



**APPLICATION  
ARTICLE 85  
DEMOLITION DELAY REVIEW**

Mailing Address:  
Environment Dept  
Boston City Hall, Rm 709  
Boston, MA 02201

**For Office Use Only**

APPLICATION # \_\_\_\_\_

COMPLETE ON \_\_\_\_\_

SIGNIFICANT \_\_\_\_\_

HEARING DATE \_\_\_\_\_

*PLEASE PRINT LEGIBLY. SCAN AND EMAIL TO BLC@BOSTON.GOV*

**I. PROPERTY ADDRESS** 103-105 Hooker Street, Allston 02134  
ZIP CODE

NAME of PROPERTY \_\_\_\_\_

The names, phone numbers, postal and email addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicant.

**II. APPLICANT** John Daley

John Daley	Owner
CONTACT NAME	RELATIONSHIP TO PROPERTY
14 Buswell Park	Newton MA 02458
MAILING ADDRESS	CITY STATE ZIP CODE
617-680-3558	john.daley.t@gmail.com
PHONE	EMAIL

John Daley	John Daley
PROPERTY OWNER	CONTACT NAME
14 Buswell Park	Newton MA 02458
MAILING ADDRESS	CITY STATE ZIP CODE
617-680-3558	john.daley.t@gmail.com
PHONE	EMAIL

**III. DOES THIS PROPOSED PROJECT REQUIRE ZONING RELIEF?** Yes

IF YES, PLEASE INDICATE STATUS OF ZBA PROCESS Appeal process complete (approved)  
(If necessary, attach additional pages to provide more information.)

**IV. DESCRIPTION OF PROPOSED DEMOLITION: (REQUIRED)**

A BRIEF OUTLINE OF THE PROPOSED WORK **MUST** BE GIVEN IN THE SPACE PROVIDED BELOW. Describe the structure(s) to be demolished, including the number of existing housing units, and the number of new housing units to be constructed. Attachments are required to show details about the proposed project.

Raze existing fire damaged, three-family house and erect a new 3-story, three-family house.

V. REQUIRED DOCUMENTATION: The following is a list of documents that MUST be submitted with this application. Failure to include adequate documentation will cause a delay in the review process.

- 1. **PHOTOGRAPHS:** *Current, clear, high-quality color photographs of the property, properties affected by the proposed demolition, and surrounding areas must be labeled with addresses and dates.* Major elevations of the building(s) and any deterioration or reason for demolition should be documented. Photographs of the subject property seen from a distance with neighboring properties are required. All photographs must be keyed to a map (see below) to provide a thorough location description. **Images from the internet are not acceptable. There are no file size limits in the application, but a file size less than or equal to 20MB per photograph is preferred.**
- 2. **MAP:** A *current and clear* map showing the location of the property affected by the proposed demolition must be submitted with this application. The map must be a full-page-sized street map, such as from a BPDA locus map or an internet mapping site.
- 3. **PLOT PLAN:** A plot plan showing the existing building footprint and those of buildings in the immediate vicinity must be submitted with this application. Assessing parcel maps will be accepted, if the footprint of the relevant structure(s) is illustrated.
- 4. **PLANS and ELEVATIONS:** If a new structure is being planned, a site plan, building plans and elevations of the new structure(s) must be submitted. If no new building is planned, submit plans for site improvements and a written narrative describing the proposed use and treatment of parcel. (Parking, landscaping, clear debris, fill excavations, etc.)
- 5. **PROOF OF OWNERSHIP:** Proof of ownership must be submitted with the application. A copy of a property deed, property tax assessment bill, or other official documentation of property ownership is required.

NOTE: Copies of all documentation submitted with this application (photographs, maps, plot plans, etc.) should be retained by the applicant should additional copies be necessary for a commission hearing. Additional materials will be requested if a hearing is required.

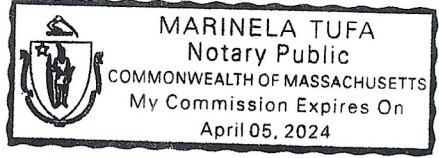
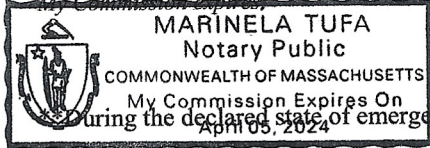
VI. **NOTARIZED\* SIGNATURES:** Both the applicant's and the legal property owner's signatures must be notarized. In cases of multiple ownership, the chair of the condominium or cooperative association or authorized representative (such as a property manager) shall sign as owner; in cases of institutional ownership, an authorized representative of the organization shall sign as owner.

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT John Daley OWNER\* John Daley  
 PRINT John Daley PRINT John Daley  
 \*(If building is a condominium or cooperative, the chairman must sign.)

On this 20 day of April, 2022, before me, the undersigned Notary Public, personally\*\* appeared John T Daley (name of document signer), proved to me through satisfactory evidence of identification, which were MA License, to be the person whose name is signed on the preceding or attached document in my presence.  
Marinela Tufo (official signature and seal of Notary)  
 My Commission expires:

On this 20 day of April, 2022, before me, the undersigned Notary Public, personally\*\* appeared John T Daley (name of document signer), proved to me through satisfactory evidence of identification, which were MA License, to be the person whose name is signed on the preceding or attached document in my presence.  
Marinela Tufo (official signature and seal of Notary)  
 My Commission expires:



during the declared state of emergency due to COVID-19, digital notarization is allowed.

Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

Please review all instructions and documentation requirements carefully before submitting your application. It is your responsibility to ensure the application is complete before submittal. **Incomplete applications will not be accepted.**

Once you have submitted the application, staff will review for completeness and will be in touch about next steps.



2021 00030260  
Bk: 65036 Pg: 22 Page: 1 of 3  
Recorded: 03/22/2021 09:12 AM  
ATTEST: Stephen J. Murphy, Register  
Suffolk County Registry of Deeds

Property Address: 103, 105, 105A Hooker Street, Allston MA

QUITCLAIM DEED

We, John T. Daley and Ann M. Daley, being married to each other, of Newton, Massachusetts, for consideration paid and in full consideration of One and 00/100 (\$1.00) Dollar, grant to John T. Daley and Ann M. Daley, as Trustees of the "John T. Daley 2008 Trust" u/d/t dated March 4, 2008 (Trustee Certificate recorded herewith), with a mailing address of 14 Buswell Park, Newton, Massachusetts, with quitclaim covenants,

A certain parcel of land with the buildings thereon situated in that part of Boston called Allston, Suffolk County, Massachusetts, bounded and described as follows:

Being shown as Lot 8 on a plan of land in Brighton dated June 18, 1918, W. A. Mason & Son, Surveyors, recorded with Suffolk Deeds, Book 4091, Page 45, bounded:

- NORTHWESTERLY: by Hooker Street, formerly known as Parker Avenue, sixty (60) feet;
- SOUTHWESTERLY: by Lot 6 on said plan, ninety-two and 70/100 (92.70) feet;
- SOUTHEASTERLY: by land of owners unknown, sixty and 20/100 (60.20) feet; and
- NORTHEASTERLY: by Lot 10 on said plan, ninety-five and 60/100 (95.60) feet.

Containing five thousand six hundred fifty (5,650) square feet, more or less.

The said premises are hereby conveyed subject to any building and zoning laws, restrictions, easements and conditions of record, if any, so far as the same are now in force and applicable.

Return To:

Property Address: 103, 105, 105A Hooker Street, Allston, MA  
Page 2 of 3

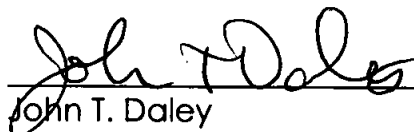
We hereby release all rights of homestead in said premises and further state that there are no other persons entitled to any homestead rights in said premises.

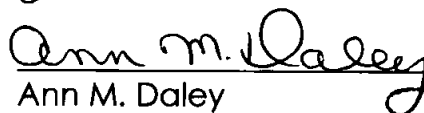
For our title, see Deed recorded in the Suffolk County Registry of Deeds in Book 46237, Page 12.

*-signatures on next page-*

Property Address: 103, 105, 105A Hooker Street, Allston, MA  
Page 3 of 3

Signed this 11<sup>th</sup> day of March, 2021.

  
John T. Daley

  
Ann M. Daley

COMMONWEALTH OF MASSACHUSETTS

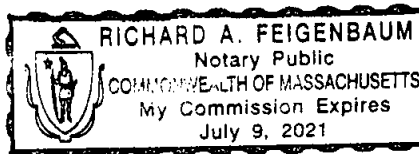
County of:

On this 11<sup>th</sup> day of March, 2021, before me, the undersigned notary public, personally appeared John T. Daley and Ann M. Daley proved to me through satisfactory evidence of identification, which were two users, to be the person whose names are signed on the preceding document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Notary Public:

My commission expires:





Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



1. Front view of 103-105 Hooker Street

Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



2. Left side view from the rear



Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



3. Right side view from the rear

Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



4. View of 103-105 Hooker from the left

Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



5. View of 103-105 Hooker Street from the right

ADDITIONAL PICTURES FROM FIRE



Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134

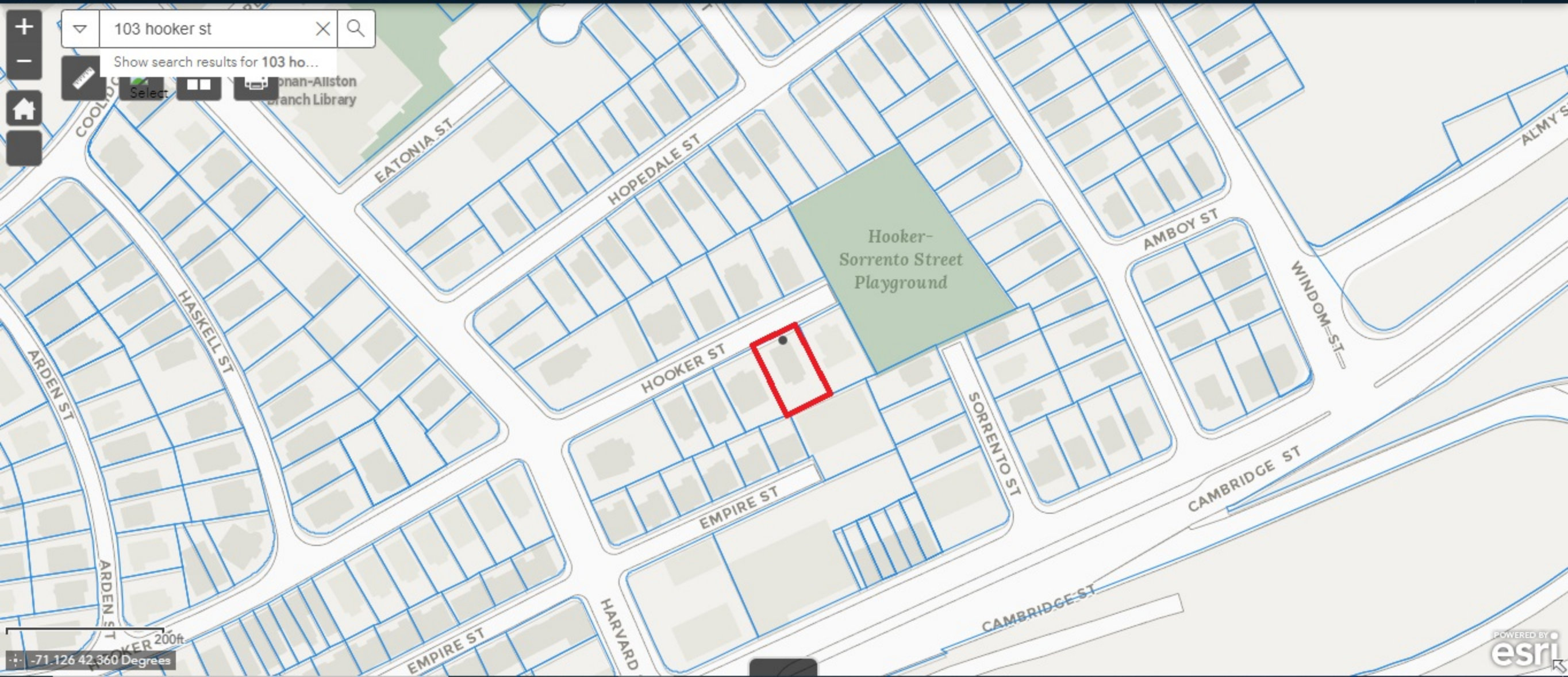


Article 85 Demolition Delay  
103-105 Hooker Street, Allston 02134



103 hooker st

Show search results for 103 ho...  
Select [Map Icon] [Layers Icon] [Library Icon] [Library Name]



200ft  
-71.126 42.360 Degrees

JT-18894

# DAVID FLEMING & ASSOCIATES



## MORTGAGE INSPECTION PLAN

This plan was not done with an instrument survey and is to be used for mortgage purposes only.

LAND SURVEYORS  
38 POND STREET FAX  
(781) 438-0136 STONEHAM, MASS. (781) 279-0725

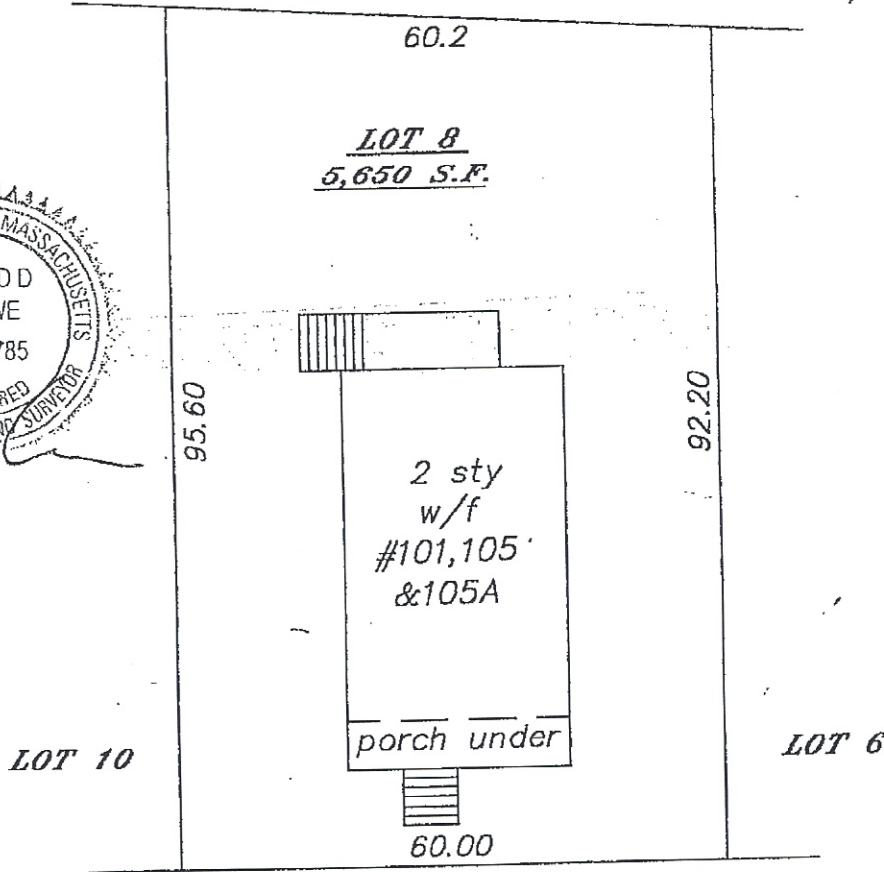
DATE: 03-14-10 SCALE: 1" = 20'

I certify that this dwelling is located approximately as shown and conformed to the zoning bylaws of the CITY of BOSTON, MA (ALLSTON) when constructed and is not located in a flood hazard zone.

SUFFOLK County Reg. of Deeds

DEED BOOK 11725 PAGE 109  
PLAN IN BOOK 4091 PAGE 45

Flood Hazard Boundary Map 3C  
Community No. 250286 Effective 11-22-74 Revised 04-01-82



### HOOKER STREET

JTD amw





# CODE SUMMARY

NEW TYPE 5A CONSTRUCTION  
3 STORIES  
R-2 USE GROUP (3 FAMILY)  
FULLY SPRINKLED (13R NFPA SYSTEM)

## ZONING CODE ANALYSIS 103 Hooker Street Allston, MA

Governing Article: ALLSTON/BRIGHTON NEIGHBORHOOD 51  
Subdistrict: 2F-5000

### Use Regulations: Section Table

Existing	Proposed
3 FAMILY	3 FAMILY
FORBIDDEN	FORBIDDEN

**VIOLATION**

### Dimensional Regulations: Table





	Code Requirement		Existing Condition	Proposed Project	Notes
	1 or 2 Family Detached	Any Other Use			
Lot Area Minimum	5000 for 1 or 2 units	5000		-	
Min Lot Area for Additional Units	N/A	N/A		-	
Total Required Lot Size	-	5000	5650 +/-	5650 +/-	NO CHANGE
Min Required Lot Width and Frontage	50'	50'	60'	60'	NO CHANGE
Max FAR	0.6	0.6	0.43	<b>0.8</b>	4491/5650 = 0.8
Max Building Height / Stories	2 1/2 stories / 35'	2 1/2 stories / 35'	2 STORIES / 29.53'	<b>3 STORIES / 31'-0"</b>	VIOLATION ON STORIES ONLY
Usable Open Space	None	None		-	
Min Front Yard	20'-0" / Modal	20'-0" / Modal	10.4'	16.3'	MODAL 16'-0"
Right Side Yard	10'-0"	10'-0"	11.8'	10.2'	
Left Side Yard	10'-0"	10'-0"	18.6'	10.2'	
Min Rear Yard	30'-0"	30'-0"	33.5'	37.6'	
Max Use of Rear Yard	25	25	0%	0%	

### Overlays:

**Parking:**  
1.75 per unit required / 5.25 spaces required  
**4 spaces provided**

### Other Non-Dimensional Zoning Issues:

# KEY

-  WALL TYPES (SEE A-3.1)
-  FAN
-  1 HOUR CLG. ABOVE (SEE A-3.1)
-  NEW WALL

## GENERAL NOTES:

### CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

### REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

### SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

### CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

### REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

### NOTE:ENERGY CODE COMPLIANCE

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HER'S RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

# PROPOSED 3-FAMILY

## 103 HOOKER STREET ALLSTON, MASSACHUSETTS

### WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:  
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

### WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

### DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT

- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT

WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: S<sub>s</sub> = 0.217  
S<sub>1</sub> = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

Location

PROPOSED 3 FAMILY  
 103 HOOKER STREET  
 ALLSTON, MA

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2020249

Scale: AS NOTED

Date: 02-10-21

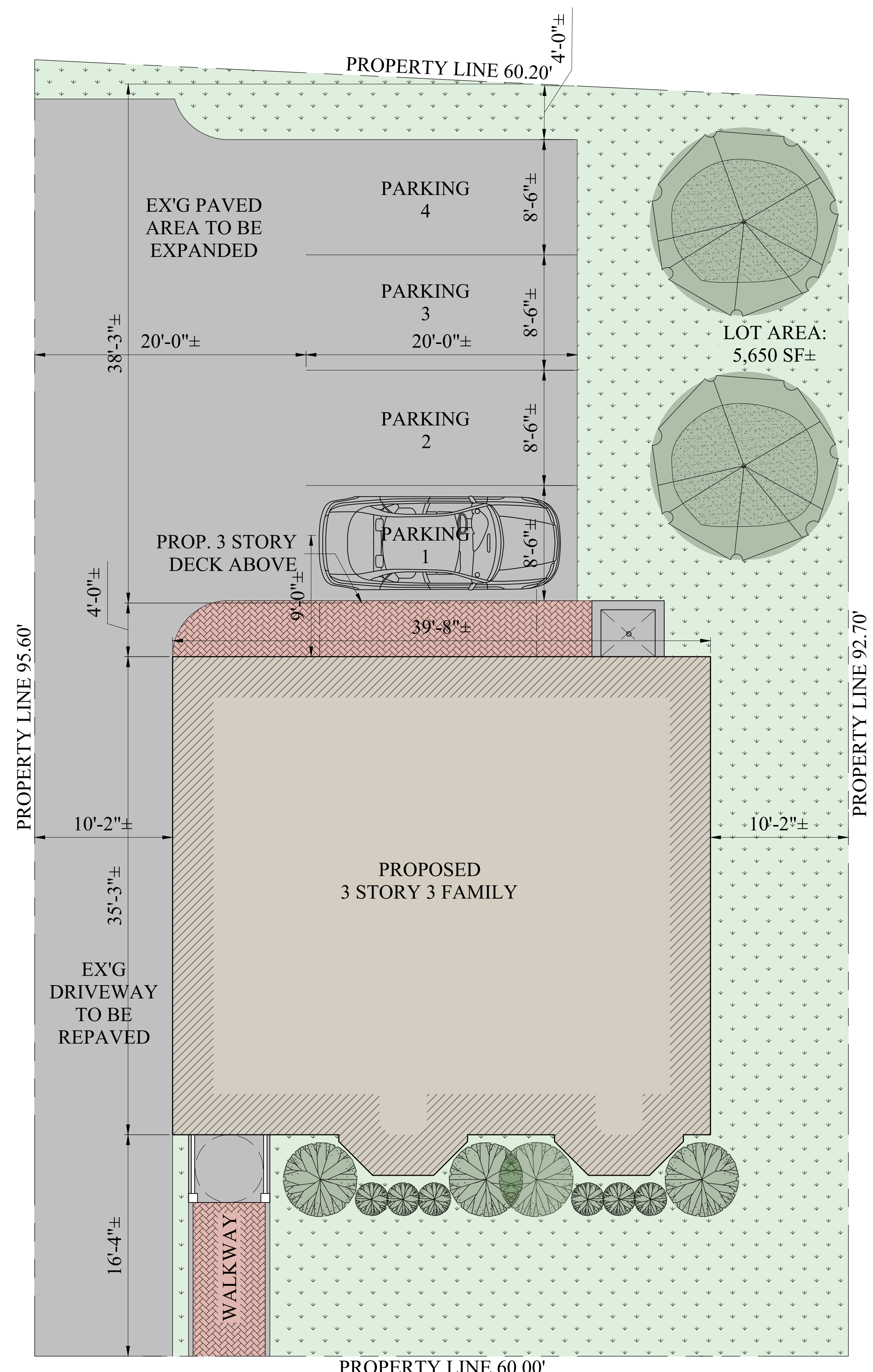
Drawn By: DRM

Drawing Name

**COVER SHEET**

Sheet No.

A-0



1 PROPOSED ARCHITECTURAL SITE PLAN  
 3/16" = 1'-0"



DRAWING NOT TAKEN FROM  
 INSTRUMENTAL SURVEY.  
 INFORMATION TAKEN FROM  
 CERTIFIED PLOT PLAN BY PETER  
 NOLAN & ASSOCIATES LLC,  
 NEWTON, MA  
 NOVEMBER 24, 2020

Location

**PROPOSED 3 FAMILY**  
**103 HOOKER STREET**  
**ALLSTON, MA**

Choo & Company, Inc.  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Revision Date
	05-20-21

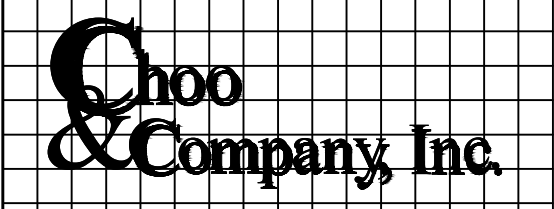
Project No: 2020249  
 Scale: AS NOTED  
 Date: 02-10-21  
 Drawn By: DRM

Drawing Name  
**PROPOSED ARCHITECT LANDSCAPE PLAN**

Sheet No.  
**A-1.0**

Location

**PROPOSED 3 FAMILY**  
**103 HOOKER STREET**  
**ALLSTON, MA**



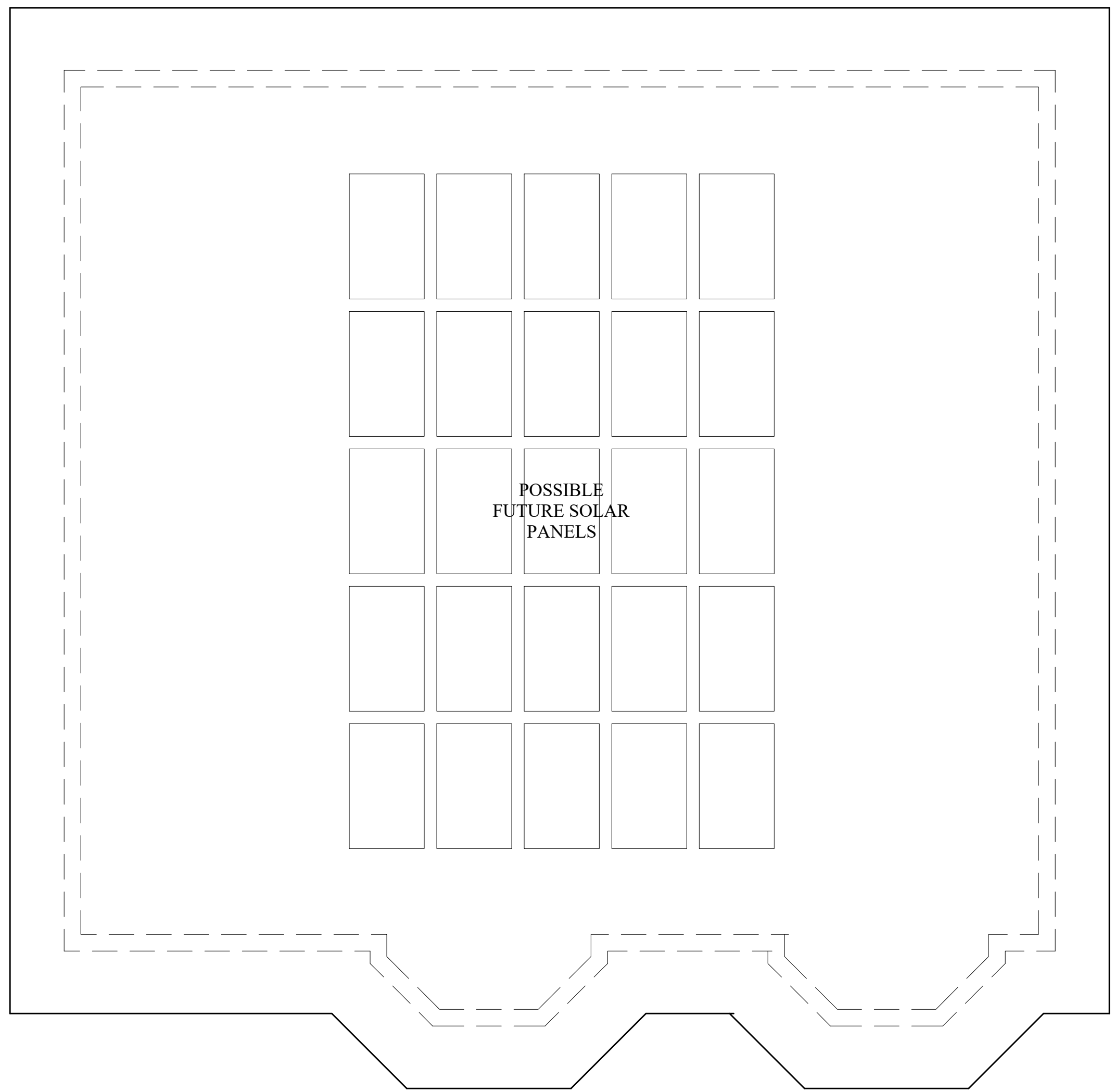
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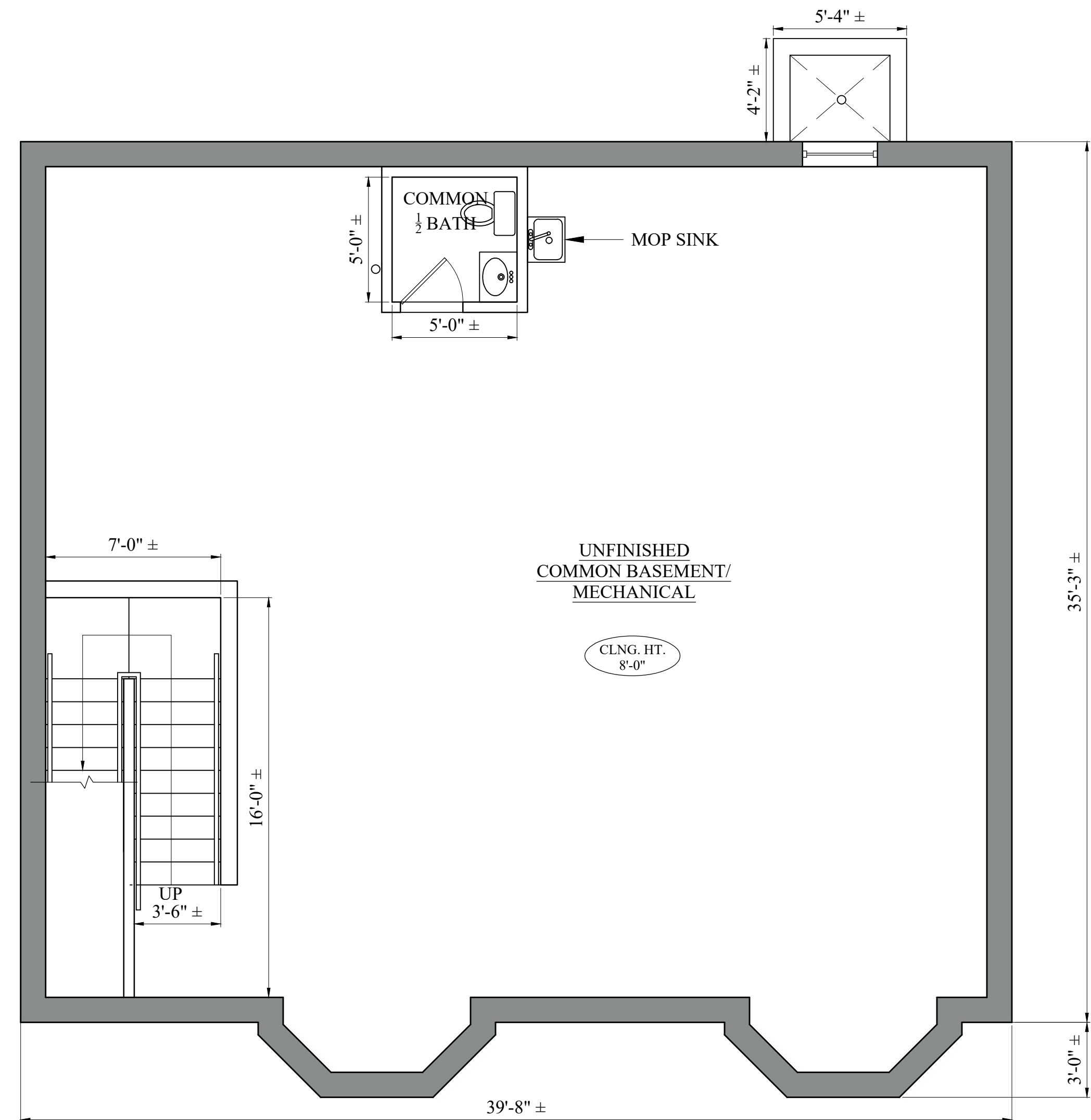
Drawing Name  
**PROPOSED  
ROOF PLAN**

Sheet No.  
**A-1.3**



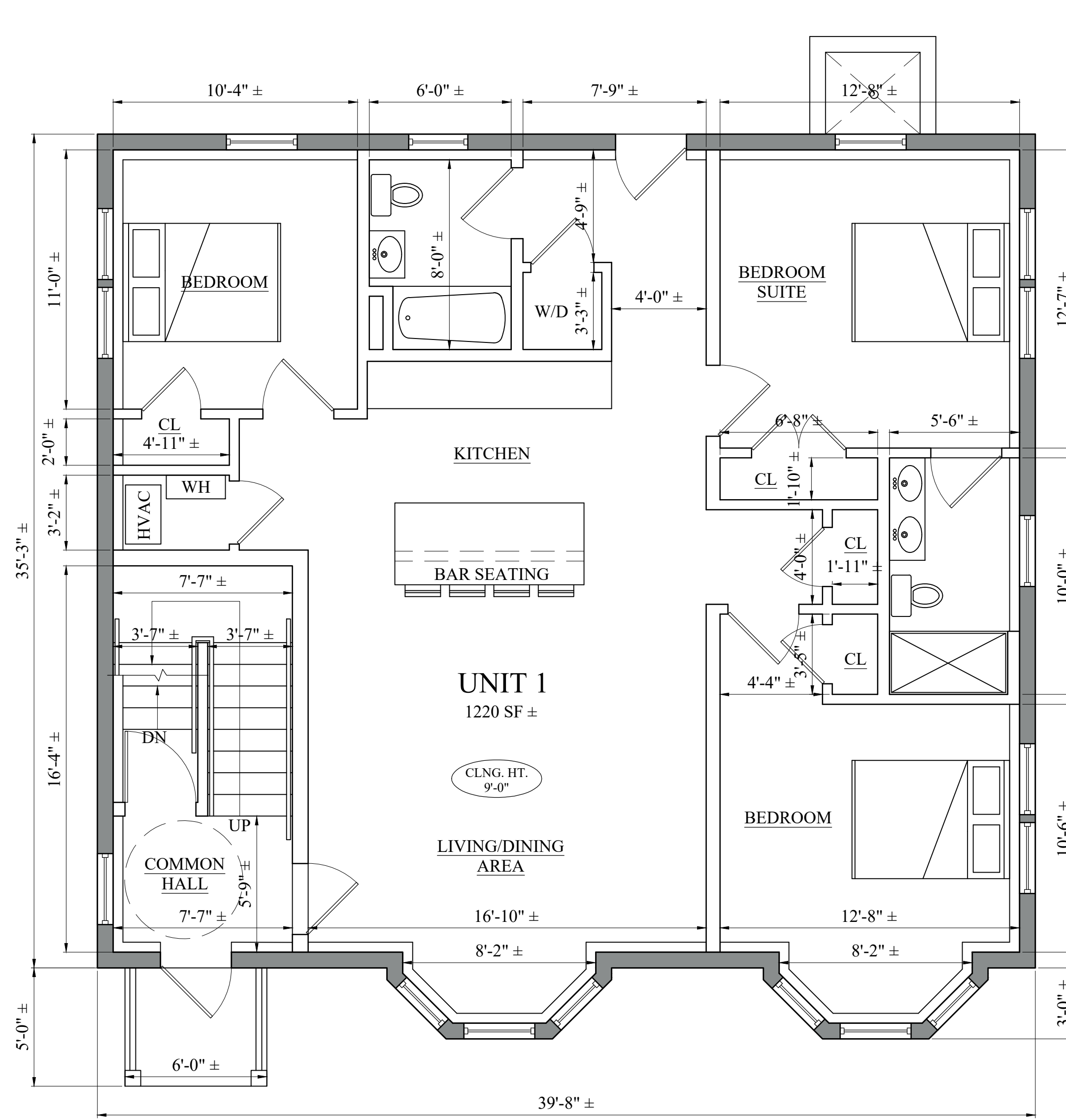
**HOOKER STREET**

1 PROPOSED ROOF PLAN  
1/4" = 1'-0"



HOOKER STREET

1 PROPOSED BASEMENT FLOOR PLAN  
1/4" = 1'-0"



HOOKER STREET

2 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

Location

PROPOSED 3 FAMILY  
103 HOOKER STREET  
ALLSTON, MA

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Revision Date
	05-20-21
	11-12-21

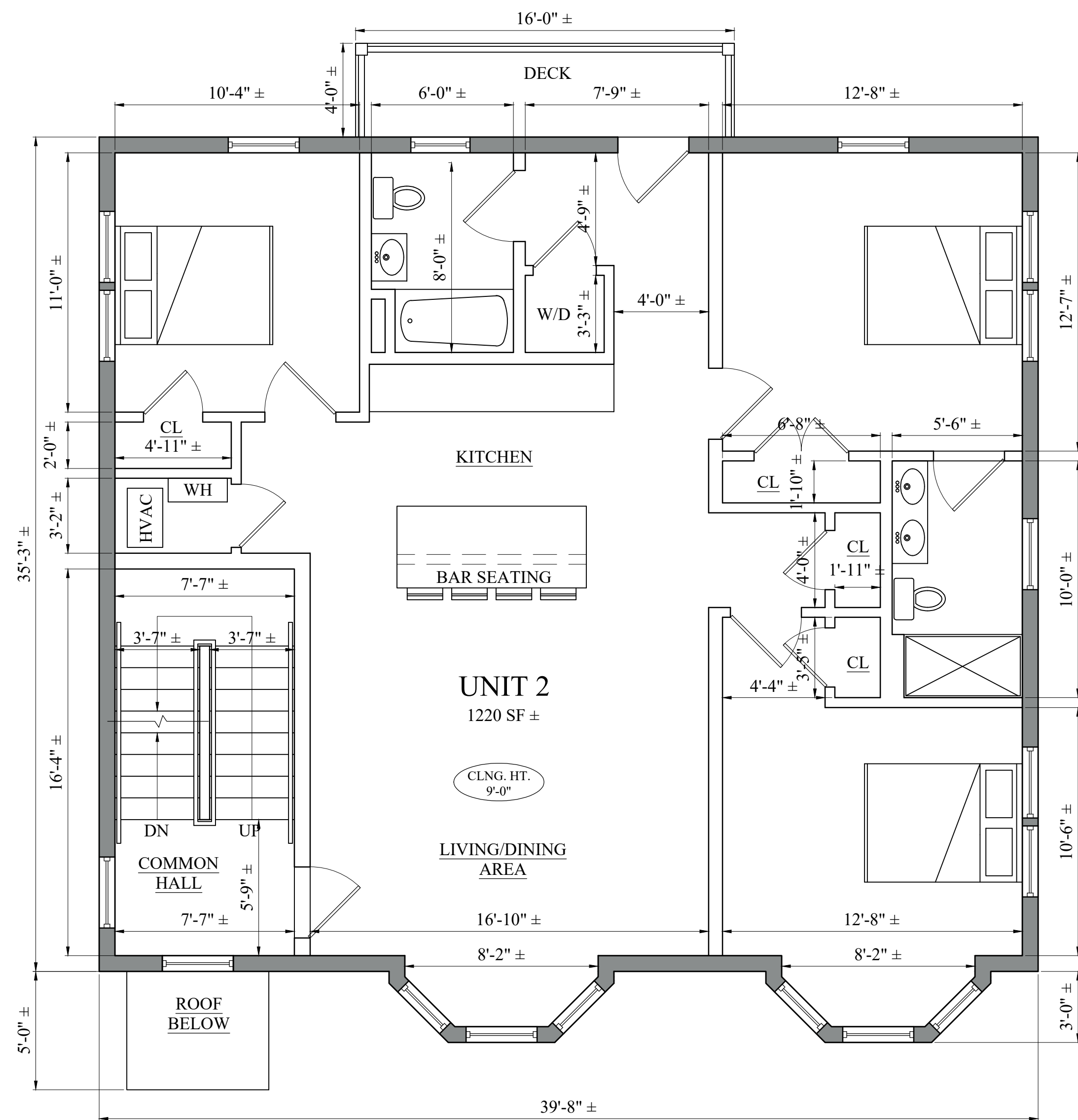
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Scale: AS NOTED  
Date: 02-10-21  
Drawn By: DRM

Drawing Name  
**PROPOSED FLOOR PLANS**

Sheet No.  
**A-1.1**

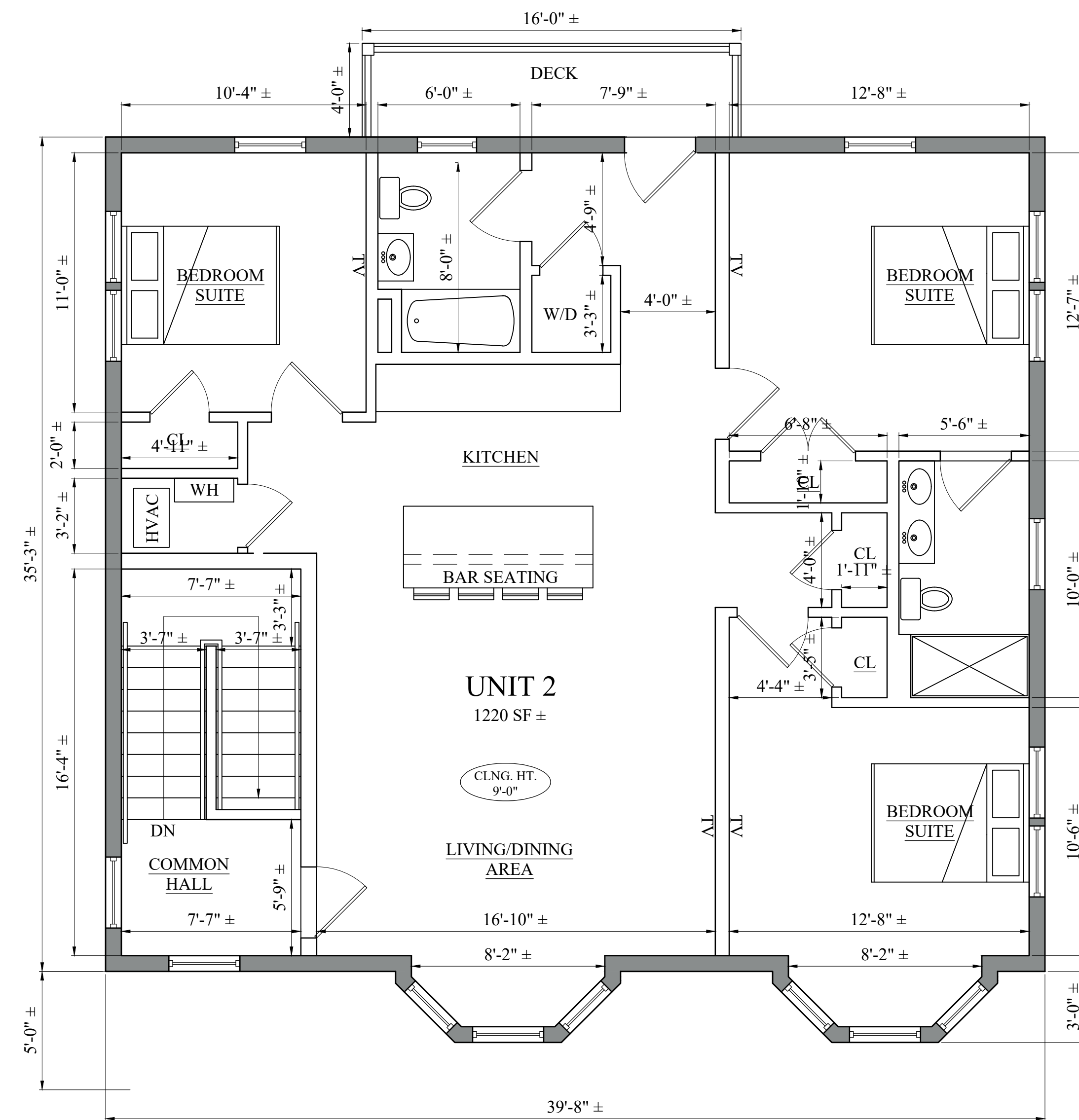
2015 IBC 1006.3.2(1)  
SINGLE EXIT MAX. TRAVEL DISTANCE FOR R-2 USES THIRD FLOOR  
125' ACTUAL 49.5' MAX OCCUPAN LOAD OF 10 (MAX 2000 SF PER FLOOR)

ONE MEANS OF EGRESS PERMITTED FROM & WITHIN INDIVIDUAL DWELLING UNITS EQUIPPED W/ AUTOMATIC SPRINKLERS (NFPA 13r minimally) AND EMERGENCY ESCAPE OPENINGS



HOOKER STREET

1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

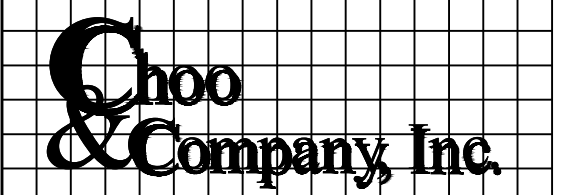


HOOKER STREET

2 PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"

Location

PROPOSED 3 FAMILY  
103 HOOKER STREET  
ALLSTON, MA



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

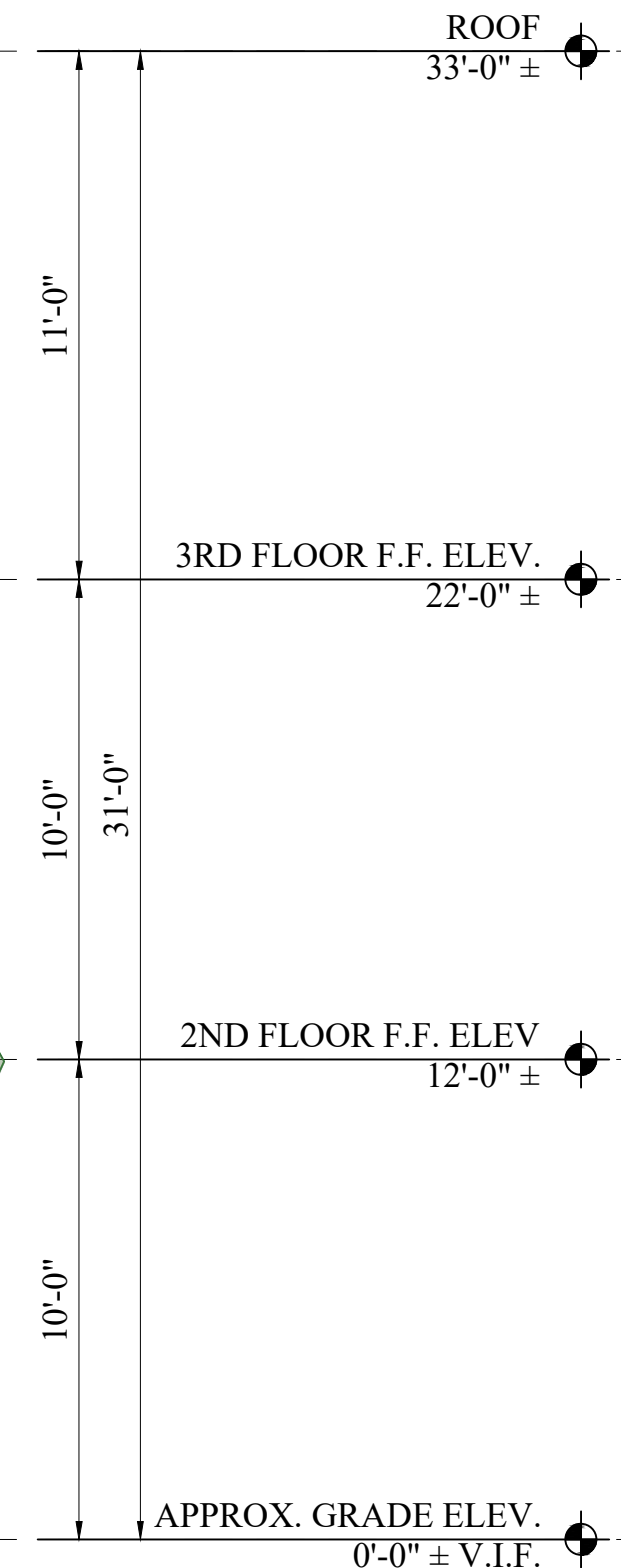
No.	Revision Date
	05-20-21
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Project No: 2020249  
Scale: AS NOTED  
Date: 02-10-21  
Drawn By: DRM

Drawing Name  
PROPOSED FLOOR PLANS

Sheet No.  
A-1.2

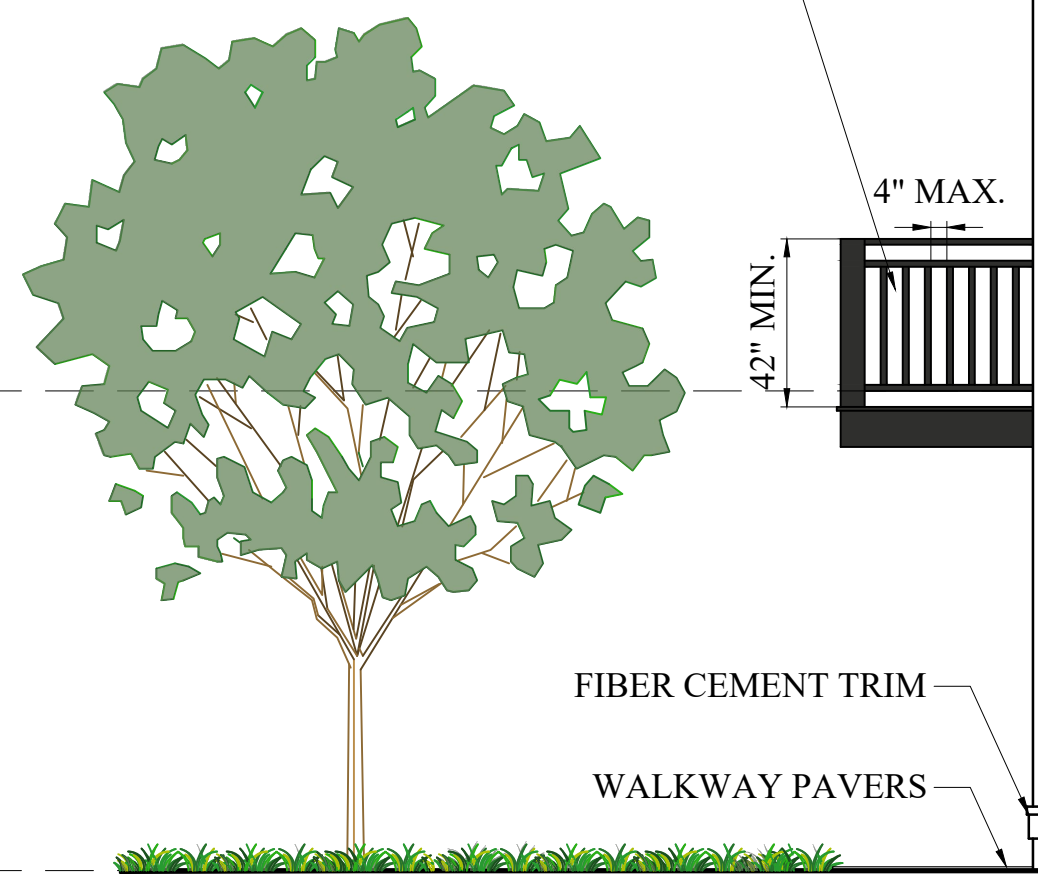
- PERIMETER EDGE METAL W/ DRIP EDGE SYSTEM
- RUBBER MEMBRANE ROOF ON TAPERED RIGID INSULATION
- FIBER CEMENT FASCIA
- DOUBLE HUNG WINDOWS W/ FLAT CASING
- FIBER CEMENT PANELS
- 4" WINDOW TRIM, TYP. W/ 5" HEAD TRIM TYP.
- 6" FIBER CEMENT CLAPBOARD SIDING
- FLASH TIGHT, TYP.
- 1x6 FIBER CEMENT CORNER BOARD, TYP.
- 6x6 P.T. POST WRAPPED COMPOSITE POST SLEEVES
- 2x2 F.C. ON 1x8 F.C. WATER TABLE, TYP.
- FIBER CEMENT TRIM



1 FRONT ELEVATION  
1/4" = 1'-0"

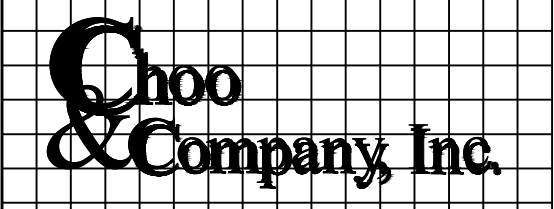
- PERIMETER EDGE METAL W/ DRIP EDGE SYSTEM

- RUBBER MEMBRANE ROOF ON TAPERED RIGID INSULATION
- ROOF 33'-0" ±
- FIBER CEMENT FASCIA
- 11'-0"
- AWNING WINDOWS W/ FLAT CASING
- 6" FIBER CEMENT CLAPBOARD SIDING
- 3RD FLOOR F.F. ELEV. 22'-0" ±
- 1x6 FIBER CEMENT CORNER BOARD, TYP.
- 10'-0"
- 4" WINDOW TRIM, TYP. W/ 5" HEAD TRIM TYP.
- 31'-0"
- FLASH TIGHT, TYP.
- 2ND FLOOR F.F. ELEV. 12'-0" ±
- 10'-0"
- 42" MIN. HIGH COMPOSITE GUARDRAIL W/ MAX. 4" BETWEEN BALUSTERS, TYP.
- APPROX. GRADE ELEV. 0'-0" ± V.I.F.



2 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

Location  
**PROPOSED 3 FAMILY**  
**103 HOOKER STREET**  
**ALLSTON, MA**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

No.	Revision Date
	05-20-21
	11-12-21

Project No: 2020249  
Scale: AS NOTED  
Date: 02-10-21  
Drawn By: DRM

Drawing Name  
**PROPOSED ELEVATIONS**

Sheet No.  
**A-2.1**



1 LEFT SIDE ELEVATION  
1/4" = 1'-0"



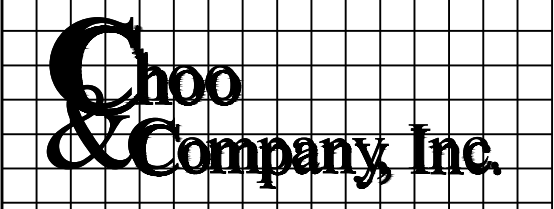
2 REAR ELEVATION  
1/4" = 1'-0"

Location

**PROPOSED 3 FAMILY**

**103 HOOKER STREET**

**ALLSTON, MA**



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Drawing Name

**PROPOSED ELEVATIONS**

Sheet No.

**A-2.2**