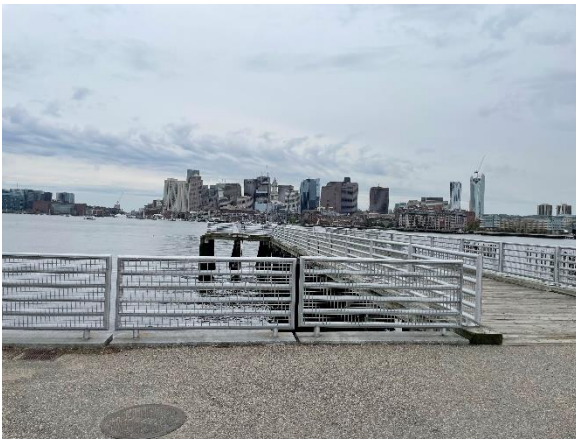


Notice of Intent



May 2022

BOSTON – LOPRESTI BOAT DOCK

PREPARED FOR:
BOSTON PARKS AND RECREATION

SUBMITTED TO:
Boston Conservation Commission



May 18, 2022

Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201-2031

**Re: NOI Filing
LoPresti Park Sediment Borings
33 Sumner Street**

Dear Members of the Commission:

On behalf of the City of Boston Parks and Recreation Department, Weston & Sampson Engineers, Inc. is hereby enclosing two (2) copies (including original) of the Notice of Intent submittal (including plans) to fulfill the requirements of the Massachusetts Wetlands Protection Act, M.G.L. Chapter 131, Section 40 submittal requirements and the City of Boston submittal requirements. This submittal is a formal Notice of Intent for the LoPresti Boat Dock.

As part of the filing, we have attached the following:

Appendix A: Project Description
Appendix B: Stormwater Report
Appendix C: Project Maps
Appendix D: Applicable Technical Specifications
Appendix E: Abutters Information
Appendix F: Wetlands Memorandum
Appendix G: Photos

If you have any questions regarding this submittal, please contact me at (978) 532-1900.

Very truly yours,

WESTON & SAMPSON



Alexandra Gaspar
Environmental Scientist



Enter your transmittal number

X289020

Transmittal Number

Your unique Transmittal Number can be accessed online:

<http://www.mass.gov/eea/agencies/massdep/service/approvals/transmittal-form-for-payment.html>

Massachusetts Department of Environmental Protection

Transmittal Form for Permit Application and Payment

1. Please type or print. A separate Transmittal Form must be completed for each permit application.

2. Make your check payable to the Commonwealth of Massachusetts and mail it with a copy of this form to: MassDEP, P.O. Box 4062, Boston, MA 02211.

3. Three copies of this form will be needed.

Copy 1 - the original must accompany your permit application. **Copy 2** must accompany your fee payment. **Copy 3** should be retained for your records

4. Both fee-paying and exempt applicants must mail a copy of this transmittal form to:

MassDEP
P.O. Box 4062
Boston, MA
02211

*** Note:**
For BWSC Permits, enter the LSP.

A. Permit Information

WPA Form 3

wetlands

1. Permit Code: 4 to 7 character code from permit instructions

2. Name of Permit Category

boat dock

3. Type of Project or Activity

B. Applicant Information – Firm or Individual

Boston Parks and Recreation

1. Name of Firm - Or, if party needing this approval is an individual enter name below:

2. Last Name of Individual

3. First Name of Individual

4. MI

1010 Massachusetts Avenue, 3rd floor

5. Street Address

Boston

MA

02118

617-635-4505

6. City/Town

7. State

8. Zip Code

9. Telephone #

10. Ext. #

Ryan Woods, Commissioner

ryan.woods@boston.gov

11. Contact Person

12. e-mail address

C. Facility, Site or Individual Requiring Approval

LoPresti Park

1. Name of Facility, Site Or Individual

33 Sumner Street

2. Street Address

East Boston

MA

02128

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

8. DEP Facility Number (if Known)

9. Federal I.D. Number (if Known)

10. BWSC Tracking # (if Known)

D. Application Prepared by (if different from Section B)*

Weston & Sampson Engineers

1. Name of Firm Or Individual

427 Main Street, Suite 400

2. Address

Worcester

MA

01608

857-415-3888

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

Michael Easler, RLA, CPSI

8. Contact Person

9. LSP Number (BWSC Permits only)

E. Permit - Project Coordination

1. Is this project subject to MEPA review? yes no
If yes, enter the project's EOE file number - assigned when an Environmental Notification Form is submitted to the MEPA unit:

EOEA File Number

F. Amount Due

DEP Use Only

Permit No:

Rec'd Date:

Reviewer:

Special Provisions:

1. Fee Exempt (city, town or municipal housing authority)(state agency if fee is \$100 or less).
There are no fee exemptions for BWSC permits, regardless of applicant status.
2. Hardship Request - payment extensions according to 310 CMR 4.04(3)(c).
3. Alternative Schedule Project (according to 310 CMR 4.05 and 4.10).
4. Homeowner (according to 310 CMR 4.02).

Check Number

Dollar Amount

Date



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>33 Sumner Street</u>	<u>East Boston</u>	<u>02128</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>0105404000</u>	<u>42deg22'11.96"N</u>	<u>71deg2'36.48"W</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
g. Parcel /Lot Number		

2. Applicant:

<u>Ryan</u>	<u>Woods</u>	
a. First Name	b. Last Name	
<u>Boston Parks and Recreation Department</u>		
c. Organization		
<u>1010 Massachusetts Avenue, 3rd Floor</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02118</u>
e. City/Town	f. State	g. Zip Code
<u>617-635-4505</u>	<u>ryan.woods@boston.gov</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

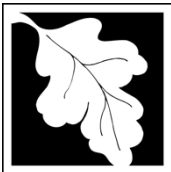
<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Michael</u>	<u>Easler</u>	
a. First Name	b. Last Name	
<u>Weston & Sampson Engineers</u>		
c. Company		
<u>427 Main Street, Suite 400</u>		
d. Street Address		
<u>Worcester</u>	<u>MA</u>	<u>01608</u>
e. City/Town	f. State	g. Zip Code
<u>857-415-3888</u>	<u>easlerm@wseinc.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>exempt</u>	<u>exempt</u>	<u>exempt</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

A. General Information (continued)

6. General Project Description:

boat dock

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

2791

c. Book

b. Certificate # (if registered land)

734

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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Provided by MassDEP:

MassDEP File Number

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input checked="" type="checkbox"/> Land Under the Ocean	10 1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____	_____
a. square feet of BVW	b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____	_____
a. number of new stream crossings	b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
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Provided by MassDEP:

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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 2021
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor’s Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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Boston

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

LoPresti Park Boat Dock Design

a. Plan Title

Weston & Sampson

b. Prepared By

May 2022

d. Final Revision Date

Brandon Kunkel, RLA

c. Signed and Stamped by

1"=10'

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Boston

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.


1. Signature of Applicant

5/16/22
2. Date

3. Signature of Property Owner (if different)

4. Date


5. Signature of Representative (if any)

5/18/22
6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

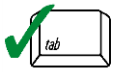
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

33 Sumner Street Boston
 a. Street Address b. City/Town
 exempt exempt
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Ryan Woods
 a. First Name b. Last Name
 Boston Parks and Recreation Department
 c. Organization
 1010 Massachusetts Avenue, 3rd Floor
 d. Mailing Address
 Boston MA 02118
 e. City/Town f. State g. Zip Code
 617-635-4505 ryan.woods@boston.gov
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
exempt			exempt
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
	Step 5/Total Project Fee:		exempt
Step 6/Fee Payments:			
	Total Project Fee:		exempt
	State share of filing Fee:		a. Total Fee from Step 5 exempt
	City/Town share of filing Fee:		b. 1/2 Total Fee less \$12.50 exempt
			c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581-3336
508.792.7270



A. GENERAL INFORMATION

1. Project Location

33 Sumner Street

a. Street Address

Boston

b. City/Town

02128

c. Zip Code

0105404000

f. Assessors Map/Plat Number

g. Parcel /Lot Number

2. Applicant

Ryan Woods Boston Parks and Recreation Department, Commissioner

a. First Name

b. Last Name

c. Company

1010 Massachusetts Avenue, 3rd Floor

d. Mailing Address

Boston

e. City/Town

MA

f. State

02118

g. Zip Code

617-415-3895

h. Phone Number

i. Fax Number

ryan.woods@boston.gov

j. Email address

3. Property Owner

a. First Name

b. Last Name

c. Company

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

Michale Easler, RLA, CPSI

a. First Name

b. Last Name

Weston & Sampson Engineers

c. Company

427 Main Street, Suite 400

d. Mailing Address

Worcester

e. City/Town

MA

f. State

01608

g. Zip Code

857-415-3888

h. Phone Number

i. Fax Number

easlerm@wseinc.com

j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

New boat dock at LoPresti Park

7. Project Type Checklist

- | | |
|---|---|
| a. <input type="checkbox"/> Single Family Home | b. <input type="checkbox"/> Residential Subdivision |
| c. <input type="checkbox"/> Limited Project Driveway Crossing | d. <input type="checkbox"/> Commercial/Industrial |
| e. <input type="checkbox"/> Dock/Pier | f. <input type="checkbox"/> Utilities |
| g. <input type="checkbox"/> Coastal Engineering Structure | h. <input type="checkbox"/> Agriculture – cranberries, forestry |
| i. <input type="checkbox"/> Transportation | j. <input checked="" type="checkbox"/> Other |

8. Property recorded at the Registry of Deeds

<u>Suffolk</u>	<u>734</u>
a. County	b. Page Number
<u>2791</u>	_____
c. Book	d. Certificate # (if registered land)

9. Total Fee Paid

<u>exempt</u>	_____	_____
a. Total Fee Paid	b. State Fee Paid	c. City Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	0 Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	0 Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	0 Square feet	_____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

Chapter 91

 ACOE/CZM

 MHC



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area _____ percentage/acreage
- (2) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes No

If yes, provide the name of the ACEC: _____

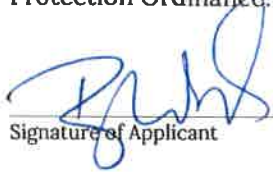
4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
- Applying for a Low Impact Development (LID) site design credits
 - A portion of the site constitutes redevelopment
 - Proprietary BMPs are included in the Stormwater Management System
- No. Check below & include a narrative as to why the project is exempt
- Single-family house
 - Emergency road repair
 - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes No

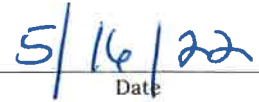


D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

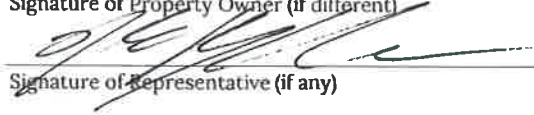


Signature of Applicant



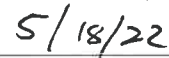
Date

Signature of Property Owner (if different)



Signature of Representative (if any)

Date



Date

Appendix A

PROJECT DESCRIPTION

Background

The existing pier at LoPresti Park, located at 33 Sumner Street at the intersection of Border Street in East Boston, sits within the Boston Harbor waterfront overlooking both Downtown Boston and Charlestown. The Park offers multiple public amenities, including walking, picnicking, basketball courts, a soccer field, playground, and a pier offers views of the city, and is a platform for fishing.

This Notice of Intent is for the design and engineering of a small boat and kayak dock to be constructed off the existing pier. The proposed dock will be publicly accessible sailing and kayaking and is a collaborative project between the Boston Parks and the Piers Park Sailing Center.

Site Description

This work will occur entirely within the Boston Harbor in East Boston.

Scope of Work

The site is adjacent to the pier within LoPresti Park, located in East Boston on the northern embankment of the Boston Harbor. The proposed floating dock (approximately 24' x40') will include a gangway ramp, secured using 5 driven-steel piles. An Americans with Disabilities Act- (ADA) compliant gangway ramp connection from the pier to the floating dock will be provided. An asphalt paved access drive and chip seal asphalt walkway provides vehicle access from Summer Street to the pier and granite seawall with railings. The dock will be operated by the Pierce Park Sailing Center but may also be used for passive recreation as a public dock.

Environmental Considerations

Land Under Ocean

Land Under Ocean (LUO) is a resource area regulated by the Massachusetts Wetland Protection Act, (WPA). LUO is defined in 310 CMR 10.25 (2) as "land extending from the mean low water line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries". Based on the most recent Metonic cycle at the closest tidal datum (Boston Datum 8443970) the Mean Low Water Line is located at -5.2ft (5.16).

Approximately 10-square feet of Land Under Ocean (LUO) will be temporarily impacted as part of this project. Each standard for work to Land Under Ocean (Per 310 CMR 10.25 (3) through (7) shall apply:

- (3) Improvement dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in:
 - (a) bottom topography which will result in increased flooding or erosion caused by an increase in the height or velocity of waves impacting the shore.
 - (b) sediment transport processes which will increase flood or erosion hazards by affecting the natural replenishment of beaches.
 - (c) water circulation which will result in an adverse change in flushing rate, temperature, or turbidity levels; or

(d) marine productivity which will result from the suspension or transport of pollutants, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.

This project does not involve improvement dredging for navigational purposes.

(4) Maintenance dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in marine productivity which will result from the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.

This project does not involve maintenance dredging for navigational purposes.

(5) Projects not included in 310 CMR 10.25(3) or (4) which affect nearshore areas of land under the ocean shall not cause adverse effects by altering the bottom topography so as to increase storm damage or erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.

The work being performed is considered minimal and will not have significant adverse effects on the land under ocean resource area.

(6) Projects not included in 310 CMR 10.25(3) which affect land under the ocean shall if water-dependent be designed and constructed, using best available measures, so as to minimize adverse effects, and if non-water-dependent, have no adverse effects, on marine fisheries habitat or wildlife habitat caused by:

- (a) alterations in water circulation;
- (b) destruction of eelgrass (*Zostera marina*) or widgeon grass (*Ruppia maritima*) beds;
- (c) alterations in the distribution of sediment grain size;
- (d) changes in water quality, including, but not limited to, other than natural fluctuations in the level of dissolved oxygen, temperature or turbidity, or the addition of pollutants; or
- (e) alterations of shallow submerged lands with high densities of polychaetes, mollusks or macrophytic algae.

This work is considered water dependent. The best available measures shall be utilized throughout construction to prevent any adverse effects. There will be no alteration to items a-e that are mentioned above.

(7) Notwithstanding the provisions of 310 CMR 10.25(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37

There are no specified habitat sites identified within the work area.

Climate Change & Resiliency Discussion

As this project is only impacting 10 square feet of Land Under Water, it is not anticipated that there will be any impact to Boston climate change and resiliency goals. The slope of the gangway will be constructed based on tidal change. The dock will be designed with Boston's climate change and resiliency goals in mind.

P:\MA\Boston MA\Park Overview Engineering Services ENG21-0493\ENG21-0493 Task Order No. 10 (Phase 10) LoPresti Boat Dock Design\Permitting\NOI - dock\Appendix A - Project Description\PROJECT DESCRIPTION.doc

Appendix B



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature




Signature and Date

5/17/2022

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): _____

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

Stormwater Report

To Be Submitted with the Notice of Intent

Applicant/Project Name: City of Boston Parks and Recreation – Boat Dock at Lopresti Park

Project Address: 33 Sumner Street, East Boston, MA

Application Prepared by:

Firm: Weston & Sampson, Inc.

Registered PE James Pearson, P.E.

Below is an explanation concerning Standards 1-10 as they apply to the City of Boston– Parks and Recreation Department LoPresti Park Sediment Borings Project:

General:

The site is adjacent to the pier within LoPresti Park, located in East Boston on the northern embankment of the Boston Harbor. The proposed floating dock (approximately 24' x40') will include a gangway ramp, secured using 5 driven-steel piles. An Americans with Disabilities Act- (ADA) compliant gangway ramp connection from the pier to the floating dock will be provided. An asphalt paved access drive and chip seal asphalt walkway provides vehicle access from Summer Street to the pier and granite seawall with railings. The dock will be operated by the Pierce Park Sailing Center but may also be used for passive recreation as a public dock.

Standard 1: No New Untreated Discharges

The proposed project will create no new untreated discharges. No new impervious area will be created during this project.

Standard 2: Peak Rate Attenuation

Since there will be no increase in impervious area, post-development (post-improvement) peak discharge rates will not exceed pre-development (pre-improvement) peak discharge rates.

Standard 3: Recharge

As noted in the **Standard 2** explanation, the impervious area in the work area will not be increased at the completion of the project. Therefore, recharge rates will not change in the work area at the end of the project.

Standard 4: Water Quality

The proposed work will not change water quality at the site. There will be no increase in stormwater flow.

Standard 5: Land Uses with Higher Potential Pollutant Loads (LUHPPLs)

Not Applicable. There are no LUHPPLs in the work area.

Standard 6: Critical Areas

There will be no new discharge to critical areas.

Standard 7: Redevelopments and Other Projects Subject to the Standards Only to the Maximum Extent Practicable

This is not a re-development or limited project.

Standard 8: Construction Period Pollution Prevention and Erosion and Sediment Control

A detailed Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan is included. The work will be completed in one day with the limit of work and returned to original conditions by the end of the project.

Standard 9: Operation and Maintenance Plan

An operations and maintenance plan are not needed since there will not be any new stormwater management systems put in place in the project work area.

Standard 10: Prohibition of Illicit Discharges

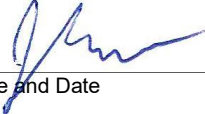
By the nature of the proposed work, there will be no illicit discharges. There will be no opportunity for illicit discharges into a MS4 system.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including any relevant soil evaluations, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan, the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



 5/17/2022

Signature and Date

Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan

SECTION 1: Introduction

The site is adjacent to the pier within LoPresti Park, located in East Boston on the northern embankment of the Boston Harbor. The proposed floating dock (approximately 24' x40') will include a gangway ramp, secured using 5 driven-steel piles. An Americans with Disabilities Act- (ADA) compliant gangway ramp connection from the pier to the floating dock will be provided. An asphalt paved access drive and chip seal asphalt walkway provides vehicle access from Summer Street to the pier and granite seawall with railings. The dock will be operated by the Pierce Park Sailing Center but may also be used for passive recreation as a public dock.

SECTION 2: Construction Period Pollution Prevention Measures

Best Management Practices (BMPs) will be utilized as Construction Period Pollution Prevention Measures to reduce potential pollutants and prevent any off-site discharge. The objectives of the BMPs for construction activity are to minimize the disturbed areas, stabilize any disturbed areas, control the site perimeter and retain sediment. Non-stormwater best management measures will be used to minimize site disturbance and ensure compliance with the performance standards of the WPA and Stormwater Standards. Measures will be taken to minimize the area disturbed by construction activities to reduce the potential for soil erosion and stormwater pollution problems. In addition, good housekeeping measures will be followed for the day-to-day operation of the construction site under the control of the contractor to minimize the impact of construction. This section describes the control practices that will be in place during construction activities. Recommended control practices will comply with the standards set in the MA DEP Stormwater Policy Handbook.

2.1 Minimize Disturbed Area and Protect Natural Features and Soil

To minimize disturbed areas, work will be completed within well-defined work limits. These work limits are shown on the construction plans. The Contractor shall not disturb native vegetation in the undisturbed wetland area without prior approval from the Engineer. The Contractor will be responsible to make sure that all their workers and any subcontractors know the proper work limits and do not extend their work into the undisturbed areas. The protective measures are described in more detail in the following sections.

2.2 Control Stormwater Flowing onto and through the project

As work will not be done during a storm event, it is not anticipated that there will be any stormwater flow at the site during the work.

2.3 Stabilize Soils

Not applicable to this project.

2.4 Proper Storage and Cover of Any Stockpiles

The location of the Contractor's storage areas for equipment and/or materials shall require written approval of the Engineer.

The Engineer may designate a particular area or areas where the Contractor may store materials used in his operations.

2.5 Perimeter Controls and Sediment Barriers

Because of the minimal disturbance of the effort, erosion control will not be utilized.

2.6 Storm Drain Inlet Protection

There are no storm drains in the work area.

2.7 Retain Sediment On-Site

It is not anticipated that sediment will accumulate due to stormwater events for this project because it will not occur under stormwater conditions.

The following good housekeeping practices will be followed on-site during the project:

2.8 Material Handling and Waste Management

Materials stored on-site will be stored in a neat, orderly manner in appropriate containers. Materials will be kept in their original containers with the original manufacturer's label. Substances will not be mixed with one another unless recommended by the manufacturer.

Waste materials will be collected and stored in a securely lidded metal container from a licensed management company. The waste and any construction debris from the site will be hauled off-site daily and disposed of properly. The contractor will be responsible for waste removal. Manufacturer's recommendations for proper use and disposal will be followed for materials. Sanitary waste will be collected from the portable units a minimum of once a week, by a licensed sanitary waste management contractor.

2.9 Designated Washout Areas

The Contractor shall use washout facilities at their own facilities, unless otherwise directed by the Engineer.

2.10 Proper Equipment/Vehicle Fueling and Maintenance Practices

On-site vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the risk of leakage. To ensure that leaks on stored equipment do not contaminate the site, oil-absorbing mats will be placed under oil-containing equipment during storage. Regular fueling and service of the equipment may be performed using approved methods and with care taken to minimize chance of spills. Repair of equipment or machinery within the 100' water resources area shall not be allowed without the prior approval of the Engineer. Any petroleum products will be stored in tightly sealed containers that are clearly labeled with spill control pads/socks placed under/around their perimeters.

2.11 Equipment/Vehicle Washing

The Contractor will be responsible to ensure that no equipment is washed on-site.

SECTION 3: Spill Prevention and Control Plan

The Contractor will be responsible for preventing spills in accordance with the project specifications and applicable federal, state and local regulations. The Contractor will identify a properly trained site employee, involved with the day-to-day site operations to be the spill prevention and cleanup coordinator. The name(s) of the responsible spill personnel will be posted on-site. Each employee will be instructed that all spills are to be reported to the spill prevention and cleanup coordinator.

3.1 Spill Control Equipment

Spill control/containment equipment will be kept in the Work Area. Materials and equipment necessary for spill cleanup will be kept either in the Work Area or in an otherwise accessible on-site location. It is the responsibility of the Contractor to ensure the inventory will be readily accessible and maintained.

3.2 Notification

Workers will be directed to inform the on-site supervisor of a spill event. The supervisor will assess the incident and initiate proper containment and response procedures immediately upon notification. Workers should avoid direct contact with spilled materials during the containment procedures. Primary notification of a spill should be made to the local Fire Department and Police Departments. Secondary Notification will be to the certified cleanup contractor if deemed necessary by Fire and/or Police personnel. The third level of notification (within 1 hour) is to the DEP or municipality's Licensed Site Professional (LSP). The specific cleanup contractor to be used will be identified by the Contractor prior to commencement of construction activities.

3.3 Spill Containment and Clean-Up Measures

Spills will be contained with granular sorbent material, sand, sorbent pads, booms or all of the above to prevent spreading. Certified cleanup contractors should complete spill cleanup. The material manufacturer's recommended methods for spill cleanup will be clearly posted and on-site personnel will be made aware of the procedures and the location of the information and cleanup supplies.

3.4 Hazardous Materials Spill Report

The Contractor will report and record any spill. The spill report will present a description of the release, including the quantity and type of material, date of the spill, circumstances leading to the release, location of spill, response actions and personnel, documentation of notifications and corrective measures implemented to prevent reoccurrence.

This document does not relieve the Contractor of the Federal reporting requirements of 40 CFR Part 110, 40 CFR Part 117, 40 CFR Part 302 and the State requirements specified under the Massachusetts Contingency Plan (M.C.P) relating to spills or other releases of oils or hazardous substances. Where a release containing a hazardous substance or oil in an amount equal to or in

excess of a reportable quantity established under either 40 CFR Part 110, 40 CFR Part 117 or 40 CFR Part 302, occurs during a twenty-four (24) hour period, the Contractor is required to comply with the response requirements of the above mentioned regulations. Spills of oil or hazardous material in excess of the reportable quantity will be reported to the National Response Center (NRC).

SECTION 4: Contact Information/Responsible Parties

Owner/Operator:

City of Boston
Ryan Woods, Commissioner
Boston Parks and Recreation Department
1010 Massachusetts Avenue, 3rd Floor
Boston, MA 02118
(617) 635-4505

Engineer:

James Pearson, PE
Weston & Sampson Engineers, Inc.
55 Walkers Brook Dr, Suite 100
Reading, MA 01867
978-532-1900 ex. 2346

Site Inspector:

TBD

Contractor:

TBD

SECTION 5: Erosion and Sedimentation Control

Because of the minimal disturbance of the effort, erosion control will not be utilized.

SECTION 6: Site Development Plan

The Site Development Plan is included in the attached plans.

SECTION 7: Operation and Maintenance of Erosion Control

Because of the minimal disturbance of the effort, erosion control will not be utilized.

Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan

LoPresti Dock

Inspection Form

Inspected By: _____ Date: _____ Time: _____

YES	NO	DOES NOT APPLY	ITEM
			Do any erosion/siltation control measures require repair or clean out to maintain adequate function?
			Is there any evidence that sediment is leaving the site and entering the wetlands?
			Are any temporary soil stockpiles or construction materials located in non-approved areas?
			Are on-site construction traffic routes, parking, and storage of equipment and supplies located in areas not specifically designed for them?

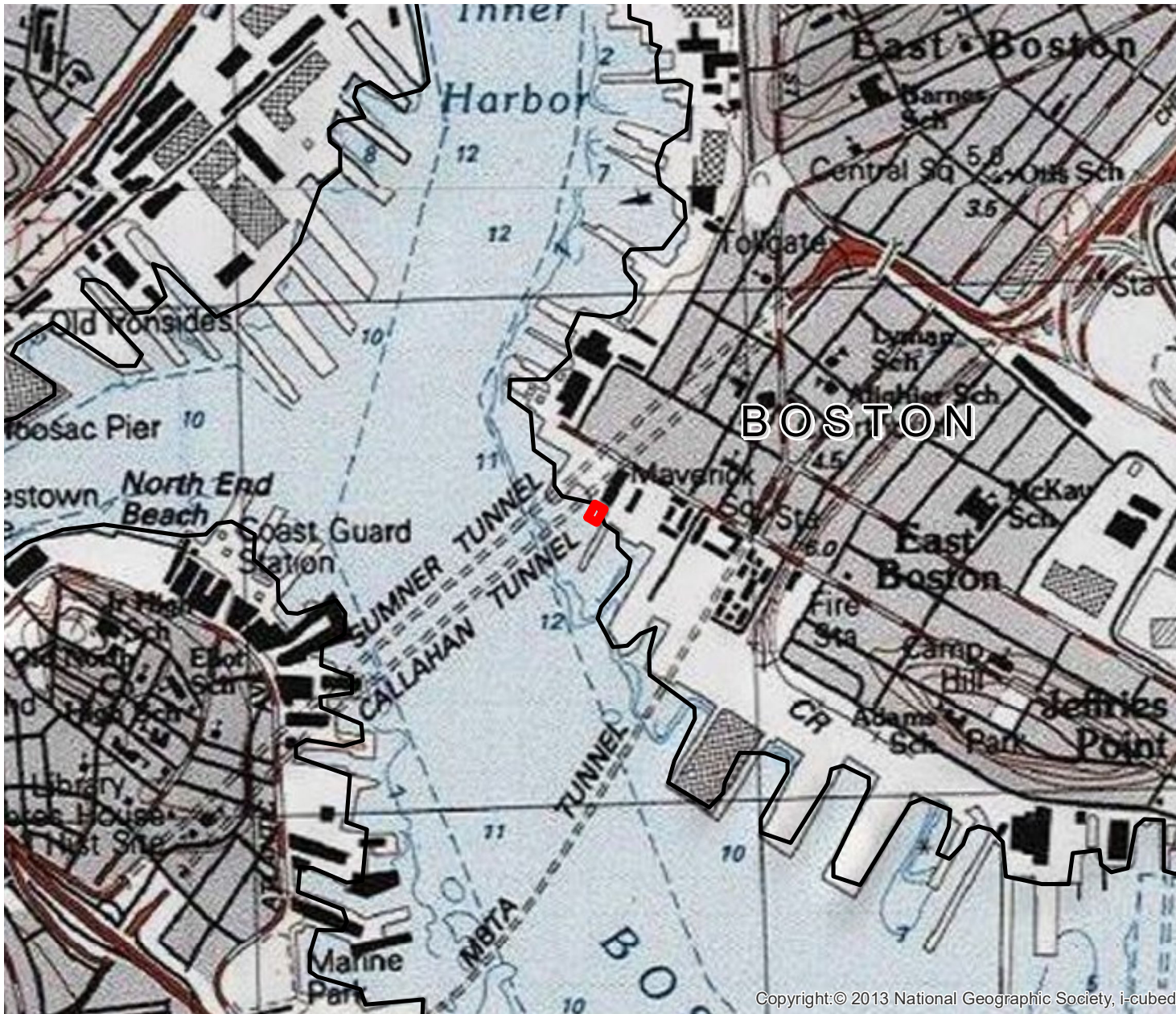
Specific location, current weather conditions, and action to be taken:

Other Comments:

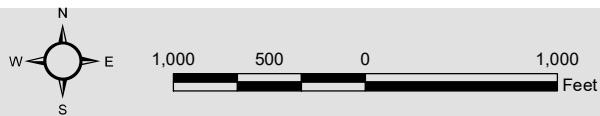
Pending the actions noted above I certify that the site is in compliance with the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan.

Signature: _____ Date: _____

Appendix C



Copyright:© 2013 National Geographic Society, i-cubed



Data Source: Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Environmental Affairs

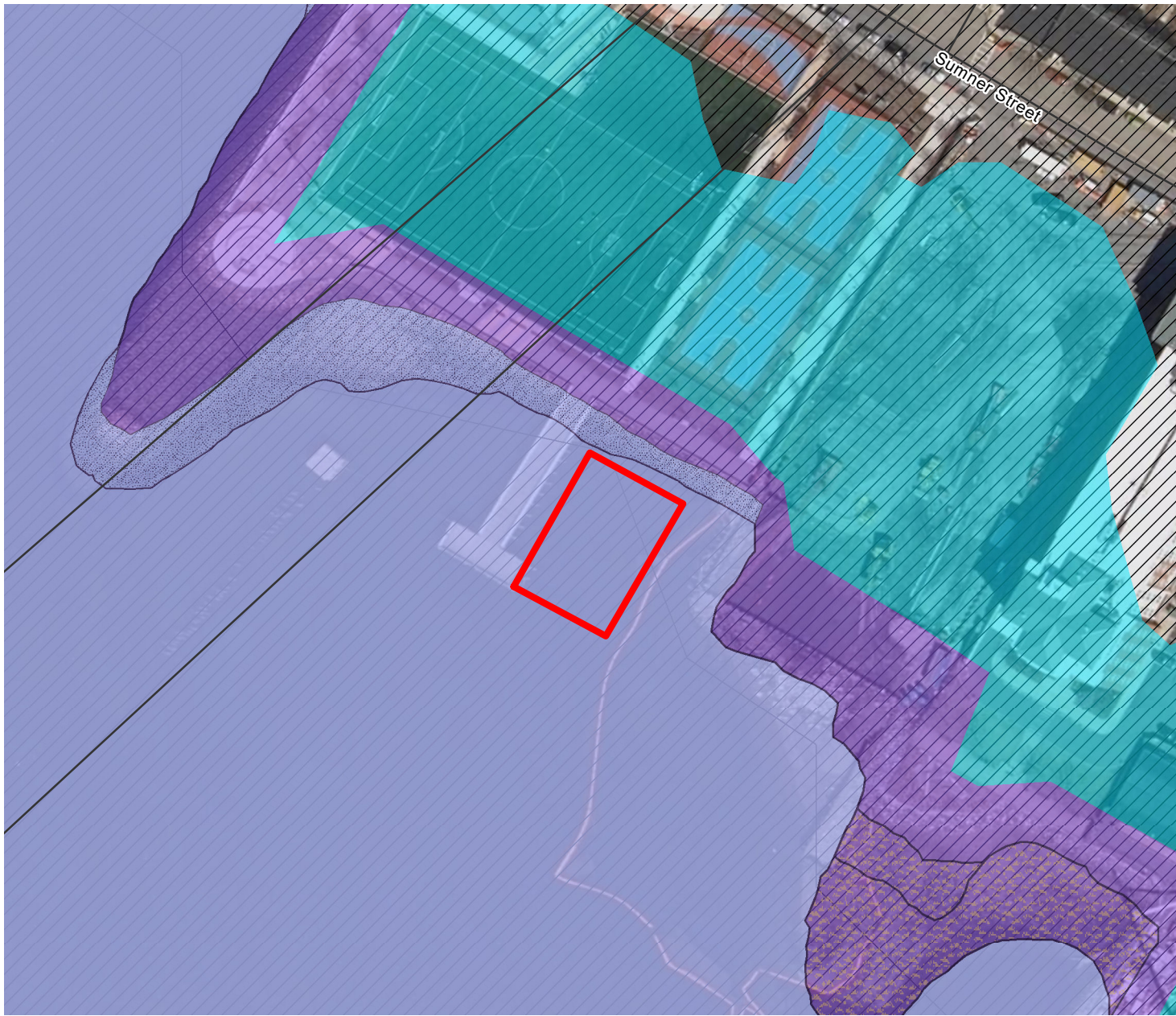
Legend

 Work Area

FIGURE 1

LoPresti Park Boat Dock
East Boston, MA

Locus Map



Legend

- Work Area
- Perennial Stream
- Intermittent Stream
- Marsh/Bog
- Wooded marsh
- Cranberry Bog
- Salt Marsh
- Open Water
- Reservoir (with PWSID)
- Tidal Flats
- Beach/Dune
- ACECs**
- ACECs
- NHESP Habitats**
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Priority Habitats of Rare Species
- NHESP Certified Vernal Pools
- NHESP Potential Vernal Pools
- FEMA National Flood Hazard Layer**
- Flood Zone Designations**
- A: 1% Annual Chance of Flooding, no BFE
- AE: 1% Annual Chance of Flooding, with BFE
- AE: Regulatory Floodway
- AH: 1% Annual Chance of 1-3ft Ponding, with BFE
- AO: 1% Annual Chance of 1-3ft Sheet Flow Flooding, with Depth
- VE: High Risk Coastal Area
- D: Possible But Undetermined Hazard
- X: 0.2% Annual Chance of Flooding
- X: Reduced Flood Risk due to Levee
- Area Not Included
- Area with no DFIRM - Paper FIRMs in Effect
- Outstanding Resource Waters**
- Public Water Supply Contributor
- ORW for ACEC
- ORW for both Water Supply and Other
- Coastal Zone

FIGURE 2
LoPresti Park Boat Dock
East Boston, MA

Environmental
Resource Map



Data Source: Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Environmental Affairs



National Flood Hazard Layer FIRMette



71°2'56"W 42°22'22"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	<ul style="list-style-type: none"> Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	<ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee. See Notes. Zone X Area with Flood Risk due to Levee Zone D
OTHER AREAS	<ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRs Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	<ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
OTHER FEATURES	<ul style="list-style-type: none"> 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.6 Coastal Transect Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
MAP PANELS	<ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped <p>The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.</p>

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/16/2022 at 1:08 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

FIGURE 3
 LoPresti Park Boat Dock
 East Boston, MA
 FEMA Map

Appendix D

SECTION 01562

DUST CONTROL

PART 1 - GENERAL

1.01 DESCRIPTION:

This section of the specification covers the control of dust via water, complete.

PART 2 - PRODUCTS

2.01 WATER:

- A. Water shall not be brackish and shall be free from oil, acid, and injurious alkali or vegetable matter.

PART 3 - EXECUTION

3.01 APPLICATION:

- A. Water may be sprinkler applied with equipment including a tank with gauge-equipped pressure pump and a nozzle-equipped spray bar.
- B. Water shall be dispersed through the nozzle under a minimum pressure of 20 pounds per square inch, gauge pressure.

END OF SECTION

P:\MA\Boston MA\Park Overview Engineering Services ENG21-0493\ENG21-0493 Task Order No. 10 (Phase 10) LoPresti Boat Dock Design\Permitting\NOI - dock\Appendix D Specs\SECTION 01562-Dust Control.docx

SECTION 01740

CLEANING UP

PART 1 - GENERAL

1.01 DESCRIPTION:

The Contractor must employ at all times during the progress of its work adequate cleanup measures and safety precautions to prevent injuries to persons or damage to property. The Contractor shall immediately, upon request by the Engineer provide adequate material, equipment and labor to cleanup and make safe any and all areas deemed necessary by the Engineer.

PART 2 - PRODUCTS

Not applicable

PART 3 - EXECUTION

3.01 DAILY CLEANUP:

- A. The Contractor shall clean up, at least daily, all refuse, rubbish, scrap and surplus material, debris and unneeded construction equipment resulting from the construction operations and sweep the area. The site of the work and the adjacent areas affected thereby shall at all times present a neat, orderly and workmanlike appearance.
- B. Upon written notification by the Engineer, the Contractor shall within 24 hours clean up those areas, which in the Engineer's opinion are in violation of this section and the above referenced sections of the specifications.
- C. If in the opinion of the Engineer, the referenced areas are not satisfactorily cleaned up, all other work on the project shall stop until the cleanup is satisfactory.

3.02 MATERIAL OR DEBRIS IN DRAINAGE FACILITIES:

- A. Where material or debris has washed or flowed into or has been placed in existing watercourses, ditches, gutters, drains, pipes, structures, such material or debris shall be entirely removed and satisfactorily disposed of during progress of the work, and the ditches, channels, drains, pipes, structures, and work shall, upon completion of the work, be left in a clean and neat condition.

3.03 REMOVAL OF TEMPORARY BUILDINGS, STRUCTURES AND EQUIPMENT:

- A. On or before completion of the work, the Contractor shall, unless otherwise specifically required or permitted in writing, tear down and remove all temporary buildings and structures it built; shall remove all temporary works, tools and machinery or other construction equipment it furnished; shall remove all rubbish from any grounds which it has occupied;

shall remove silt fences and hay bales used for trapping sediment; and shall leave the roads and all parts of the property and adjacent property affected by its operations in a neat and satisfactory condition.

3.04 RESTORATION OF DAMAGED PROPERTY:

- A. The Contractor shall restore or replace, when and as required, any property damaged by its work, equipment or employees, to a condition at least equal to that existing immediately prior to the beginning of operations. To this end the Contractor shall do as required all necessary highway or driveway, walk and landscaping work. Materials, equipment, and methods for such restoration shall be as approved by the Engineer.

3.05 FINAL CLEANUP:

- A. Before acceptance by the Owner, the Contractor shall perform a final cleanup to bring the construction site to its original or specified condition. This cleanup shall include removing all trash and debris off of the premises. Before acceptance, the Engineer shall approve the condition of the site.

END OF SECTION

P:\MA\Boston MA\Park Overview Engineering Services ENG21-0493\ENG21-0493 Task Order No. 10 (Phase 10) LoPresti Boat Dock Design\Permitting\NOI - dock\Appendix D Specs\SECTION 01740-Cleaning Up.docx

Appendix E



**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, _____, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A _____ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by _____ for _____ located at _____.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Name

Date



BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

非常重要！这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 cc@boston.gov 电话# 617-635-3850.

Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpurtanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائده. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على cc@boston.gov أو 617-635-3850.

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.





**NOTIFICATION TO ABUTTERS
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. _____ has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is _____.

C. The project involves _____.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from _____ by contacting them at _____ between the hours of _____, _____.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notices and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

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NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at CC@boston.gov by 12 PM the day before the hearing.



**NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES DE UN PROYECTO DE CONSERVACIÓN DE HUMEDALES
COMISIÓN DE CONSERVACIÓN DE BOSTON**

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **The Boston Parks and Recreation Department** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **33 Sumner Street**

C. El proyecto consiste en **Floating Dock; The proposed floating dock (approximately 24' x40') will include a gangway ramp, secured using 5-6 driven-steel piles**

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en **APPLICANT OR Alexandra Gaspar, gaspara@wseinc.com** entre las **8:00am-4:00pm Monday-Friday**

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a CC@boston.gov o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notices y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.



City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

FULL_ADDRESS	CITY	ZIPCO DE	OWNER	ADDRESSEE	MAIL_ADDRESS	MAIL_CS	STA TE	MAIL_ZIPC ODE
113 SUMNER ST 23	BOSTON EAST	02128	ABDULQAHAR ABDULASRAR		113 SUMNER ST #23	E BOSTON	MA	02128
113 SUMNER ST 41	BOSTON EAST	02128	AIOUB MINA		113 SUMNER ST, UNIT 41	EAST BOSTON	MA	02128
113 SUMNER ST	BOSTON EAST	02128	CARLTON WHARF CONDO TRUST		113 SUMNER ST	EAST BOSTON	MA	02128
113 SUMNER ST 53	BOSTON EAST	02128	CASTILLO-DICAMPO CLAUDIA M		113 SUMNER ST #53	BOSTON	MA	02128
113 SUMNER ST 12	BOSTON EAST	02128	CHEN GUO JIAN		113 SUMNER ST #12	E BOSTON EAST	MA	02128
113 SUMNER ST 71	BOSTON EAST	02128	CHEUNG VICTOR		113 SUMNER ST #71	BOSTON EAST	MA	02128
SUMNER ST	BOSTON EAST	02128	CITY OF BOSTON		85 SUMNER	BOSTON	MA	02128
125 SUMNER ST	BOSTON EAST	02128	CLIPPERSHIP APARTMENTS LP	SIX FANEUIL HALL MARKETPLACE, 5TH FLOOR	2 MARGINAL ST	BOSTON	MA	02128
25 65 LEWIS ST	BOSTON EAST	02128	CLIPPERSHIP WHARF	CLIPPERSHIP WHARF MULTIFAMILY LLC	20 CITY SQ 2ND FL	BOSTON	MA	02129
25 LEWIS ST COMMERCIAL UNIT	BOSTON EAST	02128	CLIPPERSHIP WHARF MULTIFAMILY LLC		20 CITY SQ, 2ND FLOOR	BOSTON	MA	02129
25 65 LEWIS ST	BOSTON EAST	02128	CLIPPERSHIP WHARF PRIMARY CONDOMINIUM TRUST		20 CITY SQ 2ND FL	BOSTON EAST	MA	02129
113 SUMNER ST 45	BOSTON EAST	02128	DALY LAUREN		113 SUMNER ST #45	BOSTON	MA	02128
99 111 SUMNER ST	BOSTON EAST	02128	DIV SUMNER STREET LLC	C/O DAVIS COMPANIES	125 HIGH ST 21ST FL	BOSTON EAST	MA	02110
113 SUMNER ST 55	BOSTON EAST	02128	DRAYTON LISA A		113 SUMNER ST #55	BOSTON	MA	02128
113 SUMNER ST 64	BOSTON EAST	02128	ELIZAROVA OLGA		113 SUMNER ST #64	E BOSTON	MA	02128
113 SUMNER ST 22	BOSTON EAST	02128	GALLO JORGE IVAN		113 SUMNER ST #22	E BOSTON	MA	02128
NEW ST	BOSTON EAST	02128	GEGC 2 NEW STREET LLC		1477 NW EVERETT STREET	PORTLAND	OR	97209
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NEW ST	BOSTON EAST	02128	GEGC 2 NEW STREET LLC		1477 NW EVERETT STREET	PORTLAND	OR	97209
2 26 NEW ST	BOSTON EAST	02128	GEGC 2 NEW STREET LLC		1477 NW EVERETT STREET	PORTLAND	OR	97209
113 SUMNER ST 13	BOSTON EAST	02128	GLYNN JAMES M		113 SUMNER ST #13	E BOSTON	MA	02128
113 SUMNER ST 43	BOSTON EAST	02128	GRANADOS SAUL A		113 SUMNER ST #43	E BOSTON	MA	02128
113 SUMNER ST 62	BOSTON	02128	GUERRERO MANUEL E		113 SUMNER ST #62	E BOSTON	MA	02128

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113 SUMNER ST 52	BOSTON EAST	02128	HOFFMAN DRAKE				MA	02128
113 SUMNER ST 63	BOSTON EAST	02128	JOVANI AIDA		113 SUMNER ST #63	E BOSTON	MA	02128
113 SUMNER ST 65	BOSTON EAST	02128	KOKOSHI BERALDA		113 SUMNER ST #65	E BOSTON	MA	02128
113 SUMNER ST 72	BOSTON EAST	02128	LANGONE KRISTIN M		113 SUMNER ST #72	E BOSTON	MA	02128
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113 SUMNER ST 33	BOSTON EAST	02128	LOPEZ MARINA		113 SUMNER ST #33	E BOSTON EAST	MA	02128
113 SUMNER ST 34	BOSTON EAST	02128	MARKOPOULOS SARANDOS		113 SUMNER ST #34	BOSTON	MA	02128
3 17 NEW ST	BOSTON EAST	02128	MAVERICK REVITALIZATION CORP	C/O MAVERICK REVITALIZATION CP	3-17 NEW ST	E BOSTON	MA	02128
4 28 LONDON ST	BOSTON EAST	02128	MAVERICK REVITILIZATION CORP	C/O MAVERICK REVITILIZATION CP	4-28 LONDON ST	E. BOSTON	MA	02128
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6 24 HAVRE ST	BOSTON EAST	02128	MAVERICK REVITILIZATION CORP		HAVRE ST	E BOSTON	MA	02128
90 112 SUMNER ST	BOSTON EAST	02128	MAVERICK REVITILIZATION CORP		901-112 SUMNER ST	E BOSTON	MA	02128
113 SUMNER ST 31	BOSTON EAST	02128	MEDEIROS MARIA F		113 SUMNER ST #31	E BOSTON	MA	02128
113 SUMNER ST 51	BOSTON EAST	02128	MEZENTSEV SERGEY		113 SUMNER ST, UNIT 51	EAST BOSTON	MA	02128
113 SUMNER ST 25	BOSTON EAST	02128	ORTIZ EZEQUIEL		113 SUMNER ST #25	E BOSTON EAST	MA	02128
113 SUMNER ST 54	BOSTON EAST	02128	PAR MELISSA R		113 SUMNER ST #54	BOSTON	MA	02128
113 SUMNER ST 11	BOSTON EAST	02128	RADEZ ANGELA		113 SUMNER ST #11	E BOSTON	MA	02128
113 SUMNER ST 42	BOSTON EAST	02128	RAMNARAIN SEEMA		113 SUMNER ST #42	E BOSTON	MA	02128
113 SUMNER ST 24	BOSTON EAST	02128	ROGERS JAKIRA		113 SUMNER ST, UNIT 24	EAST BOSTON	MA	02128
34 NEW ST	BOSTON EAST	02128	RTC NEW STREET LLC	REINAUER TRANSPORTATION COS LP	1983 RICHMOND TE	STATEN ISLAND EAST	NY	10302
113 SUMNER ST 21	BOSTON EAST	02128	SHIELDS EMILY		113 SUMNER ST #21	BOSTON EAST	MA	02128
113 SUMNER ST 32	BOSTON EAST	02128	SOGABE AIKO		113 SUMNER ST #32	BOSTON	MA	02128
115 123 SUMNER ST	BOSTON	02128	TRINITY EAST BOSTON TWO LP MASS LPS		40 COURT ST	BOSTON	MA	02108

113 SUMNER ST 35
EAST
BOSTON 02128 ZHAKA ELENI

113 SUMNER ST #35 E BOSTON MA 02128

Appendix F

Wetland Delineation Memorandum

While work is occurring in a resource area (Land Under Ocean), no wetland delineation memorandum is included in this submittal. It is our opinion that a delineation is unnecessary in this circumstance, as work is occurring entirely within the ocean. The Land Under Ocean area was determined by the location of the existing seawall, which we believe acts as the delineation of the coastal bank limits.

Appendix G



Photo 1: Existing Pier



Photo 2: LoPresti Park



Photo 3: Boston Harbor

PROJECT DESCRIPTION

Background

The existing pier at LoPresti Park, located at 33 Sumner Street at the intersection of Border Street in East Boston, sits within the Boston Harbor waterfront overlooking both Downtown Boston and Charlestown. The Park offers multiple public amenities, including walking, picnicking, basketball courts, a soccer field, playground, and a pier offers views of the city, and is a platform for fishing.

This Notice of Intent is for the construction of a small boat and kayak dock to be connected to be located at the end of the existing pier. The proposed dock will provide publicly accessible sailing and kayaking and is a collaborative project between the Boston Parks and Recreation Department and the Piers Park Sailing Center.

Site Description

This work will occur entirely within the Boston Harbor in East Boston.

Scope of Work

The project area is adjacent to the pier within Boston Harbor at LoPresti Park, located at the northern embankment of the Boston Harbor. The proposed floating dock (approximately 24' x40') will include a gangway ramp, secured by five (5) total driven-steel piles. An Americans with Disabilities Act- (ADA) compliant gangway ramp connection from the pier to the floating dock will be provided. An existing asphalt paved access drive and chip seal asphalt walkway provides access from Summer Street to the pier and the proposed dock. The dock will be operated by the Pierce Park Sailing Center but may also be used for passive recreation as a public dock.

The installation of the five (5) total, 18-inch dia. driven-steel piles within Boston Harbor from a barge. We piles will be hammer driven to depth of up to 60-feet below the mudline. During pile driving, the barge will be secured by spuds. All work and material storage will be staged from either land within LoPresti Park or on the deck of barge. The dock and gangway are pre-engineered, premanufactured systems and will not require erosion controls during staging or installation. No sediment generation or disturbance of the harbor floor is expected, and no offsite disposal of soils will be required.

Environmental Considerations

Land Under Ocean

Land Under Ocean (LUO) is a resource area regulated by the Massachusetts Wetland Protection Act, (WPA). LUO is defined in 310 CMR 10.25 (2) as "land extending from the mean low water line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries". Based on the most recent Metonic cycle at the closest tidal datum (Boston Datum 8443970) the Mean Low Water Line is located at -5.2ft (5.16).

W&S response: 10-square feet of Land Under Ocean (LUO) will be temporarily impacted as part of this project. Each standard for work to Land Under Ocean (Per 310 CMR 10.25 (3) through (7) shall apply:

(3) Improvement dredging for navigational purposes affecting land under the ocean shall be designed and conducted using the best available measures so as to minimize adverse effects on such interests caused by changes in:

- (a) bottom topography which will result in increased flooding or erosion caused by an increase in the height or velocity of waves impacting the shore.
- (b) sediment transport processes which will increase flood or erosion hazards by affecting the natural replenishment of beaches.
- (c) water circulation which will result in an adverse change in flushing rate, temperature, or turbidity levels; or
- (d) marine productivity which will result from the suspension or transport of pollutants, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.

W&S Response: This project does not involve improvement dredging for navigational purposes.

(4) Maintenance dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in marine productivity which will result from the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.

W&S Response: This project does not involve maintenance dredging for navigational purposes.

(5) Projects not included in 310 CMR 10.25(3) or (4) which affect nearshore areas of land under the ocean shall not cause adverse effects by altering the bottom topography so as to increase storm damage or erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.

W&S Response: The work to be performed is considered minimal and will not have significant adverse effects on the land under ocean resource area.

(6) Projects not included in 310 CMR 10.25(3) which affect land under the ocean shall if water-dependent be designed and constructed, using best available measures, so as to minimize adverse effects, and if non-water-dependent, have no adverse effects, on marine fisheries habitat or wildlife habitat caused by:

- (a) alterations in water circulation.
- (b) destruction of eelgrass (*Zostera marina*) or widgeon grass (*Ruppia maritima*) beds.
- (c) alterations in the distribution of sediment grain size.
- (d) changes in water quality, including, but not limited to, other than natural fluctuations in the level of dissolved oxygen, temperature or turbidity, or the addition of pollutants; or
- (e) alterations of shallow submerged lands with high densities of polychaetes, mollusks or macrophytic algae.

W&S Response: This work is considered water dependent. The best available measures shall be utilized throughout construction to prevent any adverse effects. There will be no alteration to items a-e that are mentioned above.

(7) Notwithstanding the provisions of 310 CMR 10.25(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37

W&S Response: There are no specified habitat sites identified within the work area.

Land Subject to Coastal Storm Flowage

Performance Standards

1. When the Commission determines that LSCSF overlays or overlaps with other resource areas protected under the Ordinance, the applicable performance standards for each resource area shall be independently as well as collectively applied, and the project shall be conditioned to protect the Resource Area Values of all resource areas affected by the project and the ability of such other resource areas to protect the Resource Area Values described in Section XVII(A).

W&S response: In addition to LSCSF, work will occur within Land Under Ocean (LUO). See performance standard discussion for LUO above.

2. If LSCSF affected by proposed activity or work is significant to the Resource Area Values described in Section XVII(A), such activity shall not have an adverse impact on the subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone, or any public or private way by increasing the elevation or velocity of flood or storm waters or by increasing flows due to a change in drainage or flowage characteristics.

W&S Response: This work will have no impact on the elevation or velocity of flood or storm waters and will not increase flows. Thus, no adverse impacts to subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone, or any public or private way are anticipated.

3. If LSCSF is significant to flood control or storm damage prevention, the proposed activity or work shall not result in flood damage due to filling, which causes lateral displacement of flood waters that, in the judgment of the Commission, would otherwise be confined within said area. The Commission, in its sole discretion, may permit such activity so long as the activity will not have an adverse impact on said area's ability to provide storm damage prevention and flood control; provided, further, that the activity or work incorporate best management practices to reduce or eliminate damage resulting from SLR and coastal storms.

W&S Response: This project does not propose any filling and will not result in flood damage.

4. If LSCSF receives and holds coastal flood waters, the proposed activity or work shall not impact the ability of the area to receive, hold, and laterally spread flood waters

if it causes unnatural redirection, refraction, diffraction, or reflection of coastal flood waters and waves.

W&S Response: This work will not impact the ability of the area to receive, hold, and laterally spread flood waters.

5. If LSCSF receives coastal flood waters that naturally flow across the landform surface without redirecting or channeling the flow, the proposed activity or work shall not cause flood water to become redirected or channeled or increase in velocity, so as to cause erosion, scour, and increased storm damage to the project's locus and adjacent areas.

W&S Response: This work will not cause floodwater to become redirected or channeled or increase in velocity.

6. If LSCSF is significant to wildlife and their habitat, proposed activity or work shall not impair the capacity of those portions of LSCSF to provide important wildlife habitat functions.

W&S Response: This work will result in very minor impacts (less than 10sf). As this project is the design of a dock, it is possible this will increase important wildlife habitat functions as it will provide new shaded cover area for species.

7. If LSCSF is significant to the prevention of pollution, proposed activity or work shall not have an adverse impact on the characteristic of the LSCSF to remove suspended solids and other contaminants from runoff before entering into other wetland resource areas or a body of water.

W&S Response: This work will not impact the ability of LSCSF to remove suspended solids and other contaminants from runoff.

8. Proposed work or activity in LSCSF which results in alteration to vegetative cover, interruptions in the beneficial supply of sediment to other wetland resource areas, or changes to the form or volume of a dune or beach, and such result will have an adverse impact on said dune or beach's ability to provide storm damage prevention and flood control, is prohibited.

W&S Response: This work will not result in any alteration to vegetative cover as it will occur entirely within the ocean.

9. Notwithstanding Sections XVII(E)(1) through (8), the Commission may, in its sole discretion, permit the following activities provided that the applicant demonstrates to the satisfaction of the Commission that best available measures, as defined by the Ordinance, are utilized to minimize or eliminate adverse impacts on the critical characteristics of and Resource Area Values protected by LSCSF described in Section

XVII(A) herein, and provided further that all other performance standards for overlapping or overlaying wetland resource areas are met:

- a. Limited projects as specified in the Act at 310 Code Mass. Regs.10.24(7);46
- b. Beach and bank nourishment and restoration projects, including fencing, native plantings, and other projects designed to increase resource area stabilization and decrease erosion.
- c. Pedestrian walkways for public shoreline access and nonmotorized use.
- d. Improvements necessary to maintain or improve the structural integrity or stability of an existing coastal engineering structure, as that term is defined by the Ordinance.
- e. Projects which will protect, restore, rehabilitate, or create a wetland resource area.
- f. Projects that are approved, in writing, or conducted by the Commonwealth of Massachusetts Division of Marine Fisheries that are specifically intended to increase the productivity of land containing shellfish, including aquaculture, or to maintain or enhance marine fisheries.
- g. Projects that are approved, in writing, or conducted by the Commonwealth of Massachusetts Division of Fisheries and Wildlife that are specifically intended to enhance or increase wildlife habitat.
- h. Projects that are designed and intended to reduce the risk of coastal flooding, inland flooding, extreme weather events, SLR, and other adverse impacts of climate change, including, but not limited to, strategies and plans described in Climate Ready Boston or any successor initiative of the City,
- i. Flood mitigation projects designed and intended to have no significant adverse effect on the ability of LSCSF to protect from storm damage and flood control, and
- j. Projects involving the installation of scientific testing and monitoring equipment provided that it is temporary in nature and will not alter LSCSF.

W&S Response: This work does not fall under any of these activities.

10. In the interest of storm damage prevention, flood control, and prevention of pollution, should the Commission permit activity or work in LSCSF that is part of new construction or constitutes substantial improvement to an existing structure, the Commission may condition the permitted activity or work so that any critical building systems, infrastructure, or equipment is located two (2) feet above the anticipated BFE expected to occur within the next 50 years based on the best available data and projections of SLR. 47

- a. In the event that the proposed work or activity is temporary, then any critical building systems, infrastructure, or equipment shall be located two (2) feet above the anticipated BFE at the conclusion of the project's determined duration of the temporary work.
- b. At a minimum, the anticipated BFE shall be based on the best available and most recent data and projections for SLR made available by the City or any of its agencies, boards, commissions, or quasi-City agencies, including, but not limited

to, data and information made available through the Climate Ready Boston initiative or any successor initiative.

- c. In the event that elevating or relocating critical building systems, infrastructure, or equipment is not practicable, as determined by the Commission, the Commission may require the Applicant to employ other floodproofing strategies such as floodwalls or shields, and the Applicant shall, at a minimum, secure such equipment with anchors or tie-downs to prevent flotation.

W&S Response: As this work is occurring entirely within the ocean, it will be below the BFE

11. When any proposed work or activity in LSCSF is located within an ACEC, the proposed work or activity shall have no adverse impact upon the Resource Area Values described in Section XVII(A) and shall fully mitigate any impacts resulting from the proposed work or activity.

W&S Response: This work is not within an ACEC

12. Section XVII(E)(11) shall supersede the provisions of Section XVII(E)(9)(i) through (viii), but it shall not apply if the presumption set forth in Section XVII(D) is overcome.

W&S Response: Noted.

13. Notwithstanding the provisions of Section XVII(E)(2) through (X), no project may be permitted which will have any adverse impact on specified habitat sites of rare vertebrate or invertebrate species indicated on the most recent Estimated Habitat Map of State-listed Rare Wetlands Wildlife (if any) published by the Massachusetts NHESP.

W&S Response: There is no NHESP habitat within the project area.

Climate Change & Resiliency Discussion

This project is impacting less than 10 square feet of Land Under Water as result of the installation of the piles. It is not anticipated that there will be any impact to the Boston climate change and resiliency goals. The slope of the gangway will be fluctuate based on daily tidal change and during storm events.

The dock is designed with Boston's climate change and resiliency goals in mind. The piles have a top of pile elevation of 21.5 BCD and will provide 2-feet of freeboard above the 2070 predicted climate elevations of elevation 19.5 BCD.



NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES COMISIÓN DE CONSERVACIÓN DE BOSTON

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **El departamento de Parques y Recreación de Boston** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **33 Sumner Street**.

C. El proyecto consiste en **Dique flotante; El dique flotante propuesto (aproximadamente 24 x 40 pies) incluirá una pasarela asegurada usando 5-6 sobre pilotos de acero.**

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en **Alexandra Gaspar**, gaspara@wseinc.com **entre las 8 AM y las 4 PM, de lunes a viernes.**

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

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NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

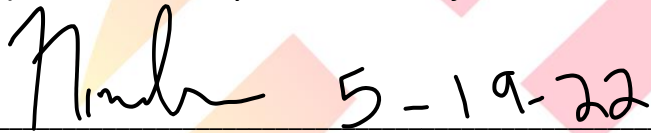
NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

TRANSLATION CERTIFICATION OF ACCURACY

I, **Nina Cespedes**, on behalf of **MAPA Translations & Language Solutions, Inc.**, a professional translation, and interpretation agency, hereby certify that the document(s) mentioned below has (have) been translated by experienced and qualified professional translators and that, in our best judgement, the translated text truly reflects the content, meaning, and style of the original text and constitutes in every respect a correct and true translation of the original document. This document is to certify the correctness of the translation only. We do not guarantee that the original is a genuine document, or that the statements contained in the original document are true. Further, **MAPA Translations & Language Solutions, Inc.**, assumes no liability for the way in which the translation is used by the customer or any third party, including end users of the translation.

1) English to Spanish Translation

2) Document Name: Spanish Abutter Notification Form 2020

A handwritten signature in black ink, followed by the date "5-19-22".

MAPA Signature & Date

I, the undersigned Notary Public, do hereby certify that _____ appeared before me on _____ and acknowledged that they are the original document owner of the above mentioned document(s), requested a professional translation of the above referenced document(s) and that the above referenced document(s) was/were translated by a professional translator competent in the above referenced language pair.

Official Notary Signature, Date, & Seal of Notary Republic

NOI - LoPresti Boat Dock



Gaspar, Alexandra

To EnvReview-North, DMF (FWE)



NOI - LoPresti Dock - 5.18.2022.pdf
.pdf File



220517_LoPresti Park Boat Dock permit set- STAMPED.pdf
.pdf File



Reply

Reply All

Forward



Thu 5/19/2022 4:10 PM

Good afternoon,

Attached please find the NOI and plans for LoPresti Boat Dock.

Please let us know if you have any questions or concerns.

Thank you!

Alex

Alex Gaspar *(she/her)*
ENVIRONMENTAL SCIENTIST III
direct: 978-548-4238



Weston & Sampson
55 Walkers Brook Drive, Suite 100 | Reading, MA 01867
tel: 978-532-1900
westonandsampson.com

PREPARED BY:



85 DEVONSHIRE STREET, 3RD FLOOR
BOSTON, MA, 02109
CONTACT
(617) 412-4480

KCI TECHNOLOGIES INC.
6700 OLD COLLAMER ROAD
EAST SYRACUSE, NY 13057
CONTACT:
315.849.3500

CITY OF BOSTON

THE HONORABLE MAYOR MICHELLE WU



PARKS & RECREATION DEPARTMENT

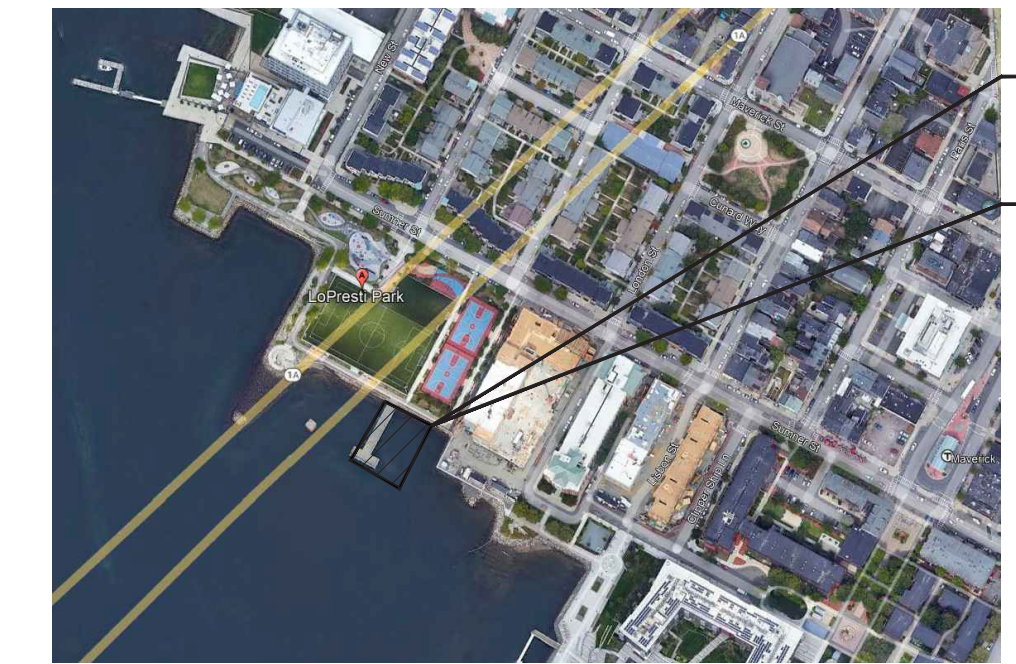
RYAN WOODS, COMMISSIONER

LOPRESTI PARK

BOAT DOCK DESIGN

BOSTON, MASSACHUSETTS

JUNE 2022



SITE



NORTH

LOCATION MAP
LoPresti Park
33 Sumner St, Boston,
MA 02128



DRAWING INDEX

L000	COVER SHEET
L100	GENERAL NOTES AND EXISTING CONDITIONS PLAN
L110	SITE DEMOLITION AND MATERIALS & LAYOUT PLAN
L120	SECTION AND ENLARGEMENT PLAN
L500	CONSTRUCTION DETAILS

PERMIT SET
NOT FOR CONSTRUCTION

Sheet No.:	L000
Sheet Name:	Cover Sheet
Project No.:	
Date:	JUNE 2022
Scale:	N/A
Drawn:	TZ, ME
Checked:	BK
Project Name:	LOPRESTI BOAT DOCK DESIGN

GENERAL NOTES

- LOCATIONS OF ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH CONSTRUCTION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO CONSTRUCTION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND REVIEWING THE DRAWINGS AND ASSUMES RESPONSIBILITY OF VERIFYING ALL EXISTING CONDITIONS AND MATERIALS SHOWN WITHIN THE PROJECT CONTRACT LIMITS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- THE LAYOUT OF ALL NEW WORK SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 521, AND THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
- ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND KEPT OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF BOSTON'S PARKS AND RECREATION DEPARTMENT.
- IN CASE OF CONFLICT WITHIN THE CONTRACT DOCUMENTS THE CITY OWNS "BEST AND MOST."
- FOR SOIL BORING RESULTS REFER TO THE APPENDIX IN THE SPECIFICATIONS.

GENERAL SURVEY NOTES

- EXISTING CONDITIONS PLAN COMPILED USING FIELD SURVEY PERFORMED BY CHAPPELL ENGINEERING ASSOCIATES, LLC. AND WAS COMPLETED ON JULY 30, 2009, AND CONFORMED SET PLANS PROVIDED BY WESTON & SAMPSON, DATED JANUARY 6, 2014.
- ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. CALL DIG SAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
- PROPERTY LINE INFORMATION IS COMPILED FROM FIELD OBSERVATIONS, CITY LAYOUT PLANS, CITY ASSESSORS PLANS, AND PLANS RECORDED AT THE SUFFOLK COUNTY REGISTRY OF DEEDS.
- BEARING SYSTEM OF THIS PLAN IS BASED UPON MASSACHUSETTS MAINLAND STATE PLANE GRID. GRID NORTH WAS ESTABLISHED FROM GPS READINGS ON JULY 20, 2009.
- VERTICAL DATUM: BOSTON CITY BASE VERTICAL DATUM
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)

HYDROGRAPHIC SURVEY NOTES

- NORTH ORIENTATION REFERS TO THE MASSACHUSETTS NAD 83 STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE), AS ESTABLISHED USING GPS SURVEY METHODS IN MARCH, 2022.
- ELEVATIONS AND CONTOURS AS DEPICTED HEREON REFERS TO THE BOSTON CITY BASE DATUM (BCB), CONVERTED FROM THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 88), ESTABLISHED USING GPS SURVEY METHODS IN MARCH, 2022.
- SURVEY PERFORMED BY KCI TECHNOLOGIES, INC IN MARCH, 2022.
- THE LOCATION OF THE BOTTOM OF STONE REVETMENT (SLOPE), IS APPROXIMATE, DUE TO UNSAFE CONDITIONS AT THE TIME OF SURVEY.

EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE CITY OF BOSTON'S WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/PRIVATE ROADS AND WATERWAYS.
- ALL WORK SHALL CONFORM WITH THE ORDER OF CONDITIONS PROVIDED BY THE BOSTON CONSERVATION COMMISSION, SEE SPECIFICATIONS.

DEMOLITION & SITE PREPARATION NOTES

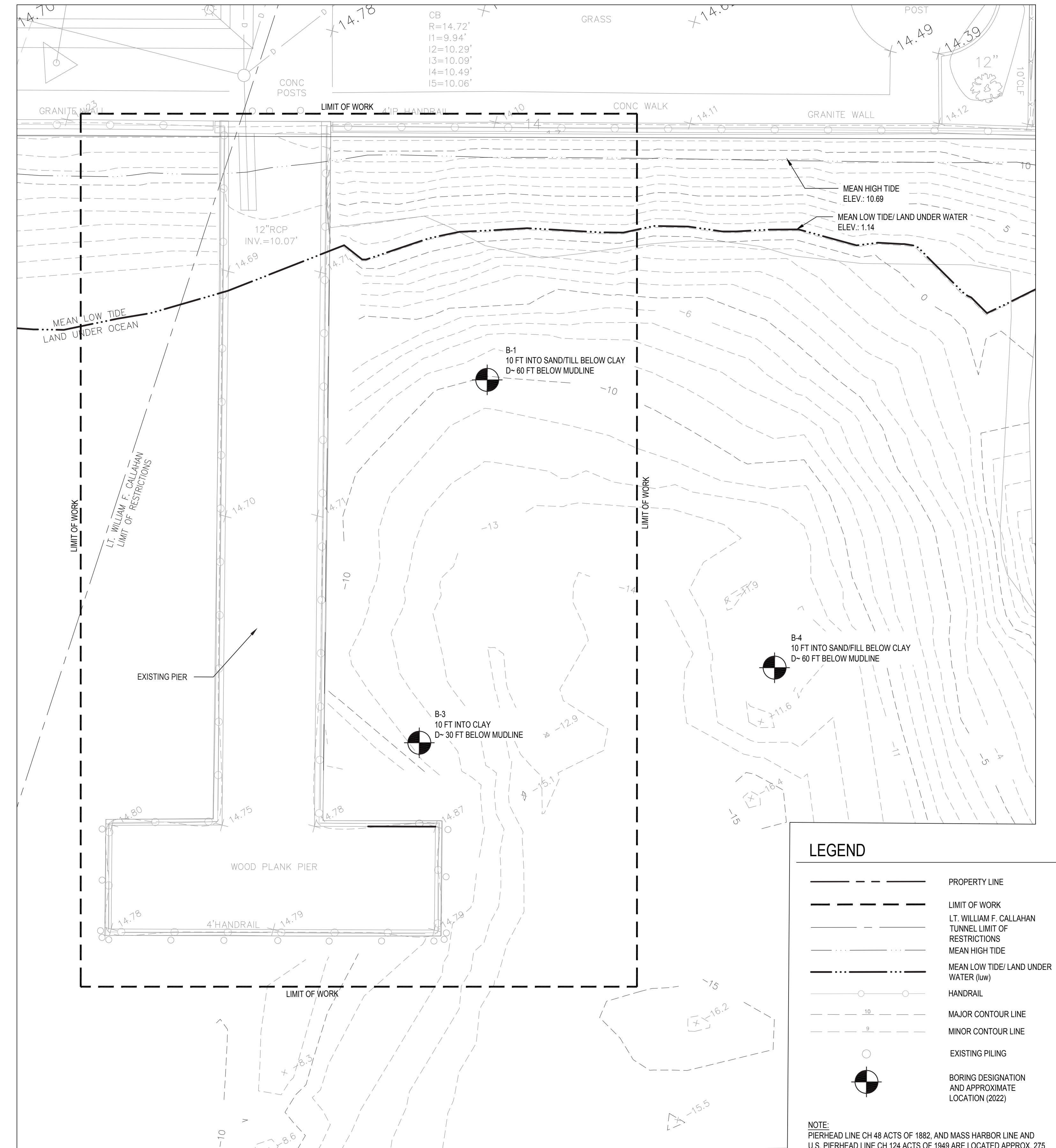
- THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE ELEMENTS NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE PROPOSED SITE IMPROVEMENTS AND TO DETERMINE THE LOCATION OF PROPOSED SITE IMPROVEMENTS.
- THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE.
- UNLESS SPECIFICALLY NOTED TO BE SAVED OR REUSED, ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE. ALL MATERIALS NOT APPROVED OR SCHEDULED FOR REUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER AT NO COST TO THE OWNER.
- ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
- ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.

LAYOUT AND MATERIALS NOTES

- COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LINES AND GRADING WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR ENGAGED BY THE GENERAL CONTRACTOR.
- ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
- ALL PROPOSED SITE FEATURES SHALL BE LAID OUT FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED SITE IMPROVEMENTS.
- WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS, TYPICAL.

GRADING AND DRAINAGE NOTES

- ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF BOSTON AND BOSTON WATER AND SEWER COMMISSION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
- ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS AND CMR 521: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) OF 4.75%.
- MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES. GRATES WITHIN WALKWAYS AND PAVED AREAS SHALL BE ADA COMPLIANT.
- THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
- WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
- RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
- WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS, TYPICAL.
- SLOPES ON ALL LANDSCAPE AND LAWN AREAS SHALL NOT EXCEED 3:1 SLOPE UNLESS OTHERWISE REQUIRED BY OWNER'S REPRESENTATIVE.



EXISTING CONDITIONS PLAN



Prepared By:

Weston & Sampson
design studio

Consultant Project No. ENG20-0132



No.	Date	Revision

Approved By: _____ Date: _____

Project Name:

**LOPRESTI PARK
BOAT DOCK DESIGN**

BPRD Project No. _____

Date: JUNE, 2022

Scale: 1" = 10'

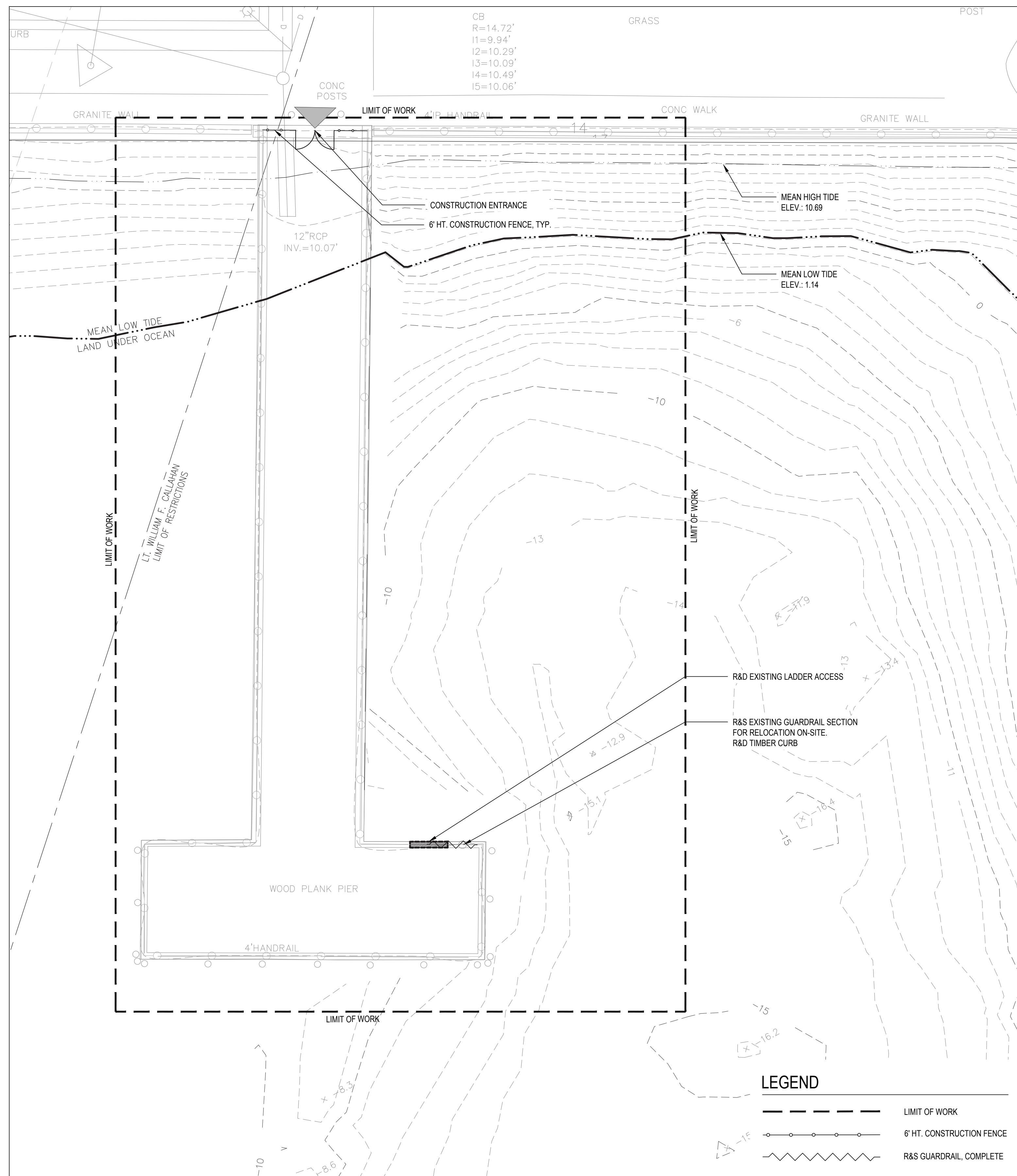
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Checked: BK

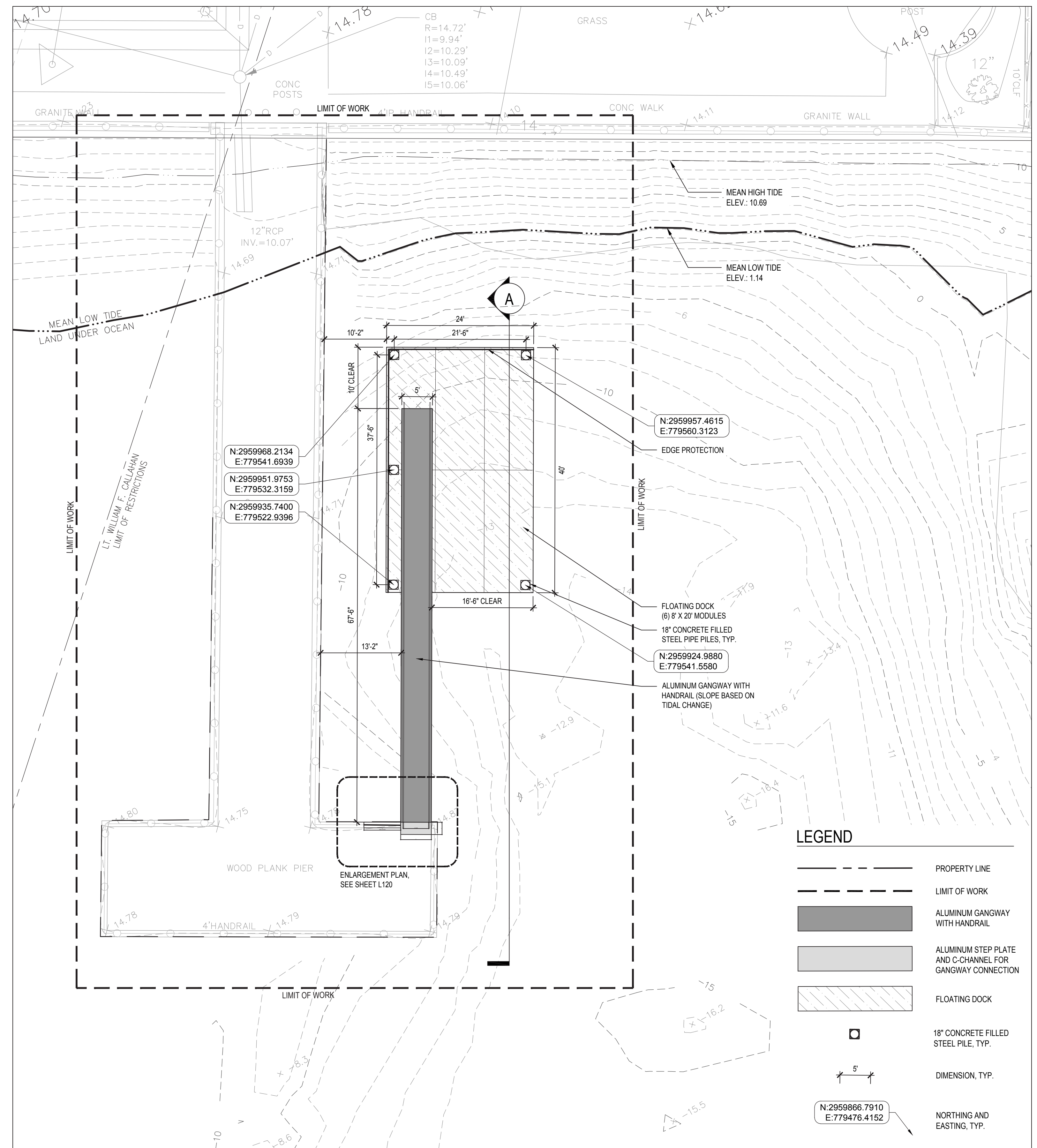
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**GENERAL NOTES AND
EXISTING CONDITIONS PLAN**

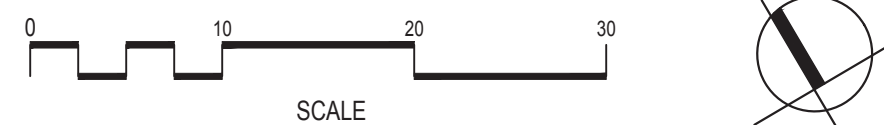
Section: L100



SITE DEMOLITION PLAN



MATERIALS, LAYOUT AND GRADING PLAN



Prepared By:

Weston & Sampson
design studio



No.	Date	Revision

Approved By: _____ Date: _____

Project Name:

**LOPRESTI PARK
BOAT DOCK DESIGN**

BPRD Project No.	
Date	JUNE, 2022
Scale	1" = 10'
Drawn	TZ, MBE
Checked	BK

Sheet Name:

**SITE DEMOLITION AND
MATERIALS & LAYOUT PLAN**

Section:

L110

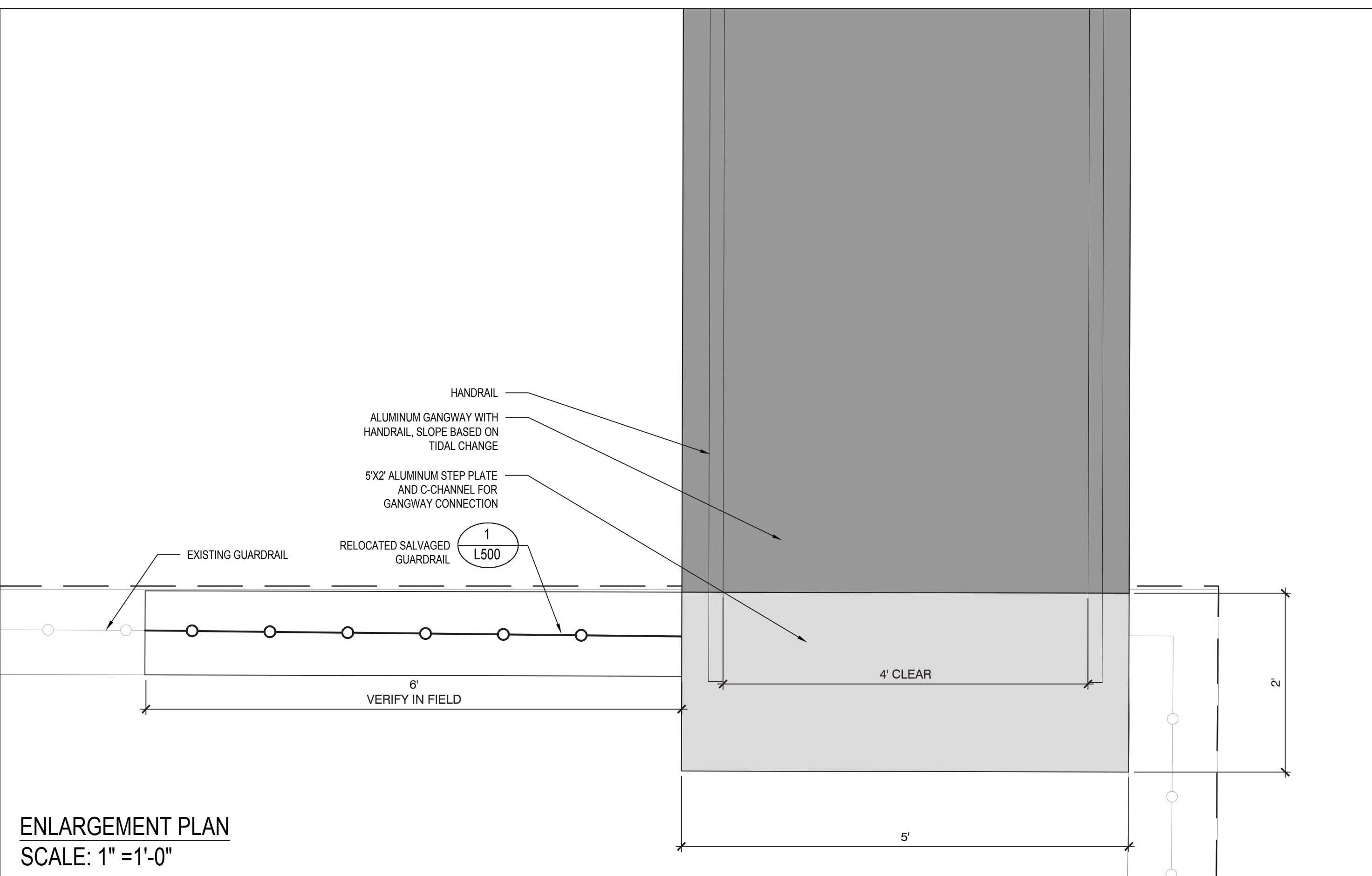
BPDA 2070 SEA LEVEL RISE ESTIMATED BASE FLOOD ELEVATION WITH 2' FREEBOARD
ELEV. 21.5
BPDA SEA LEVEL RISE ESTIMATED BASE FLOOD ELEVATION
ELEV. 19.5

MEAN HIGH TIDE
ELEV. 10.69

MEAN LOW TIDE / LIMIT OF LAND UNDER WATER (LUW)
ELEV. 1.14

ALUMINUM GANGWAY WITH
HANDRAIL, SLOPE BASED ON
TIDAL CHANGE
FLOATING DOCK (6 MODULES)
18" CONCRETE FILLED
STEEL PILE, TYP.

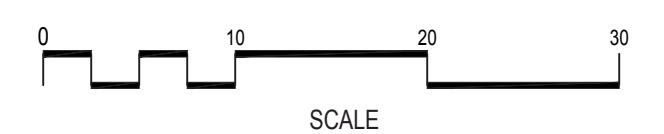
SECTION A



ENLARGEMENT PLAN
SCALE: 1" = 1'-0"

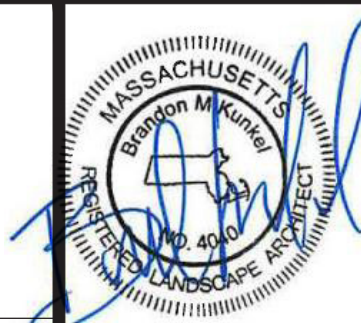
LEGEND

- FLEXIBLE GANGWAY
- ALUMINUM STEP PLATE AND C-CHANNEL FOR GANGWAY CONNECTION
- FLOATING DOCK



Prepared By:

Weston & Sampson
design studio



No.	Date	Revision

Approved By: _____ Date: _____

Project Name:

LOPRESTI PARK
BOAT DOCK DESIGN

BPRD
Project No.

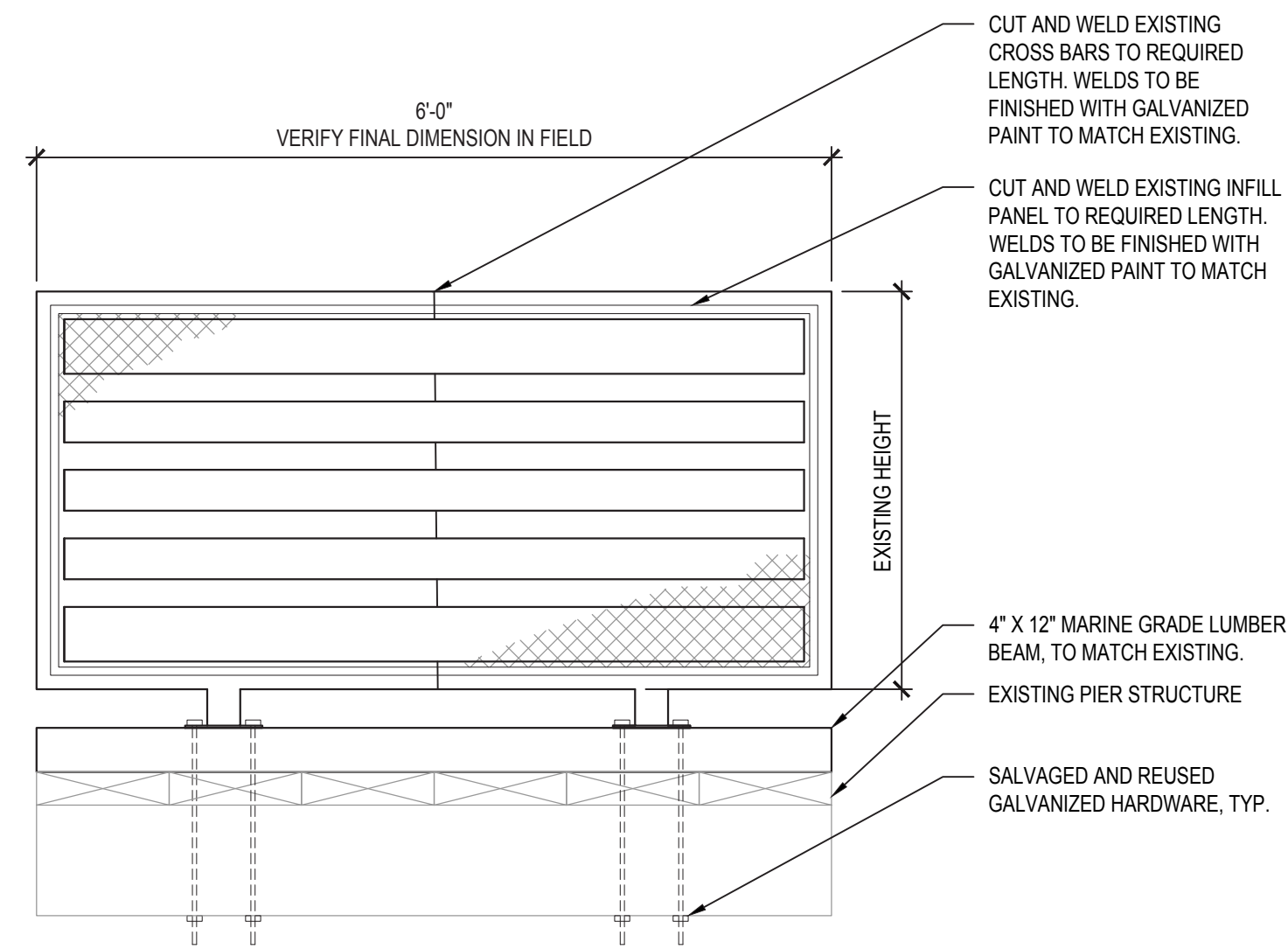
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Checked: BK

Sheet Name:

SECTION AND
ENLARGEMENT PLAN

Section:

L120



1 SALVAGED AND REUSED RAILING
SCALE: N.T.S.



Prepared By:

Weston & SampsonSM
design studio



Consultant Project No. ENG20-0132

No.	Date	Revision

Approved By:

Date:

Project Name:

LOPRESTI PARK
BOAT DOCK DESIGN

BPRD Project No.	
Date	JUNE, 2022
Scale	
Drawn	TZ, MBE
Checked	BK

Sheet Name:

CONSTRUCTION DETAILS

Section:

L500