

<b>APPLICATION ARTICLE 85 DEMOLITION DELAY REVIEW</b>	For Office Use Only RECEIVED APPLICATION # <u>22.0933 D2936</u> RECEIVED <u>2022 FEB 28 PM 1:01</u> SIGNIFICANT _____ HEARING DATE _____
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SCAN AND EMAIL TO BLC@BOSTON.GOV AND MAIL HARD COPY

I. PROPERTY ADDRESS 111 Roslindale Avenue Roslindale, MA - 02131

NAME of BUSINESS/PROPERTY \_\_\_\_\_

The names, phone numbers, postal and email addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicants.

II. APPLICANT HNB Development LLC  
Antonio Ferrara buyer

CONTACT NAME \_\_\_\_\_ RELATIONSHIP TO PROPERTY \_\_\_\_\_  
394 Washington St. Unit B Dorham MA 02026  
 MAILING ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_  
617-438-2171 \_\_\_\_\_  
 PHONE \_\_\_\_\_ EMAIL tony@hnbmtg.com

Claudia Boyce & Ilzana Schramm  
 PROPERTY OWNER \_\_\_\_\_ CONTACT NAME \_\_\_\_\_  
 ✓ 41 Como Road \_\_\_\_\_ Hyde Park \_\_\_\_\_ MA \_\_\_\_\_ 02136  
 MAILING ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_  
 ✗ 617-953-2590 \_\_\_\_\_  
 PHONE \_\_\_\_\_ EMAIL \_\_\_\_\_

III. DOES THIS PROPOSED PROJECT REQUIRE ZONING RELIEF? NO  
 IF YES, PLEASE INDICATE STATUS OF ZBA PROCESS \_\_\_\_\_  
 (If necessary, attach additional pages to provide more information.)

IV. DESCRIPTION OF PROPOSED DEMOLITION:  
 A BRIEF OUTLINE OF THE PROPOSED WORK *MUST* BE GIVEN IN THE SPACE PROVIDED BELOW, OR THE APPLICATION WILL *NOT* BE ACCEPTED. This description should describe the structure(s) to be demolished and the proposed condition of the site after demolition, including any proposed new construction or site improvements. Additional pages may be attached if necessary to provide more detailed information. See also 4. on page two.

TEAR DOWN EXISTING STRUCTURE THAT IS IN POOR CONDITION AND REBUILD NEW SINGLE FAMILY AS OF RIGHT.

V. **REQUIRED DOCUMENTATION:** The following is a list of documents that **MUST** be submitted with this application. Failure to include adequate documentation will cause a delay in the review process and may result in a rejected application. No documents should be larger than 11x17.

1. **PHOTOGRAPHS:** 3x5 or larger *current color* photographs of the property, properties affected by the proposed demolition and surrounding areas must be labeled with addresses and dates. Major elevations of the building(s) and any deterioration or reason for demolition should be documented. Photographs of the subject property seen from a distance with neighboring properties are required. All photographs must be keyed to a map (see below) to provide a thorough location description. Images from the internet are not acceptable.
2. **MAP:** A map showing the location of the property affected by the proposed demolition must be submitted with this application. The map must be an 8 1/2 x 11 portion of a street map, such as from a BPDA locus map or an internet mapping site.
3. **PLOT PLAN:** A plot plan showing the existing building footprint and those of buildings in the immediate vicinity must be submitted with this application. Assessing parcel maps will be accepted, if the footprint of the relevant structure(s) is illustrated.
4. **PLANS and ELEVATIONS:** If a new structure is being planned, a site plan, building plans and elevations of the new structure(s) must be submitted. If no new building is planned, submit plans for site improvements and a written narrative describing the proposed use and treatment of parcel. (Parking, landscaping, clear debris, fill excavations, etc.) **Do not submit sheets larger than 11x17.**
5. **PROOF OF OWNERSHIP:** Proof of ownership must be submitted with the application. A copy of a property deed, property tax assessment bill, or other official documentation of property ownership is required.

NOTE: Copies of all documentation submitted with this application (photographs, maps, plot plans, etc.) should be retained by the applicant should additional copies be necessary for a commission hearing. Additional materials will be requested if a hearing is required.

VI. **NOTARIZED SIGNATURES:** Both the applicant's and the legal property owner's signatures must be notarized. In cases of multiple ownership, the chair of the condominium or cooperative association or authorized representative (such as a property manager) shall sign as owner; in cases of institutional ownership, an authorized representative of the organization shall sign as owner.

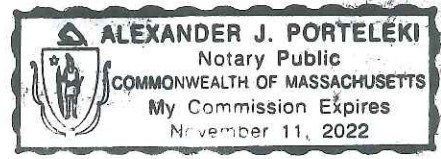
The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT [Signature] OWNER\* [Signature]  
 PRINT Antonio Ferrara PRINT Claudia Boyle  
 \*(If building is a condominium or cooperative, the chairman must sign.)

On this 25<sup>th</sup> day of February, 2022, before me, the undersigned Notary Public, personally\*\* appeared Antonio Ferrara (name of document signer), proved to me through satisfactory evidence of identification, which were MAD to be the person whose name is signed on the preceding or attached document in my presence.  
[Signature] (official signature and seal of Notary)  
 My Commission expires: 2022 KATHY SAIFAN  
 Notary Public  
 Commonwealth of Massachusetts  
 My Commission Expires July 15, 2022

On this 15<sup>th</sup> day of February, 2022, before me, the undersigned Notary Public, personally\*\* appeared Claudia J. Boyle (name of document signer), proved to me through satisfactory evidence of identification, which were M.A-Drive License 09-24-2025 to be the person whose name is signed on the preceding or attached document in my presence.  
[Signature] (official signature and seal of Notary)  
 My Commission expires: 11-11-2022

\*\*During the declared state of emergency due to COVID-19, digital notarization is allowed.



Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

Please review all instructions and documentation requirements carefully before submitting your application. It is your responsibility to ensure the application is complete before submittal. **Incomplete applications will not be accepted.**

Once you have submitted the application, staff will review for completeness and will be in touch about next steps.



18597252

SUFFOLK REGISTRY OF DEEDS  
REC'D ENLARGED AM. ATTOR.

Doug Currie  
6 Liberty Ave  
Somerville, MA  
02144

OCT 27 12 50 PM '93

Deed

360

*Paul R. ...*

WE, Edwin Bartlett and Tisla Bartlett, husband and wife as tenants by the entirety both of 111 Roslindale Avenue, Roslindale, Massachusetts 02131 in consideration of \$1.00 grant to Edwin Bartlett, Tisla Bartlett and Claudia Bartlett, as joint tenants of 111 Roslindale Avenue, Roslindale, Massachusetts 02131 with quitclaim covenants

The land and buildings thereon located at and commonly known as 111 Roslindale Avenue formerly Amherst Street, Roslindale, Mass., shown as lots nine and ten on a plan by J. Edwin Jones dated July 21, 1888, recorded with Suffolk Deeds at the end of Book 1893, bounded and described as follows:

- SOUTHEASTERLY by Roslindale Avenue, formerly Amherst Street, one hundred (100) feet;
- NORTHEASTERLY by lot eight on said plan one hundred (100) feet;
- NORTHWESTERLY by lots fifteen and fourteen on said plan, one hundred (100) feet; and
- SOUTHWESTERLY by land now or formerly of Wm. T. Mulligan, one hundred (100) feet.

Containing 10,000 square feet of land, more or less.

For title see deed of Mary L. Lynch, Cons. dated May 1, 1984, recorded with Suffolk Registry of Deeds in Book 10899, Page 271.

Executed as a sealed instrument this 22nd day of October, 1993

*Edwin Bartlett*  
EDWIN BARTLETT

*Tisla Bartlett*  
TISLA BARTLETT

Commonwealth of Massachusetts

Middlesex, ss: 22nd day of October, 1993  
Then personally appeared the above-named Edwin Bartlett and Tisla Bartlett and acknowledged the foregoing to be their free act and deed.

*William C. Berkowitz*

William C. Berkowitz  
My Commission Expires: April 1, 1994

(Seal)  
Notary Public

2557





2000324000

Show search results for 20003...

Select



60ft

-71.133 42.284 Degrees





2020 00071955  
Bk: 63645 Pg: 103 Page: 1 of 2  
Recorded: 08/27/2020 12:34 PM  
ATTEST: Stephen J. Murphy, Register  
Suffolk County Registry of Deeds

Quitclaim Deed

I, Claudia Boyle, formerly known as Claudia Bartlett, surviving joint tenant, of 111 Roslindale Avenue, Roslindale, Massachusetts for consideration paid in the amount of Ten (\$10.00) Dollars grant to Claudia Boyle of 111 Roslindale Avenue, Roslindale, Massachusetts and Ileana Schramm, of Boulogne, France, as tenants in common, with *quitclaim covenants*

The land and buildings thereon located at and commonly known as 111 Roslindale Avenue formerly known as Amherst Street, Roslindale, Mass., shown as lots nine and ten on a plan by J. Edwin Jones dated July 21, 1888, recorded with Suffolk Deeds at the end of Book 1893, bounded and described as follows:

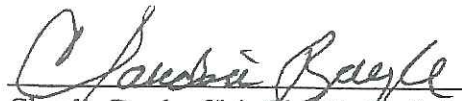
- SOUTHEASTERLY by Roslindale Avenue, formerly Amherst Street, one hundred (100) feet;
- NORTHEASTERLY by lot eight on said plan one hundred (100) feet;
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- SOUTHWESTERLY by land now or formerly of Wm. T. Mulligan, one hundred (100) feet.

Containing 10,000 square feet of land, more or less.

PROPERTY ADDRESS: 111 Roslindale Avenue, Roslindale, MA 02131

Meaning and intending to convey the property conveyed by Deed dated October 22, 1993, recorded at Suffolk Registry of Deeds, Book 18597, Page 252.

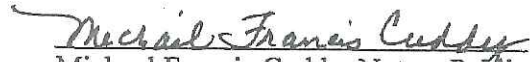
Executed as a sealed instrument this 26 day of August, 2020.

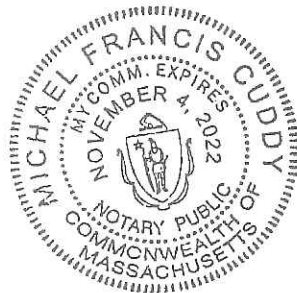
  
Claudia Boyle, f/k/a Claudia Bartlett

Commonwealth of Massachusetts

Norfolk, ss.

On this 26 day of August, 2020, before me the undersigned notary public personally appeared the above named Claudia Boyle and she proved to me through satisfactory evidence of identification, a Massachusetts driver's license, to be the person whose name appears on the preceding or attached document and she acknowledged to me that she signed it voluntarily for its stated purpose.

  
Michael Francis Cuddy, Notary Public  
My Commission Expires: 11/4/2022





#7

Standing in ~~the~~ front of 111 Roslyn Dale

Looking across the street





Sent from my iPhone

Front elevation of subject property

#2





RIGHT SIDE Elevation of SUBJECT PROPERTY

③



REAR Elevation of Subject Property

24





Sent from my iPhone

#5

Right Side Elevation of Subject Property



# 6

Additional IMAGE of the Right Side Ekuntion

# 6





157

LOOKING AT THE GARAGE & SUBJECT

PROPERTY



Sent from my iPhone

168

STREET VIEW LOOKING DOWN ROSKINDALE  
AVE TOWARDS HASLET ST.





#9

STREET VIEW LOOKING UP ROSCINDALE AVE

TOWARDS DURNELL AVE

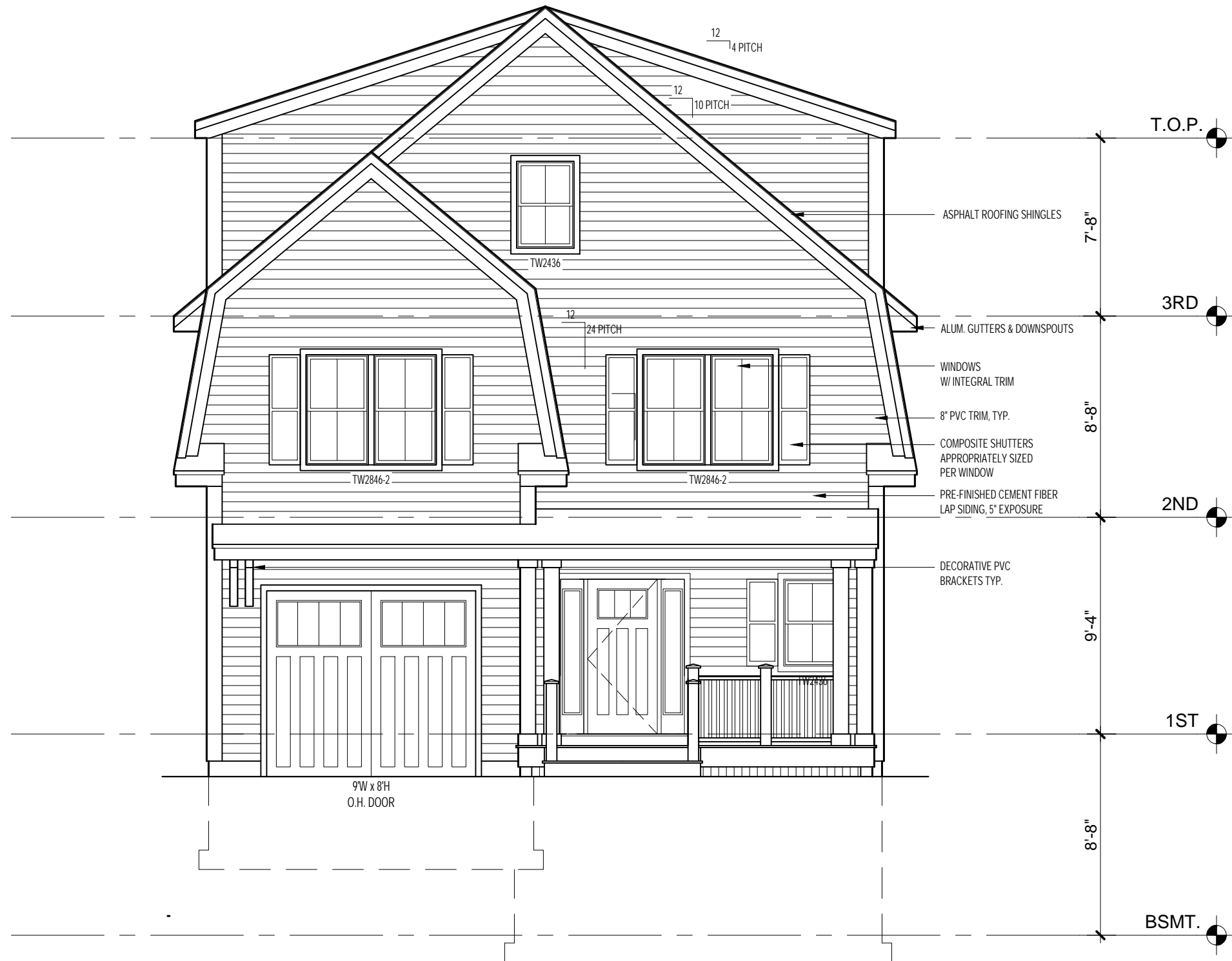
COPYRIGHT 2022 ANTONINO DONATO AIA, LEED AP, AD/ARCHITECT, INC.

NOTE: WINDOWS TO BE PELLA LIFESTYLE SERIES WITH TYPE AND GRILLE PATTERN AS SHOWN, COLOR TO BE DETERMINED. WINDOW UNIT SIZES PROVIDED ARE NOMINAL (INCHES). TYPICAL WINDOW HEAD HEIGHT IS 84" AND 80" AT ATTIC OR UNLESS NOTED OTHERWISE.

**AD**  
architect

7 Glendale Way  
Canton, MA 02021  
617.501.0631

www.ad-architect.com



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

New Residence  
107 Rosindale Avenue  
Rosindale, MA

Project Number: 22.0113  
Date: 02.15.2022

Revisions:

Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

Scale: 3/16" = 1'-0"

**FRONT ELEVATION**

**A-1**



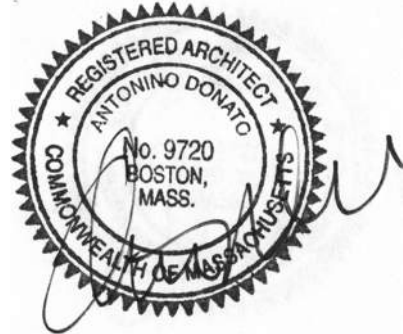
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Scale: 3/16" = 1'-0"

LEFT SIDE ELEVATION

LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

A-2

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Date: 02.15.2022

Revisions:

Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

Scale: 3/16" = 1'-0"

REAR  
ELEVATION

**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**A-3**



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Revisions:

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	DRAWINGS	2022

Scale: 3/16" = 1'-0"

RIGHT SIDE ELEVATION

RIGHT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

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**FIRE PROTECTION KEY:**

- (S) SMOKE DETECTOR
- (CO) COMBINATION CARBON MONOXIDE/ SMOKE DETECTOR
- (H) HEAT DETECTOR
- (E/F) TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT.

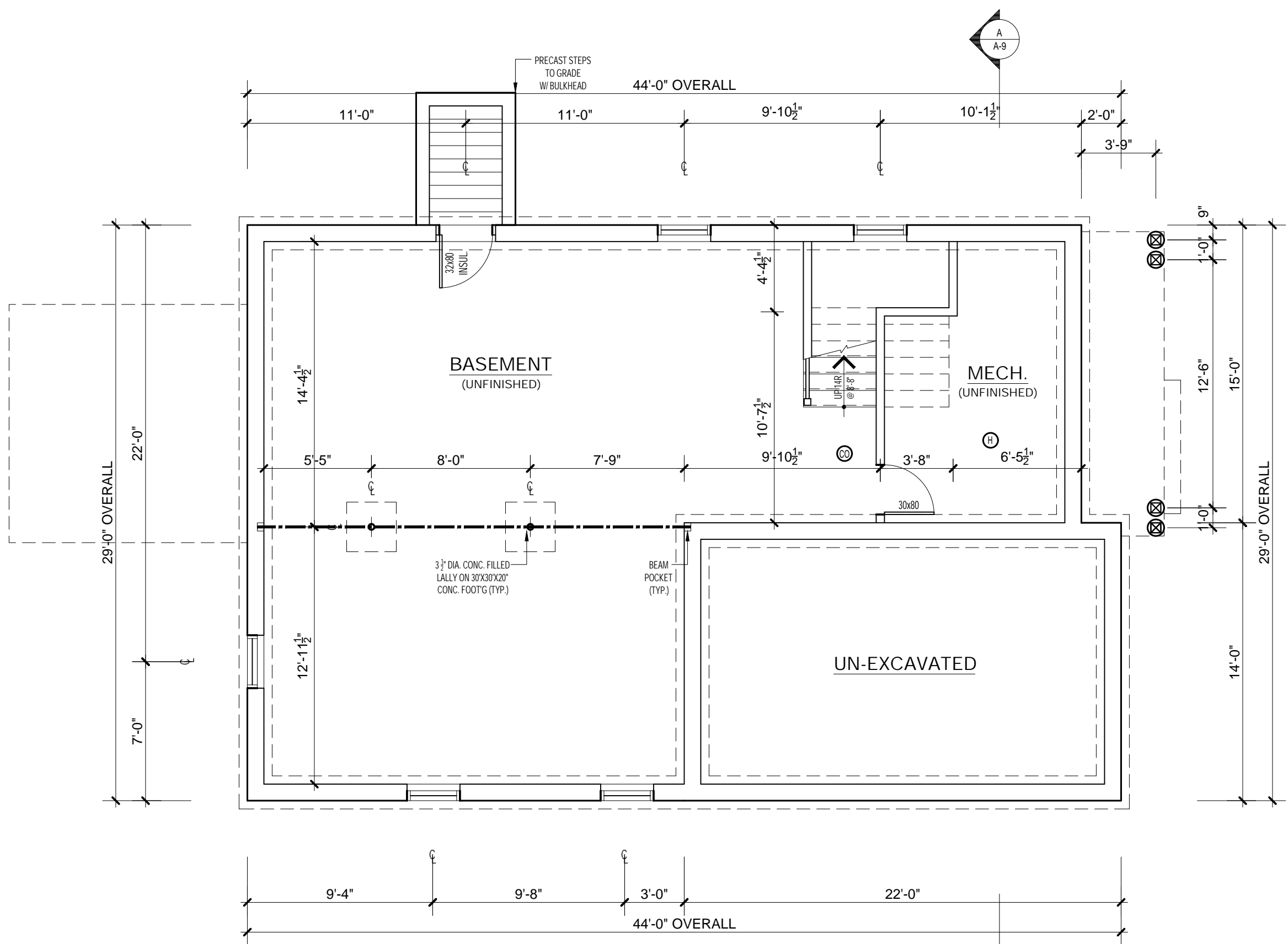
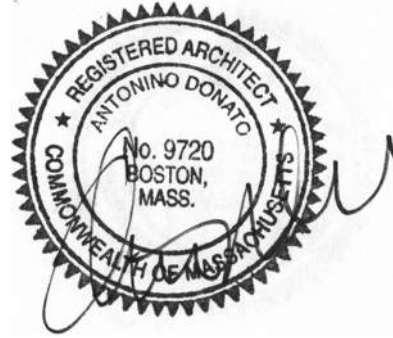
**NOTES:**

1. PHOTOELECTRIC DETECTORS AS REQUIRED.
2. COMBINATION DETECTORS ARE ACCEPTABLE.

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	DRAWINGS	2022

Scale: 3/16" = 1'-0"

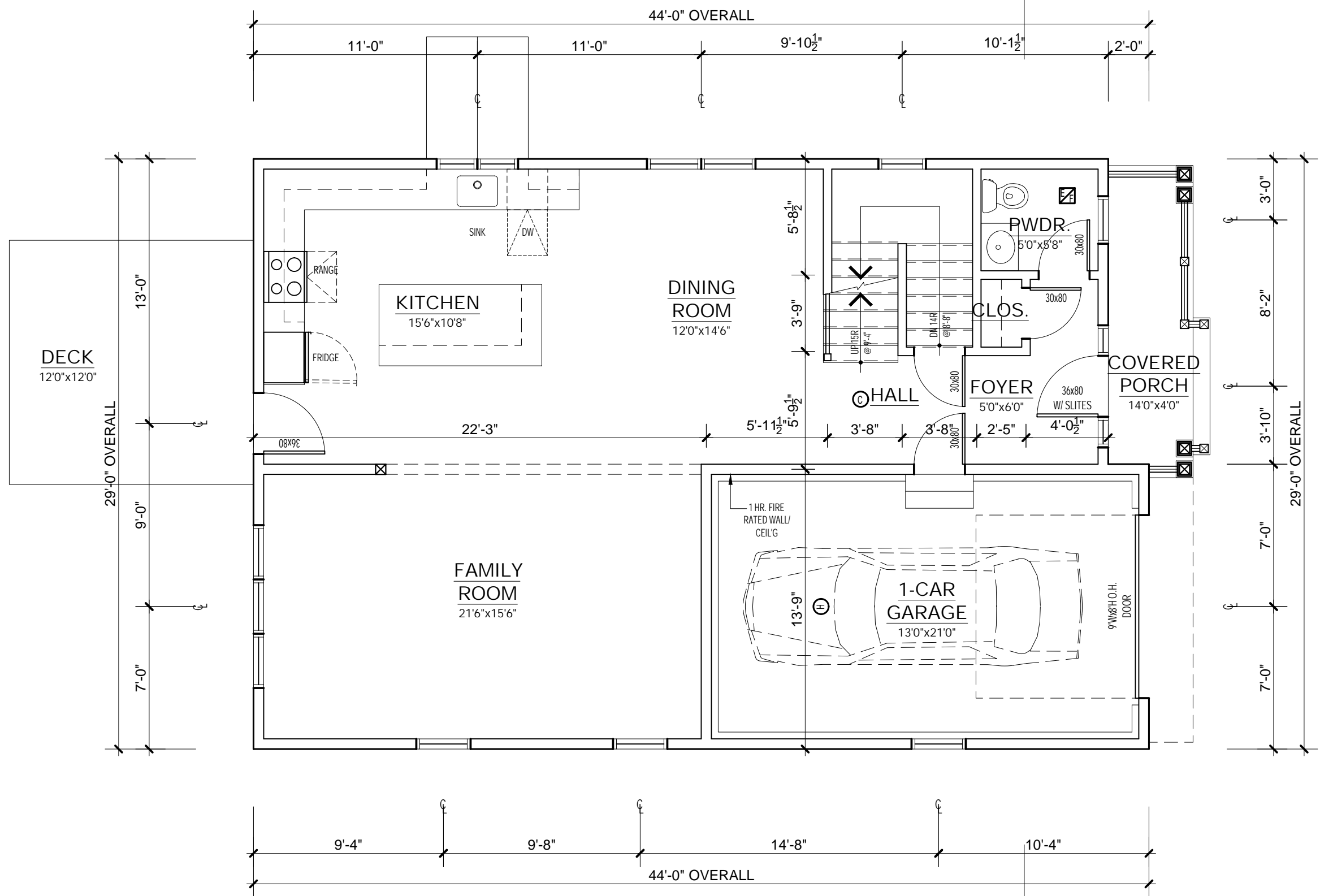
**BASEMENT LEVEL PLAN**

**BASEMENT LEVEL PLAN**  
SCALE: 3/16" = 1'-0"

**A-5**



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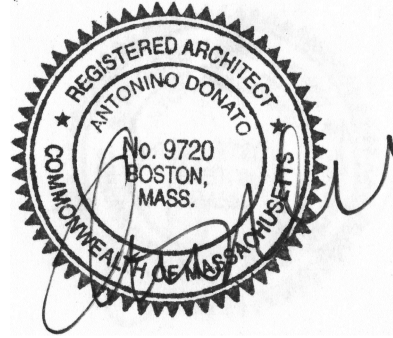
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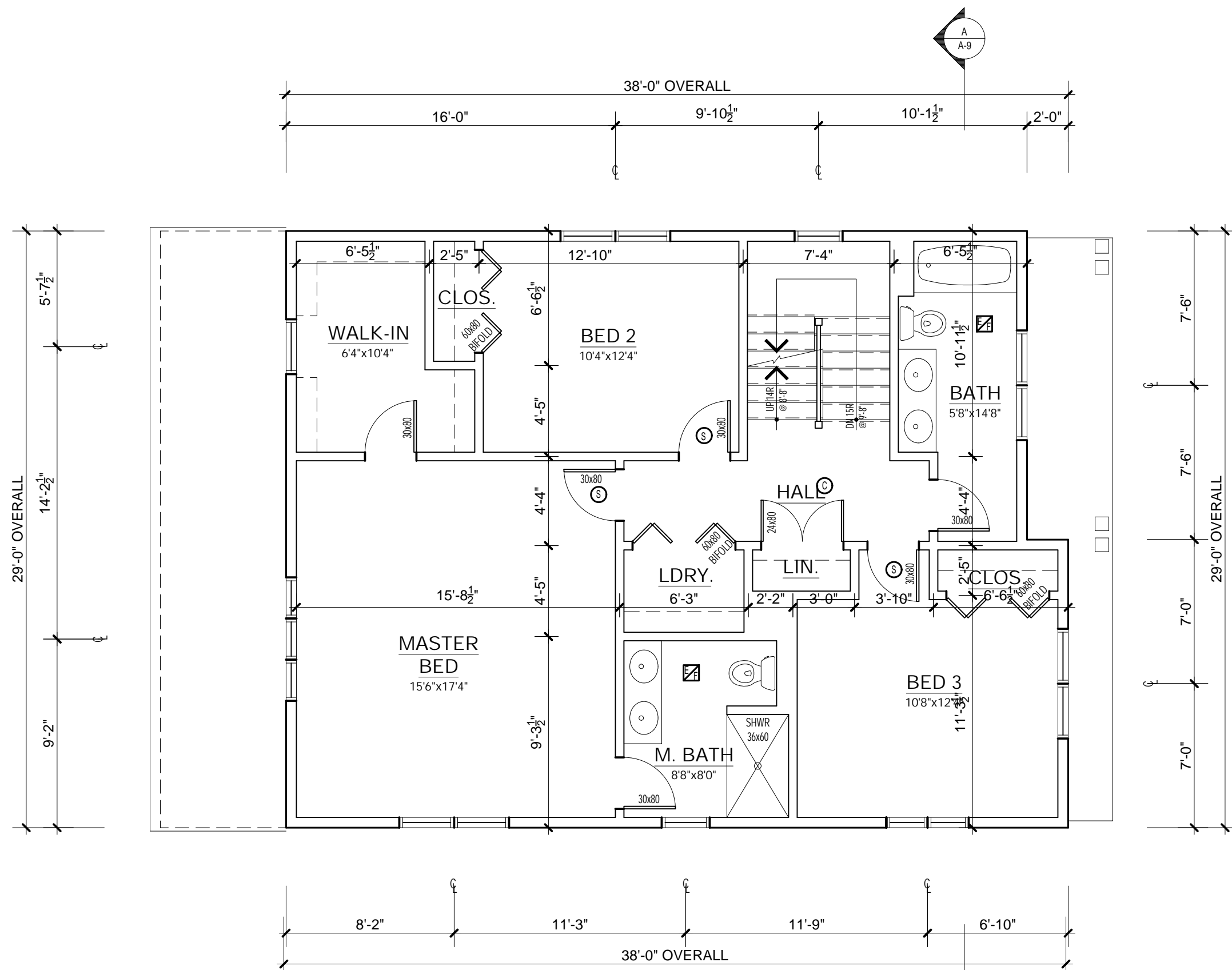
Scale: 3/16" = 1'-0"

**FIRST LEVEL PLAN**

**FIRST LEVEL PLAN**  
SCALE: 3/16" = 1'-0"

**A-6**

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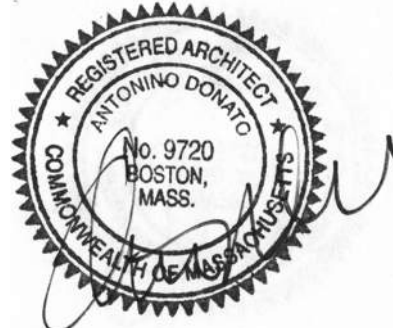
**NOTES:**

- PHOTOELECTRIC DETECTORS AS REQUIRED.
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Revisions:

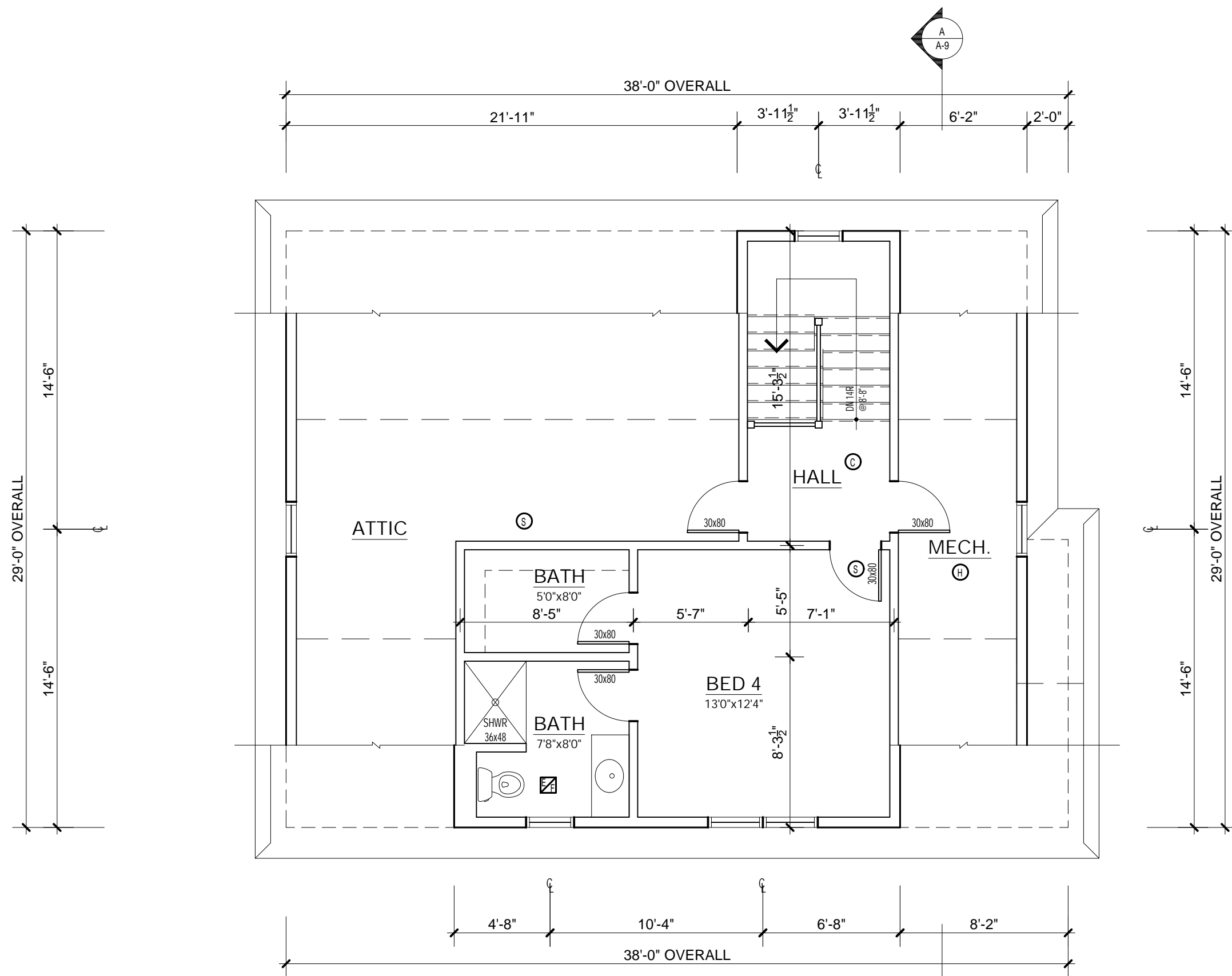
Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

Scale: 3/16" = 1'-0"

SECOND LEVEL PLAN

SECOND LEVEL PLAN  
SCALE: 3/16" = 1'-0"

A-7



**FIRE PROTECTION KEY:**

(S) SMOKE DETECTOR    (H) HEAT DETECTOR

(CO) COMBINATION CARBON MONOXIDE/ SMOKE DETECTOR    (EF) TOILET EXHAUST FAN VENTED TO OUTSIDE W/ RIGID METAL DUCT.

**NOTES:**

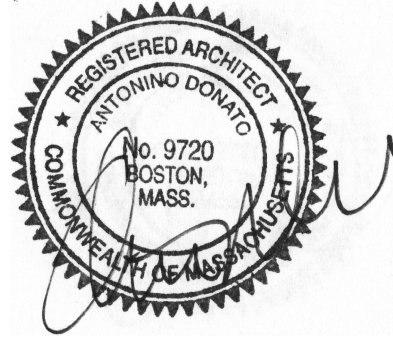
1. PHOTOELECTRIC DETECTORS AS REQUIRED.

2. COMBINATION DETECTORS ARE ACCEPTABLE.

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New Residence  
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Revisions:

Number	Description	Date
0	PERMIT DRAWINGS	03/03 2022

Scale: 3/16" = 1'-0"

ATTIC LEVEL PLAN

**ATTIC LEVEL PLAN**  
SCALE: 3/16" = 1'-0"

**A-8**



**NOTES:**

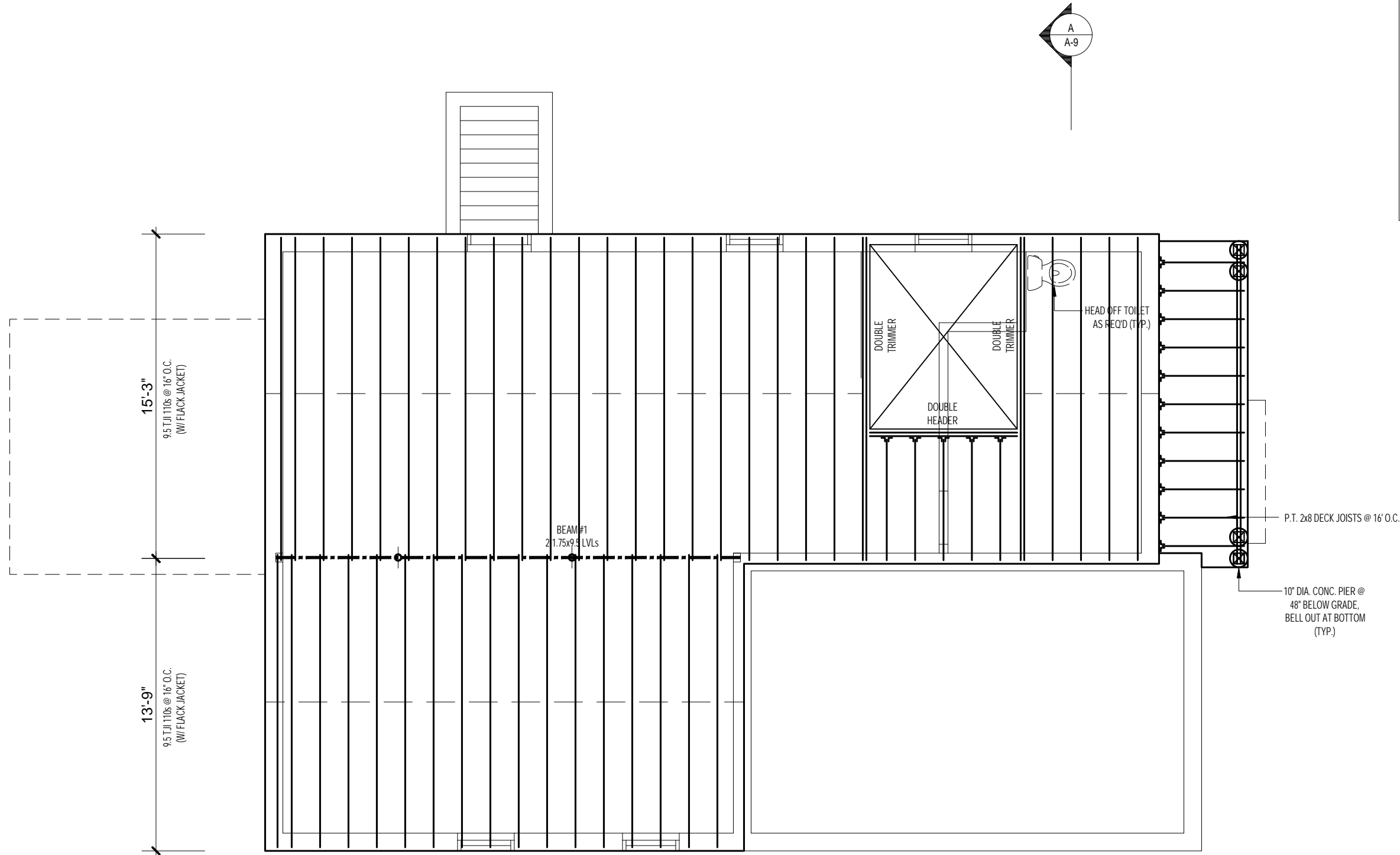
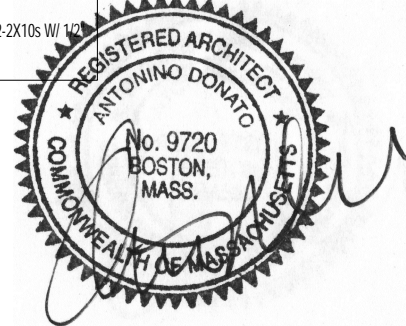
STUDS - EXTERIOR WALLS TO BE 2X6s @ 16" O.C., INTERIOR WALLS TO BE 2X4s UNO.

SILL PLATE/ANCHORS - SILL PLATE TO BE 2-2X6s P.T.; INSET 1/2" ANCHOR BOLTS MIN. 8" IN TO TOP OF CONC. FOUND. WALL MIN. 48" O.C. AND 12" FROM CORNERS.

JOISTS AND RAFTERS - SOUTHERN PINE VISUALLY GRADED NO. 1 LUMBER OR BETTER UNLESS NOTED OTHERWISE. DOUBLE UP JOISTS UNDER WALLS TYP.

BRIDGING/BLOCKING - ALL JOISTS TO BE BRACED AT MID SPAN W/ BRIDGING OR SOLID BLOCKING.

HEADERS - ALL HEADERS AT OPENINGS TO BE MIN. 2-2X10s W/ 1/2" PLYWD. BETWEEN UNO.



**FIRST LEVEL FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

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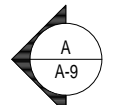
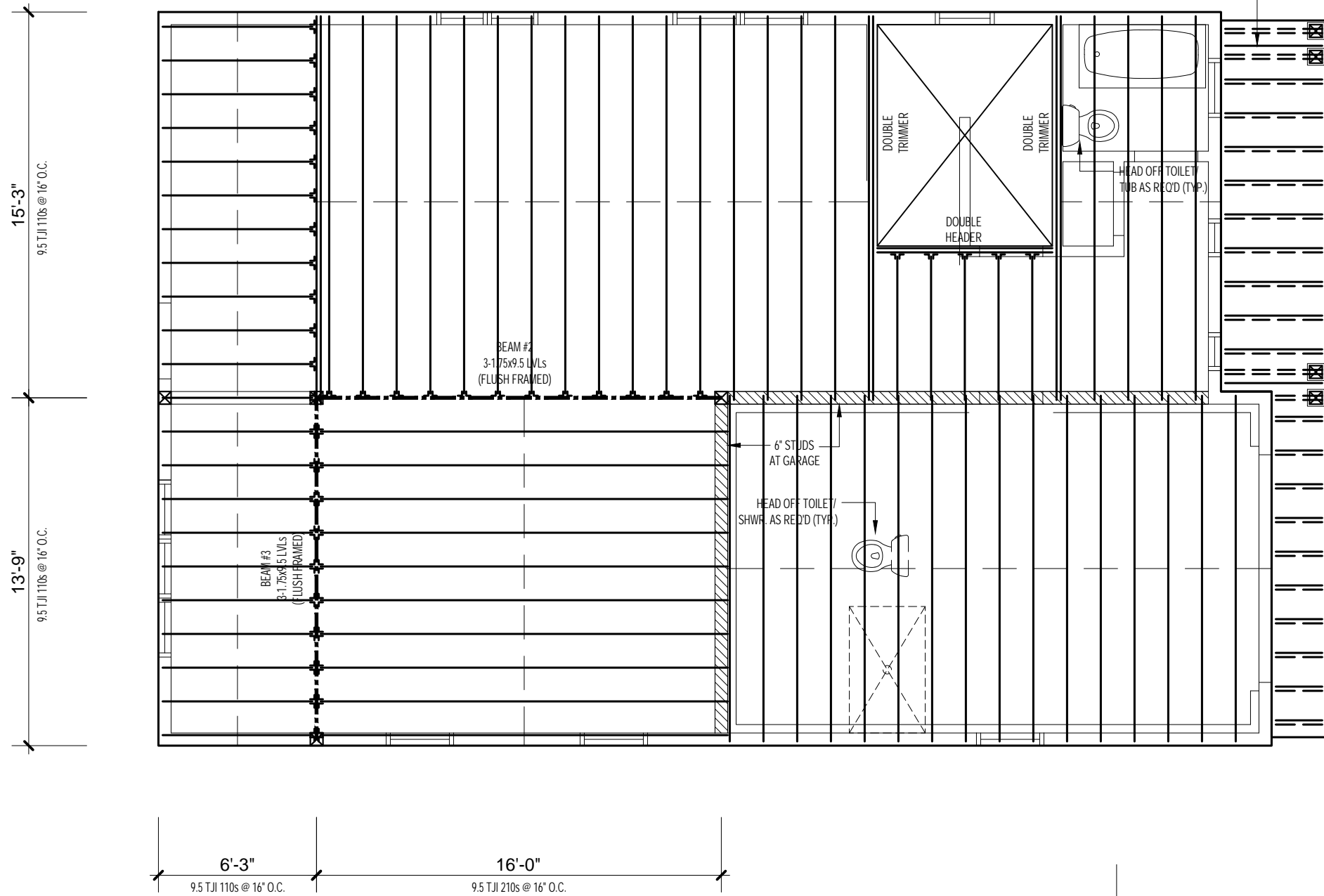
Revisions:

Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

Scale: 3/16" = 1'-0"

**FIRST LEVEL  
FRAMING  
PLAN**

**A-10**



NOTES:

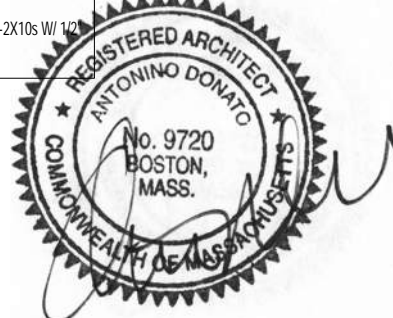
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Revisions:

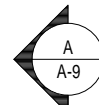
Number	Description	Date
0	PERMIT DRAWINGS	03/03 2022

Scale: 3/16" = 1'-0"

SECOND LEVEL FRAMING PLAN

SECOND LEVEL FRAMING PLAN  
SCALE: 3/16" = 1'-0"

A-11



**NOTES:**

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JOISTS AND RAFTERS - SOUTHERN PINE VISUALLY GRADED NO. 1 LUMBER OR BETTER UNLESS NOTED OTHERWISE. DOUBLE UP JOISTS UNDER WALLS TYP.

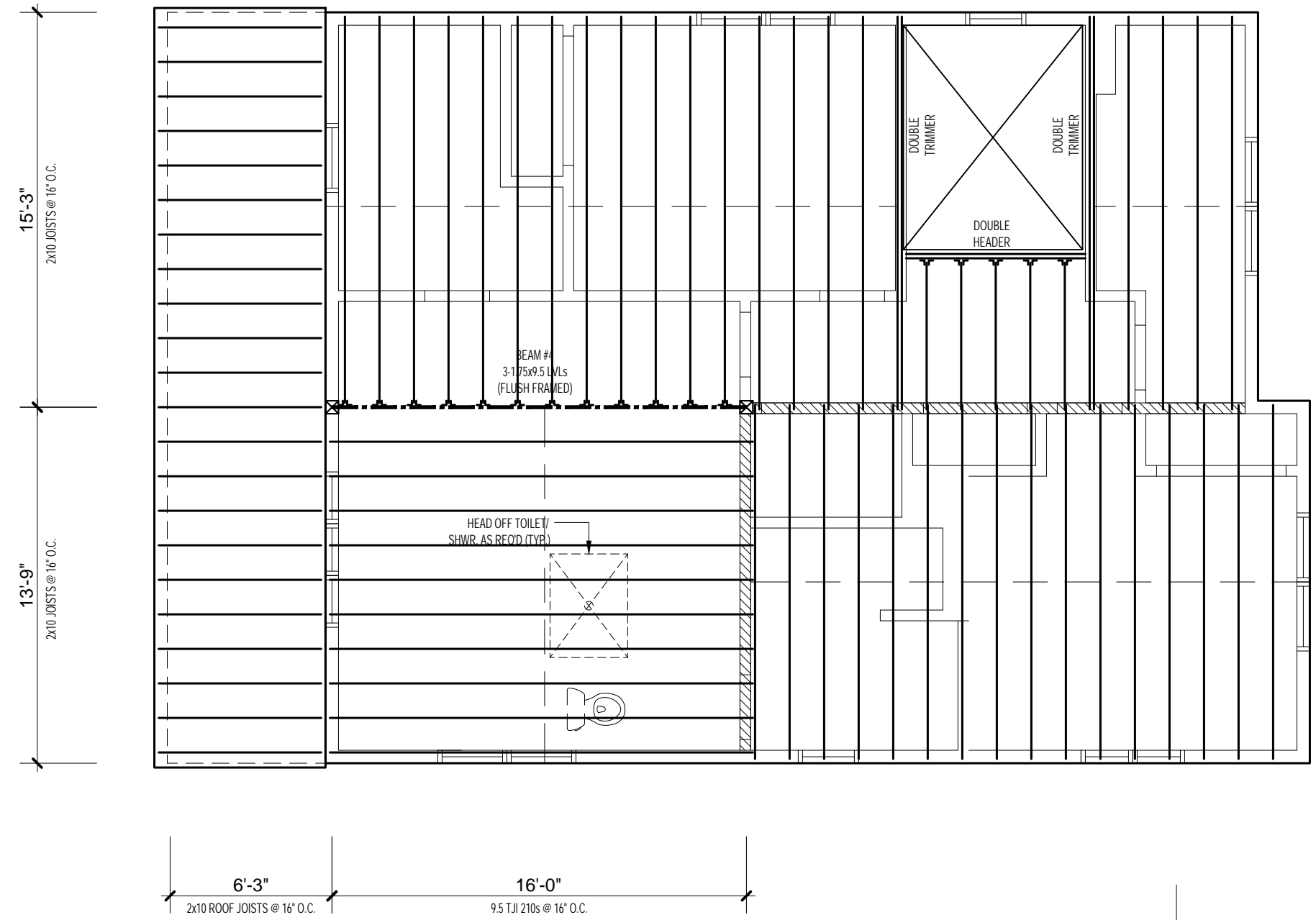
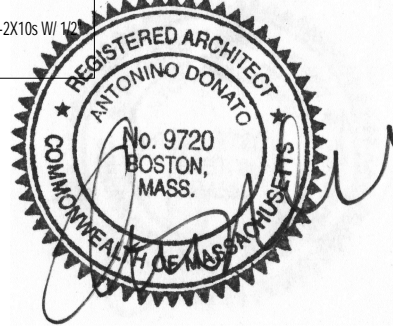
BRIDGING/BLOCKING - ALL JOISTS TO BE BRACED AT MID SPAN W/ BRIDGING OR SOLID BLOCKING.

HEADERS - ALL HEADERS AT OPENINGS TO BE MIN. 2-2X10s W/ 1/2" PLYWD. BETWEEN UNO.



7 Glendale Way  
Canton, MA 02021  
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New Residence  
107 Roslindale Avenue  
Roslindale, MA

Project Number: 22.0113  
Date: 02.15.2022

Revisions:

Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

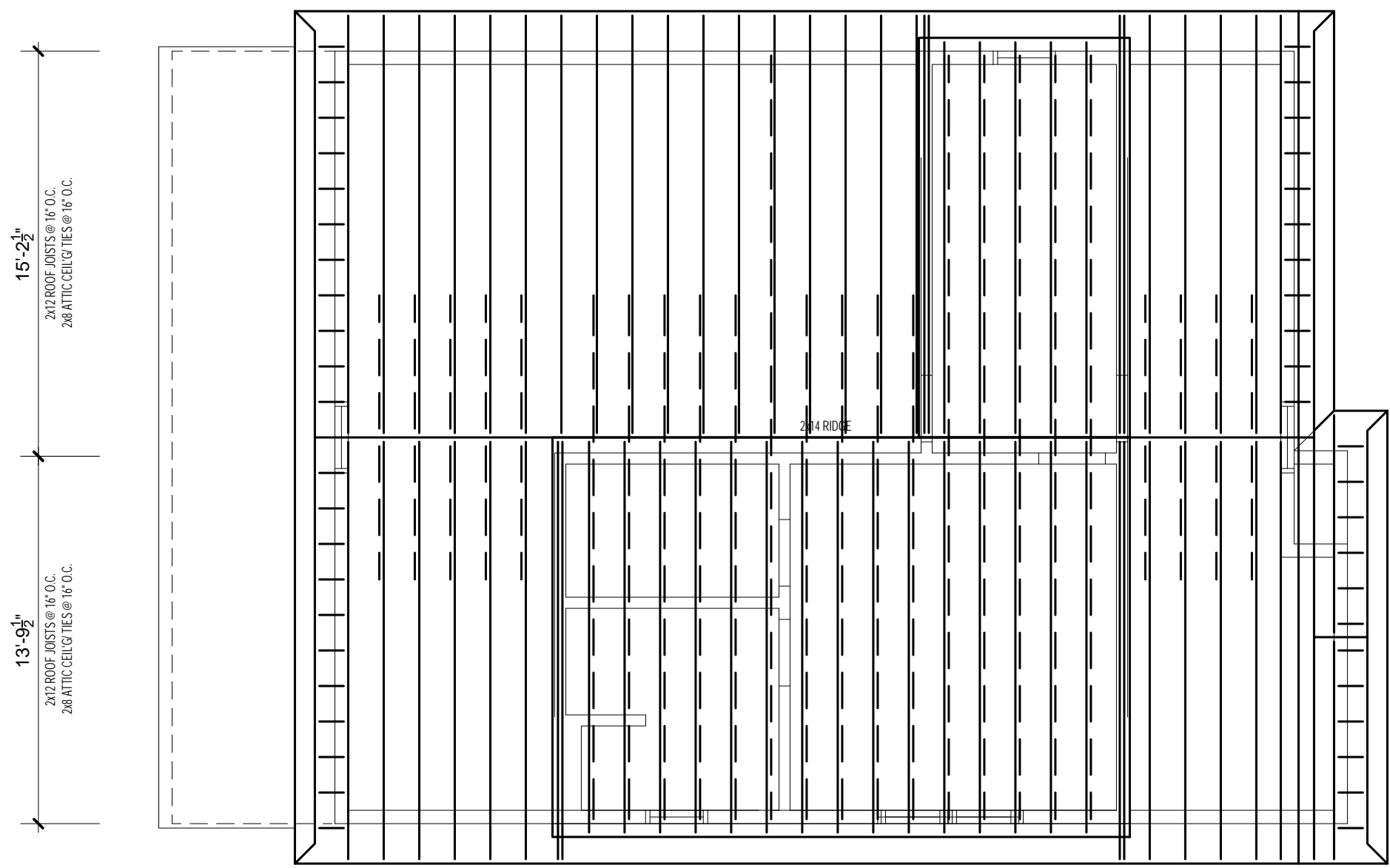
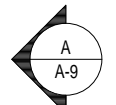
Scale: 3/16" = 1'-0"

ATTIC/CEILING  
FRAMING  
PLAN

**ATTIC/CEILING FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

**A-12**





NOTES:

STUDS - EXTERIOR WALLS TO BE 2X6s @ 16" O.C., INTERIOR WALLS TO BE 2X4s UNO.

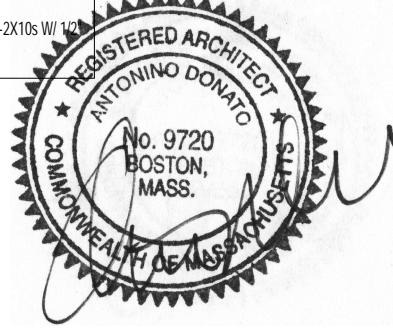
SILL PLATE/ANCHORS - SILL PLATE TO BE 2-2X6s P.T.; INSET 1/2" ANCHOR BOLTS MIN. 8" IN TO TOP OF CONC. FOUND. WALL MIN. 48" O.C. AND 12" FROM CORNERS.

JOISTS AND RAFTERS - SOUTHERN PINE VISUALLY GRADED NO. 1 LUMBER OR BETTER UNLESS NOTED OTHERWISE. DOUBLE UP JOISTS UNDER WALLS TYP.

BRIDGING/BLOCKING - ALL JOISTS TO BE BRACED AT MID SPAN W/ BRIDGING OR SOLID BLOCKING.

HEADERS - ALL HEADERS AT OPENINGS TO BE MIN. 2-2X10s W/ 1/2" PLYWD. BETWEEN UNO.

ROOF OVERHANGS  
 MAIN ROOF  
 EAVE 16", RAKE 8" TYP.  
 DORMERS  
 EAVE 6", RAKE 2"



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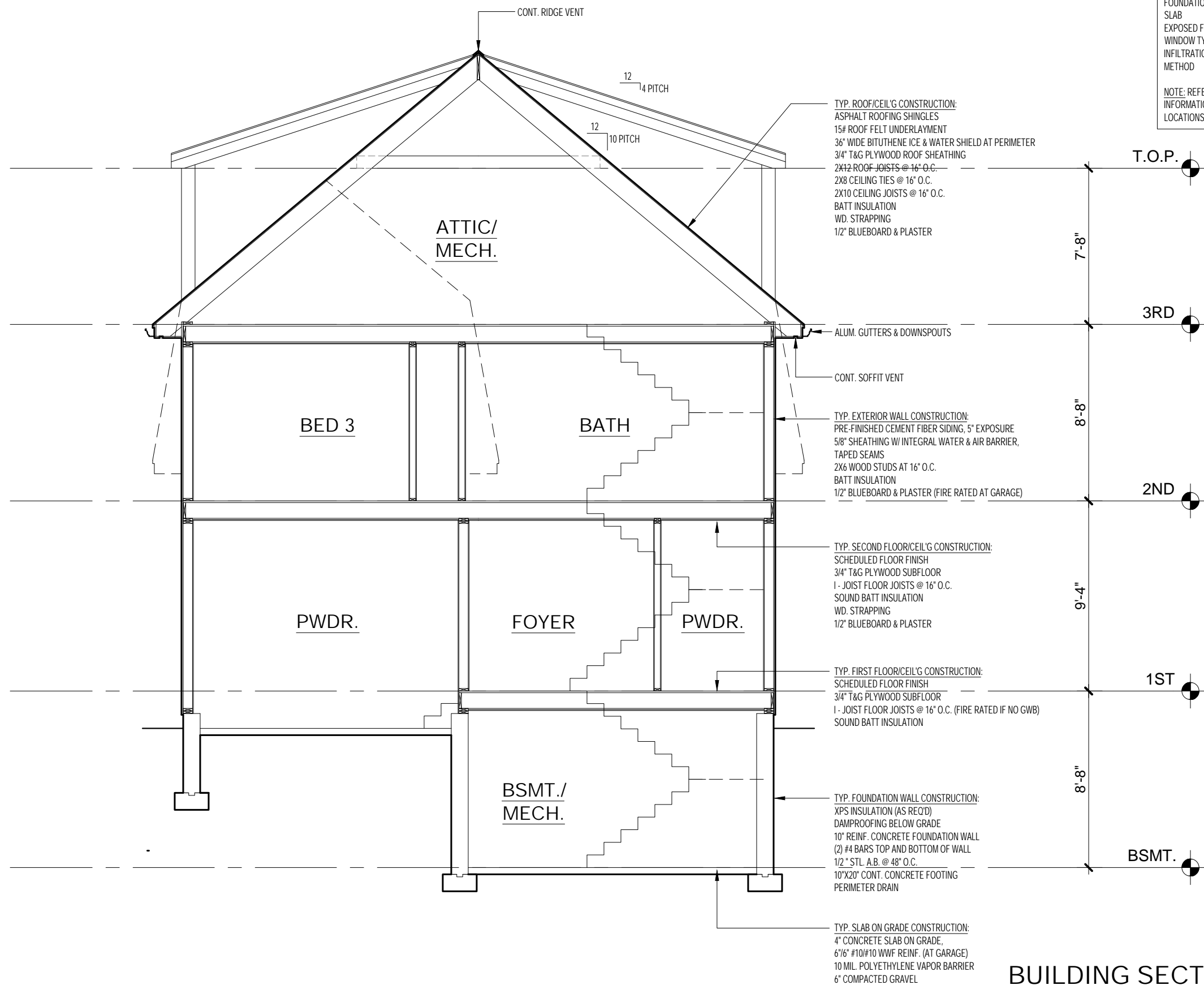
Number	Description	Date
0	PERMIT	03/03
	DRAWINGS	2022

Scale: 3/16" = 1'-0"

ROOF  
 FRAMING

ROOF FRAMING PLAN  
 SCALE: 3/16" = 1'-0"

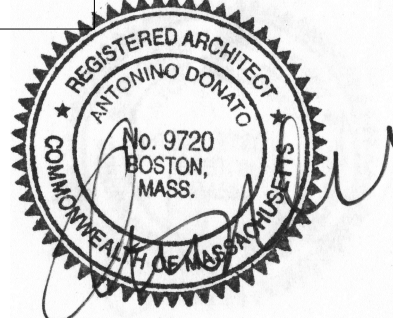
A-13



INSULATION (SEE HERS RATING):

CEILING FLAT	R-49.0
SEALED ATTIC	R-10
VAULTED CEILING	R-49
ABOVE GRADE WALLS	R-21.0
FOUNDATION WALLS	R-0.0
SLAB	NONE
EXPOSED FLOOR	R-30.0
WINDOW TYPE	U-VALUE 0.280, SHGC 0.260
INFILTRATION RATE	HTG 1086, CLG 1086 CFM50
METHOD	BLOWER DOOR TEST

NOTE: REFER TO THE HERS INDEX SPECIFICATIONS SUMMARY FOR INFORMATION REGARDING ALL INSULATION VALUES AND LOCATIONS NOT SPECIFICALLY SHOWN ON PLAN



**AD**  
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Scale: 3/16" = 1'-0"

BUILDING SECTION

**BUILDING SECTION A**  
SCALE: 3/16" = 1'-0"