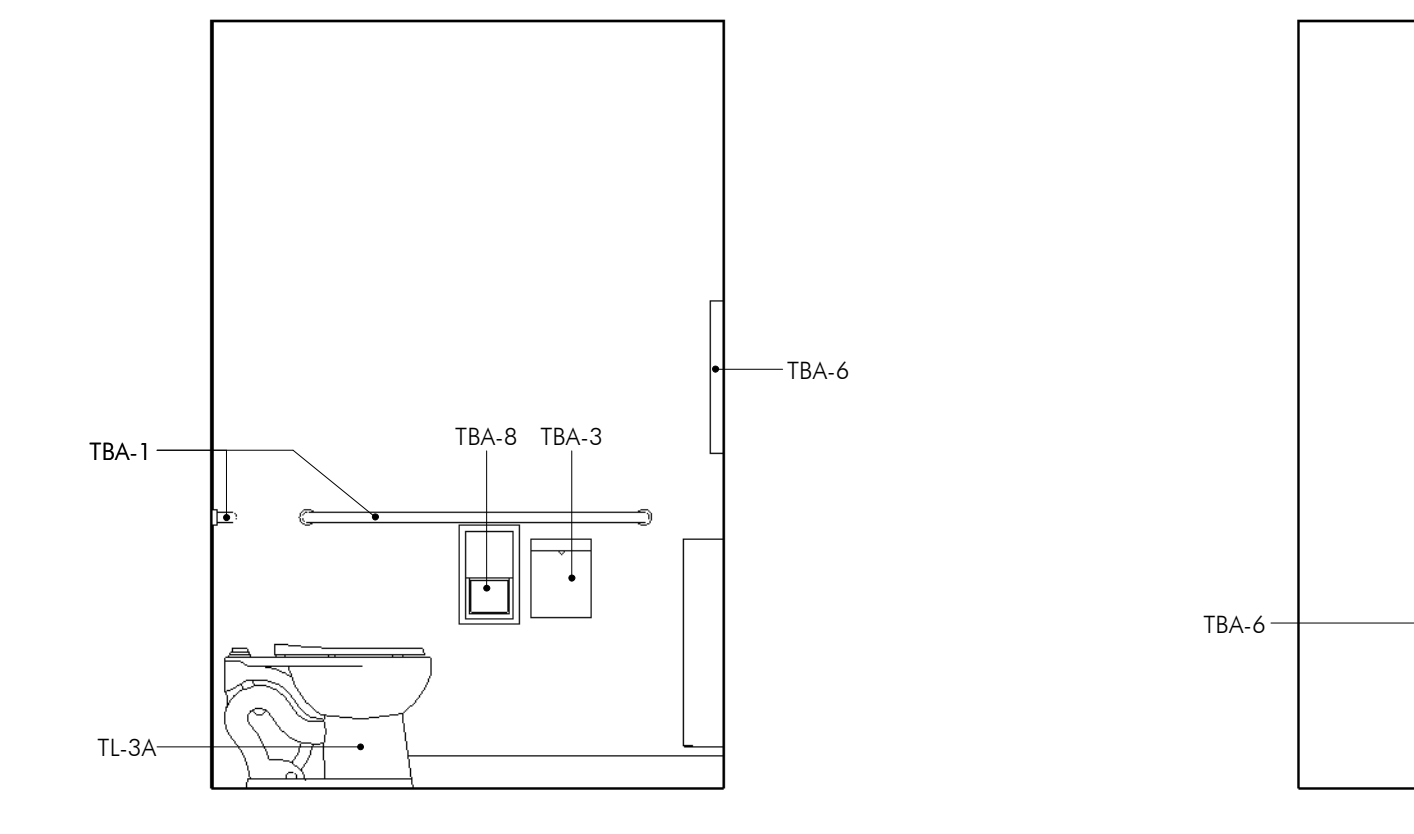
11 THIRD FLOOR - MEN'S RESTROOM  
1/2" = 1'-0"



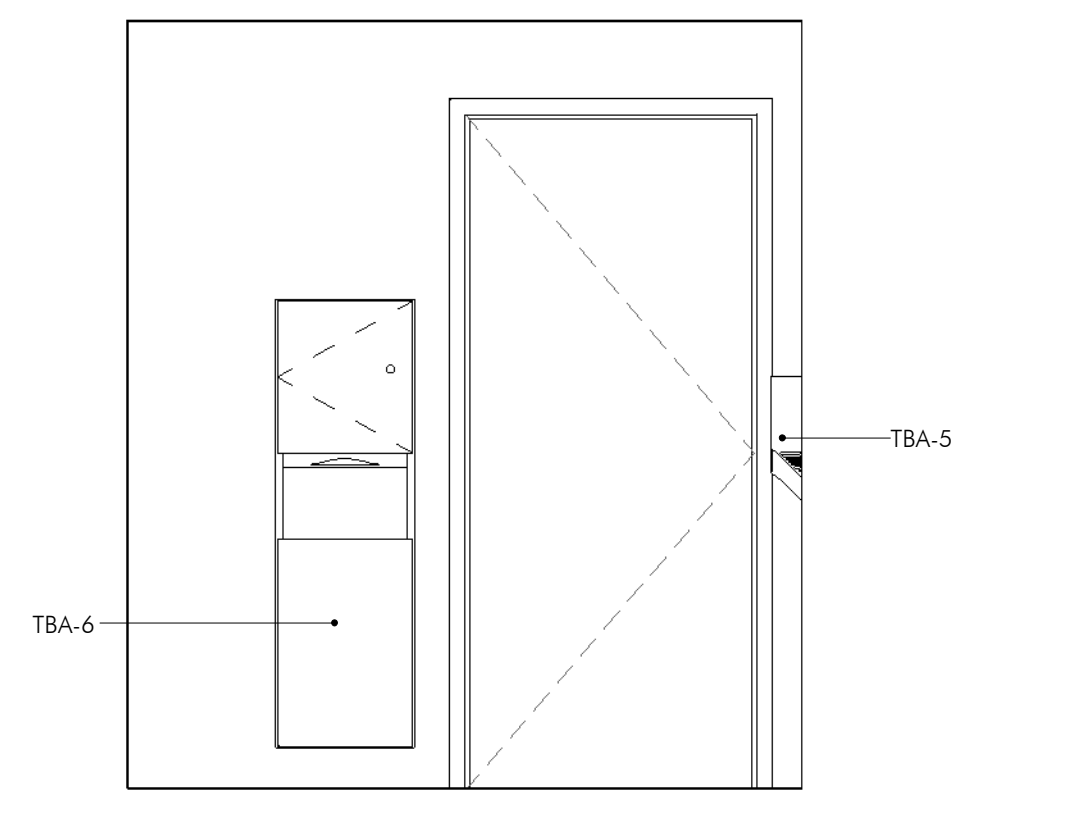
16 FIRST FLOOR - BATHROOM  
1/2" = 1'-0"



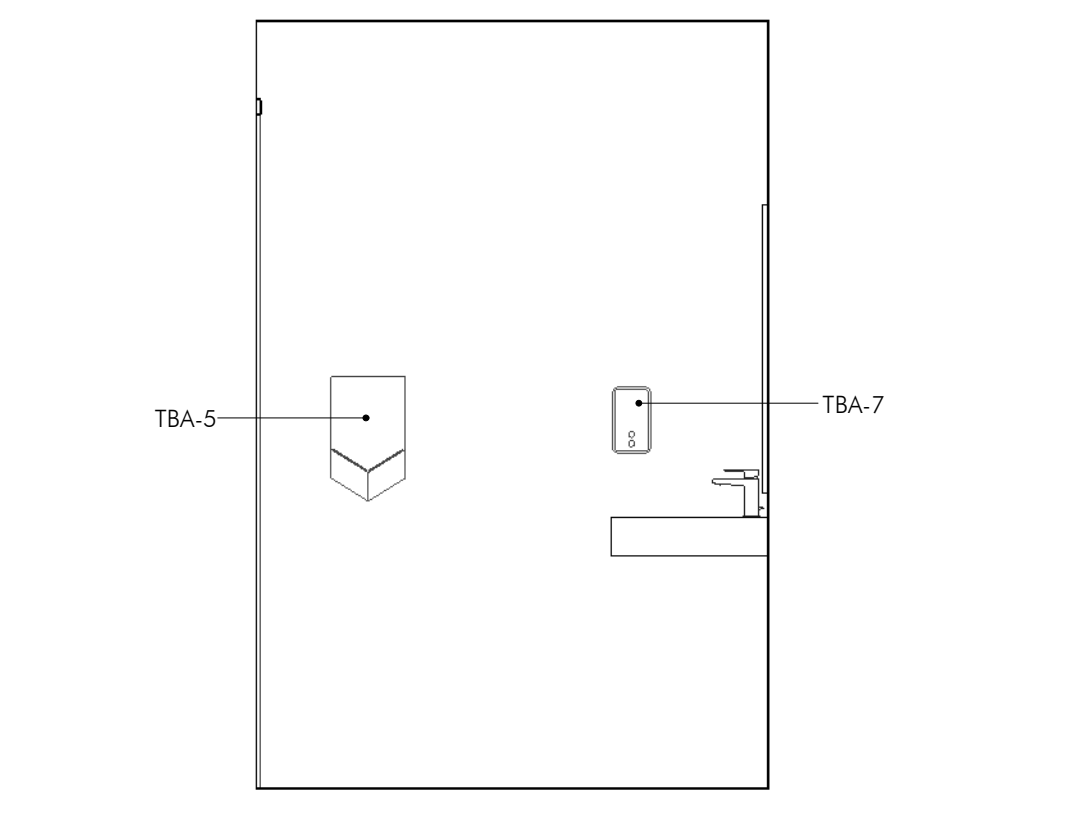
3 SECOND FLOOR - TOILET ROOM - ELEVATION A  
1/2" = 1'-0"



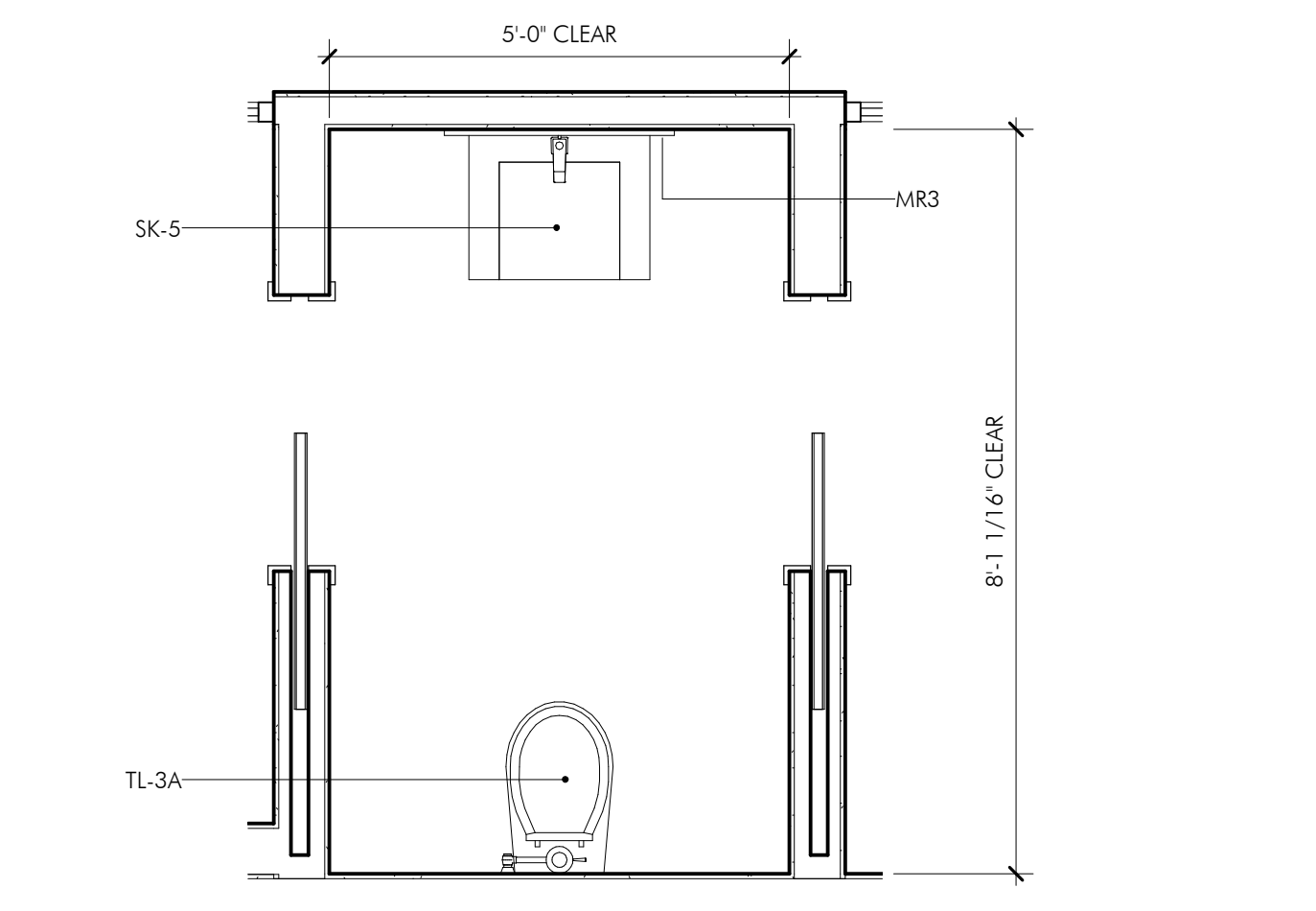
4 SECOND FLOOR - TOILET ROOM - ELEVATION B  
1/2" = 1'-0"



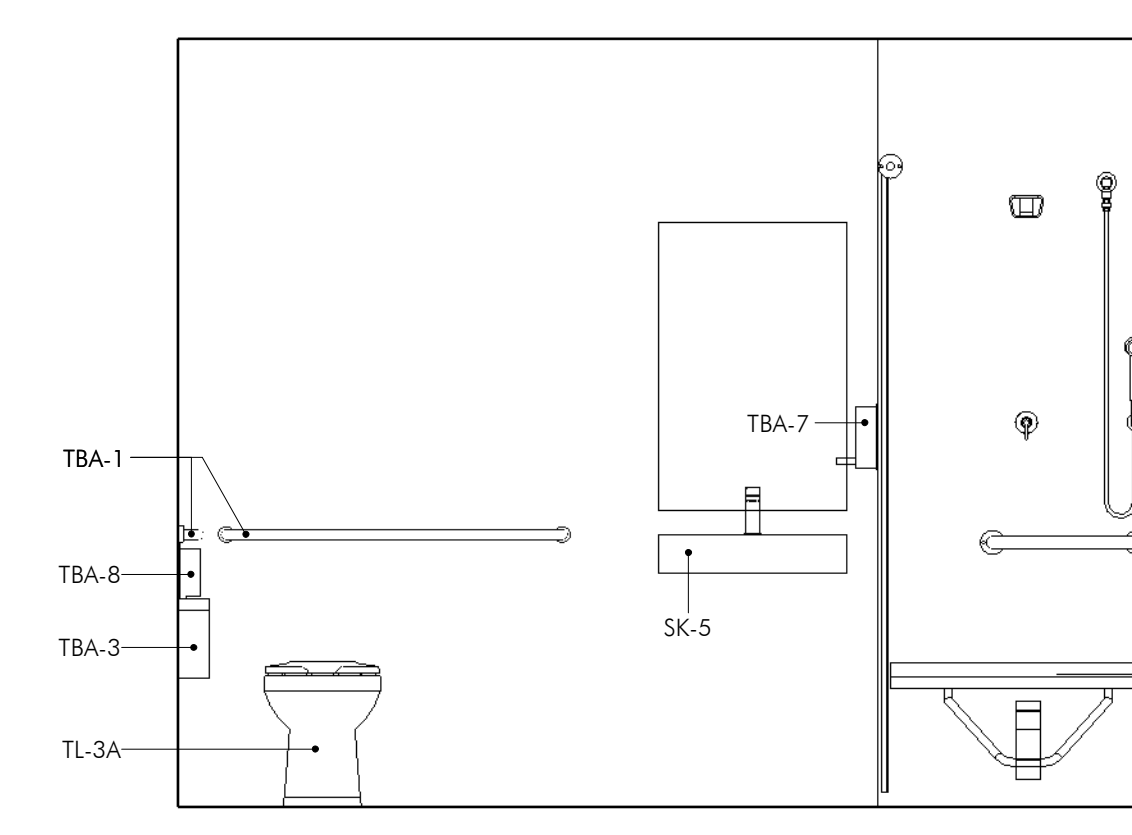
5 SECOND FLOOR - TOILET ROOM - ELEVATION C  
1/2" = 1'-0"



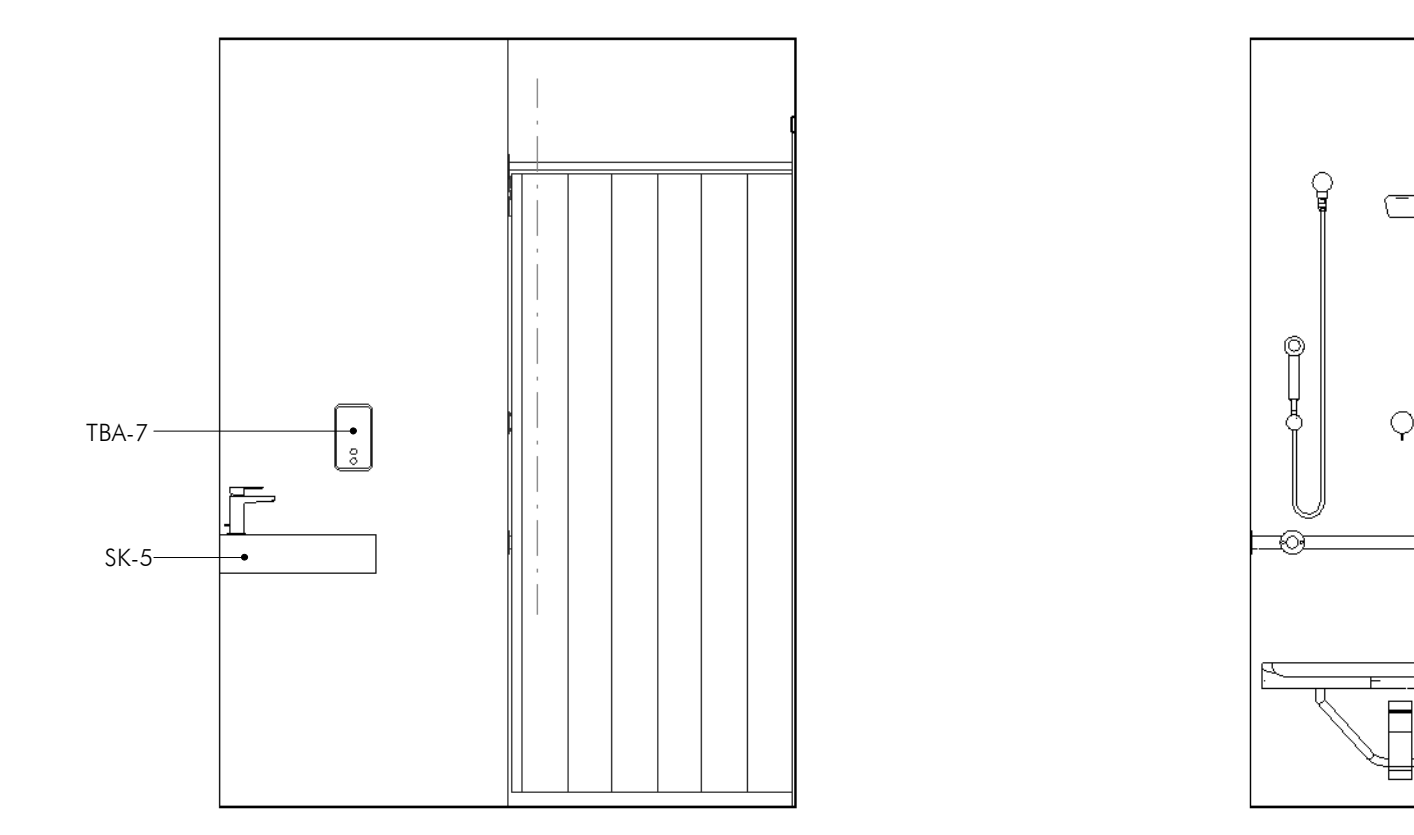
6 SECOND FLOOR - TOILET ROOM - ELEVATION D  
1/2" = 1'-0"



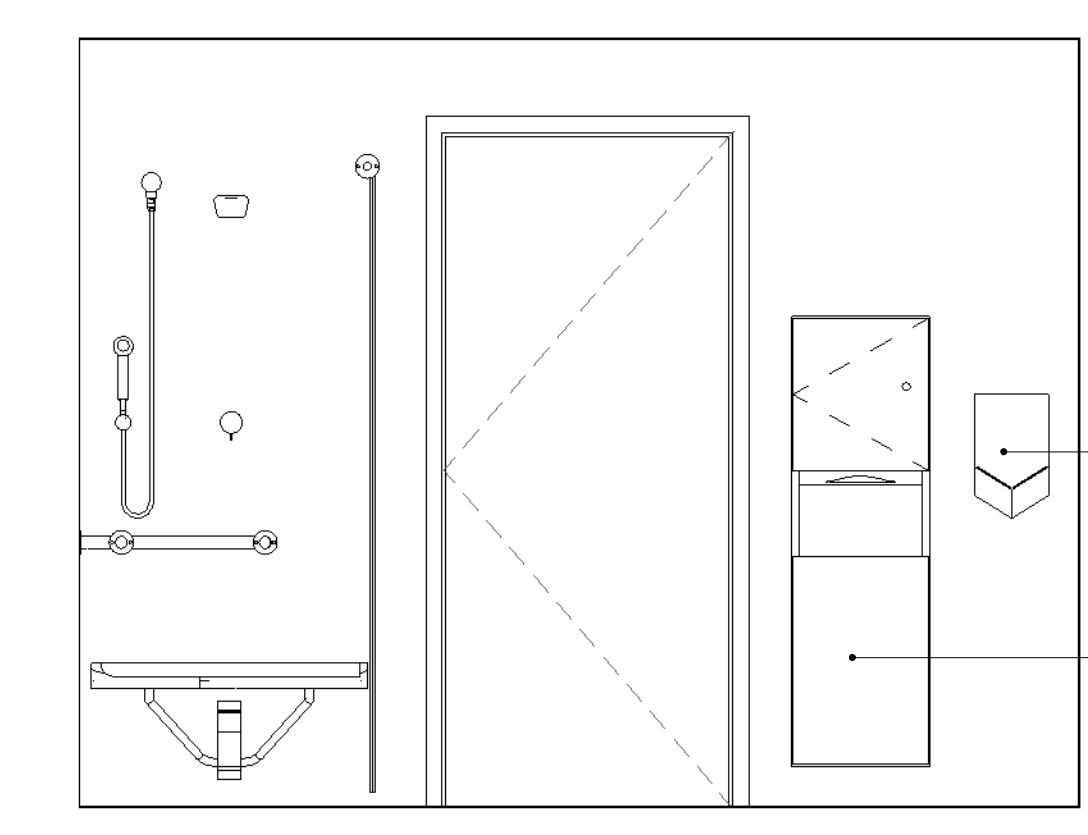
18 SECOND FLOOR - RESTROOM  
1/2" = 1'-0"



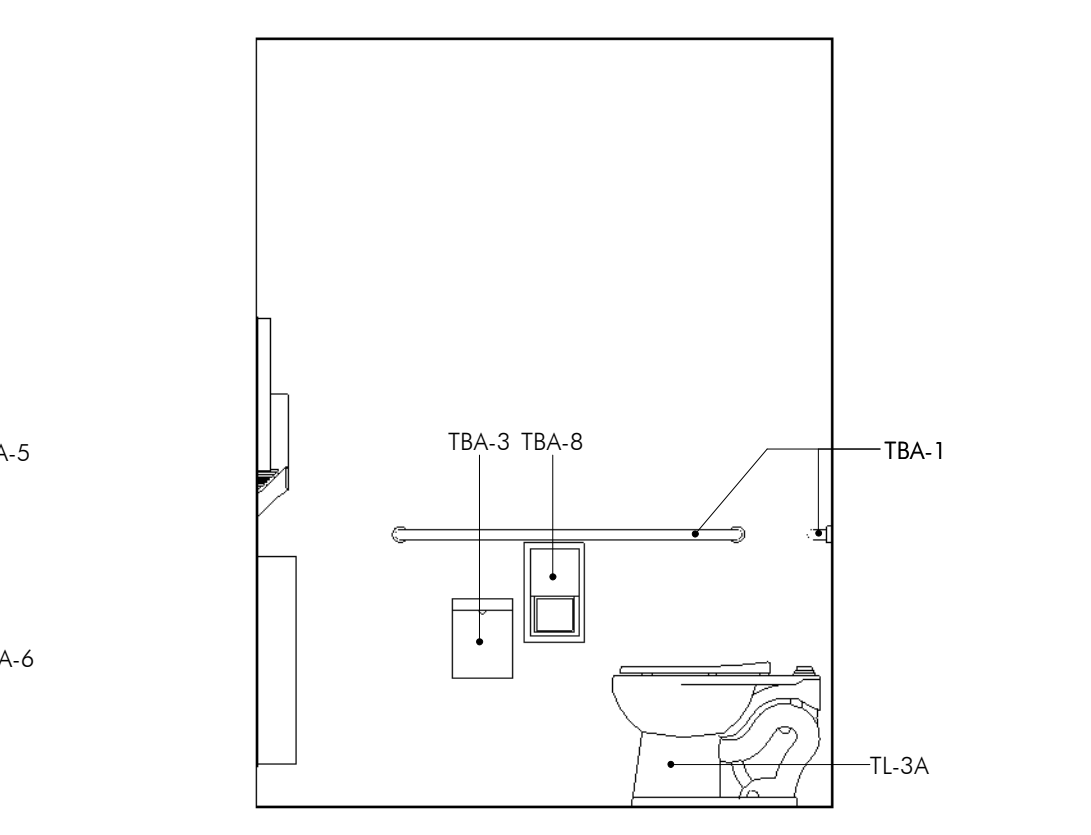
7 SECOND FLOOR - BATHROOM - ELEVATION A  
1/2" = 1'-0"



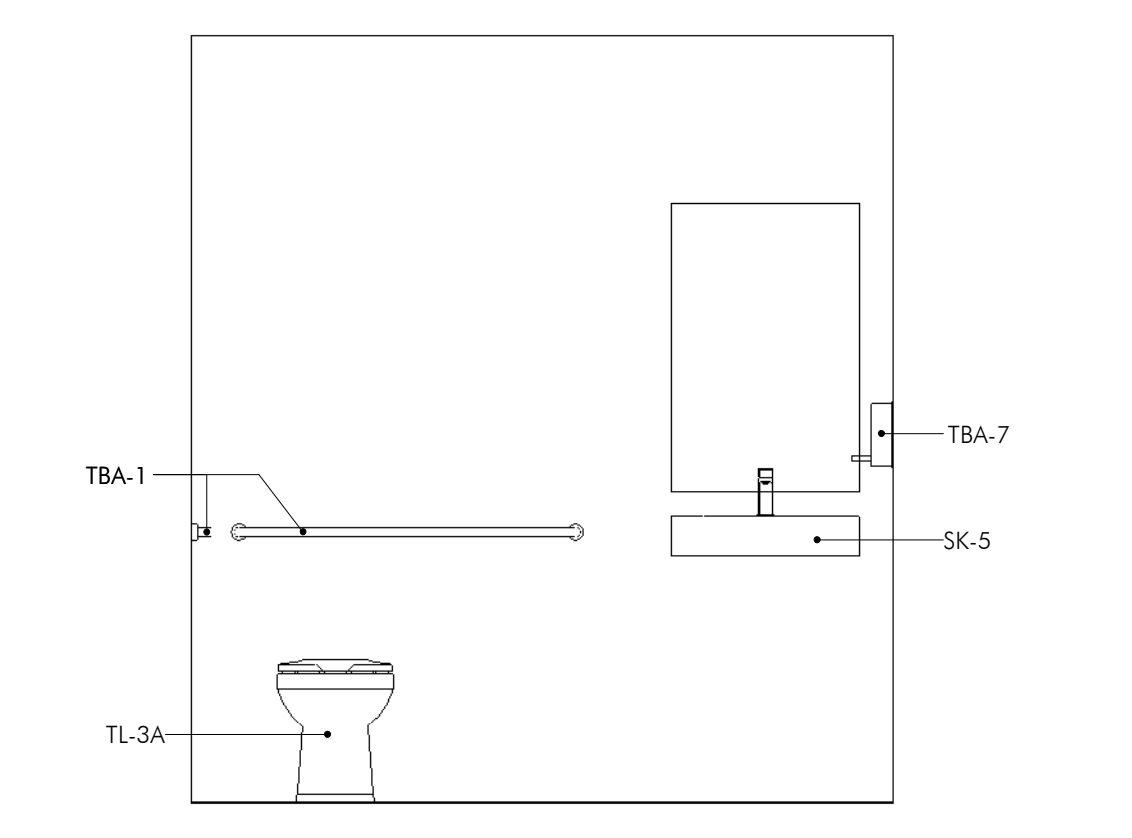
8 SECOND FLOOR - BATHROOM - ELEVATION B  
1/2" = 1'-0"



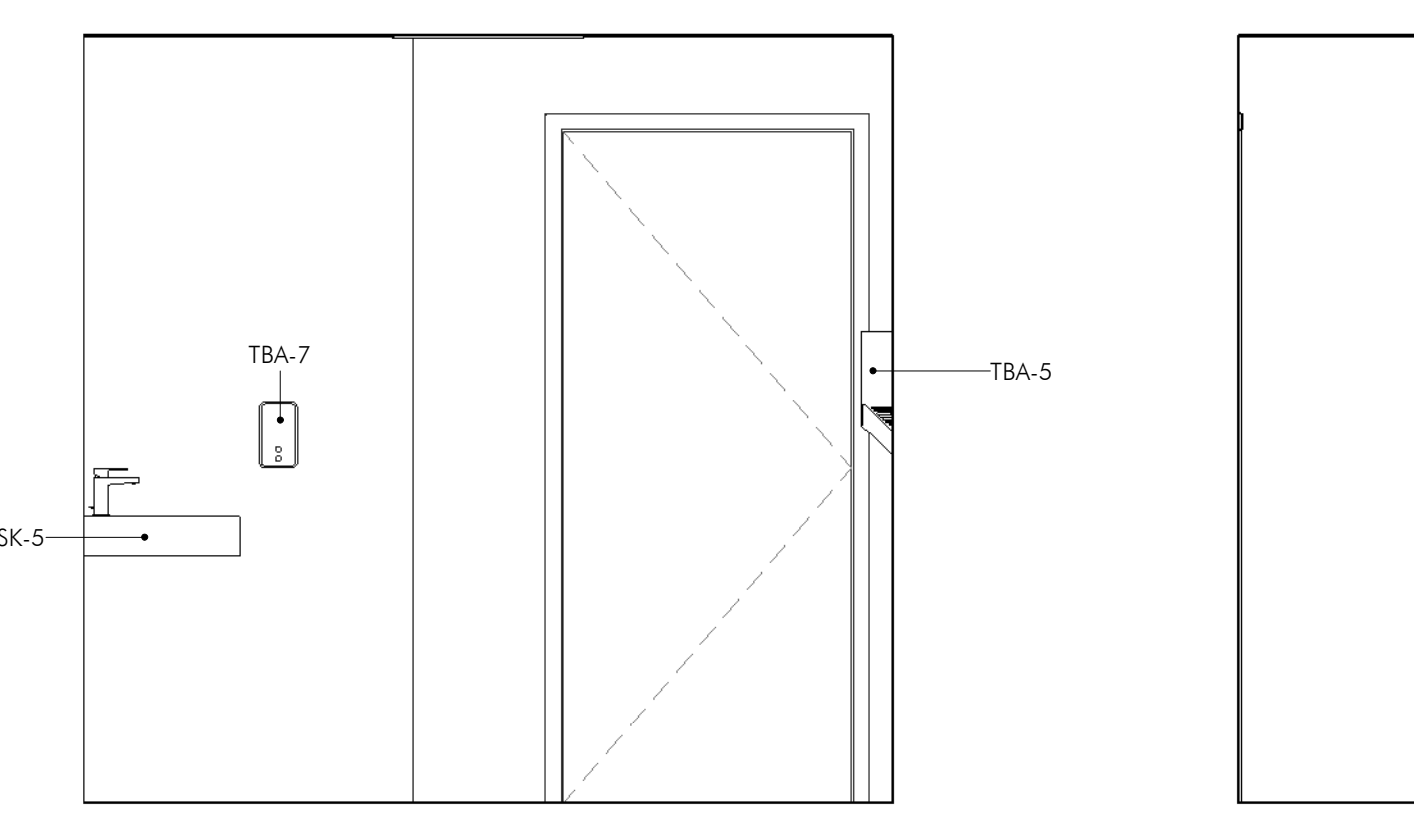
9 SECOND FLOOR - BATHROOM - ELEVATION C  
1/2" = 1'-0"



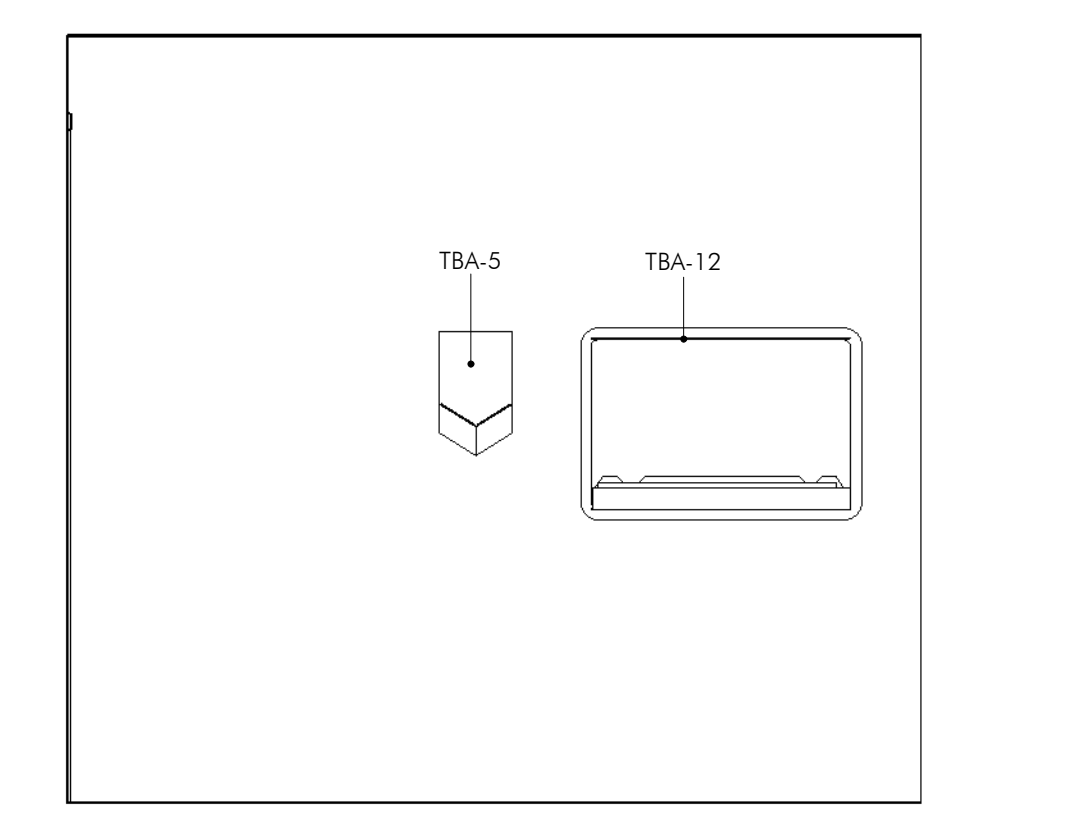
10 SECOND FLOOR - BATHROOM - ELEVATION D  
1/2" = 1'-0"



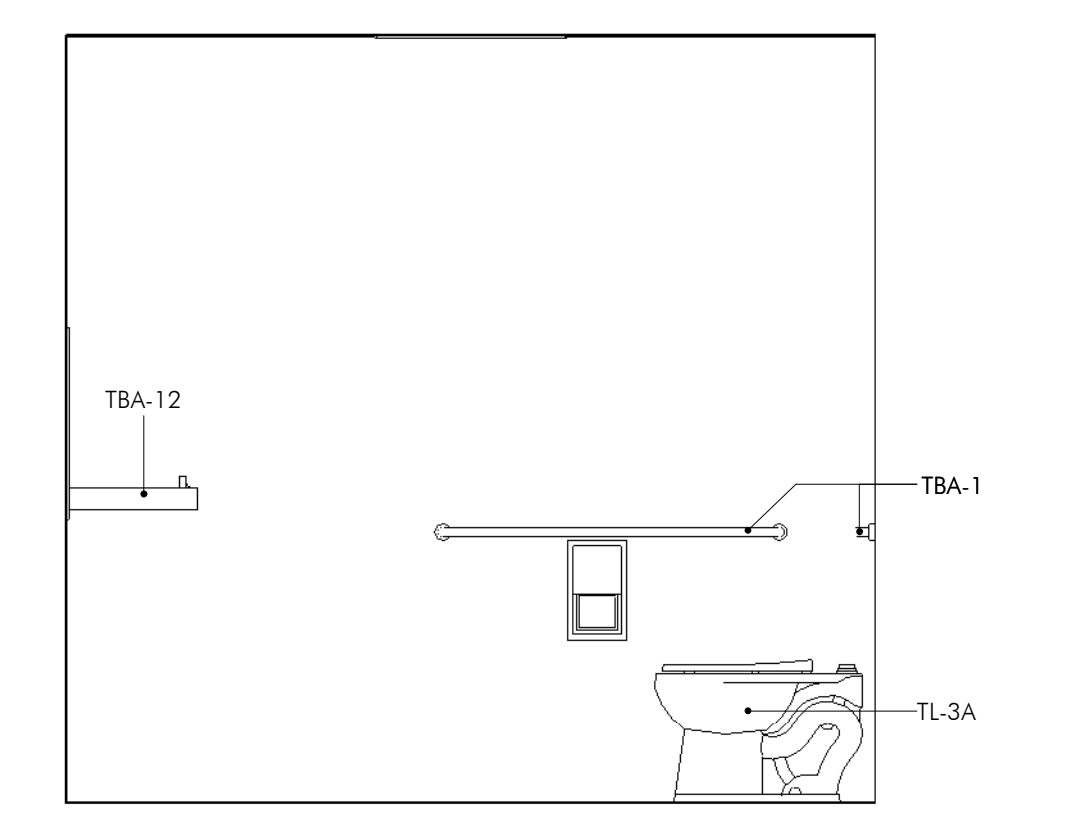
12 THIRD FLOOR - MEN'S RESTROOM ELEVATION A  
1/2" = 1'-0"



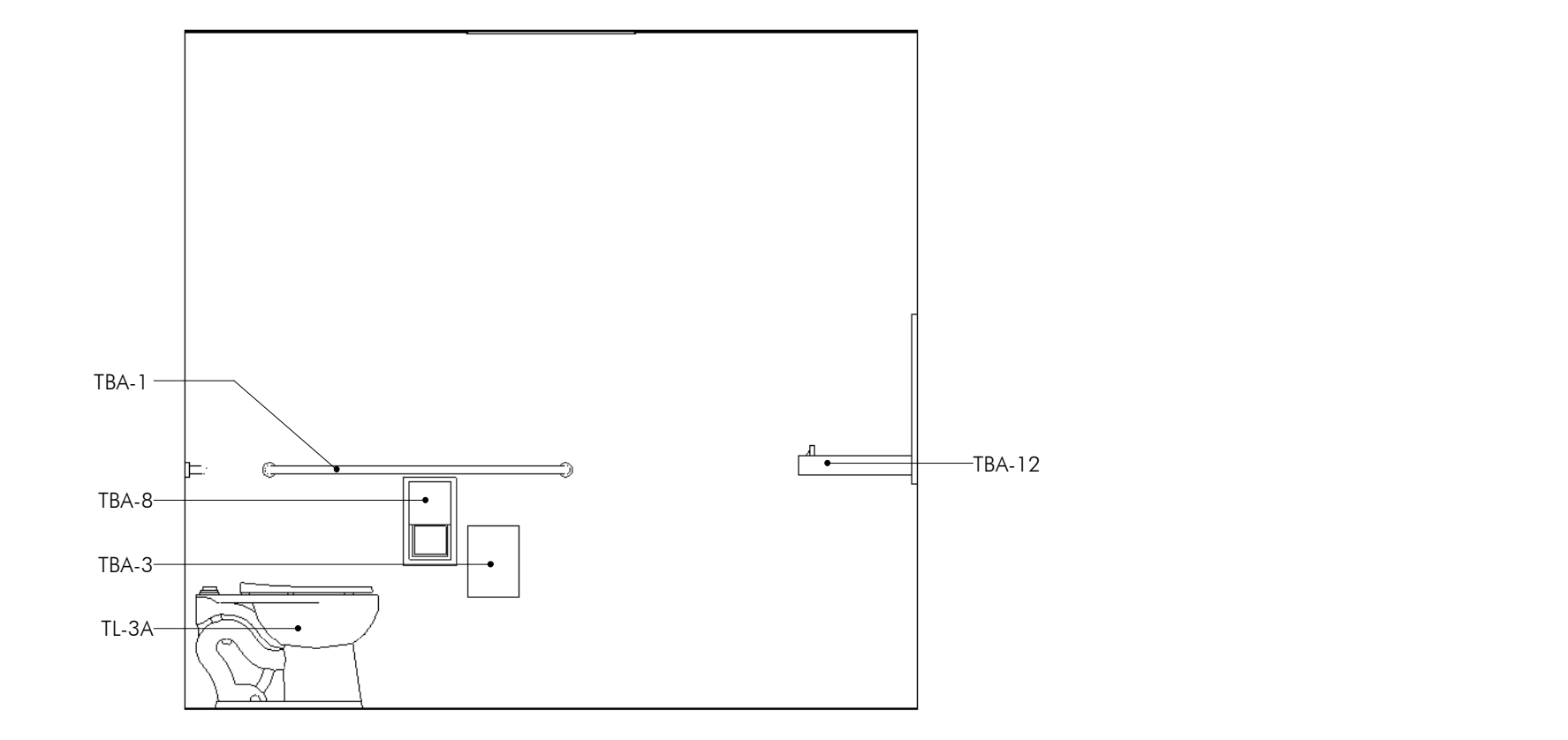
13 THIRD FLOOR - MEN'S RESTROOM ELEVATION B  
1/2" = 1'-0"



14 THIRD FLOOR - MEN'S RESTROOM ELEVATION C  
1/2" = 1'-0"

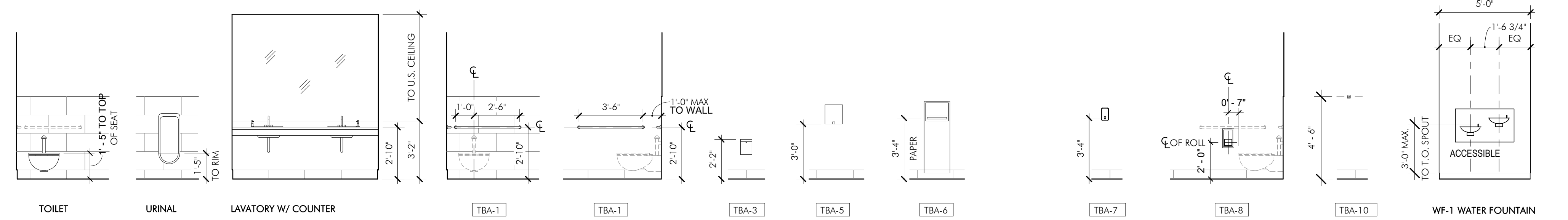


15 THIRD FLOOR - MEN'S RESTROOM ELEVATION D  
1/2" = 1'-0"



17 THIRD FLOOR - WOMEN'S RESTROOM ELEVATION A  
1/2" = 1'-0"

**TYPICAL MOUNTING HEIGHTS**



**TOILET ACCESSORY SCHEDULE**

TBA-1	GRAB BAR 42-IN	BOD:	
TBA-3	SANITARY WIPER DISPOSAL	BOD:	BOBBRICK B-270 SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL
TBA-5	ELECTRIC HAND DRYER	BOD:	DYSON AIRBLADE V-HAND DRYER
TBA-6	PAPER TOWEL DISPENSER/WASTE RECEPTACLE	BOD:	BOBBRICK B-3940 RECESSED CONVERTIBLE PAPER TOWEL DISPENSER/WASTE RECEPTACLE
TBA-7	SOAP DISPENSER WALL MOUNTED	BOD:	
TBA-8	TOILET PAPER DISPENSER	BOD:	BOBBRICK B-35903 RECESSED PAPER TOWEL DISPENSER
TBA-10	DOUBLE ROBE HOOK	BOD:	
TBA-10A	SHOWER ROD, HOOK AND CURTAIN	BOD:	
TBA-10B	SHOWER ROD, HOOK AND CURTAIN	BOD:	
TBA-11	MOP / BROOM HOLDER	BOD:	
TBA-12	CHANGING STATION	BOD:	KOALA KARE KB310-SSRE HORIZONTAL STAINLESS STEEL RECESSED-MOUNTED BABY CHANGING STATION
WF-1	WATER FOUNTAIN	BOD:	HALSEY TAYLOR OVL-II™ BI-LEVEL FOUNTAIN

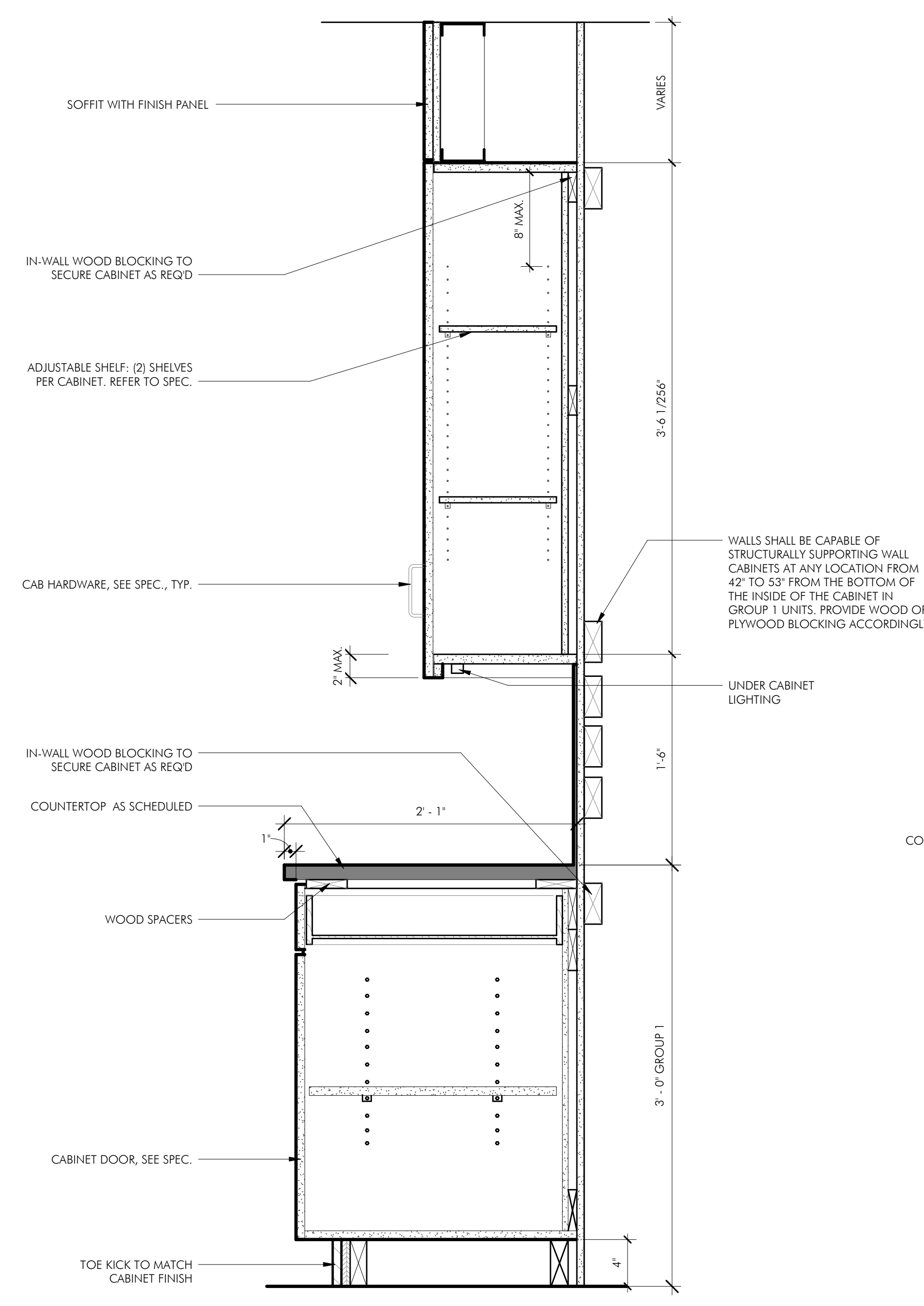
**REVISIONS**

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**DRAWING INFORMATION**

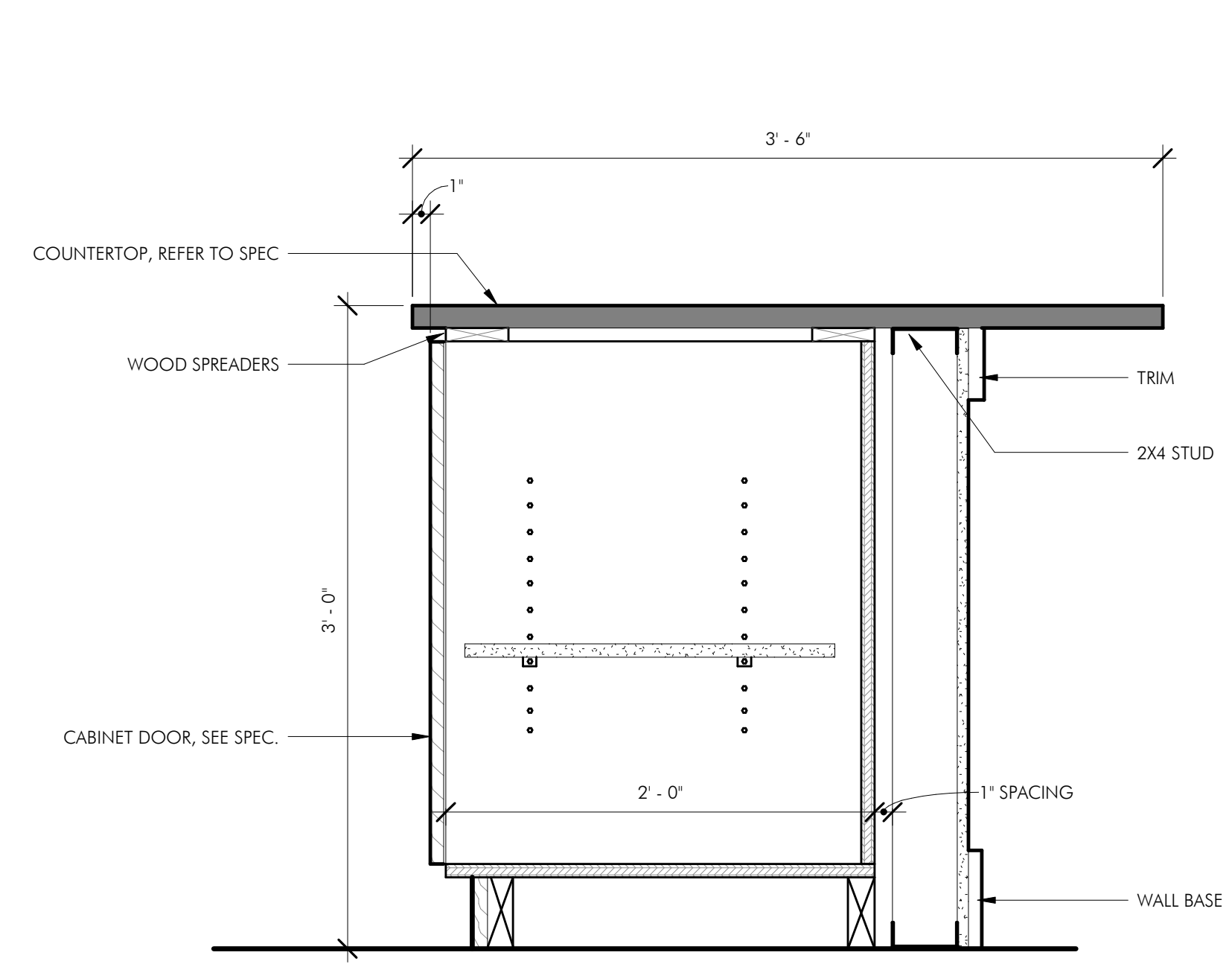
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: As indicated

**DRAWING TITLE**  
ENLARGED  
COMMON BATH  
DRAWINGS  
DRAWING NUMBER  
**A510**

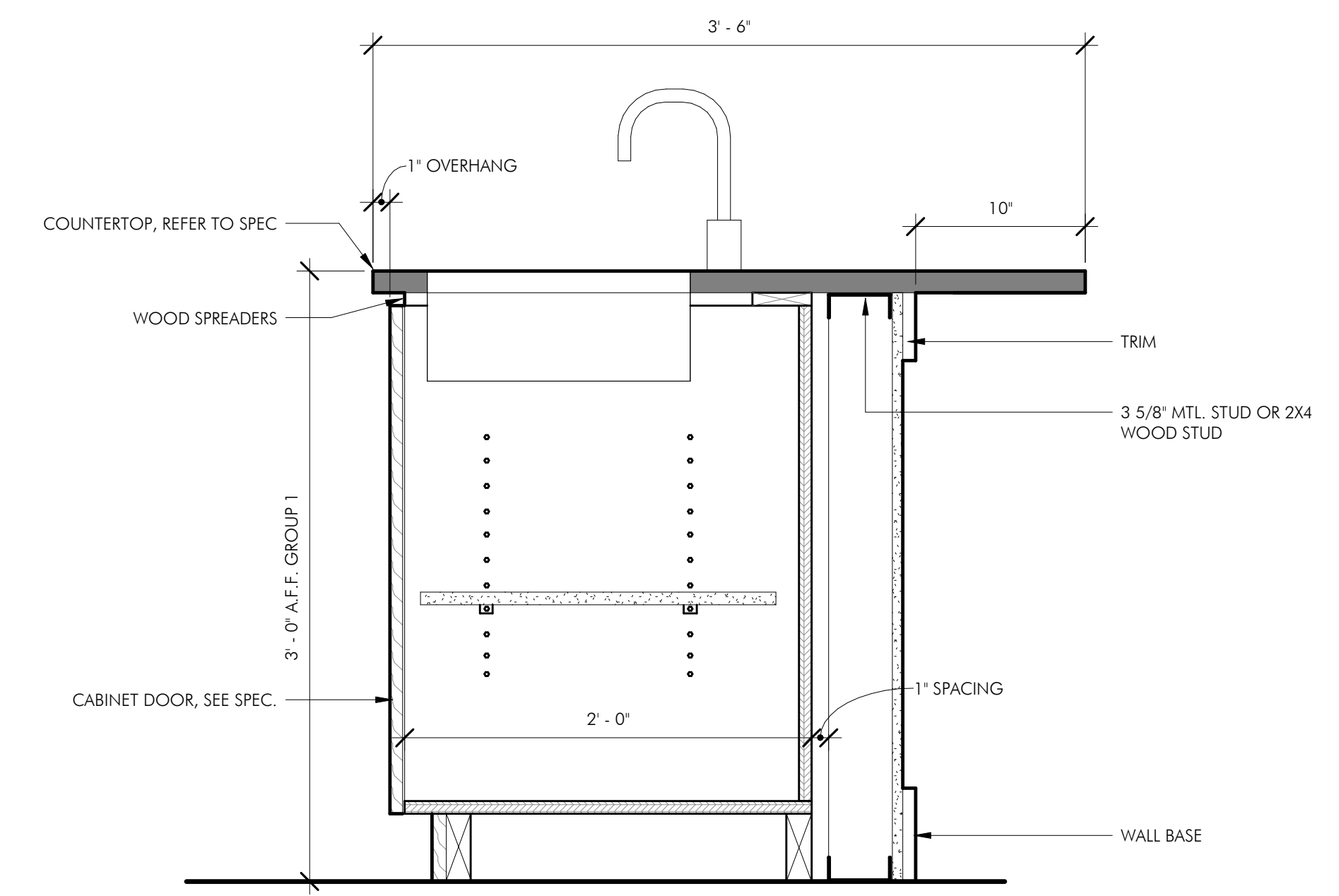


1 KITCHEN CABINET SECTION - GROUP 1  
1 1/2" = 1'-0"

WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING WALL CABINETS AT ANY LOCATION FROM 42" TO 53" FROM THE BOTTOM OF THE INSIDE OF THE CABINET IN GROUP 1 UNITS. PROVIDE WOOD OR PLYWOOD BLOCKING ACCORDINGLY.



2 KITCHEN ISLAND SECTION - NON-PLUMBING  
1 1/2" = 1'-0"



3 KITCHEN ISLAND SECTION - PLUMBING  
1 1/2" = 1'-0"

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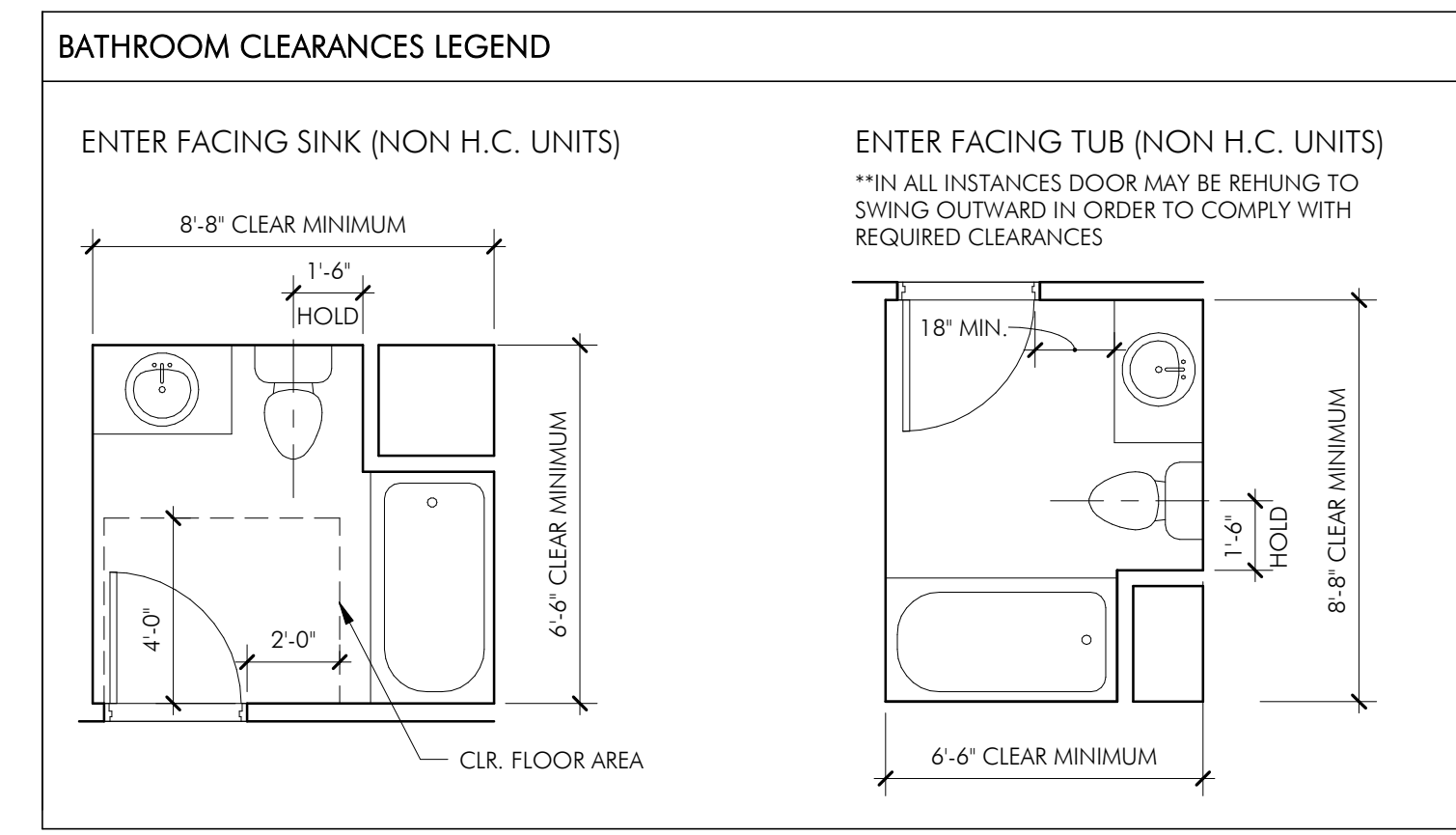


DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1 1/2" = 1'-0"

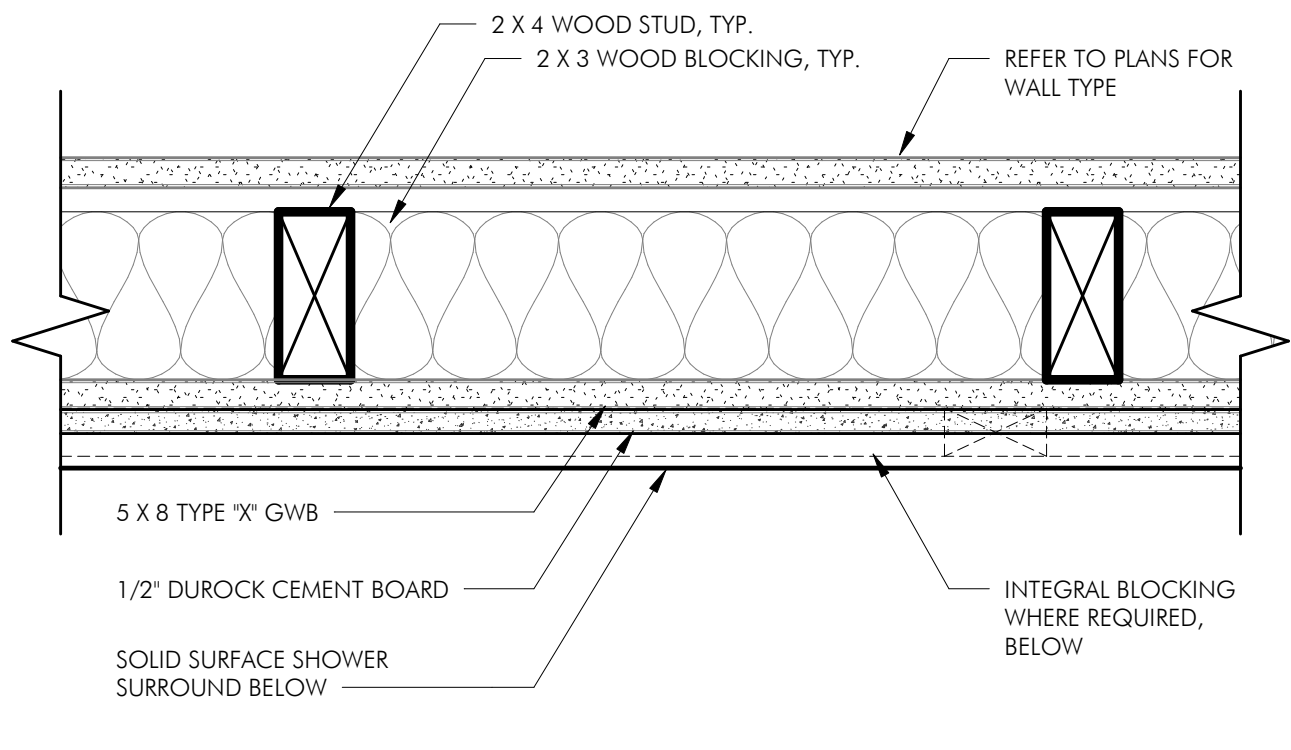
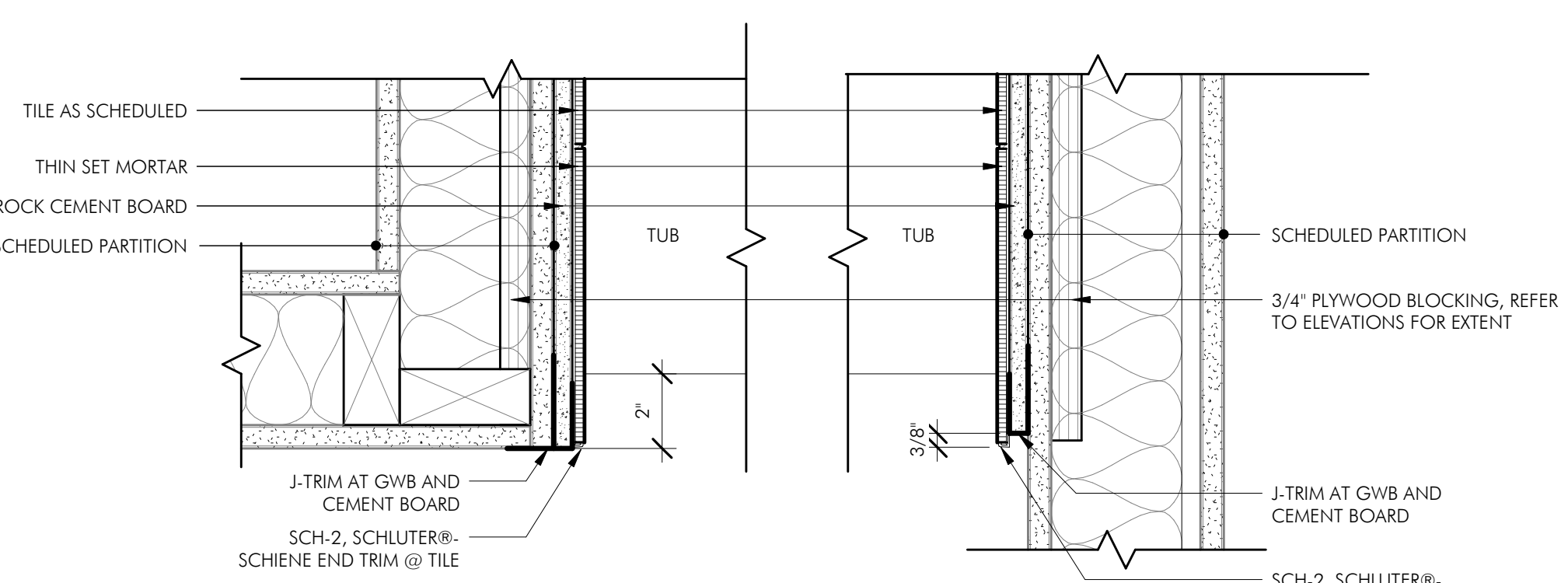
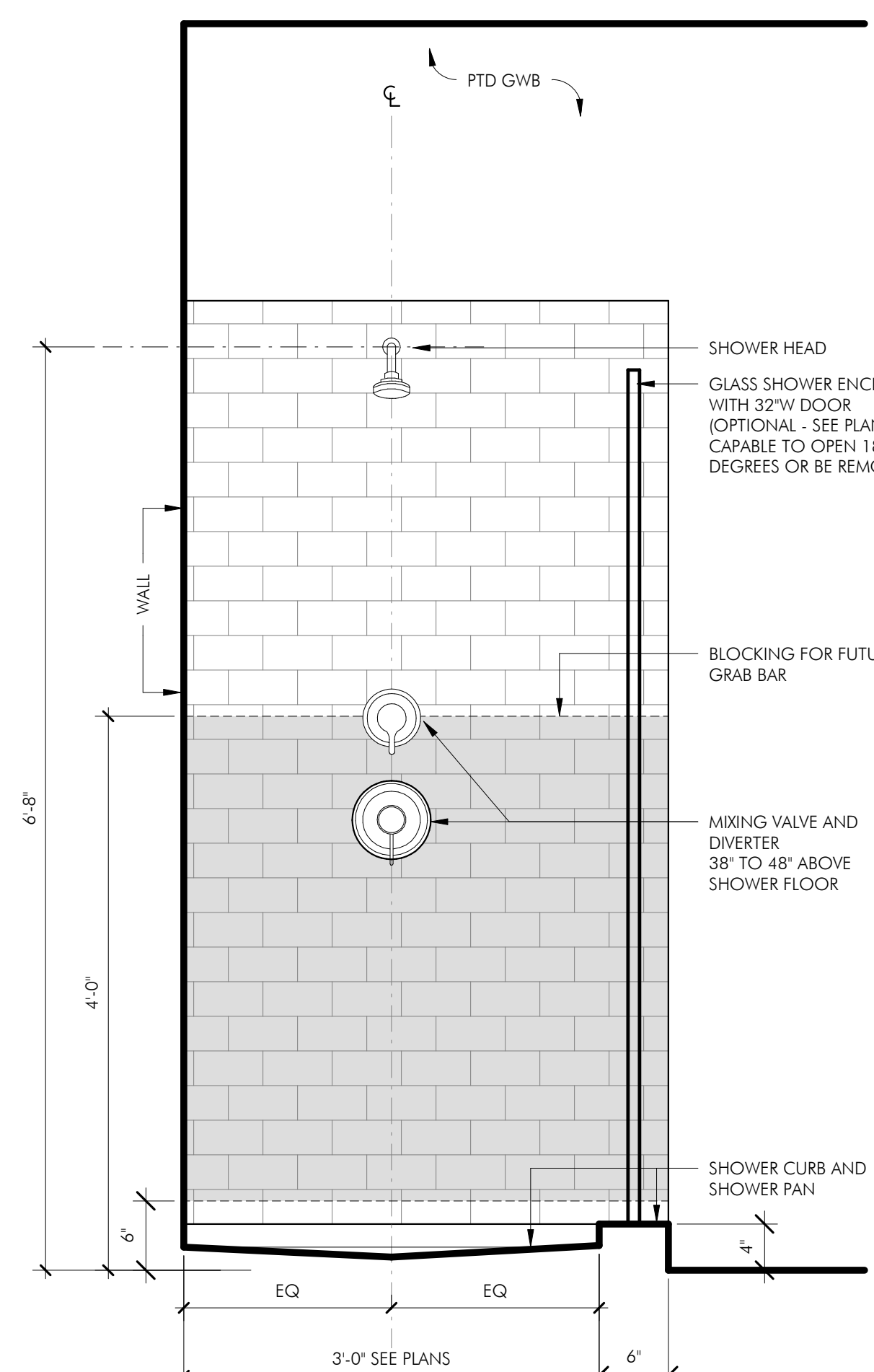
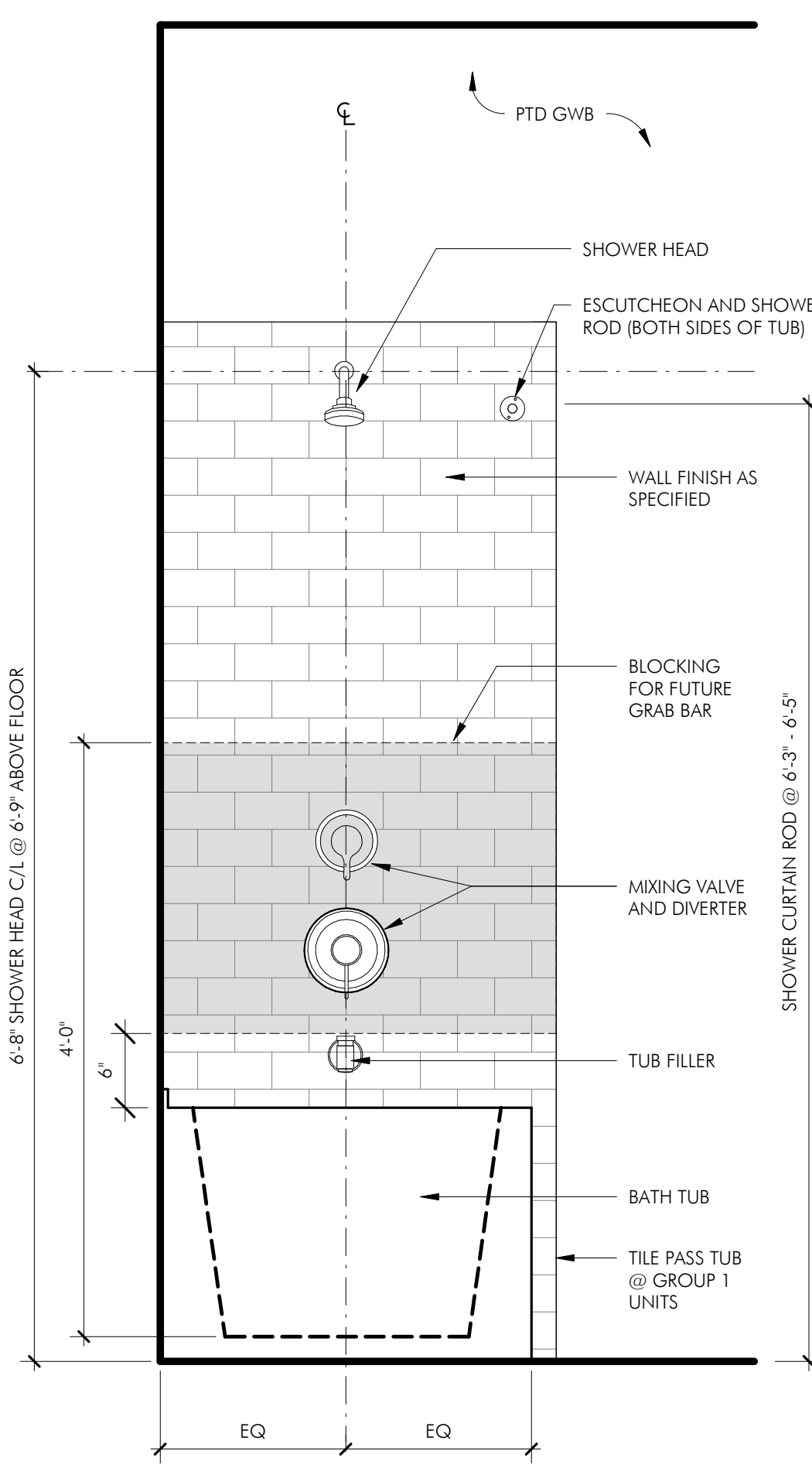
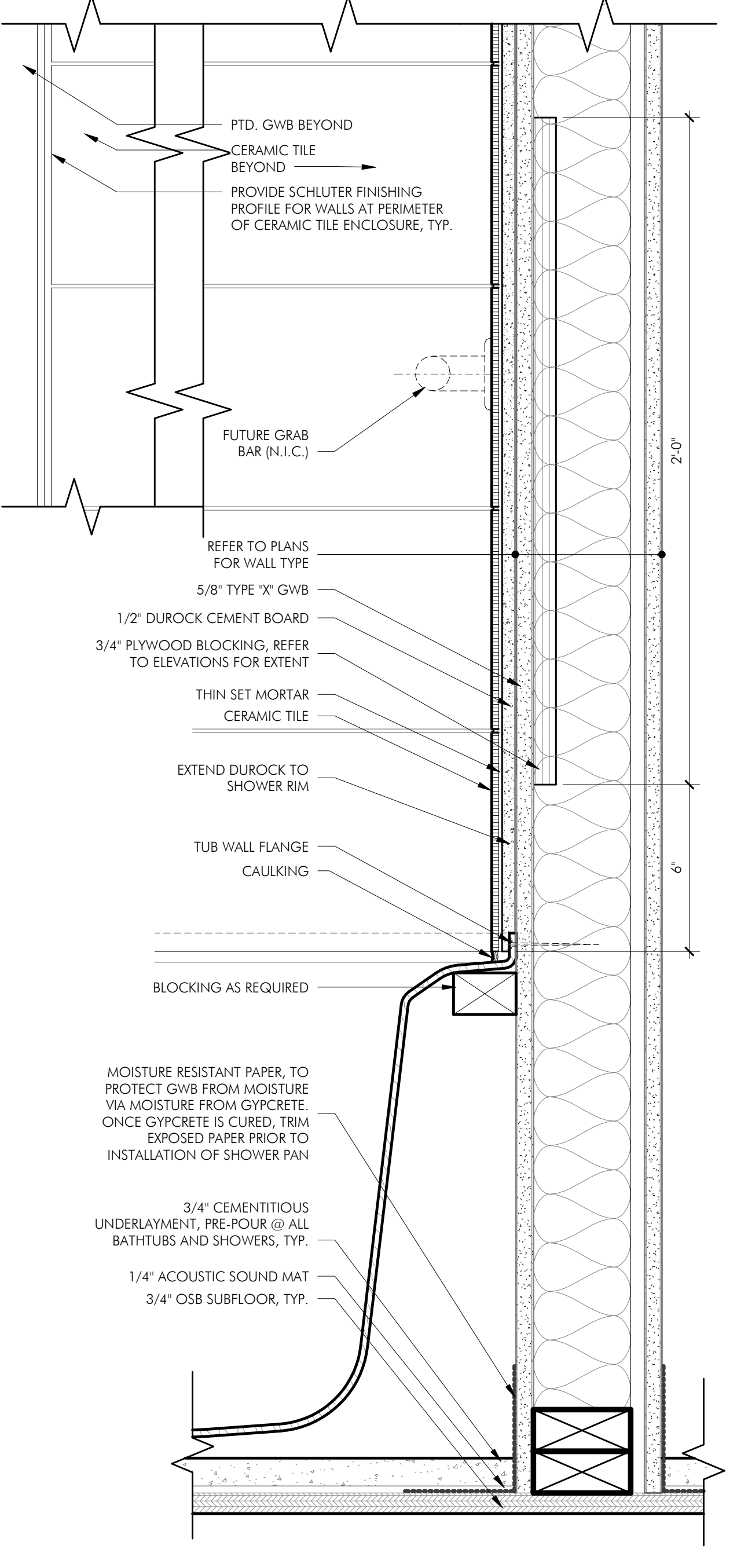
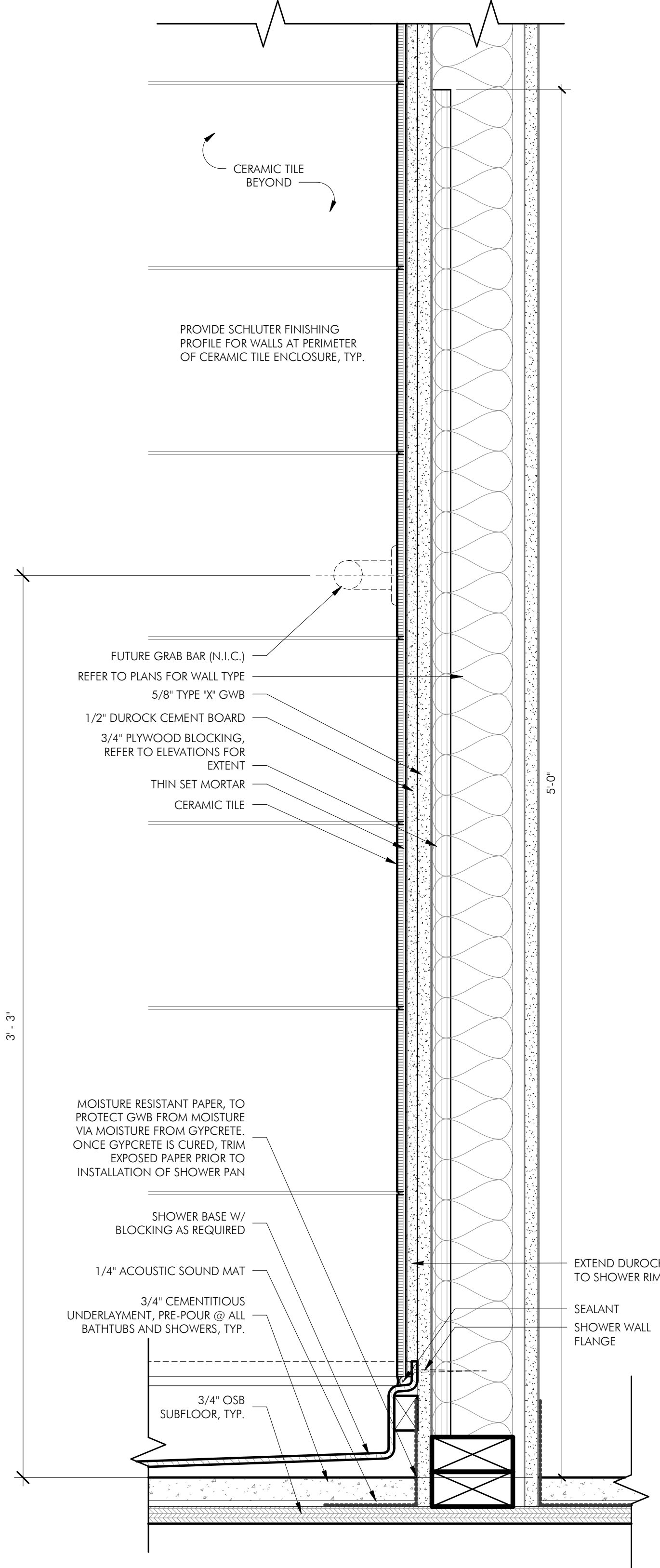
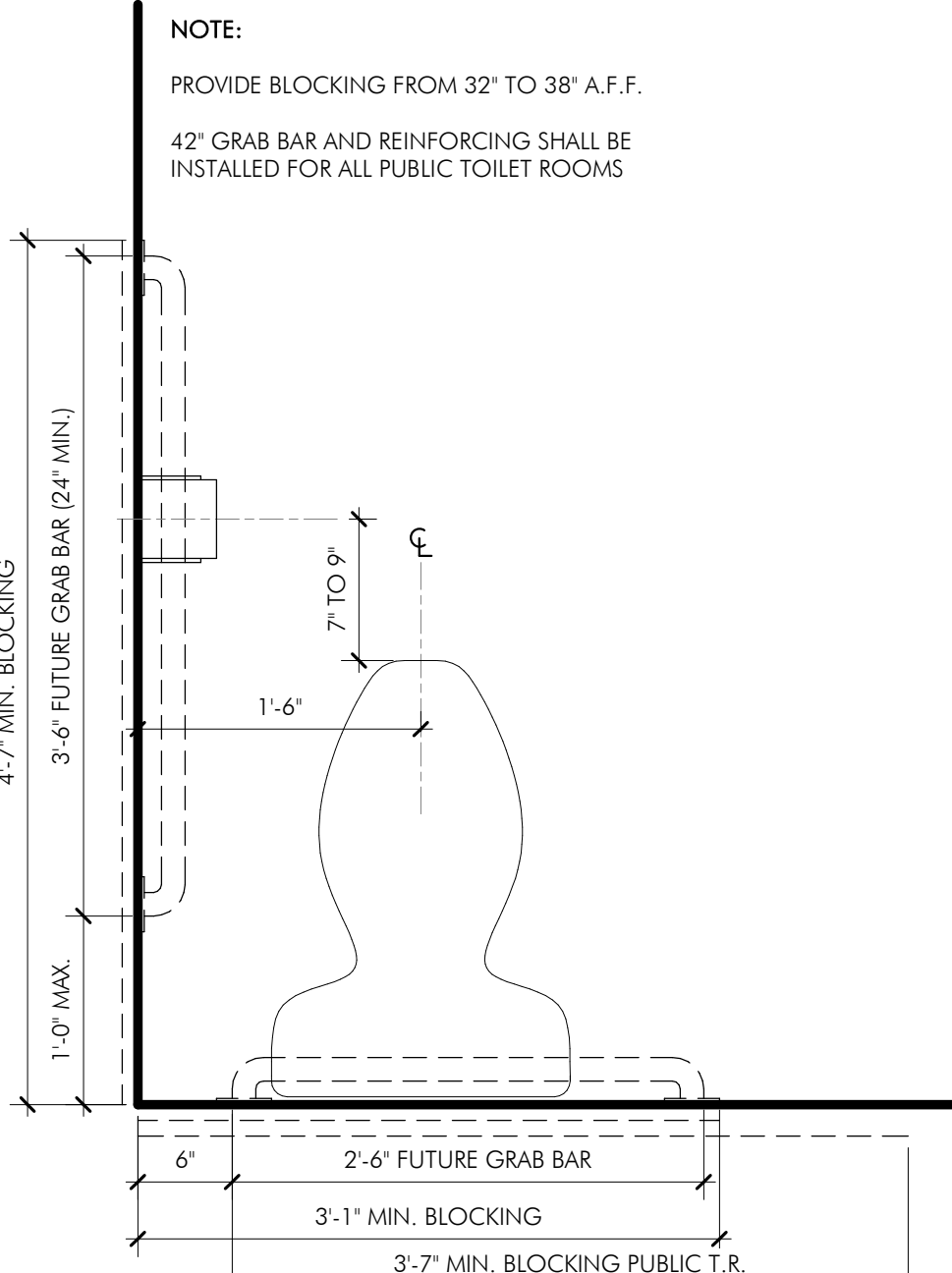
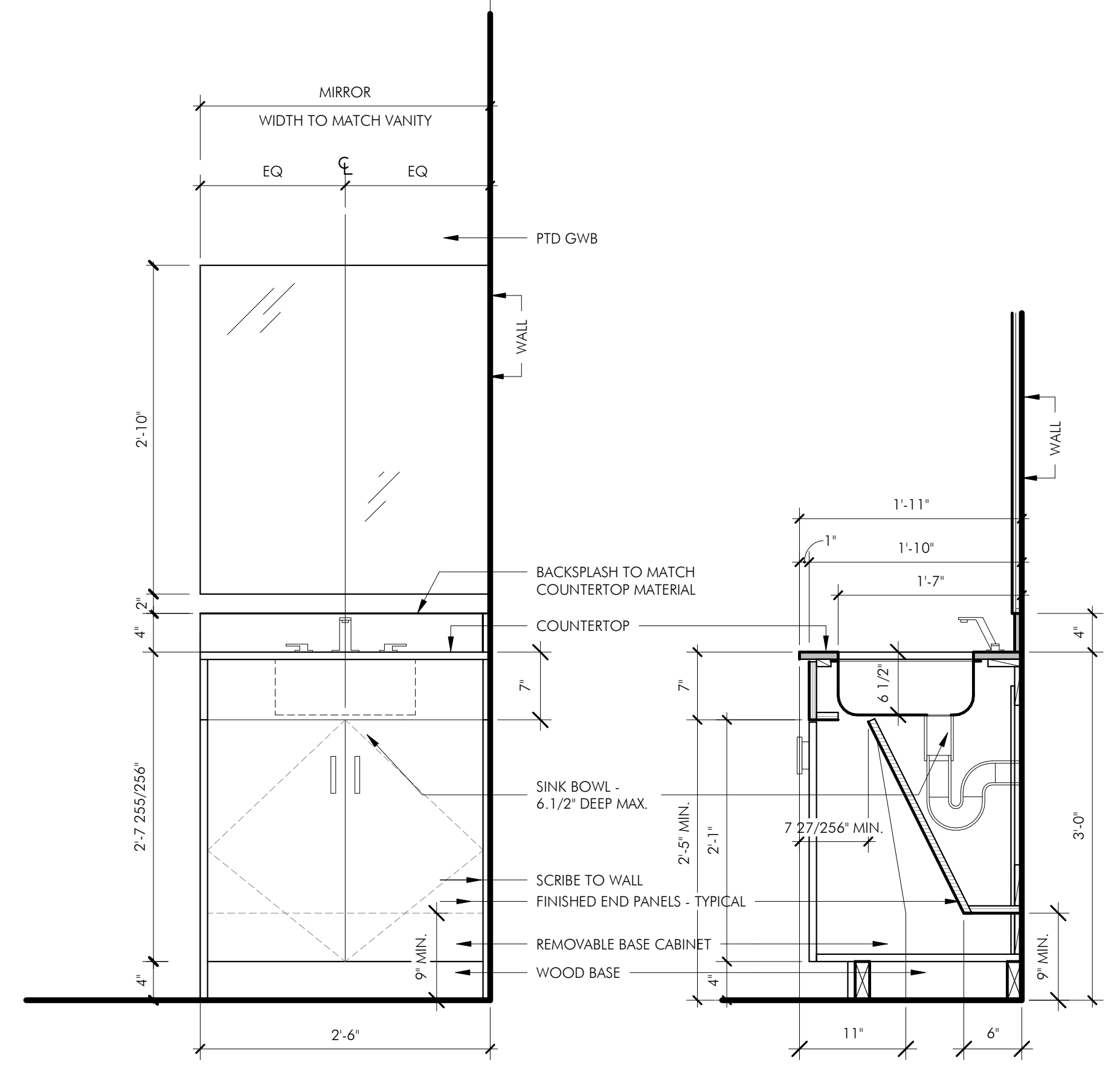
DRAWING TITLE  
TYPICAL KITCHEN  
DETAILS

DRAWING NUMBER  
**A520**



- GENERAL NOTES:**
- REFER TO ENLARGED UNIT PLANS FOR LOCATION AND ORIENTATION OF EACH BATHROOM TYPE.
  - REFER TO OVERALL FLOOR PLANS AND ENLARGED UNIT LAYOUTS FOR DEMISING WALLS, CORRIDOR WALLS AND PARTITION TYPES.
  - ALL DIMENSIONS TO THE FACE OF FINISH, UNLESS NOTED OTHERWISE.
  - ALL DOORS SHALL BE POSITIONED BASED ON M.A.A.B. DOOR CLEARANCE REQUIREMENTS.
  - REFER TO CODE REVIEW AND GENERAL INFO SHEETS FOR TYPICAL REQUIRED MOUNTING HEIGHTS.

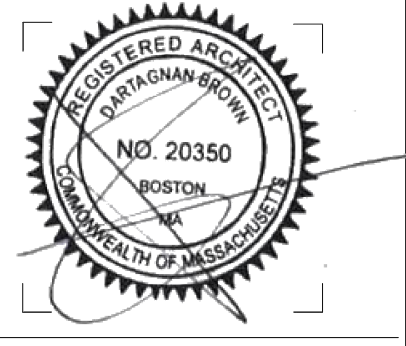
- GROUP I DWELLING UNIT BATHROOMS:**  
FROM CMR 521 - MASSACHUSETTS ARCHITECTURAL ACCESS BOARD
- (425.2) **CLEAR FLOOR SPACE** SHALL BE AVAILABLE AT EACH FIXTURE. (AS SHOWN ON THE UNIT PLAN DRAWINGS) TO ENABLE USERS TO REACH FIXTURE CONTROLS AND TRANSFER OUT OF A WHEELCHAIR. WHEN A BATHROOM IS ADAPTED, THE CLEAR FLOOR SPACE MUST BE ABLE TO BE MADE FREE OF OBSTRUCTIONS. THE CLEAR FLOOR SPACE FOR ONE FIXTURE MAY OVERLAP THE CLEAR FLOOR SPACE FOR OTHER FIXTURES. THE CLEAR FLOOR SPACE FOR THE TUB OR THE WATER CLOSET IS MEASURED FROM THE CLOSET EDGE OF THAT FIXTURE. THE CLEAR FLOOR SPACE FOR THE SINK MAY EXTEND A MAXIMUM OF 1' UNDER THE SINK. WING WALLS MAY NOT INTRUDE ON THE MINIMUM CLEAR FLOOR SPACE.
  - (425.1) **WATER CLOSETS:** LOCATION:  
3. (425.2) **A.** WHEN A WATER CLOSET IS LOCATED BETWEEN A WALL AND A FIXTURE, ITS CENTERLINE SHALL BE 18" FROM THE WALL.  
**B.** WHEN A WATER CLOSET IS LOCATED BETWEEN TWO FIXTURES, ITS CENTERLINE SHALL BE 18" FROM A BATHING FIXTURE AND A MINIMUM OF 15" FROM OTHER TYPES OF FIXTURES.
  - (425.3) **WALL REINFORCEMENT:** WALLS ADJACENT TO AND BEHIND THE WATER CLOSET SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS FROM 52" TO 38" ABOVE THE FLOOR. THE BACK WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR CORNER TO A DISTANCE OF 6" BEYOND THE WIDEST PART OF THE WATER CLOSET. THE SIDE WALL SHALL HAVE REINFORCEMENT FROM THE INTERIOR CORNER TO A DISTANCE OF 6" BEYOND THE FRONT EDGE OF THE WATER CLOSET, UNLESS INTERRUPTED BY A DOOR OR OTHER FIXTURE. THEN THE REINFORCEMENT SHALL BE INSTALLED AS FAR AS POSSIBLE.  
WHEN THE WATER CLOSET IS LOCATED BETWEEN TWO FIXTURES, THE WALL REINFORCEMENT BEHIND THE WATER CLOSET SHALL BE EXTEND AT LEAST 56" BEYOND THE WIDEST PART OF THE WATER CLOSET.
  - (426) **SINKS:** MUST MEET THE FOLLOWING:  
6. (426.1) **VANITY CABINETS:** IF A CABINET IS PROVIDED UNDER A SINK, IT SHALL BE CAPABLE OF BEING REMOVED WITHOUT STRUCTURAL CHANGE.  
7. (426.2) **KNEE SPACE WIDTH:** THE SINK SHALL HAVE OR BE CAPABLE OF HAVING A KNEE SPACE OF 30" IN WIDTH.  
8. (426.3) **KNEE SPACE DEPTH:** THE FRONT EDGE OF THE SINK FIXTURE, OR THE COUNTERTOP IN WHICH A SINK IS LOCATED, SHALL BE A MINIMUM OF 19" FROM THE BACK WALL OR SHALL BE CAPABLE OF BEING RELOCATED TO CREATE A SPACE OF THAT DEPTH UNDER THE SINK.  
9. (426.4) **HEIGHT:** THE SINK SHALL BE CAPABLE OF BEING RELOCATED WITHOUT STRUCTURAL CHANGE.  
10. (426.5) **CLEAR FLOOR SPACE:** SHALL BE PROVIDED AT THE SINK AS DEFINE IN (425.2) CLEAR FLOOR SPACE AND SHALL BE PERPENDICULAR TO THE FACE OF THE SINK AND MAY EXTEND UNDER THE SINK.
  - (427) **BATHING FIXTURES**  
(427.1) **BATH TUBS SHALL COMPLY WITH THE FOLLOWING:**  
**A.** SIZE: BATH TUBS SHALL BE AT LEAST A NOMINAL 60" LONG  
**B.** CLEAR FLOOR SPACE SHALL BE PARALLEL TO THE FACE OF THE TUB.  
**C.** WALL REINFORCEMENT: ALL TUB WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS FROM 6" ABOVE THE TUB RIM TO A HEIGHT OF 48" ABOVE THE TUB BOTTOM AND SHALL EXTEND THE LENGTH AND WIDTH OF THE TUB.  
(427.2) **SHOWERS SHALL COMPLY WITH THE FOLLOWING:**  
**A.** SIZE: SHOWERS SHALL BE AT LEAST A NOMINAL 36" x 36"  
**B.** CLEAR FLOOR SPACE SHALL BE PARALLEL TO AND CENTERED ON THE SHOWER.  
**C.** WALL REINFORCEMENT: ALL SHOWER WALLS SHALL BE CAPABLE OF STRUCTURALLY SUPPORTING THE FUTURE INSTALLATION OF GRAB BARS, SEATS, ETC. FROM 6" TO 48" ABOVE THE SHOWER FLOOR AND SHALL EXTEND THE LENGTH AND WIDTH OF THE SHOWER STALL. GRAB BARS SHALL NOT BE LOCATED BEHIND THE SEAT.  
**D.** SEAT OPTIONAL - REFER TO ARCHITECT.  
**E.** SEAT OPTIONAL - REFER TO ARCHITECT.  
**F.** HARDWARE LOCATION - MIXING VALVES SHALL BE MOUNTED ON THE WALL OPPOSITE THE SEAT (IF APPLICABLE) 38" TO 48" A.F.F.  
**G.** CURBS SHALL NOT EXCEED 4" IN HEIGHT.
  - (427.4) **PREFABRICATED UNITS:** IN PREFABRICATED SHOWERS AND TUBS, STRUCTURAL REINFORCEMENT FOR GRAB BARS MUST BE IN FULL CONTACT WITH THE SURFACE OF WALL OF THE UNIT ON WHICH GRAB BARS MAY BE MOUNTED AS DESCRIBED IN (427.1) AND (427.2).



33 A STREET  
SOUTH BOSTON, MA  
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**REVISIONS**

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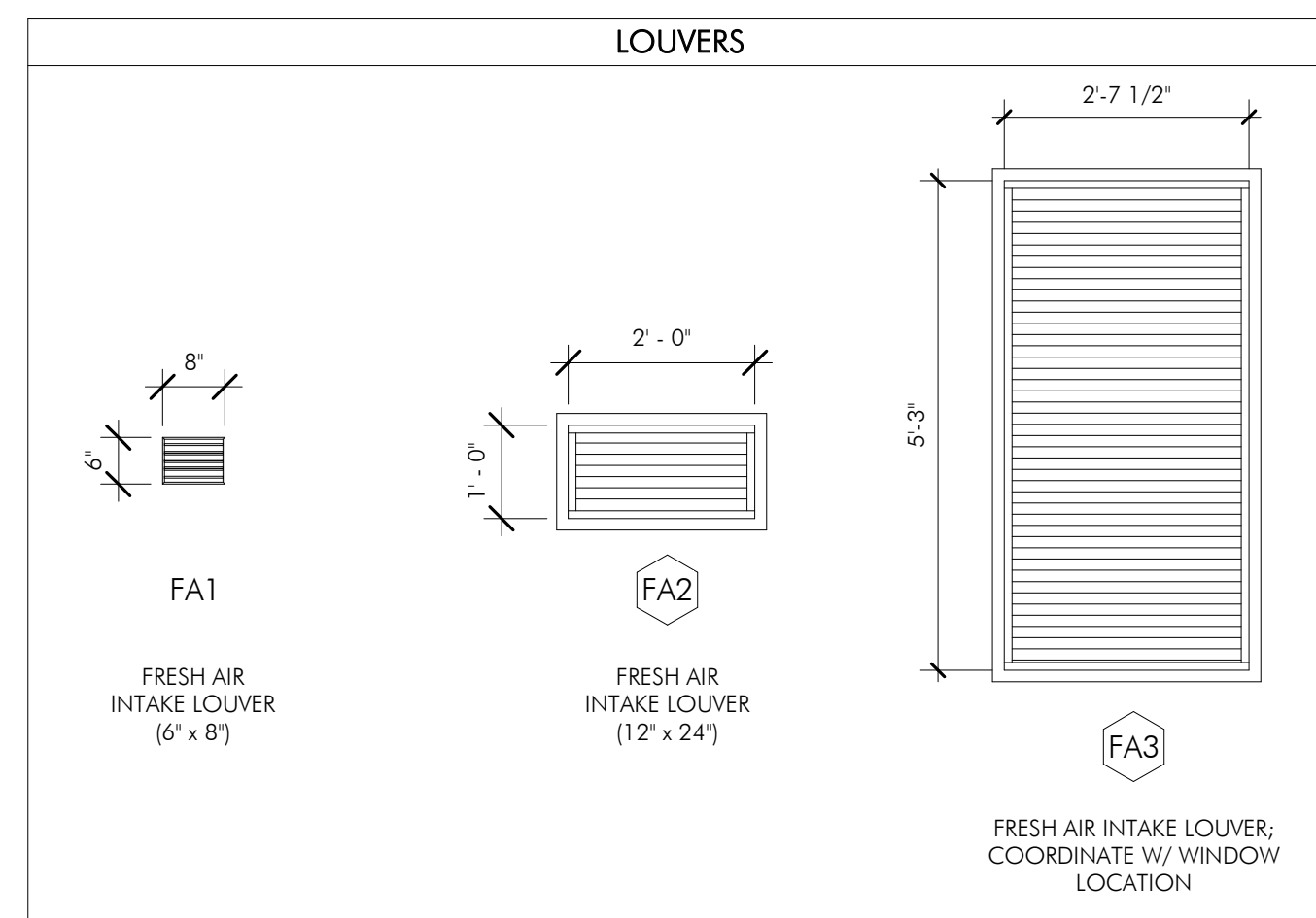
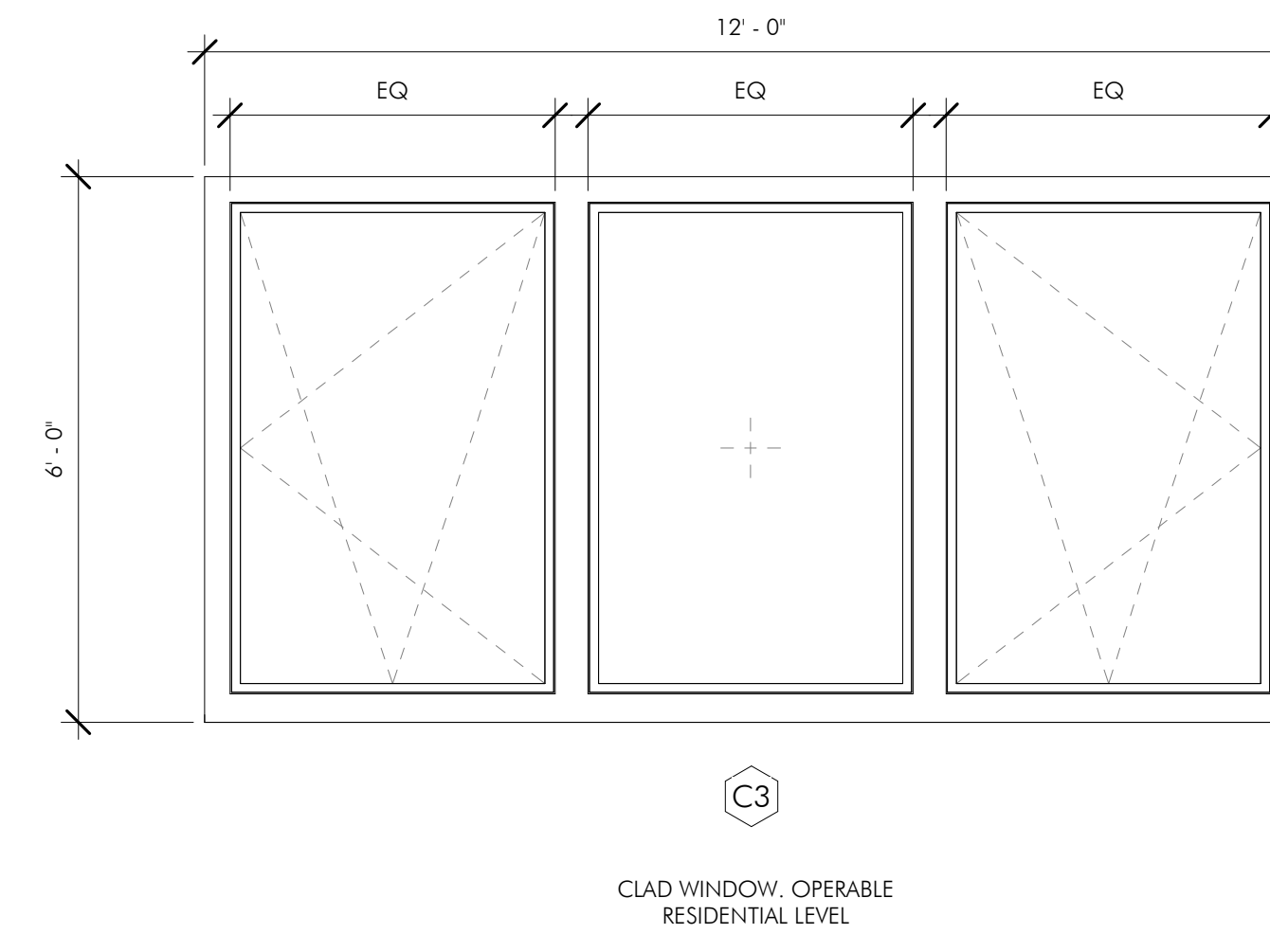
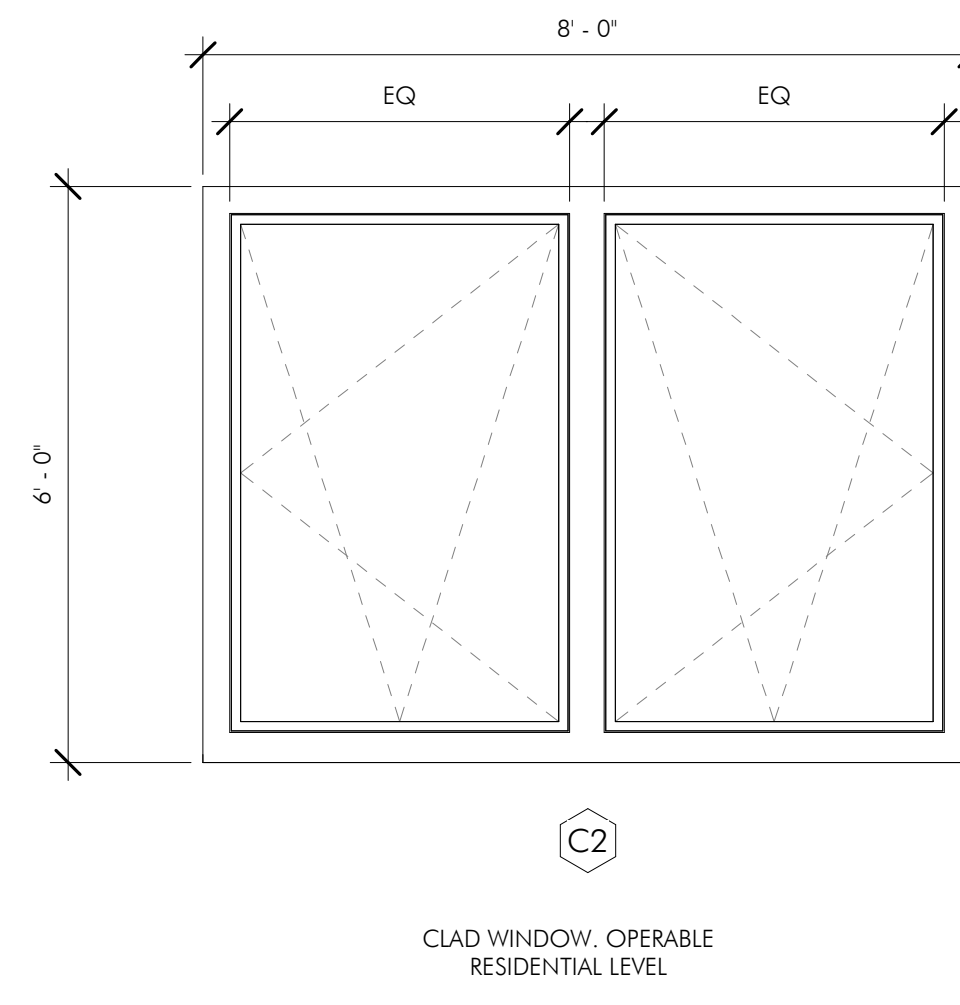
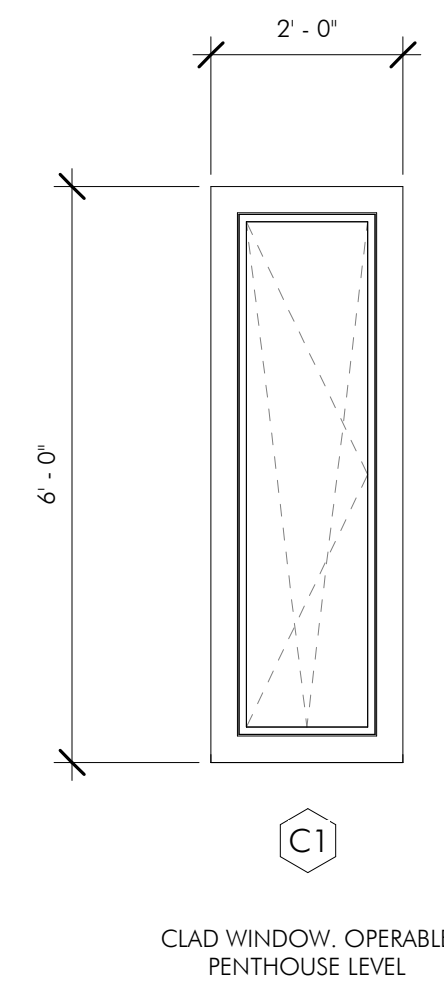
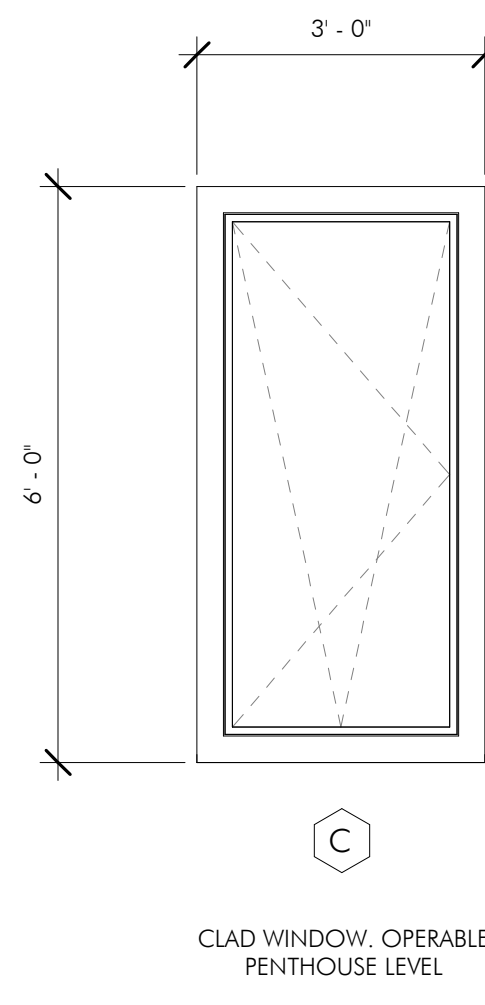
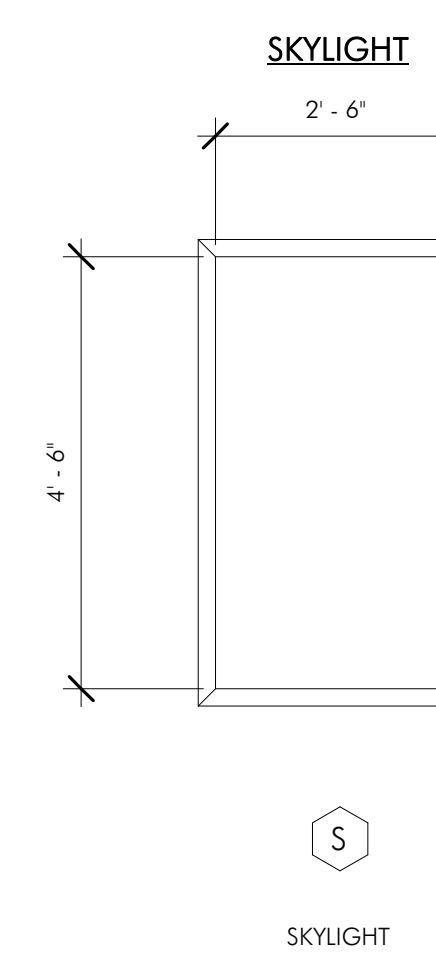
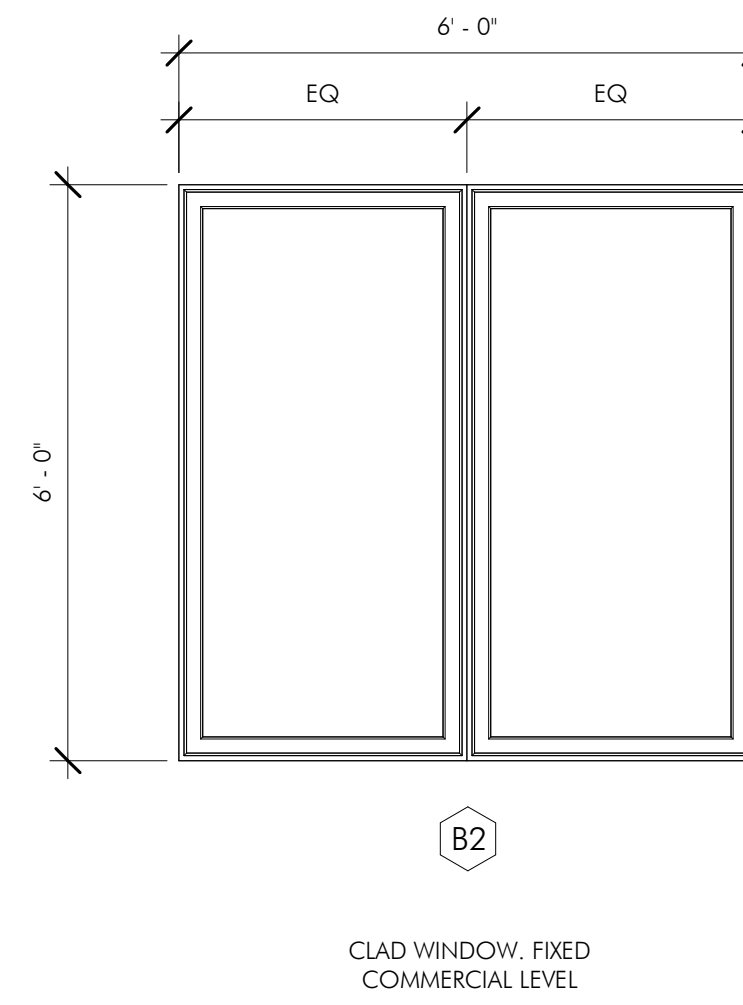
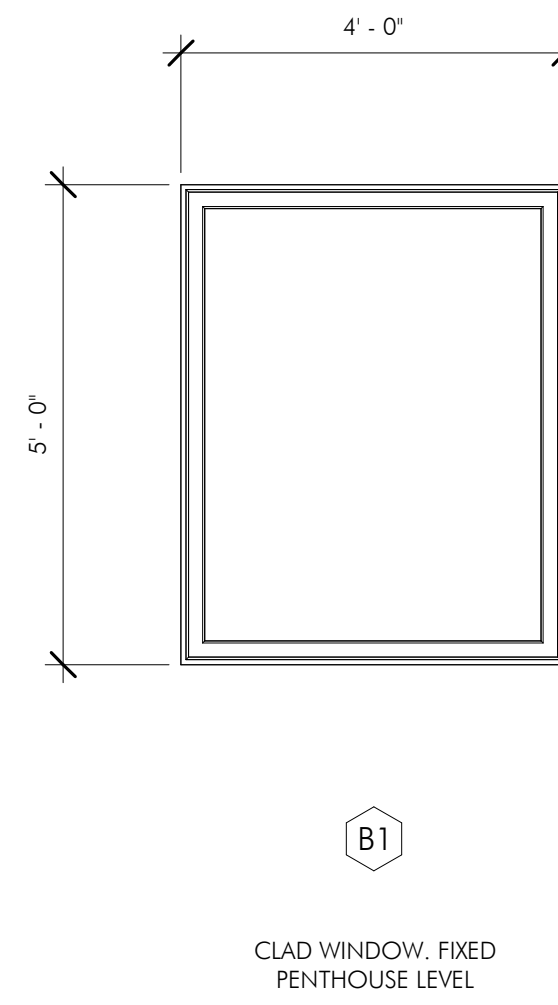
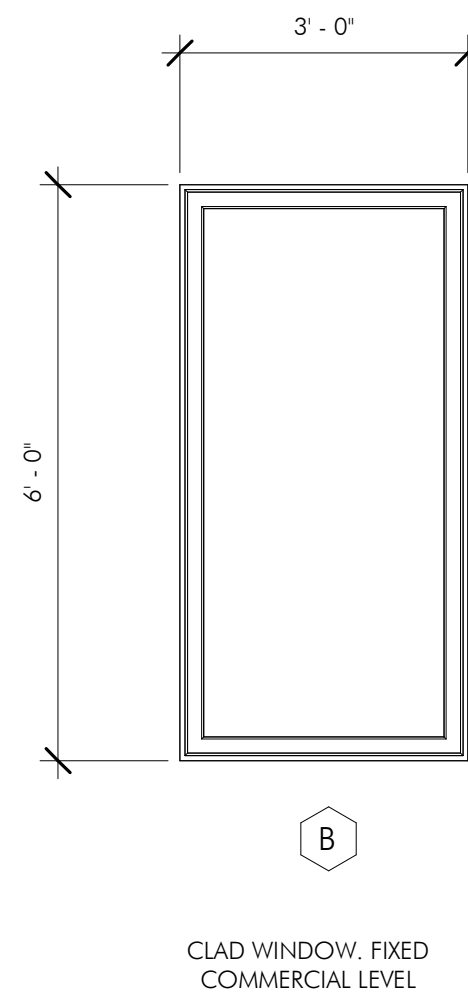
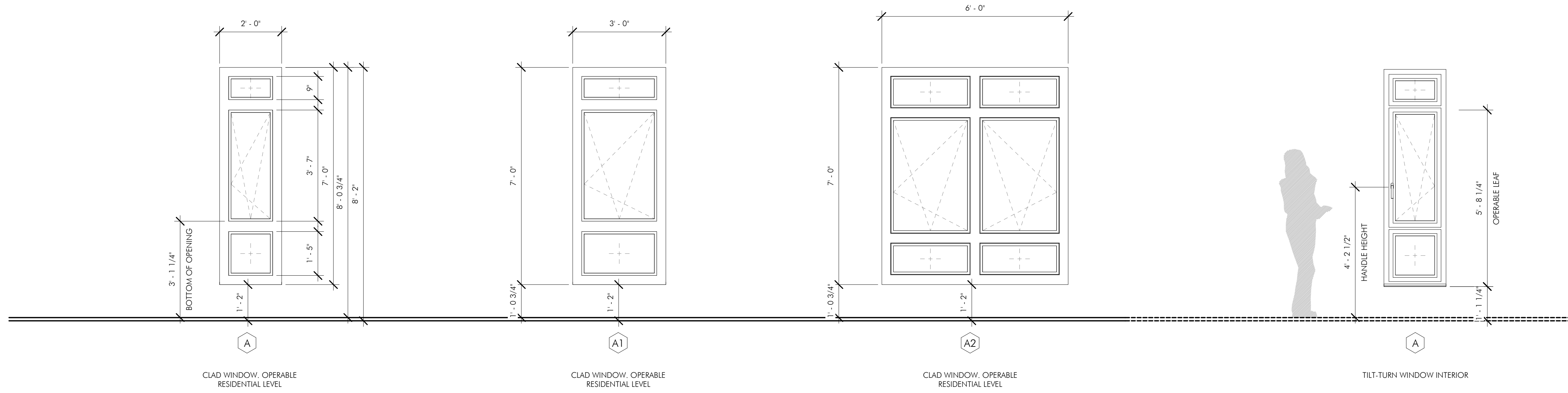
**DRAWING INFORMATION**

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	202020
SCALE:	As indicated

**DRAWING TITLE**  
TYPICAL BATH DETAILS

**DRAWING NUMBER**  
A530





REVISIONS

MARK	ISSUE	DATE



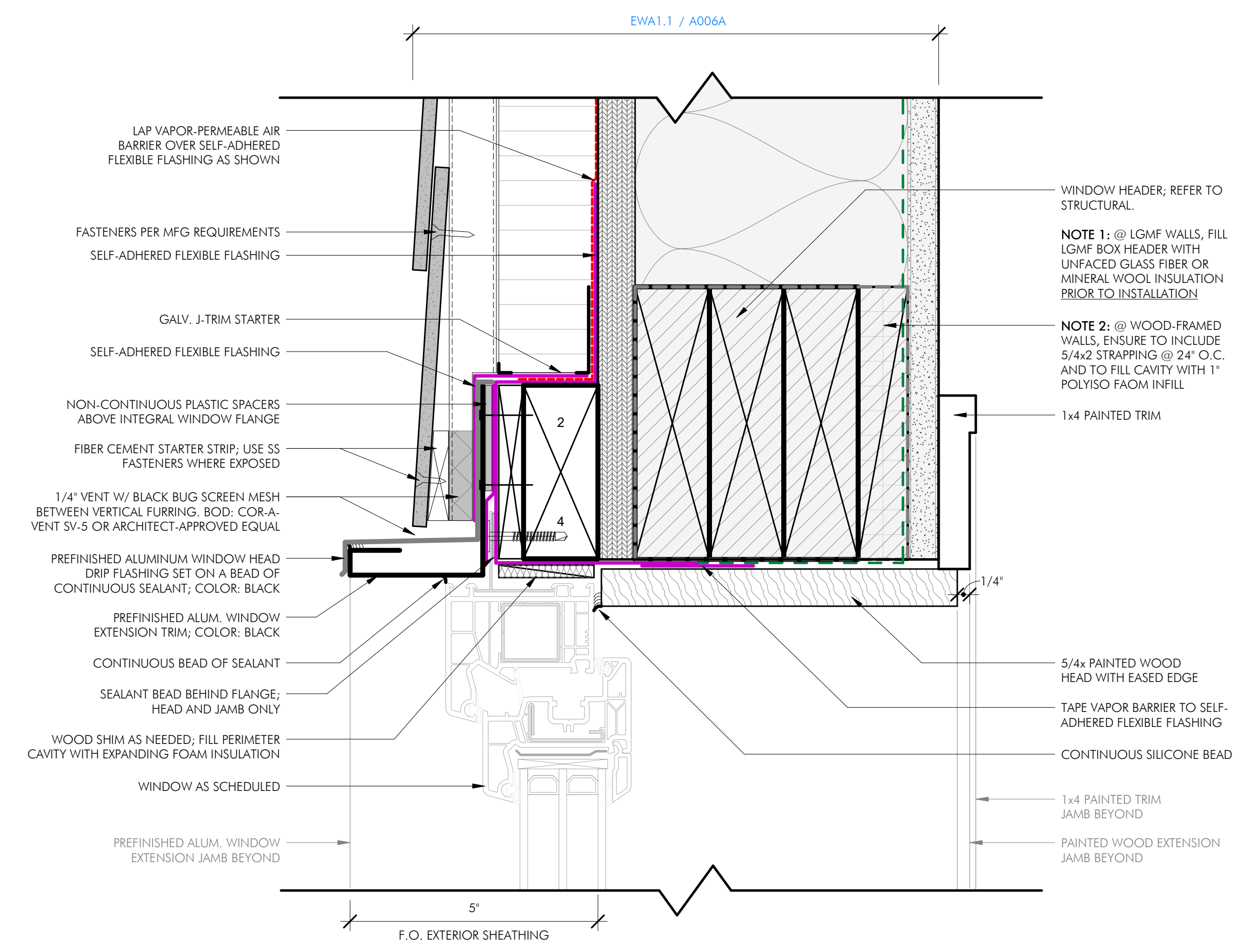
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ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 02/07/2022  
PROJECT #: 20020  
SCALE: 1/2" = 1'-0"

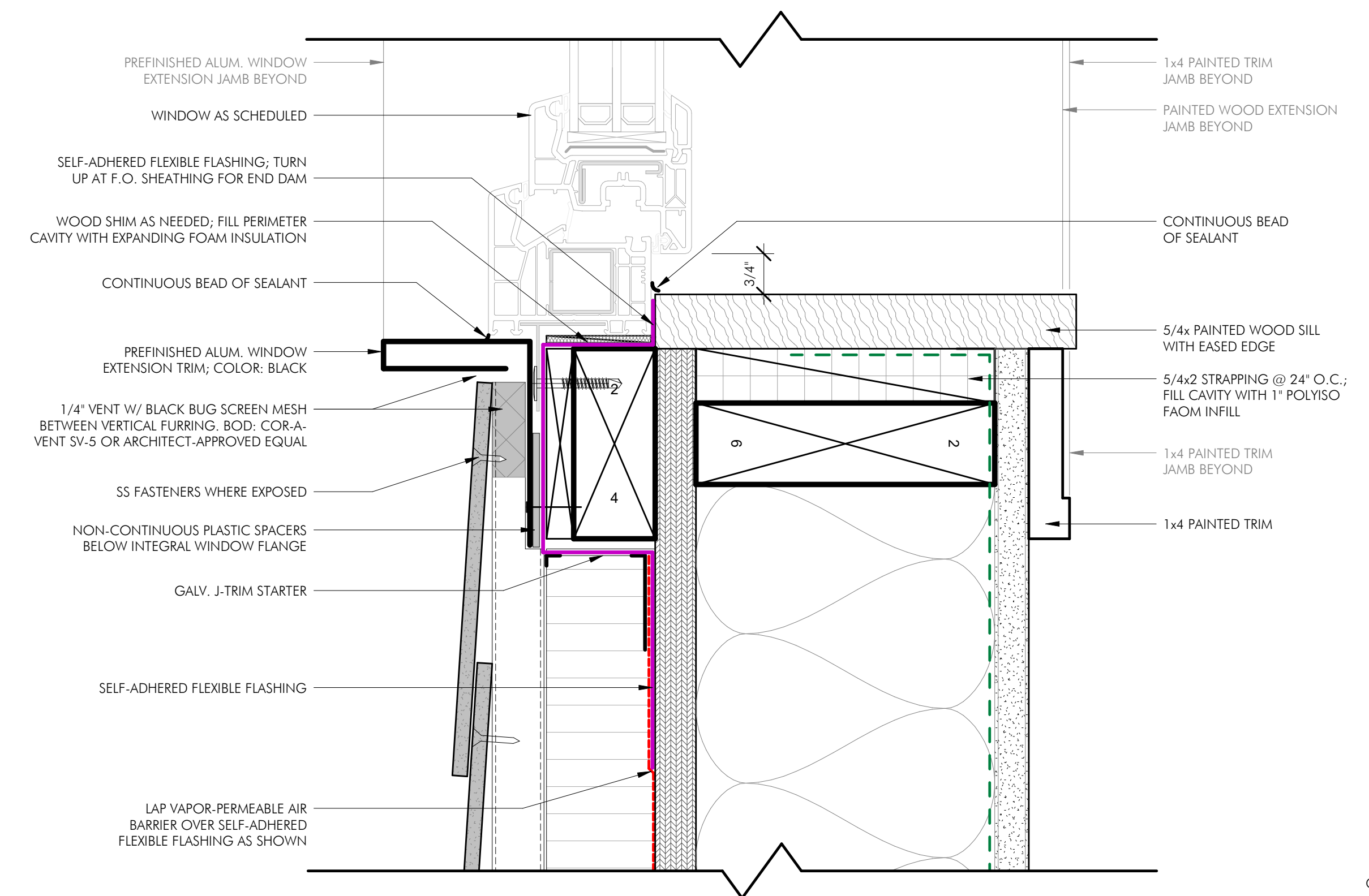
DRAWING TITLE  
WINDOW TYPES

DRAWING NUMBER

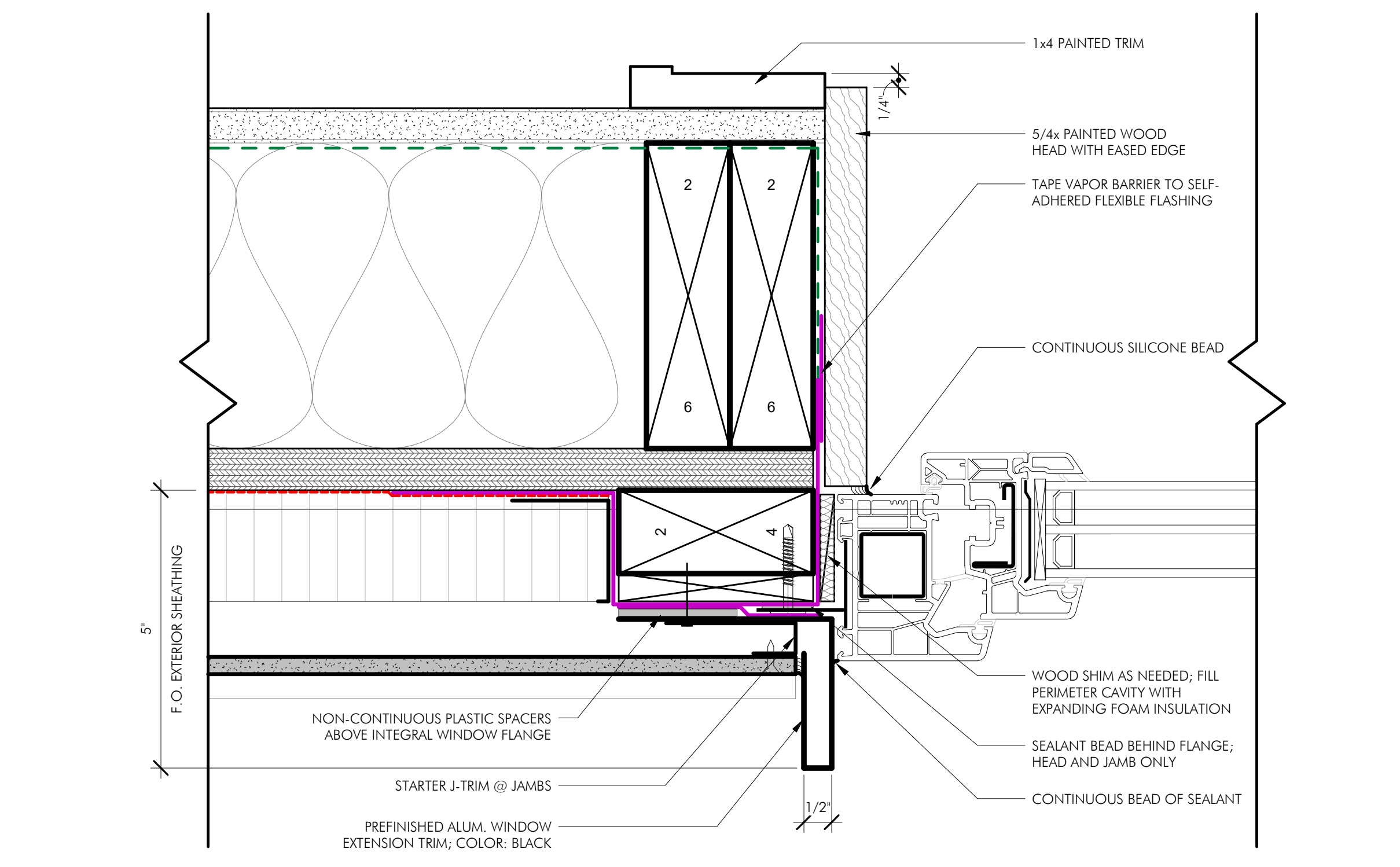
A601



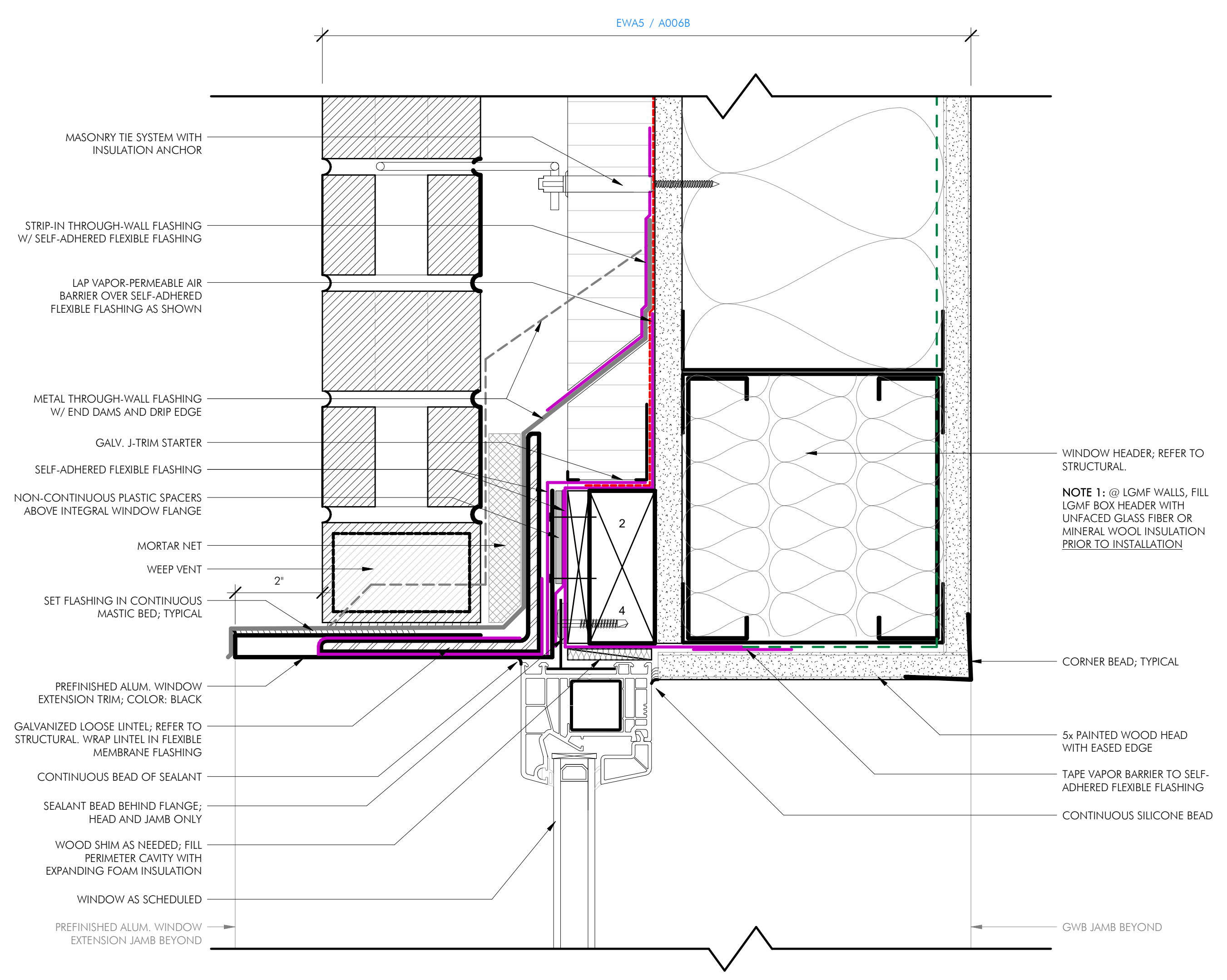
H1 WINDOW HEAD DETAIL @ MEDIUM-DENSITY FIBER CEMENT LAP SIDING  
6" = 1'-0"



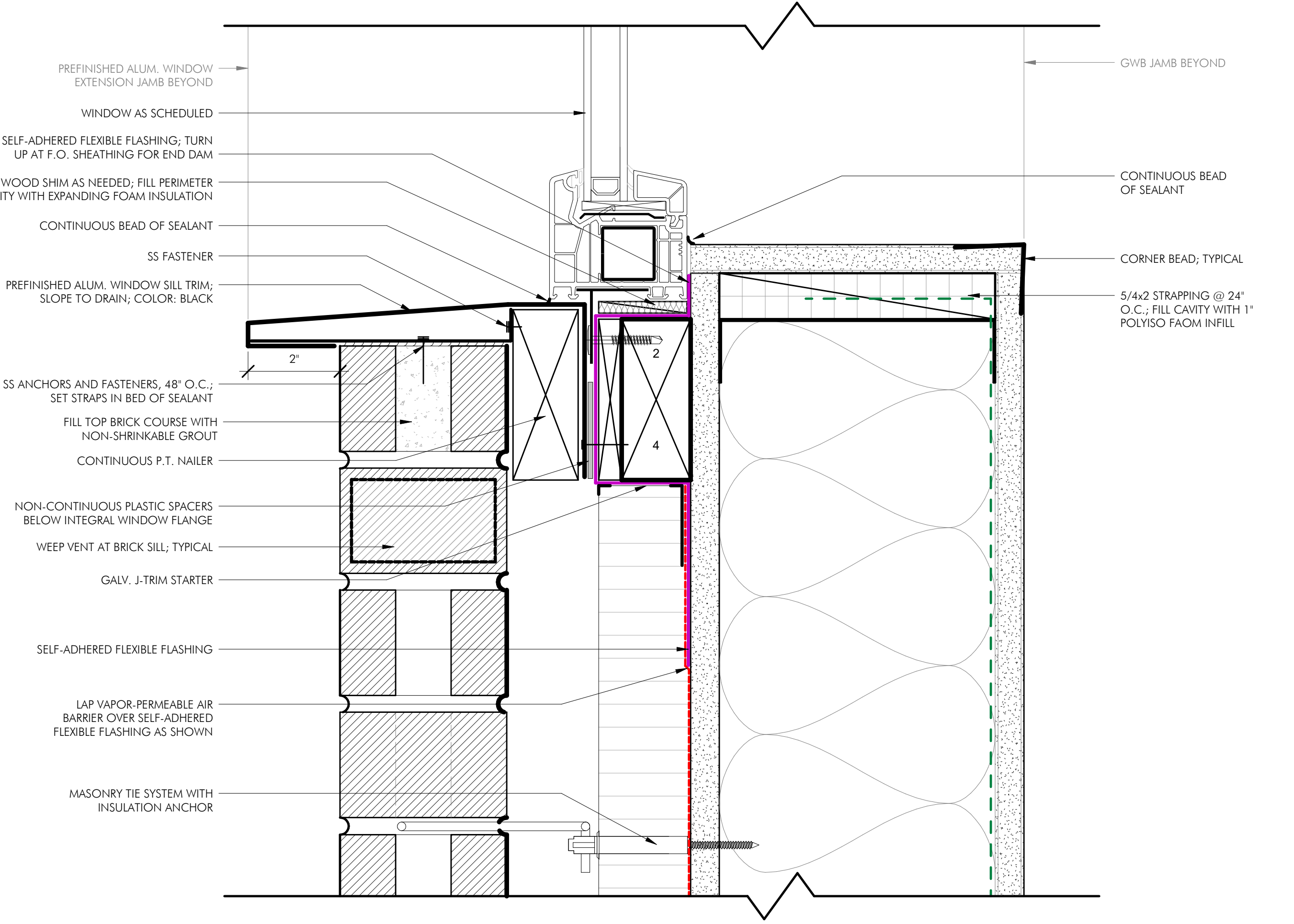
S1 WINDOW SILL DETAIL @ MEDIUM-DENSITY FIBER CEMENT LAP SIDING  
6" = 1'-0"



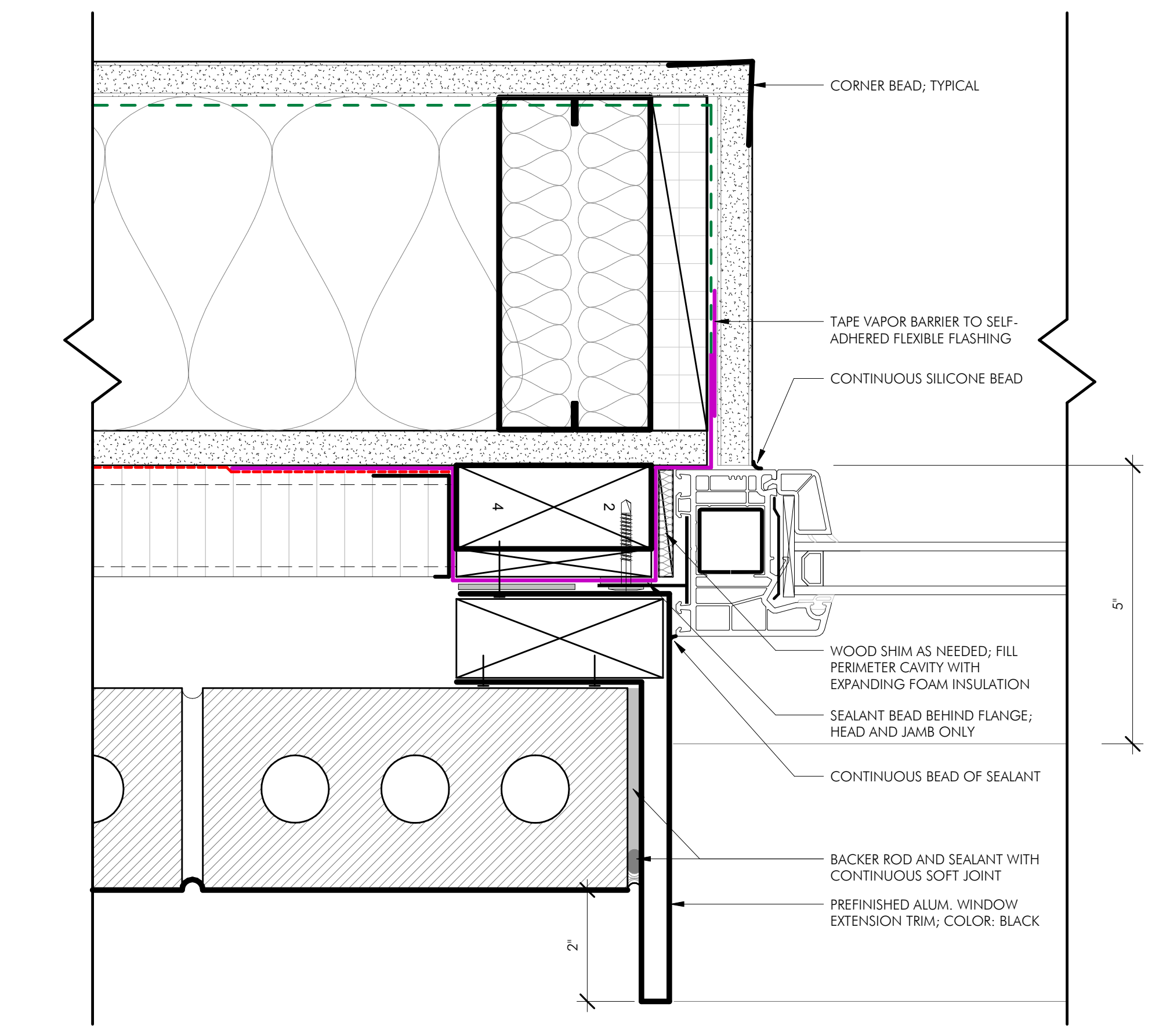
J1 WINDOW JAMB DETAIL @ MEDIUM-DENSITY FIBER CEMENT LAP SIDING  
6" = 1'-0"



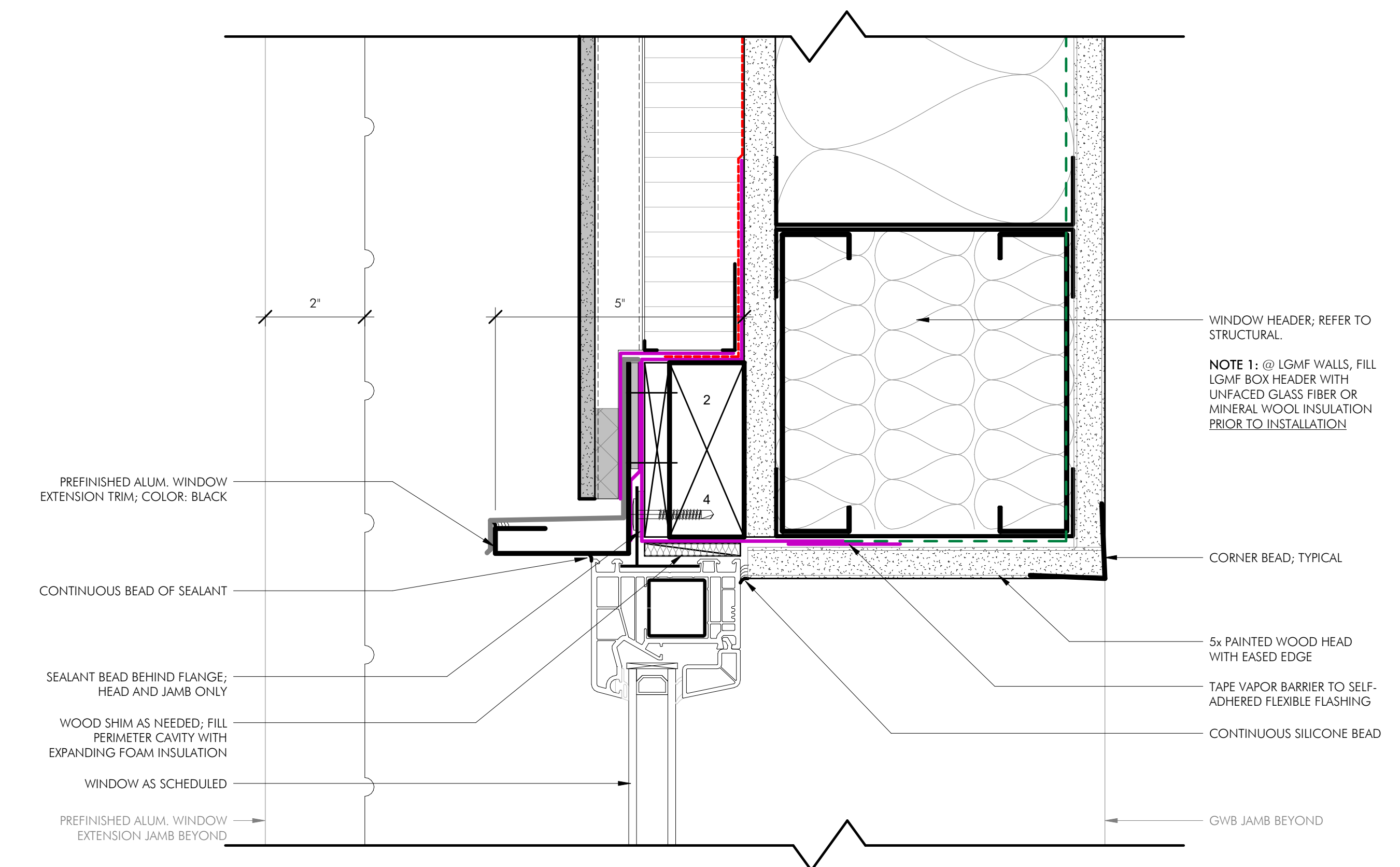
H2 WINDOW HEAD DETAIL @ BRICK ON LGMF  
6" = 1'-0"



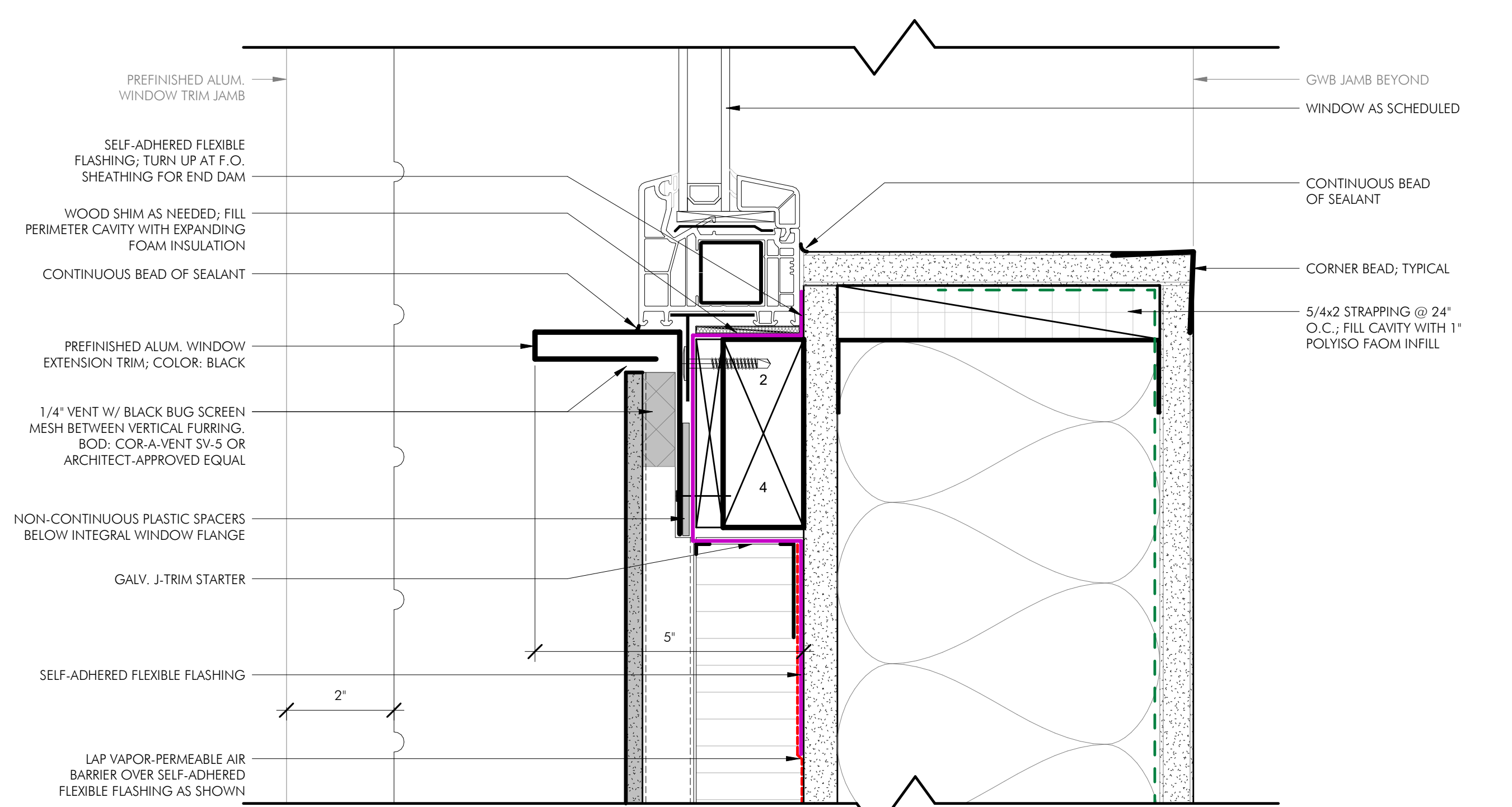
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6" = 1'-0"



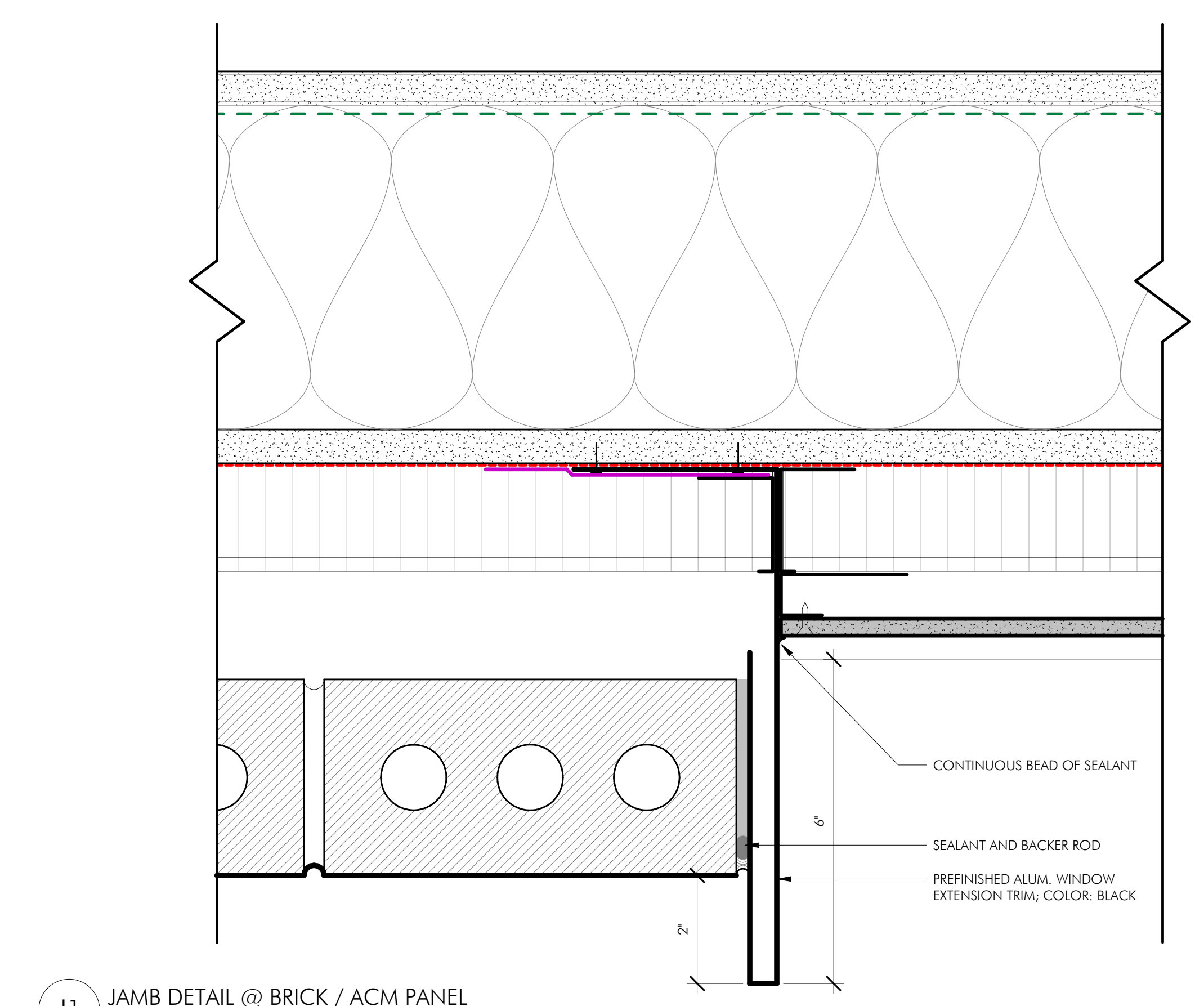
J2 WINDOW JAMB DETAIL @ BRICK ON LGMF  
6" = 1'-0"



**H1** WINDOW HEAD DETAIL @ ACM PANEL WITHIN BRICK  
6" = 1'-0"



**S1** WINDOW SILL DETAIL @ ACM PANEL WITHIN BRICK  
6" = 1'-0"



**J1** JAMB DETAIL @ BRICK / ACM PANEL  
6" = 1'-0"

**33 A STREET**  
SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

MARK	ISSUE	DATE



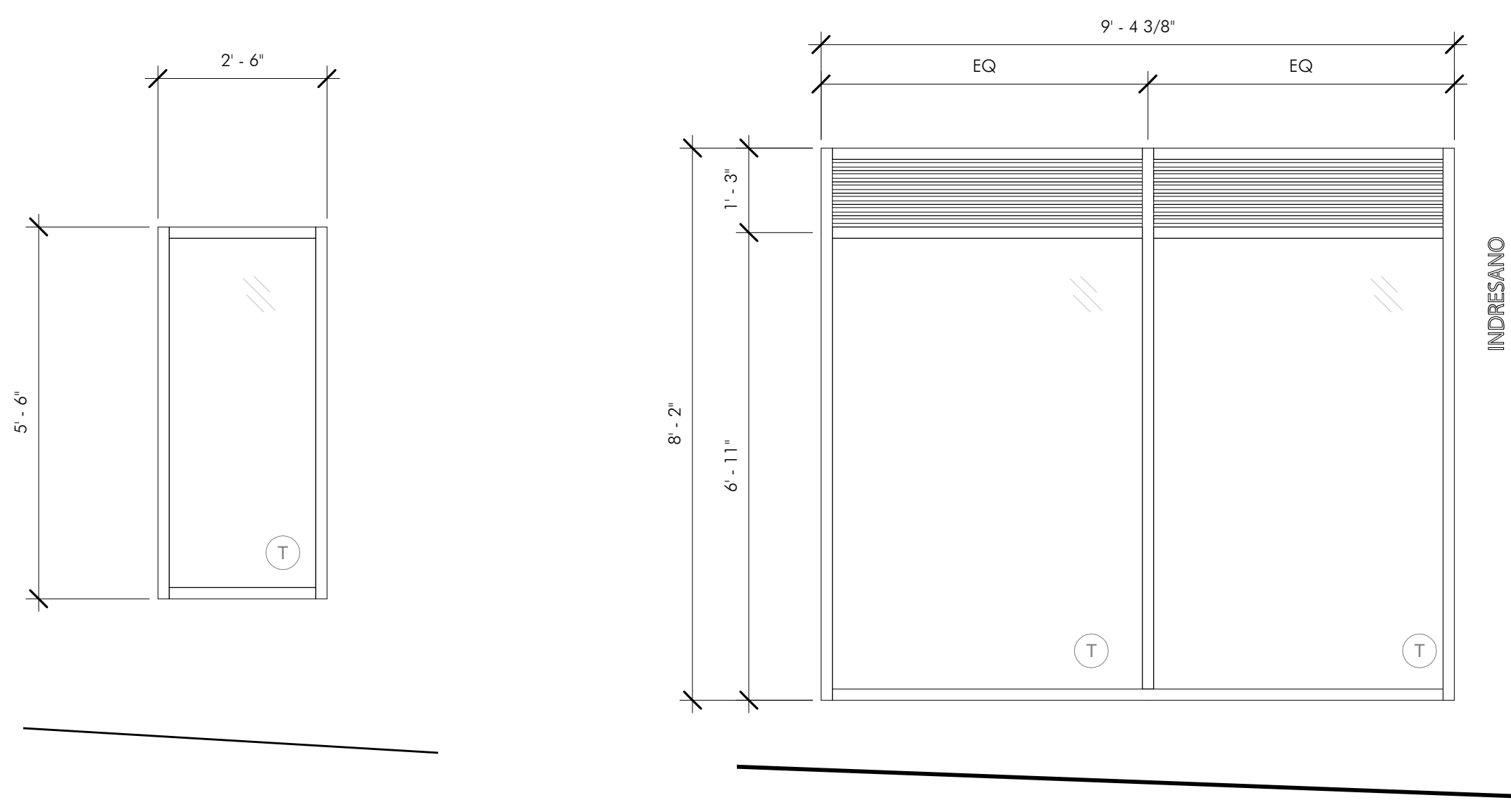
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DATE:	02/07/2022
PROJECT #:	20020
SCALE:	6" = 1'-0"

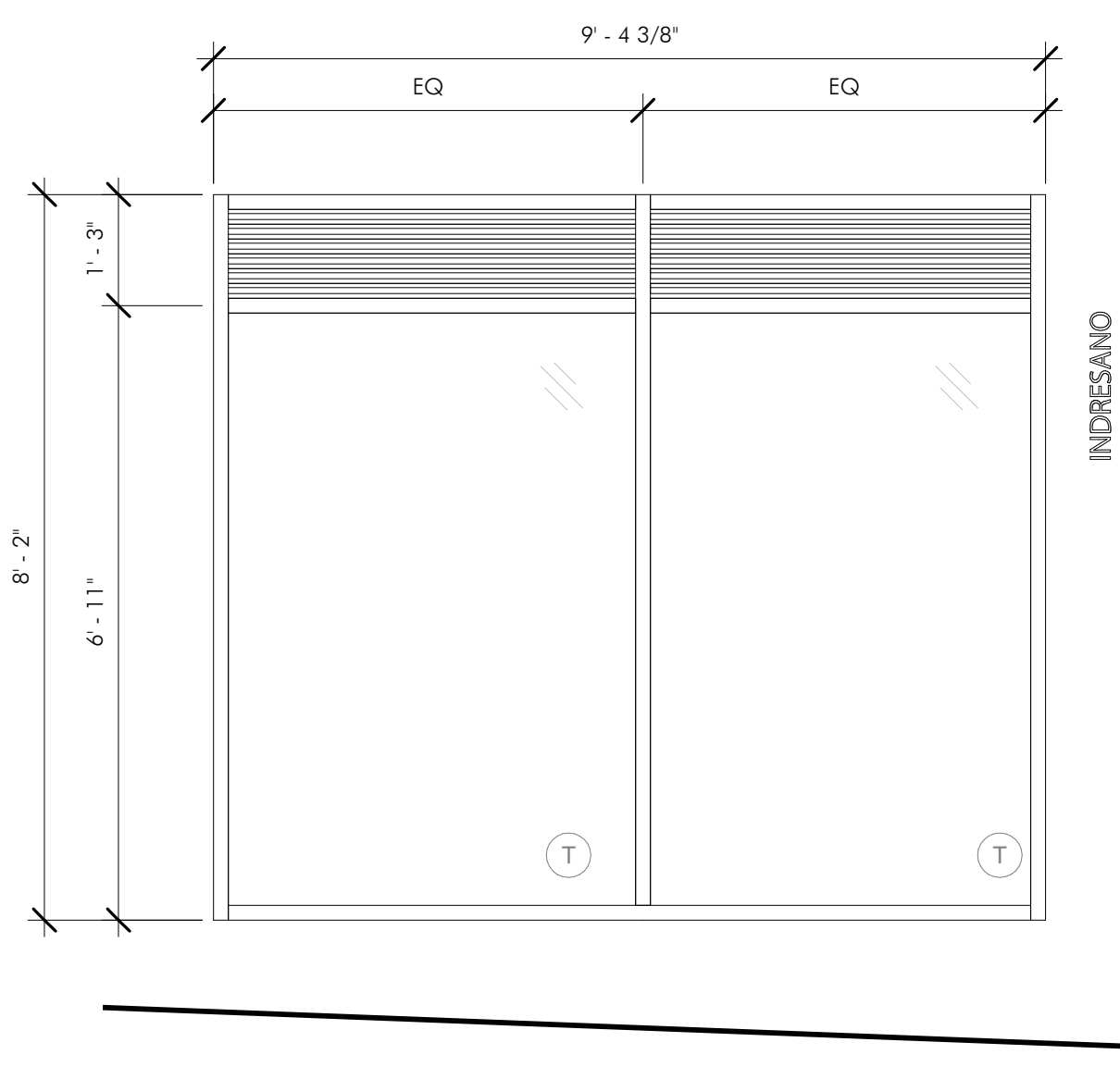
DRAWING TITLE  
**WINDOW DETAILS**

DRAWING NUMBER  
**A603**

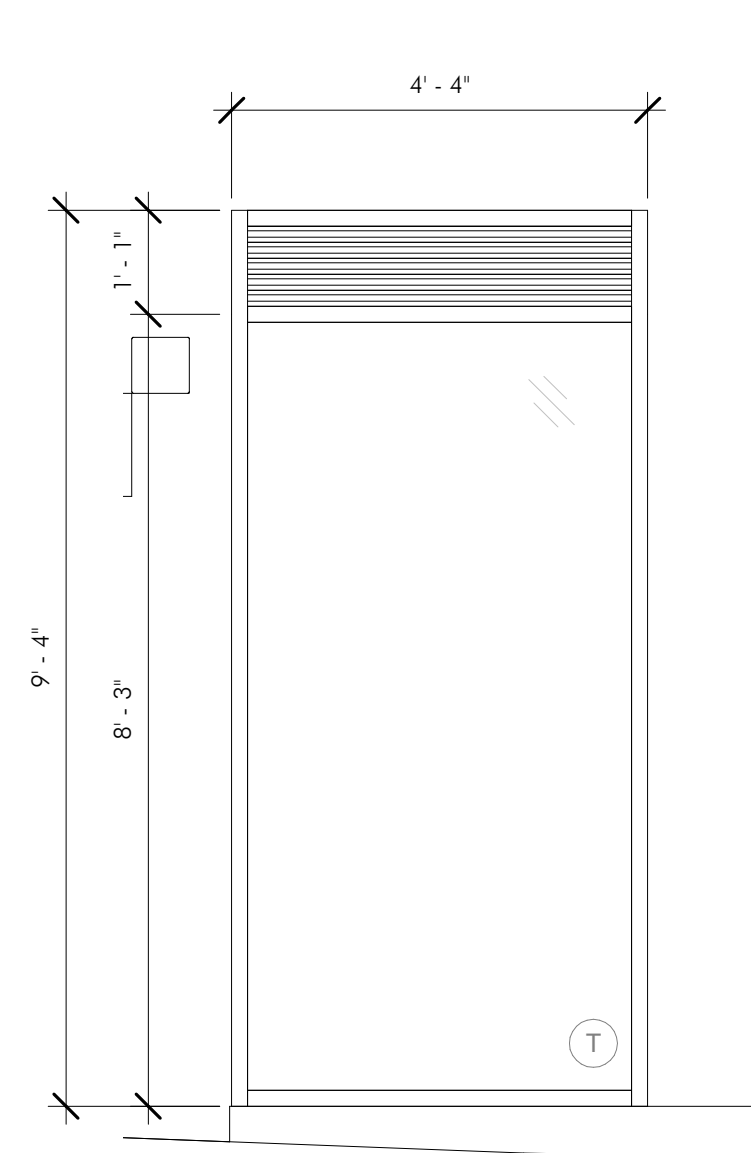




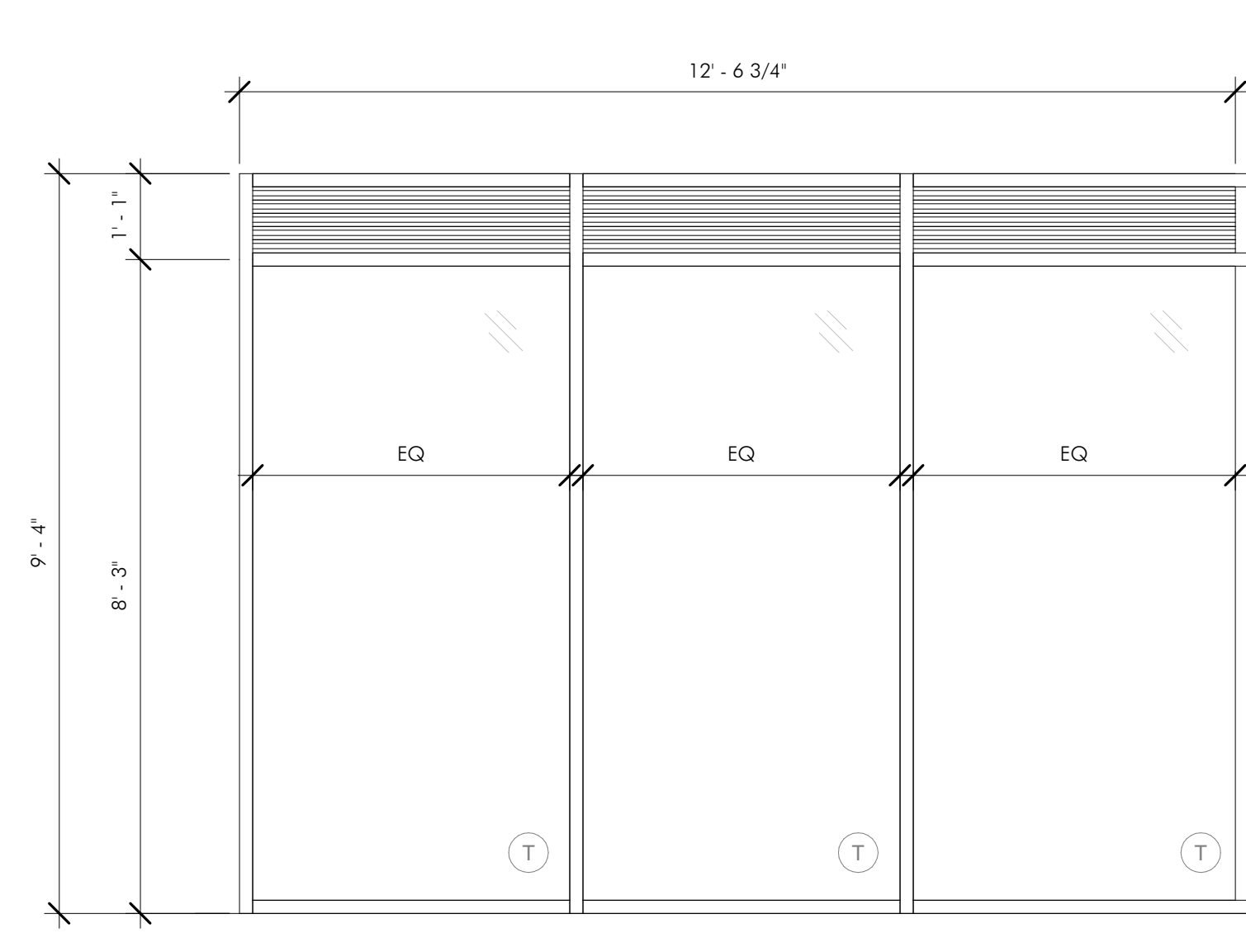
SF1.1 A STREET LEVEL 1.1



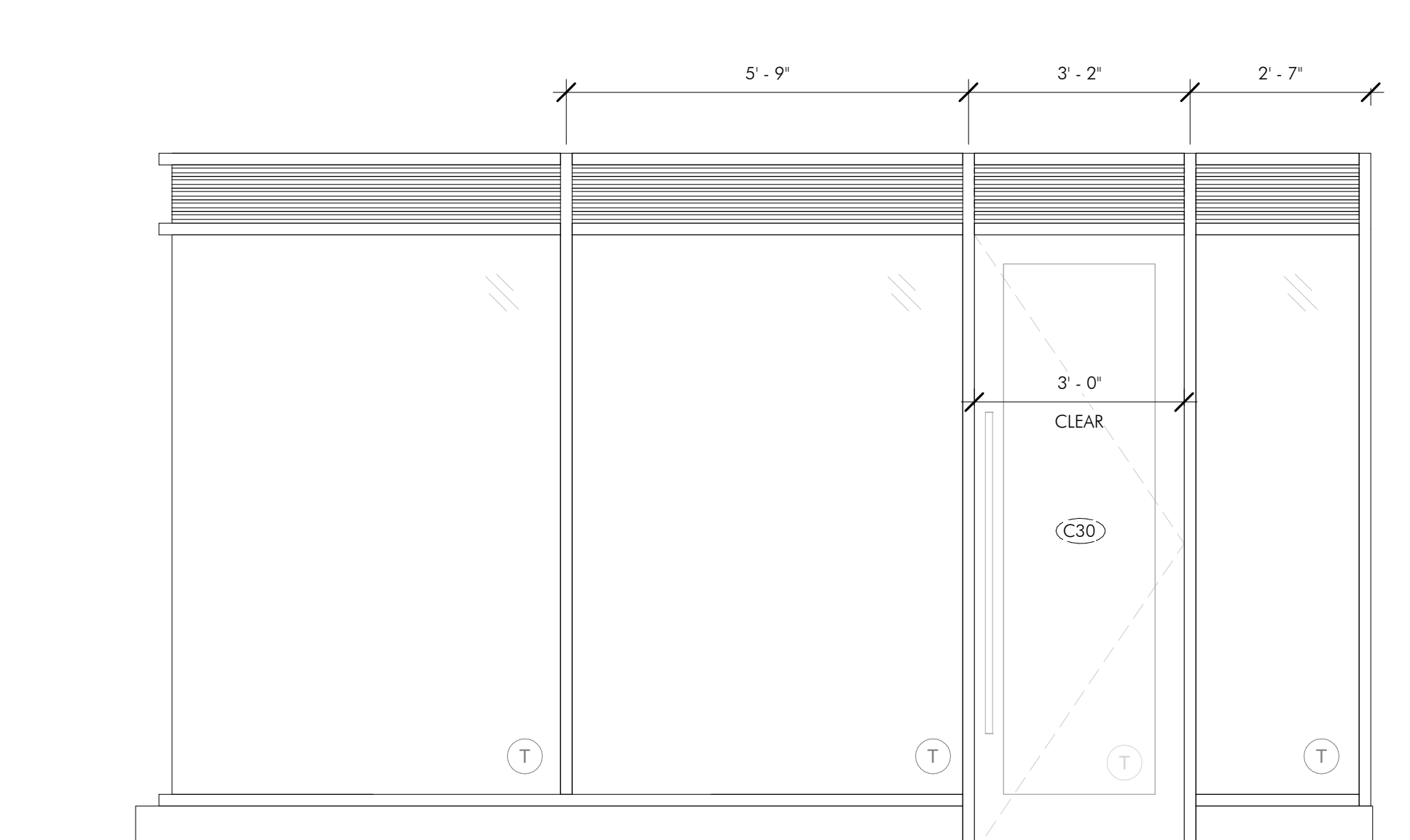
SF1.2 A STREET LEVEL 1.2



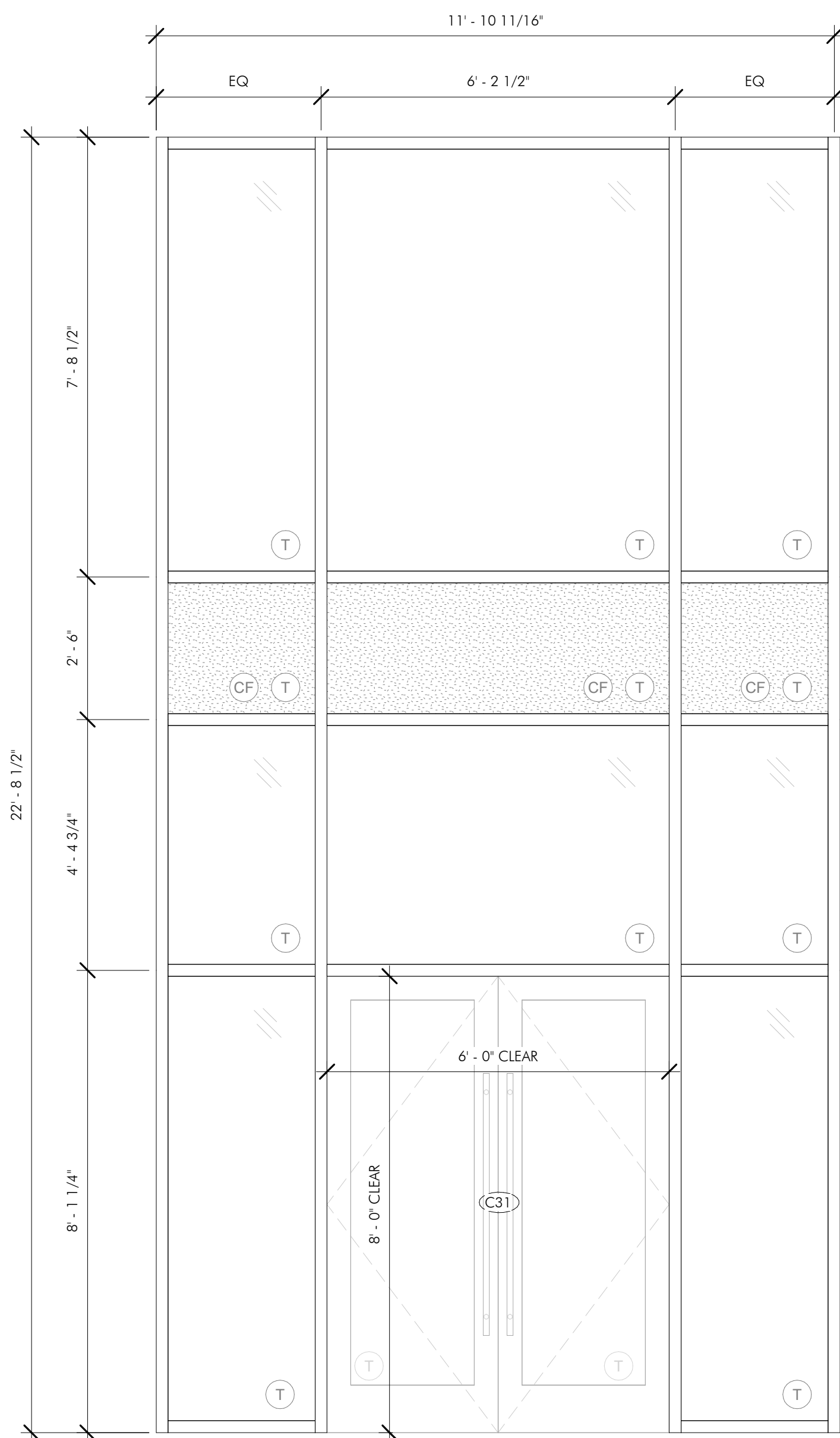
SF1.3 A STREET LEVEL 1.3



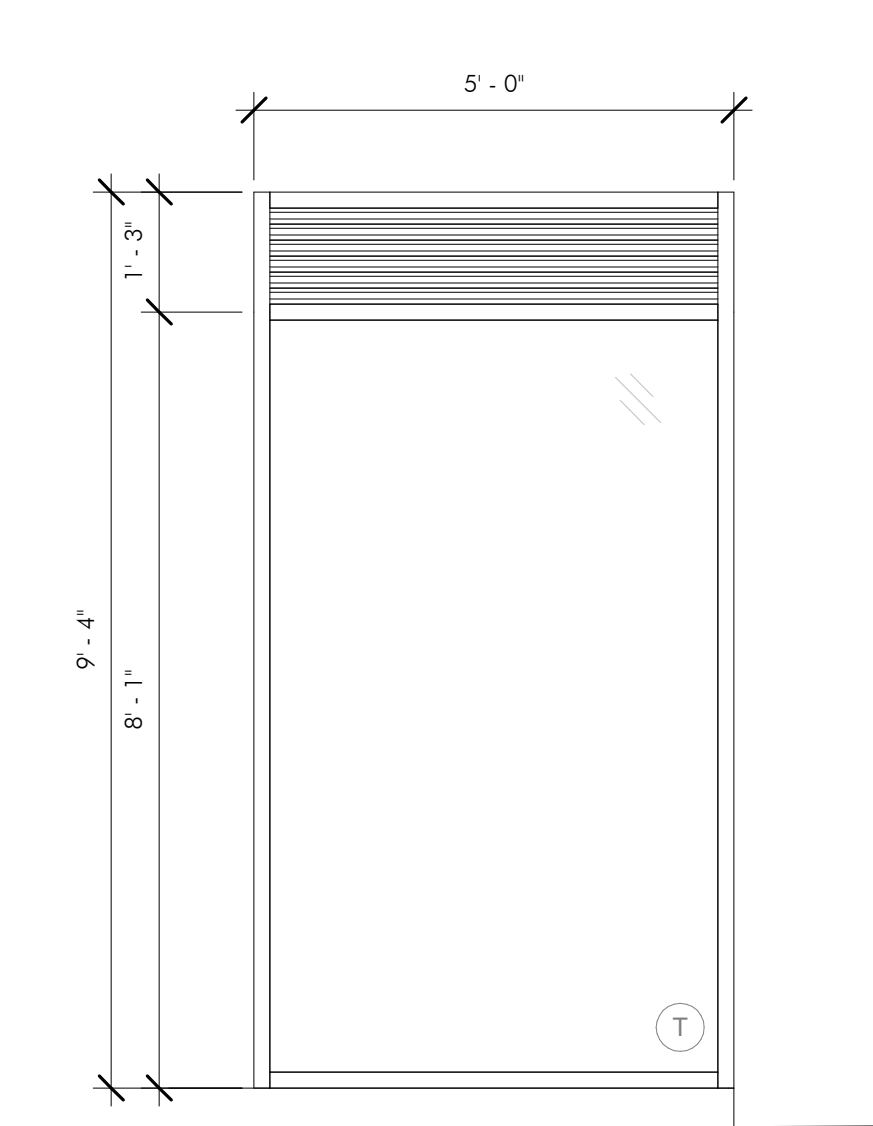
SF1.4 A STREET LEVEL 1.4



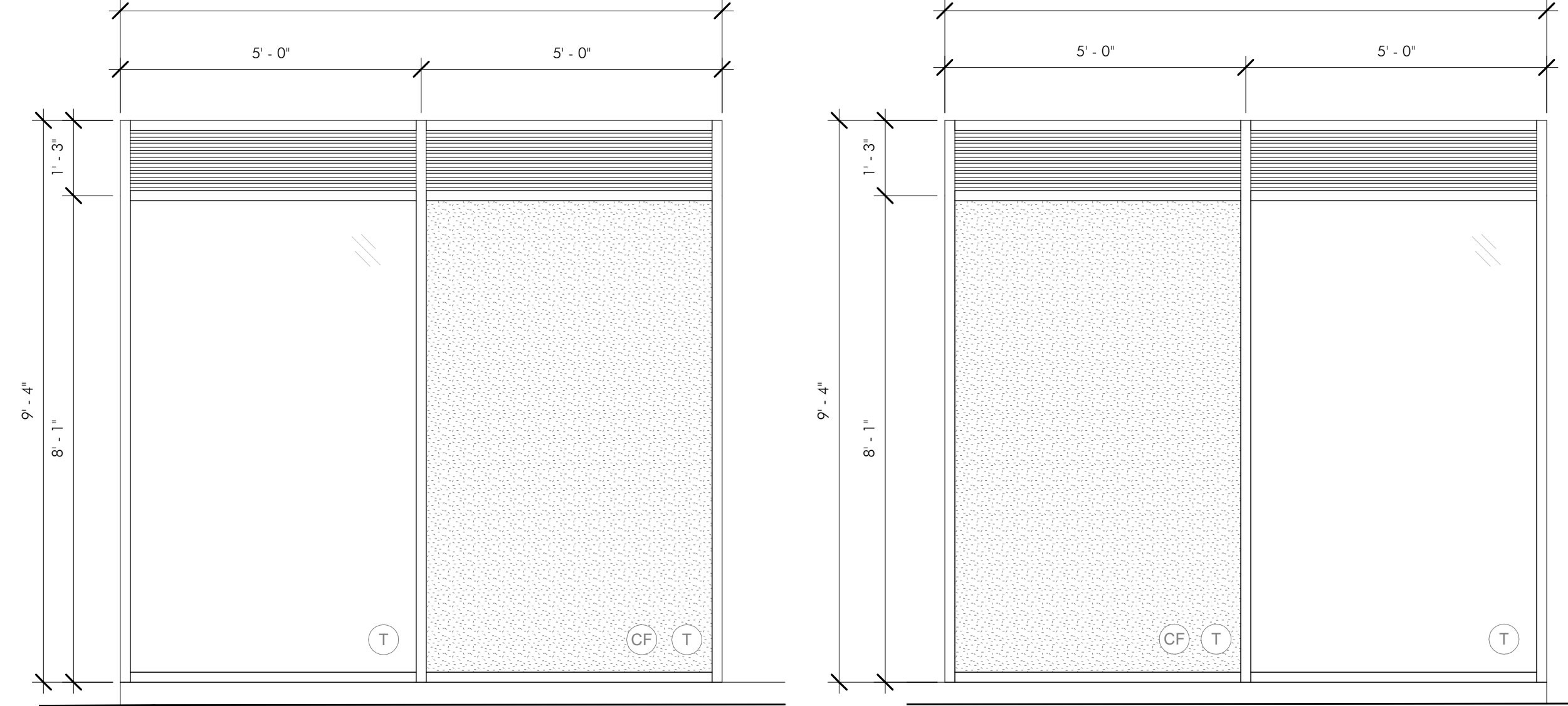
SF1.5 WEST 4TH LEVEL 1 RETAIL



CW1.6 ENTRY GLAZING

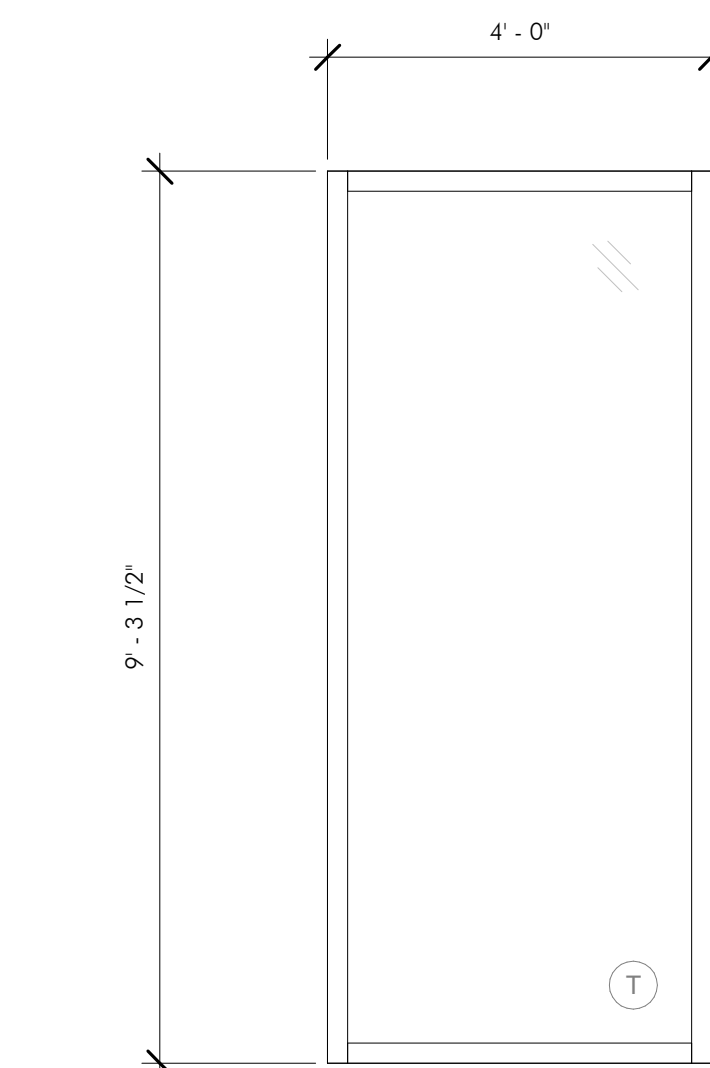


SF1.7 WEST 4TH LEVEL 1.1

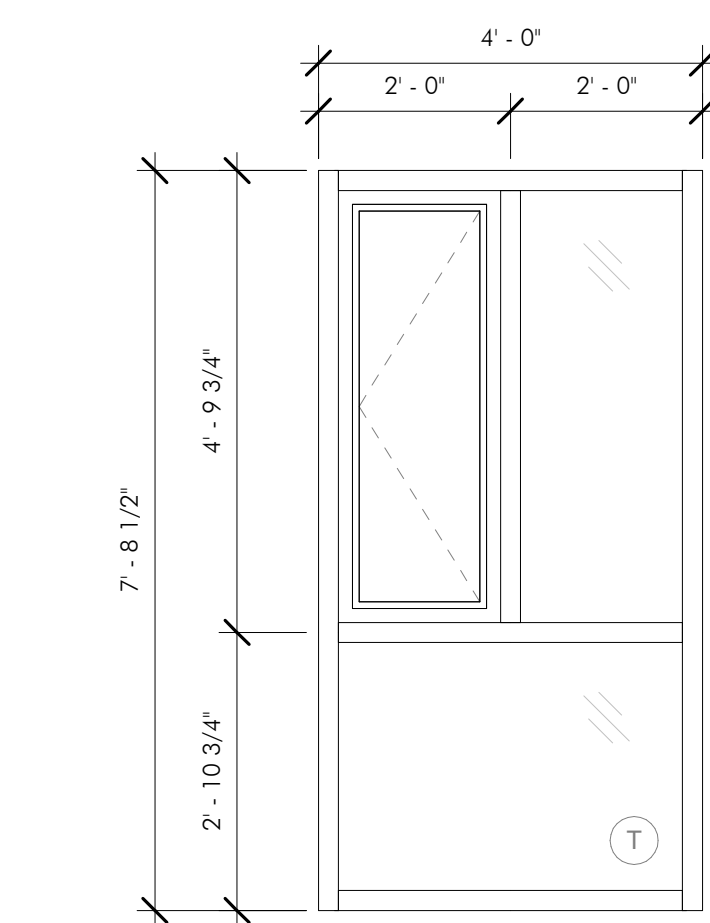


SF1.8 WEST 4TH LEVEL 1.2

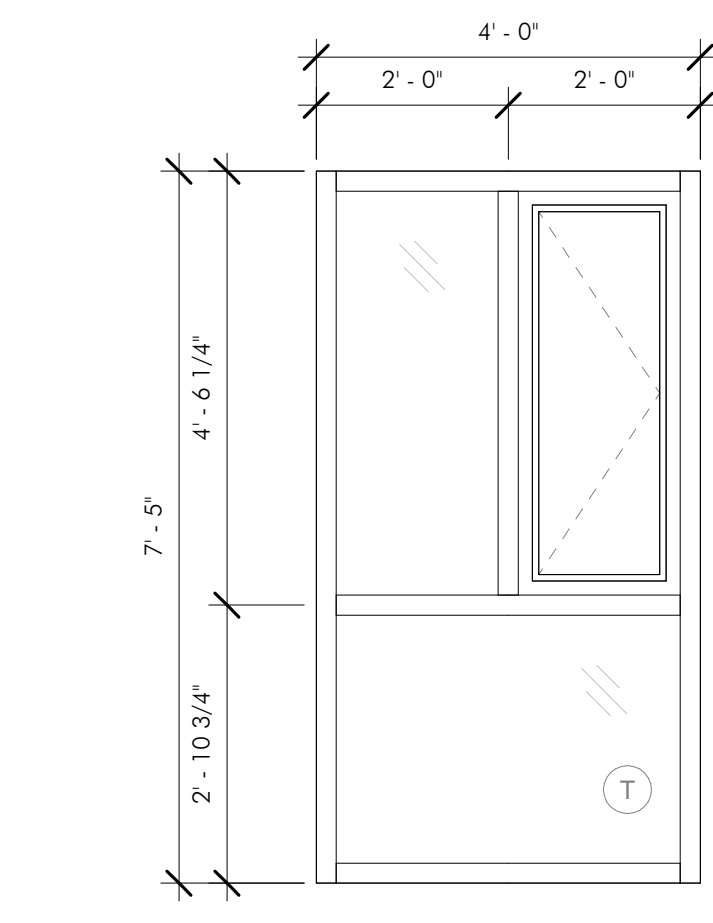
SF1.9 WEST 4TH LEVEL 1.3



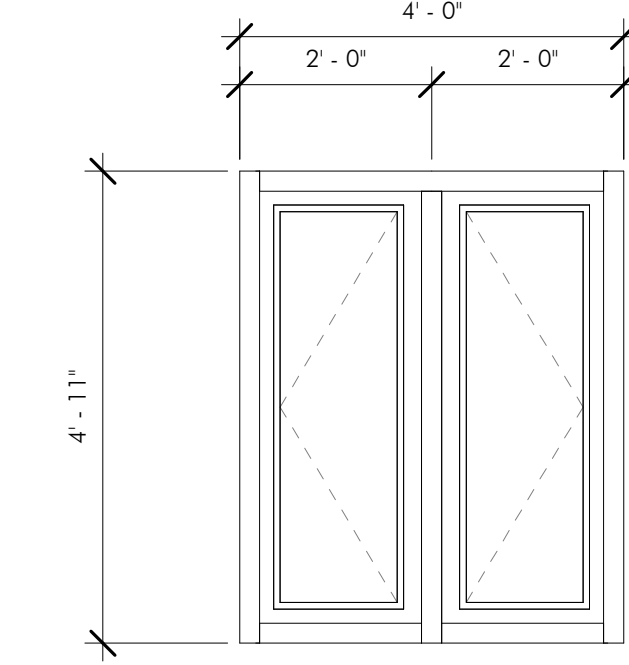
CW3.1 WEST 4TH ASSEMBLED WINDOWS 1



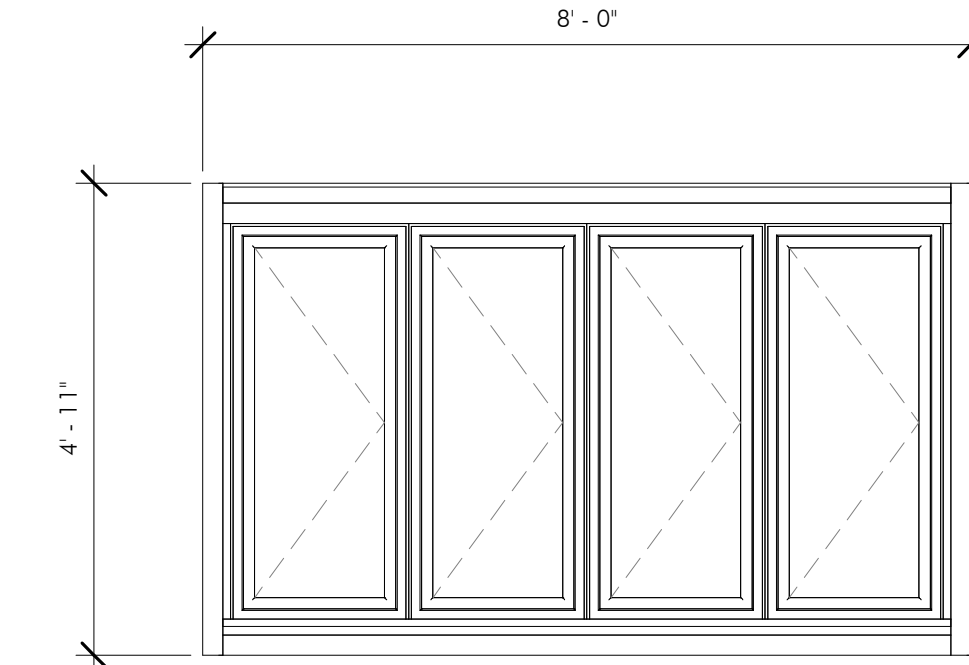
CW4.1 WEST 4TH ASSEMBLED WINDOWS 2



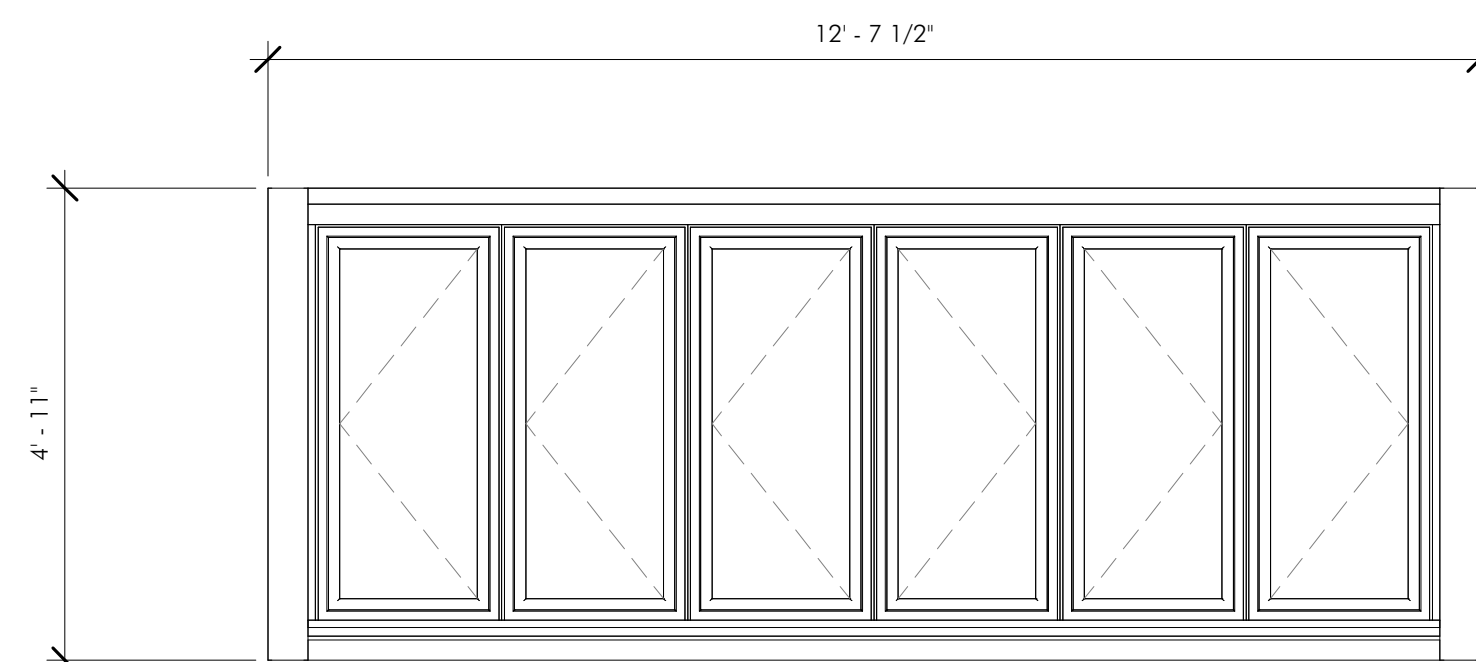
CW4.2 WEST 4TH ASSEMBLED WINDOWS 3



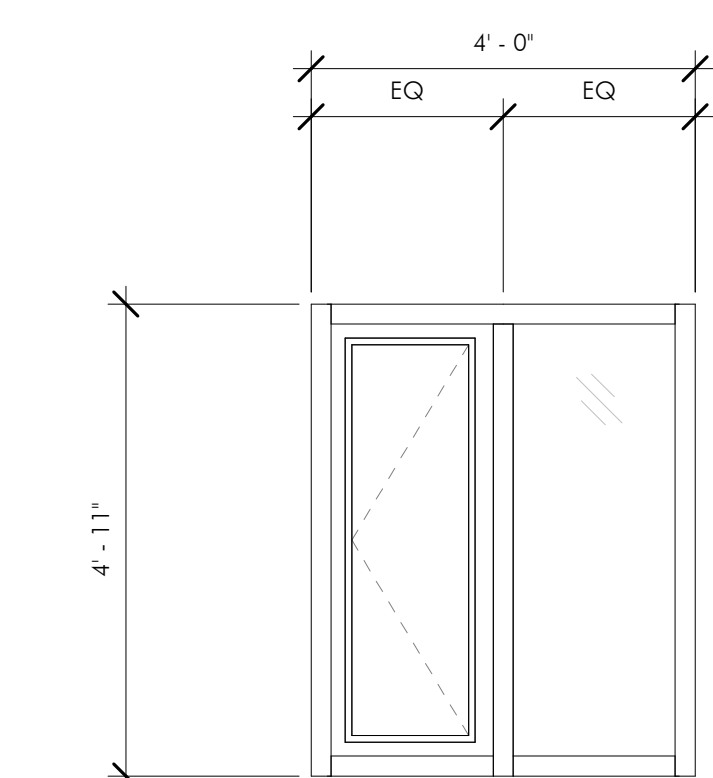
CW5.1 WEST 4TH ASSEMBLED WINDOWS HORIZ. 2



CW5.2 WEST 4TH ASSEMBLED WINDOWS HORIZ. 1



CW5.5 WEST 4TH ASSEMBLED WINDOWS HORIZ. 3



CW5.4 WEST 4TH ASSEMBLED WINDOWS HORIZ. 4

GLAZING TREATMENTS	
(T)	TEMPERED GLASS
(CF)	CERAMIC FRIT GLASS, #3 SURFACE
(L)	LAMINATED GLASS #3 SURFACE

REVISIONS		
NO.	DATE	DESCRIPTION



DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As Indicated

DRAWING TITLE  
**STOREFRONT & CURTAIN WALL ELEVATIONS**

DRAWING NUMBER  
**A610**

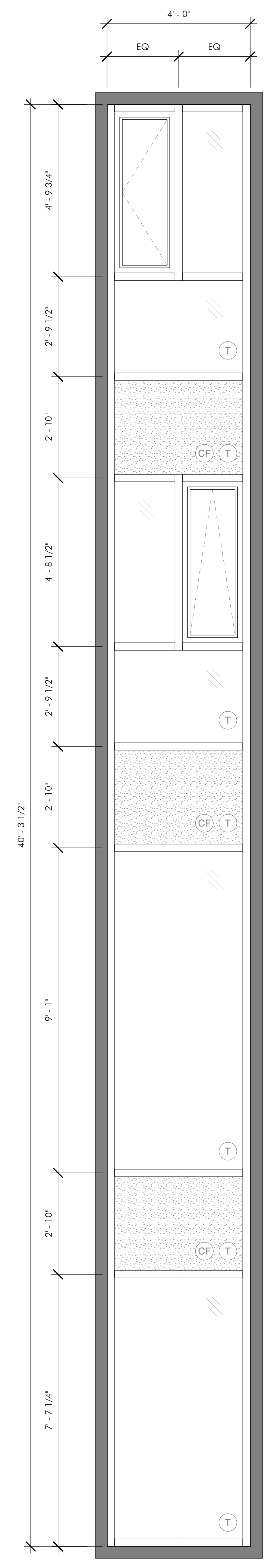
MARK	ISSUE	DATE



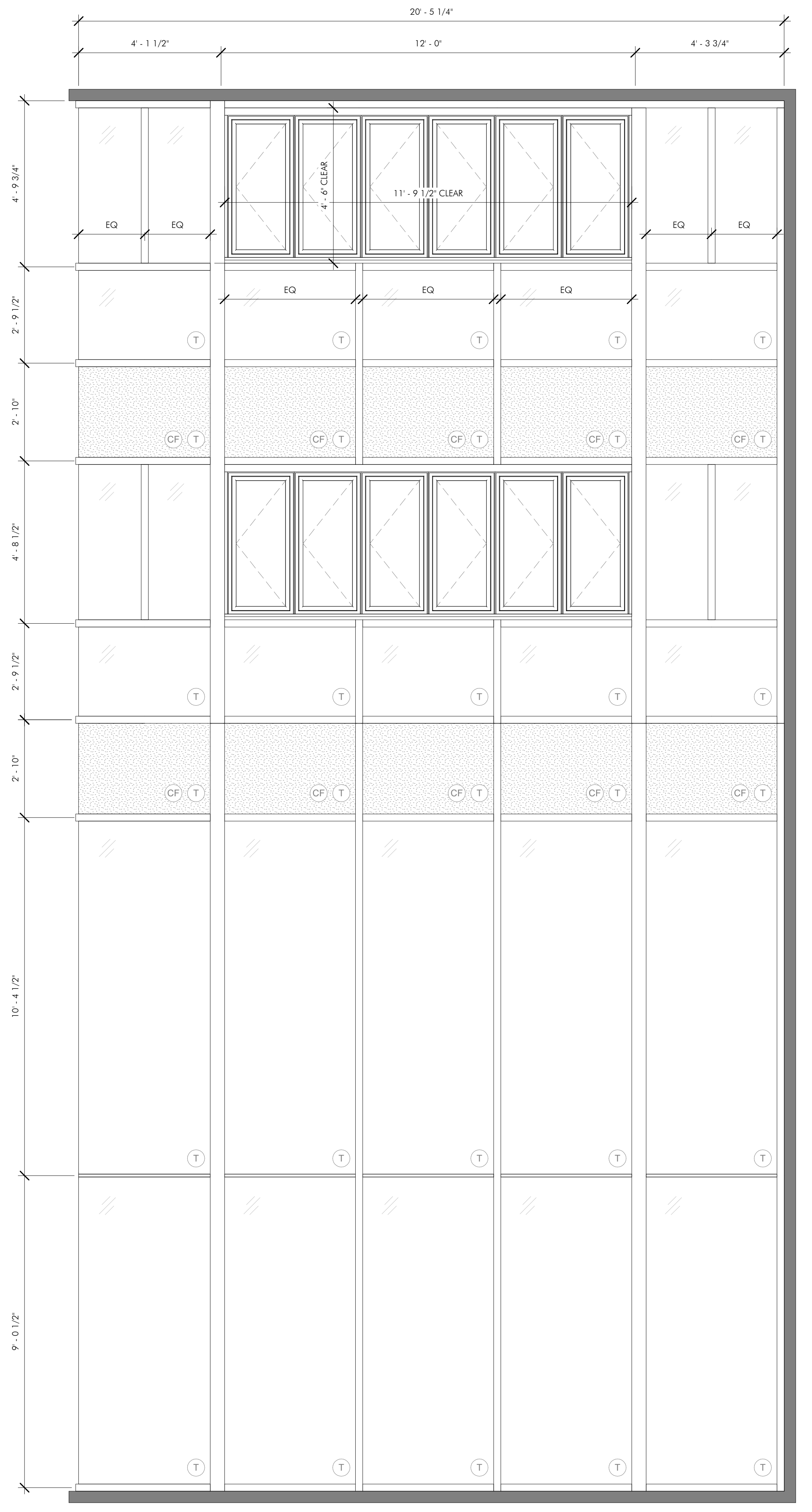
DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	As indicated

DRAWING TITLE  
**CURTAIN WALL ELEVATIONS**

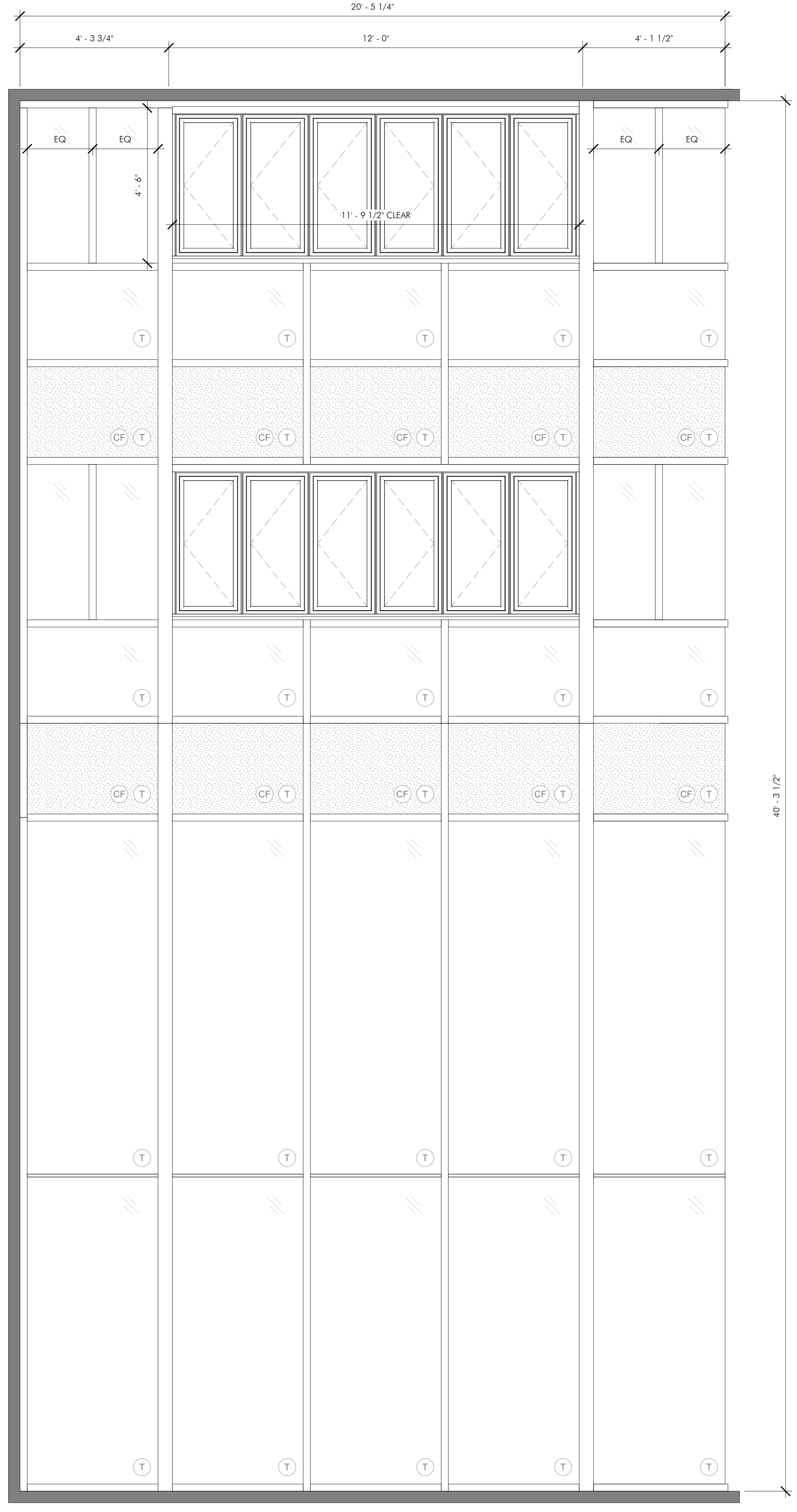
DRAWING NUMBER  
**A611**



CW2.3 UPPER CURTAIN WALL W 4TH

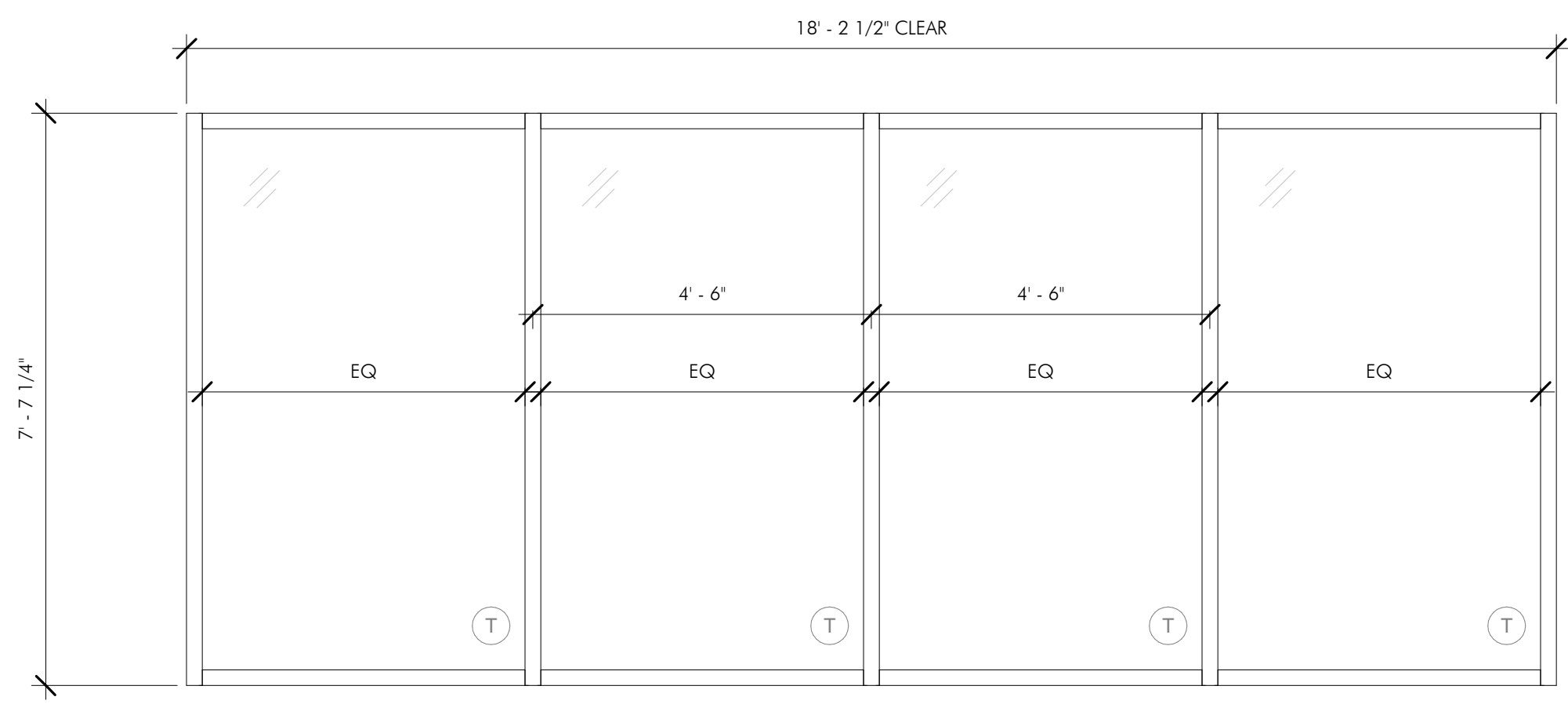


CW2.2 UPPER CURTAIN WALL W 4TH

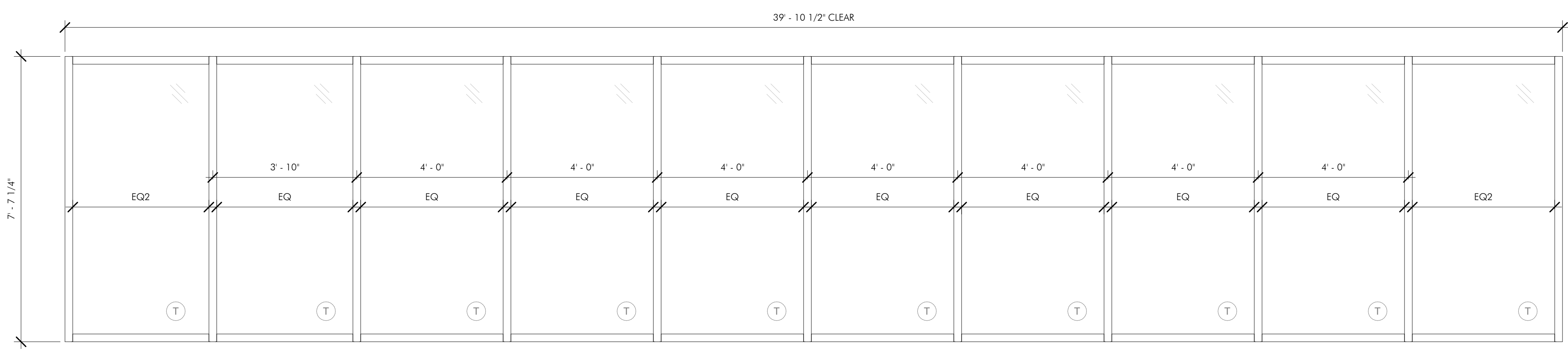


CW2.1 UPPER CURTAIN WALL A STREET

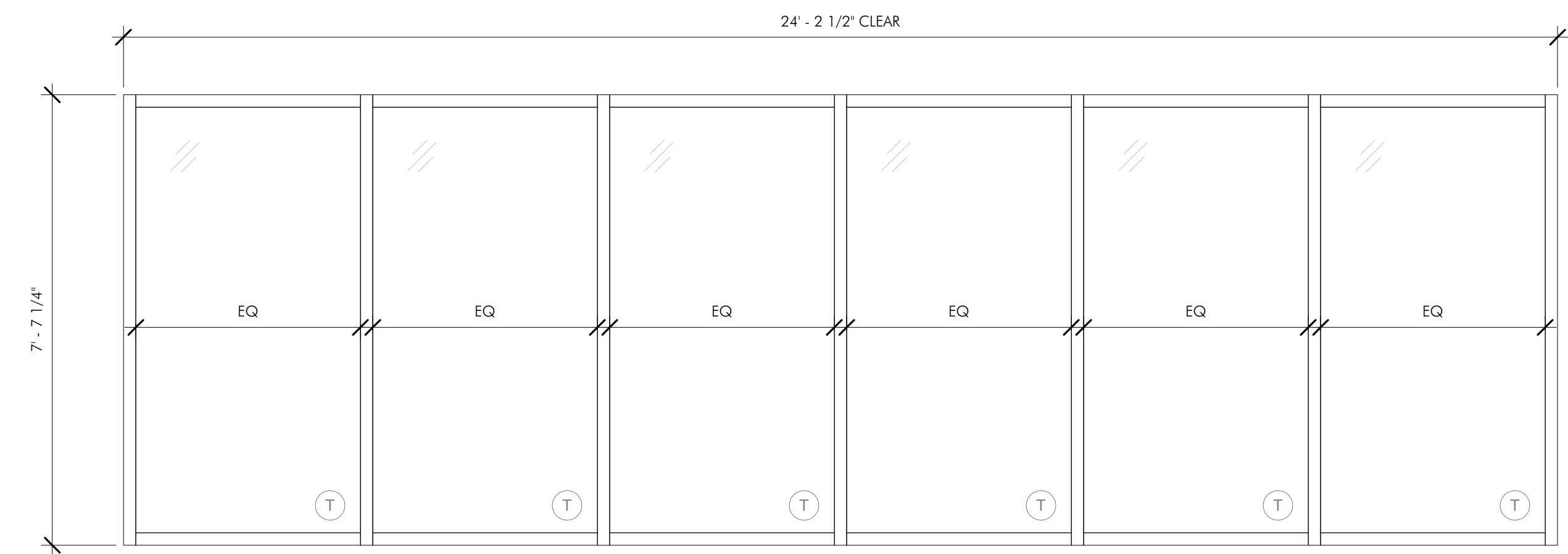
GLAZING TREATMENTS	
(T)	TEMPERED GLASS
(CF)	CERAMIC FRIT GLASS, #3 SURFACE
(L)	LAMINATED GLASS, #3 SURFACE



CW6.1 A STREET LEVEL 6

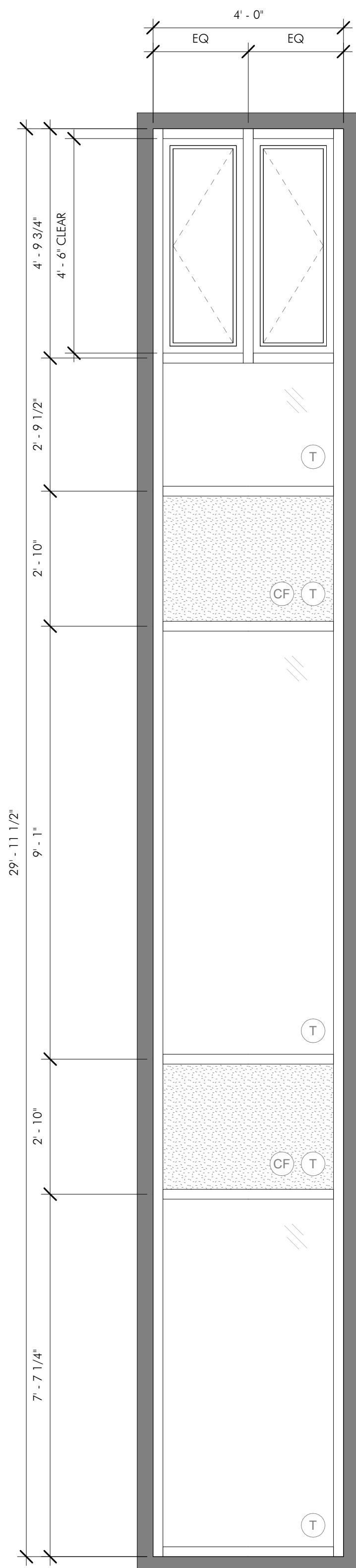


CW6.2 WEST 4TH LEVEL 6

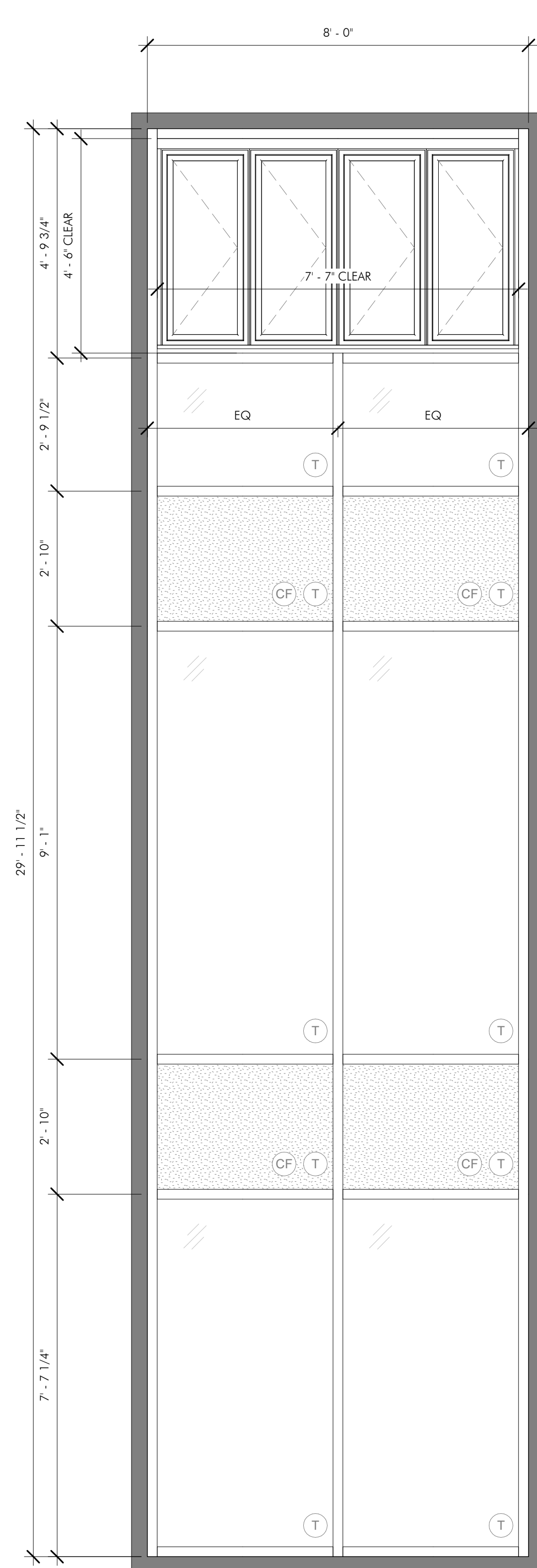


CW6.3 REAR LEVEL 6

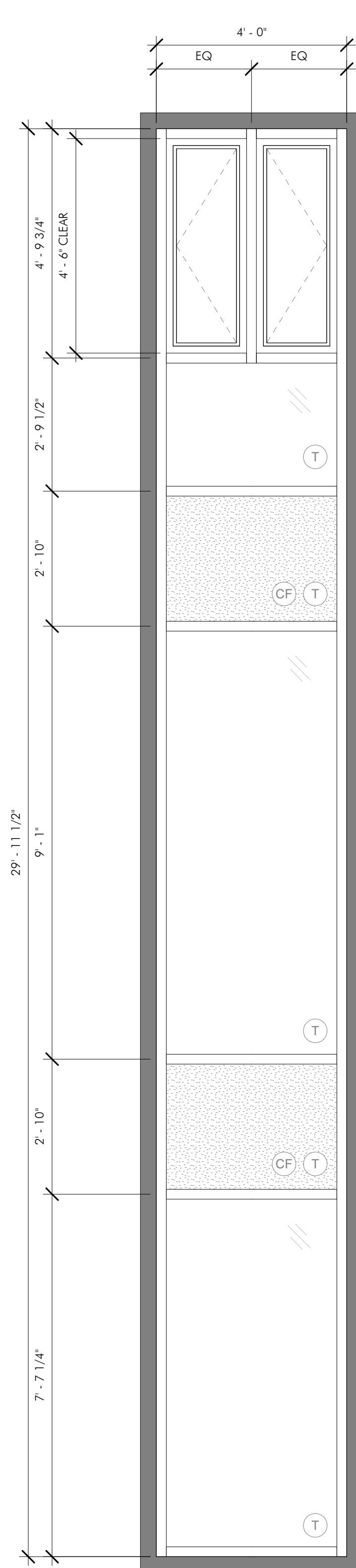
GLAZING TREATMENTS	
T	TEMPERED GLASS
CF	CERAMIC FRIT GLASS, #3 SURFACE
L	LAMINATED GLASS, #3 SURFACE



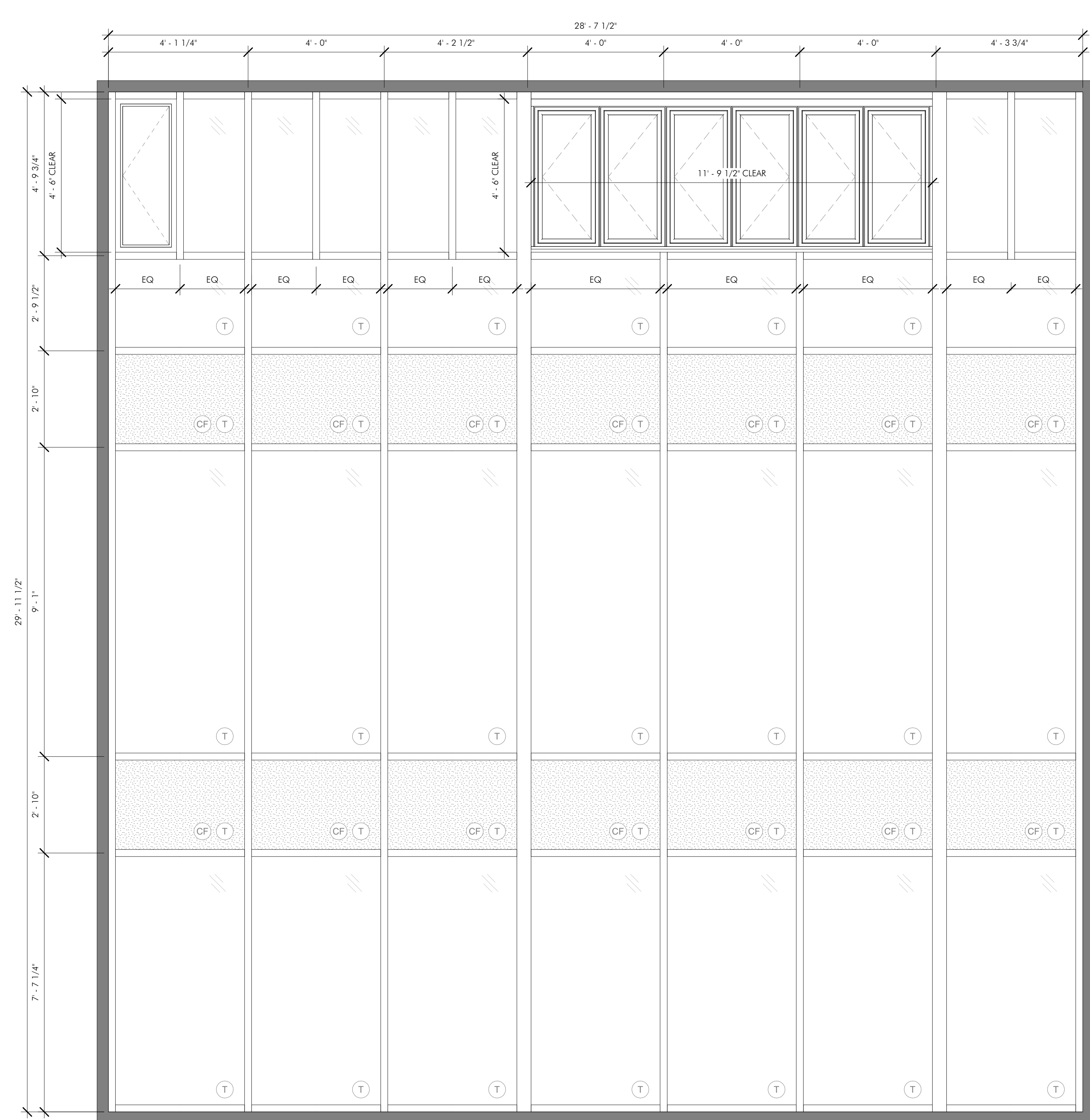
CW2.4 UPPER CURTAIN WALL W 4TH2



CW2.5 UPPER CURTAIN WALL W 4TH3



CW2.6 UPPER CURTAIN WALL W 4TH4



CW2.7 UPPER CURTAIN WALL W 4TH5

ARCHITECT  
**EMBARC**

580 HARRISON AVE, SUITE 2W  
BOSTON, MA 02118  
O: 617.765.8000  
www.embarcdesign.com

OWNER

MICHAEL INDRESANO  
33 A ST, BOSTON, MA 02127

CONSULTANTS

**CIVIL**  
COLUMBIA DESIGN GROUP  
14 UPRHAM AVE  
DORCHESTER, MA 02125  
617.506.1474

**STRUCTURAL**  
H+O STRUCTURAL ENGINEERING  
185 SUMNER ST, SUITE 1800  
BOSTON, MA 02210  
617.938.3349

**MEP/FP**

EDE, INC.  
130 BEAVER STREET, SUITE 404  
WALTHAM, MA 02452  
617.969.7700

**ENERGY MODELING**

ENVENERGY STUDIO  
831 BEACON ST, #115  
NEWTON CENTRE, MA 02459  
617.446.3114

33 A STREET  
SOUTH BOSTON, MA

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REVISIONS

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DRAWING INFORMATION

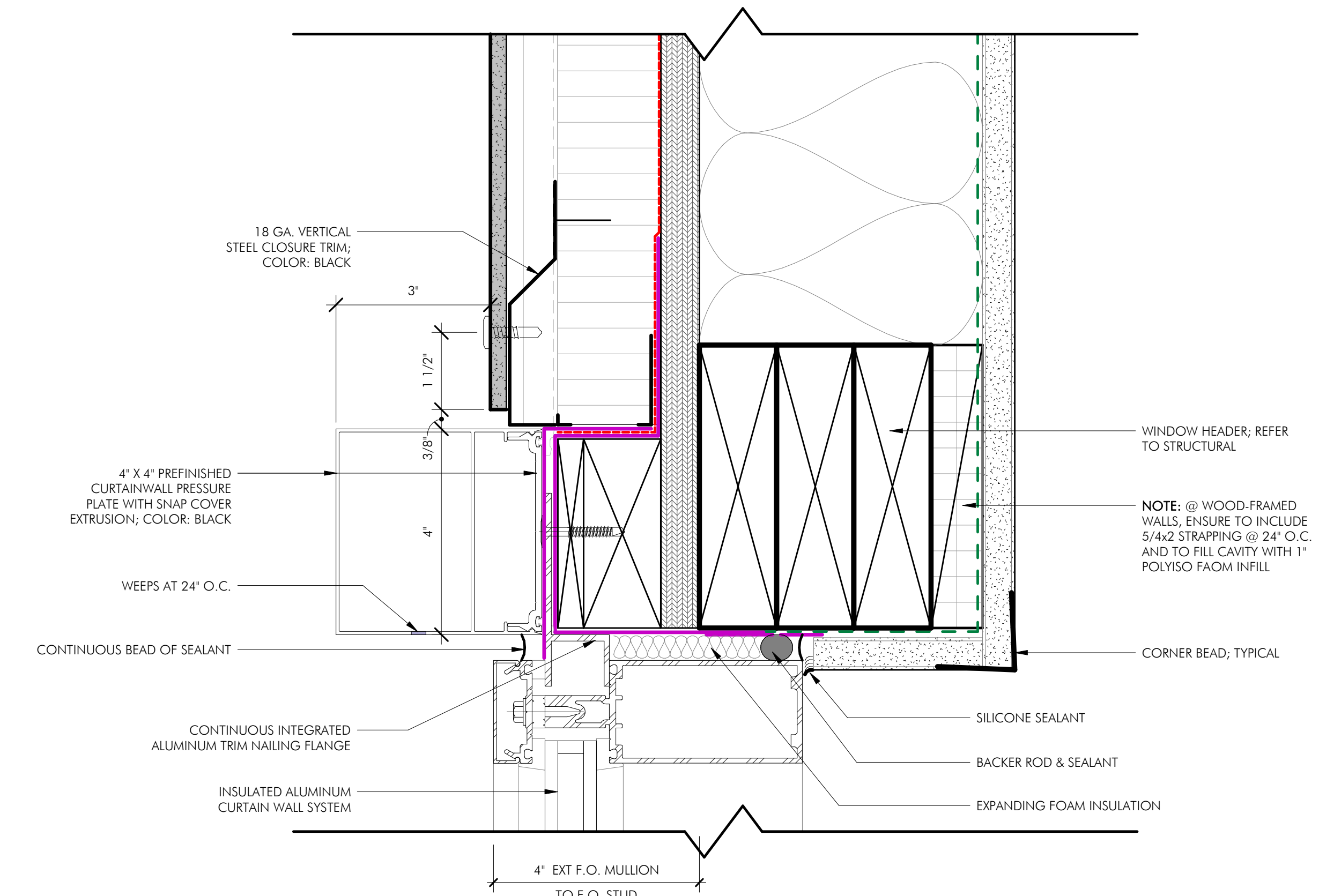
ISSUE: ISSUED FOR CONSTRUCTION  
DATE: 09/07/2022  
PROJECT #: 20020  
SCALE: As indicated

DRAWING TITLE  
**CURTAIN WALL ELEVATIONS**

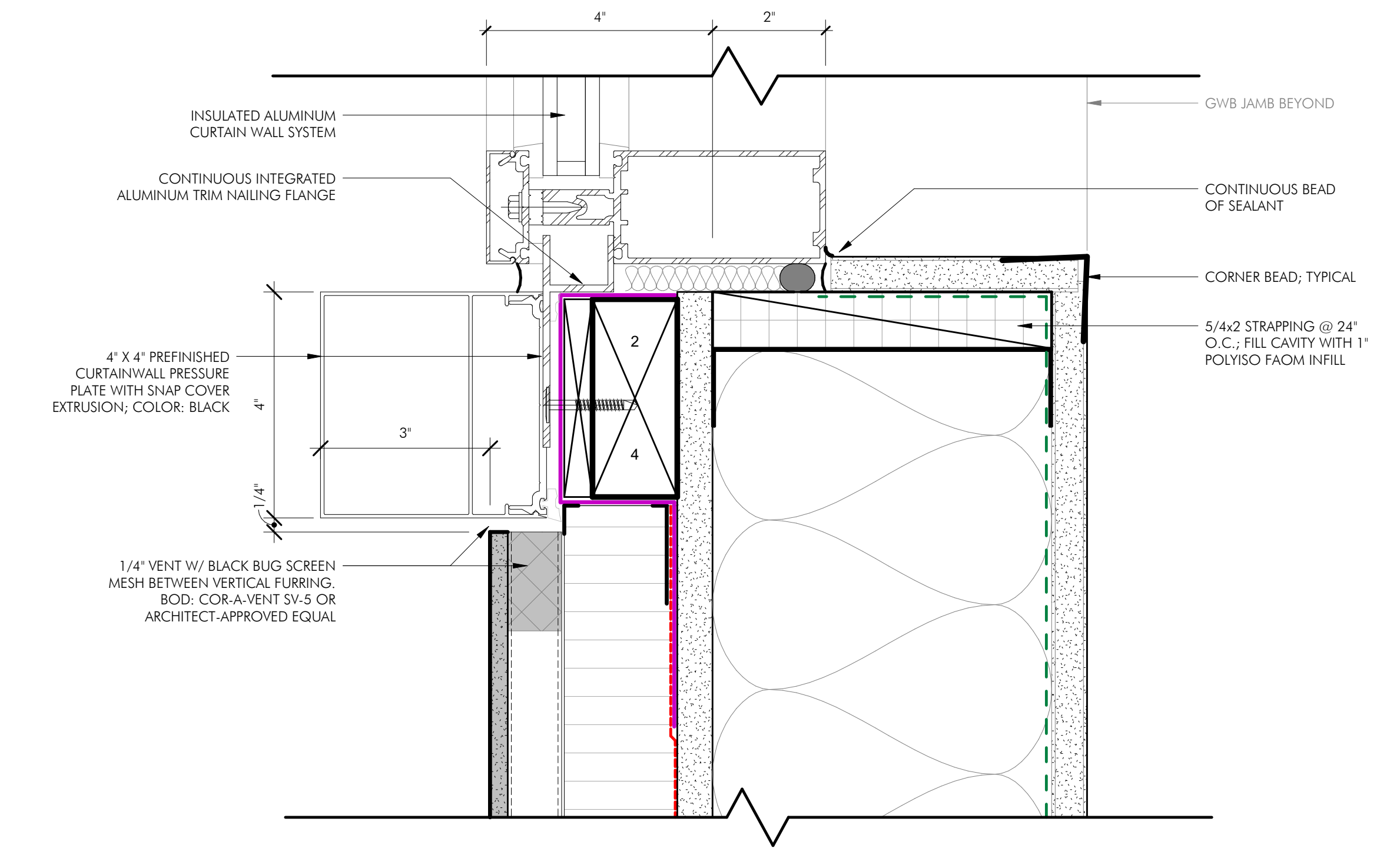
DRAWING NUMBER

**A612**

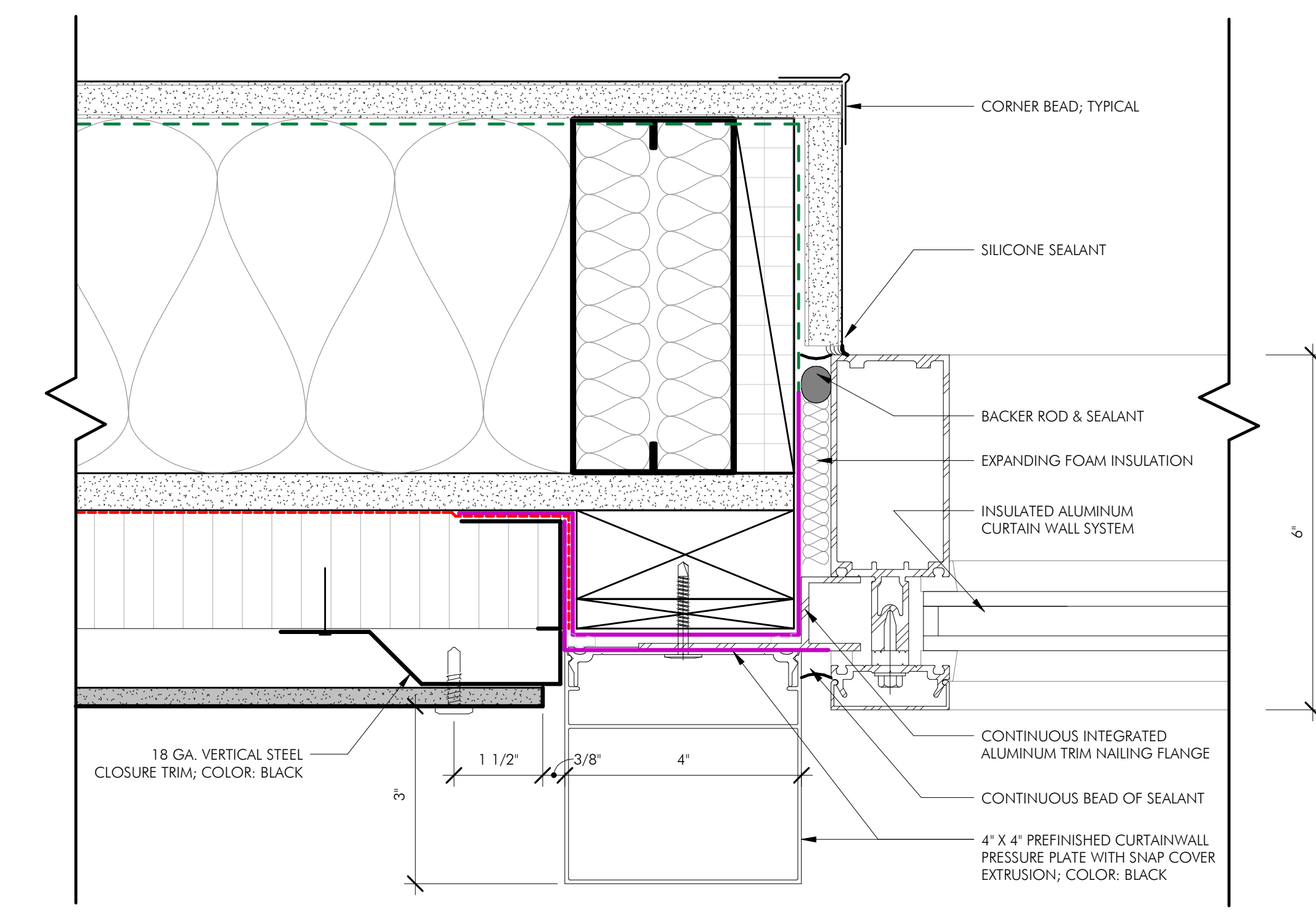
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**H2**  
CURTAINWALL HEAD DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM  
@ LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL  
6\"/>



**S1**  
CURTAINWALL SILL DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM @  
LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL  
6\"/>



**J1**  
CURTAINWALL JAMB DETAIL WITH PRESSURE PLATE/SNAP-ON COVER TRIM  
@ LARGE-FORMAT HIGH-DENSITY FIBER CEMENT PANEL  
6\"/>

**33 A STREET**  
SOUTH BOSTON, MA  
**ISSUED FOR CONSTRUCTION**

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	6\"/>

DRAWING TITLE  
**STOREFRONT & CURTAIN WALL DETAILS**

DRAWING NUMBER  
**A613**

MARK	ISSUE	DATE



DRAWING INFORMATION	
ISSUE:	ISSUED FOR CONSTRUCTION
DATE:	02/07/2022
PROJECT #:	20020
SCALE:	1/4" = 1'-0"

**DRAWING TITLE**  
GLASS  
PARTITIONS  
ELEVATIONS  
**DRAWING NUMBER**

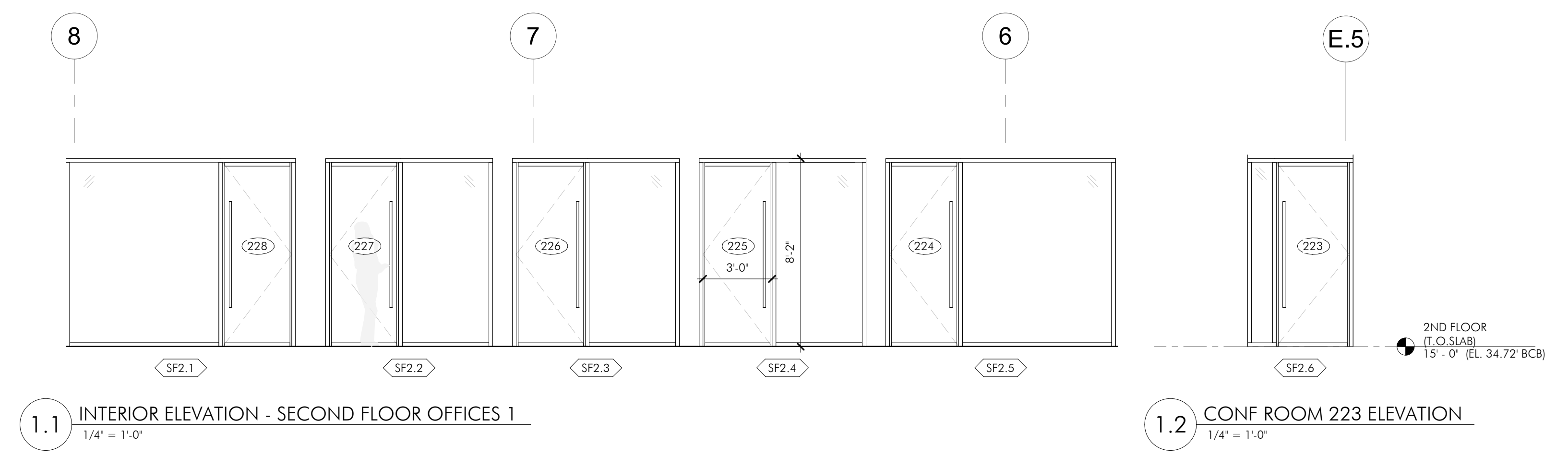
**A620**

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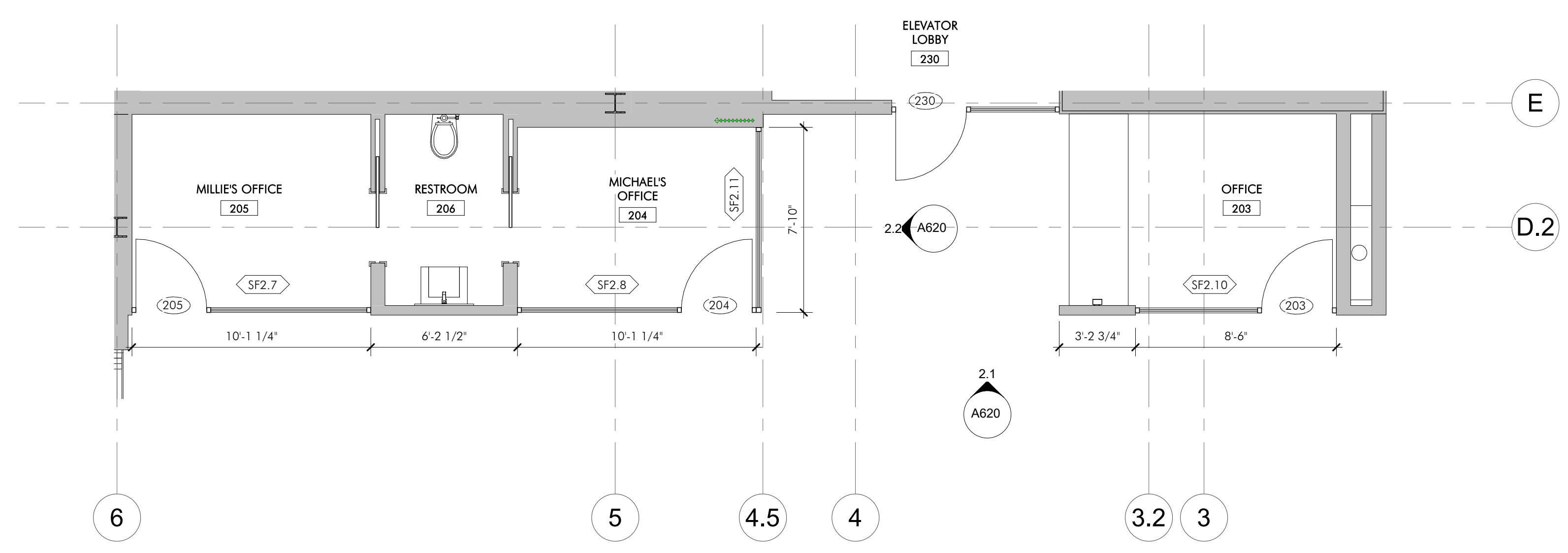
**INTERIOR GLASS PARTITION GENERAL NOTES**  
BASIS OF DESIGN: METRO WALL - METRO SERIES - H  
CHANNEL, VERTICAL & HORIZONTAL MULLIONS



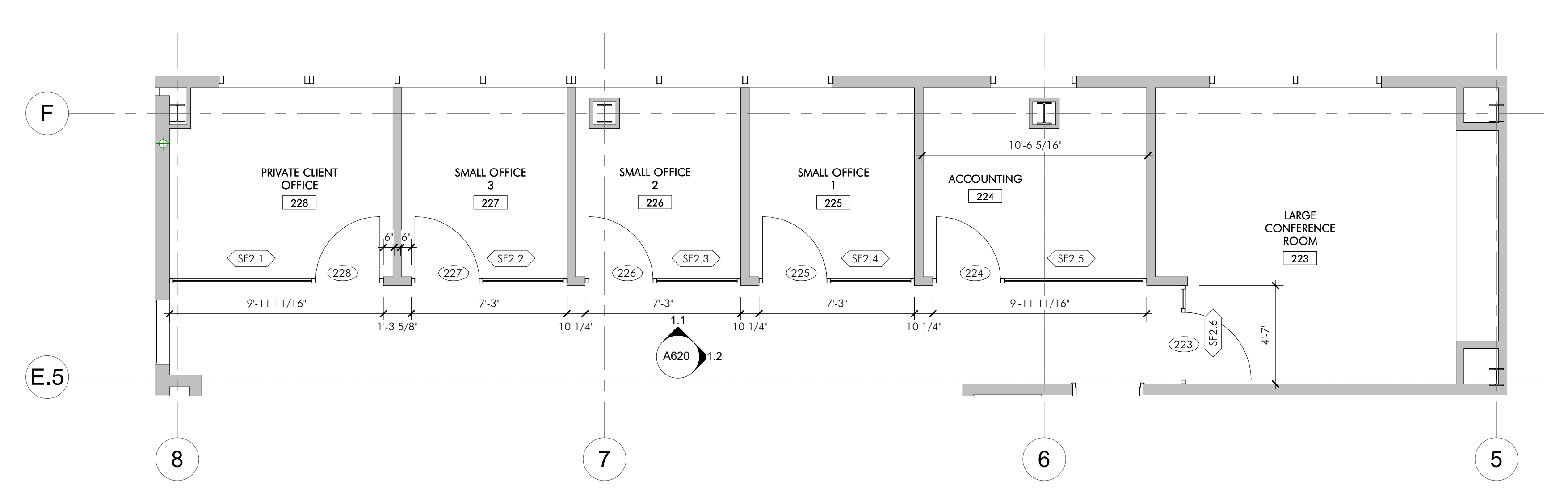
2.2 OFFICE 204 SIDE ELEVATION  
1/4" = 1'-0"



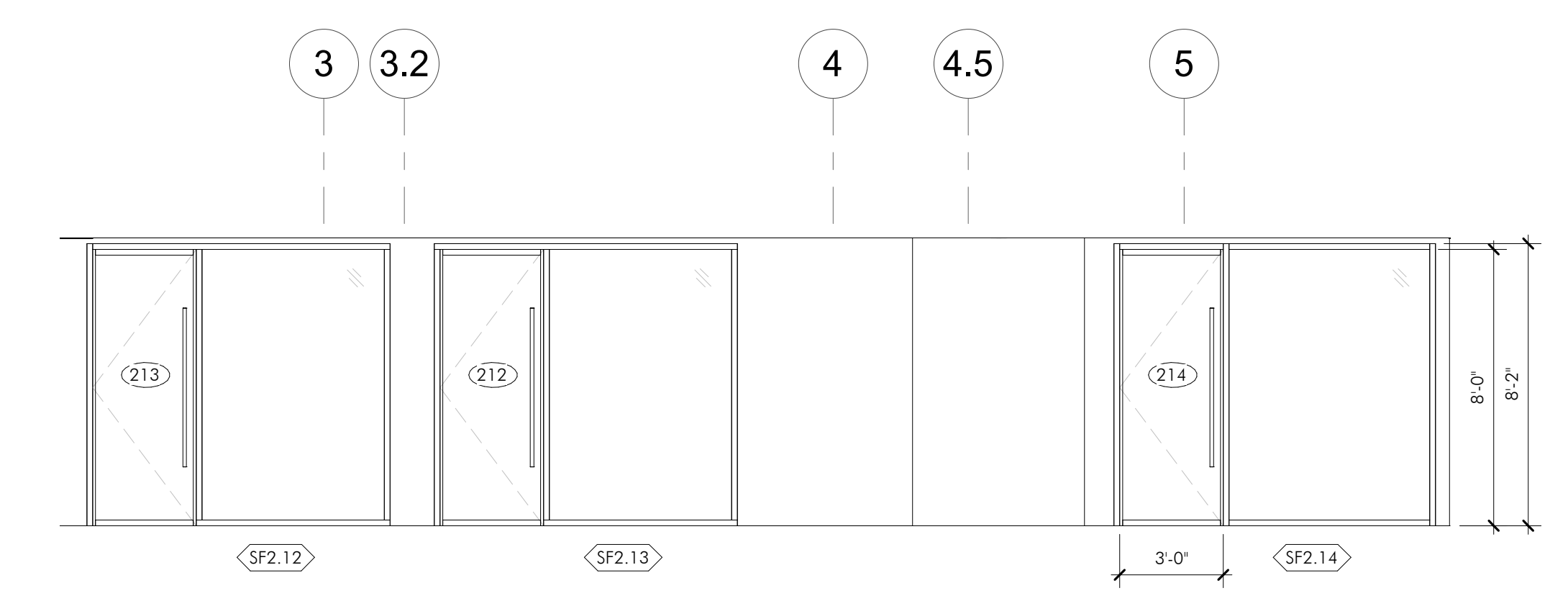
1.2 CONF ROOM 223 ELEVATION  
1/4" = 1'-0"



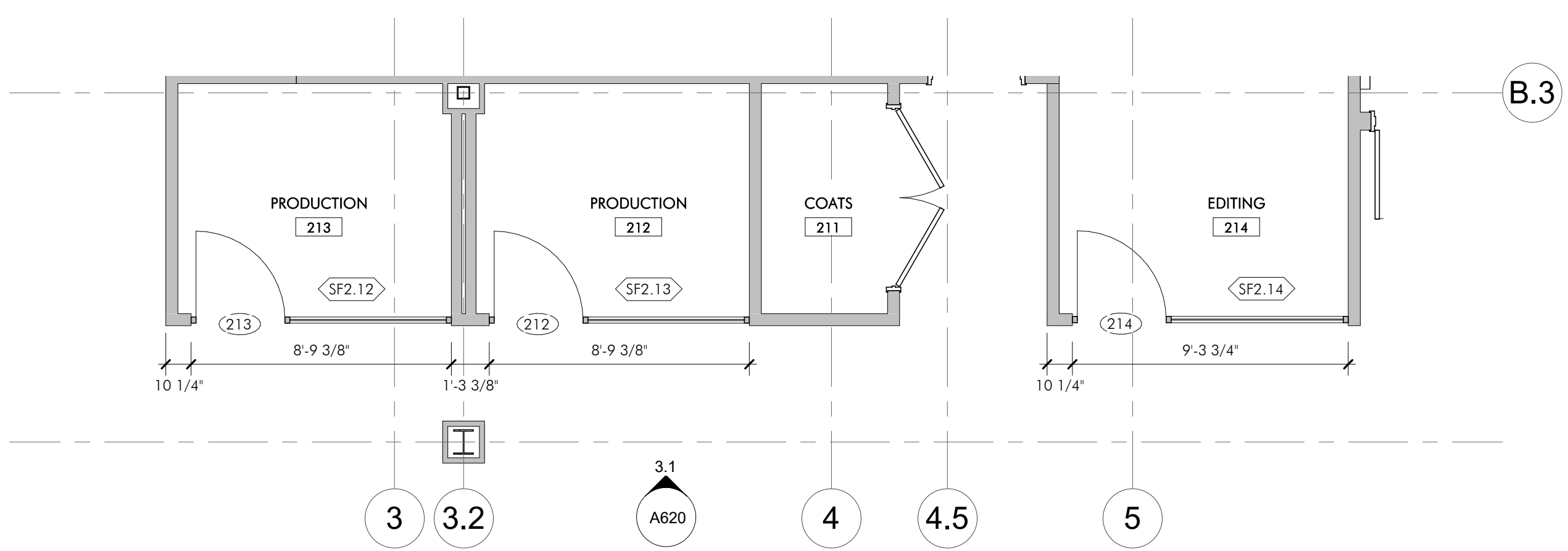
2 CALLOUT - SECOND FLOOR - OFFICES & ENTRANCE  
1/4" = 1'-0"



1 CALLOUT - SECOND FLOOR - OFFICES 1  
1/4" = 1'-0"



3.1 INTERIOR ELEVATION - SECOND FLOOR OFFICES 2  
1/4" = 1'-0"



3 CALLOUT - SECOND FLOOR - OFFICES 2  
1/4" = 1'-0"

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