

PROJECT:

BUILDING ENVELOPE RESTORATION

50 BEACON STREET, BOSTON, MA



CLIENT:

ARMORY ON THE COMMON CONDOMINIUM

50 BEACON STREET
BOSTON, MA

ARCHITECT:



350 GRANITE STREET, SUITE 1103, BRAINTREE, MA 02184
TEL. 617-773-8150 FAX 617-773-4902
www.wesslingarchitects.com

DRAWING LIST

SHEET NUMBER	DRAWING TITLE	BLC SUBMISSION - 01/27/22	DRAWING & SKETCHES ISSUED DURING CONSTRUCTION
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GENERAL

G-000	COVER SHEET	<input checked="" type="checkbox"/>	
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ARCHITECTURAL

A-101	ROOF PLAN	<input checked="" type="checkbox"/>	
A-201	SOUTH AND WEST ELEVATIONS	<input checked="" type="checkbox"/>	
A-202	NORTH AND EAST ELEVATIONS	<input checked="" type="checkbox"/>	
A-801	EXISTING CONDITIONS PHOTOGRAPHS	<input checked="" type="checkbox"/>	
A-802	EXISTING CONDITIONS PHOTOGRAPHS	<input checked="" type="checkbox"/>	
A-803	EXISTING CONDITIONS PHOTOGRAPHS	<input checked="" type="checkbox"/>	
A-804	EXISTING CONDITIONS PHOTOGRAPHS	<input checked="" type="checkbox"/>	

ISSUED FOR BOSTON LANDMARKS COMMISSION
BEACON HILL ARCHITECTURAL DISTRICT REVIEW 01/27/22

NOT FOR
CONSTRUCTION
PROFESSIONAL



2 SAMPLE IMAGES OF TREX COMPOSITE DECKING MATERIAL - PEBBLE GREY
N.T.S.

KEY NOTES		
TAG	CONDITION	REPAIR
1A	MISSING / BROKEN SLATE	REMOVE AND REPLACE MISSING AND BROKEN SLATE IN DESIGNATED AREAS OF THE ROOF.
1B	DAMAGED SLATE	NEW SLATE ROOF TO MATCH EXISTING.
2	EXISTING EPDM ROOF	REMOVE AND REPLACE WITH NEW EPDM ROOF.
3	DAMAGED METAL FLASHING	INSTALL NEW COPPER FLASHING WITH APPROPRIATE FASTENERS.
4	EXISTING WOOD DECK	REMOVE AND REPLACE WITH COMPOSITE MATERIAL - TREX COMPOSITE DECKING - 'PEBBLE GREY'.
5	EXISTING ROOF DRAIN	REMOVE AND REPLACE ROOF DRAINS.
6A	EXISTING GUTTER TO REMAIN	INSPECT AND REPAIR EXISTING GUTTERS.
6B	DAMAGED EXISTING GUTTER	NEW COPPER GUTTER AND FLASHING TO MATCH EXISTING.
7A	EXISTING DOWNSPOUT TO REMAIN	INSPECT AND REPAIR EXISTING DOWNSPOUTS AT AREAS OF GUTTERS TO REMAIN.
7B	EXISTING DOWNSPOUT LOCATION	INSTALL NEW DOWNSPOUTS IN DESIGNATED AREAS OF NEW GUTTERS.
8	EXISTING EPDM ROOF OVER WINDOW SURROUNDS / BAY WINDOWS	REMOVE EXISTING EPDM ROOF AND INSTALL NEW FLAT SEAM COPPER ROOF.
9	EXISTING GUARDRAIL	REPLACE IN KIND NEW GUARDRAIL TO MATCH EXISTING.
10	EXISTING SNOW RAIL	REMOVE EXISTING SNOW RAIL AND INSTALL NEW 3-RAIL BRONZE SNOW RAIL
11	NEW DOWNSPOUT	ADD SECOND DOWNSPOUT FOR ROOF DRAINAGE.

GENERAL NOTES	
1.	REMOVE AND REPLACE MISSING AND BROKEN SLATE IN DESIGNATED AREAS OF THE ROOF.
2.	REMOVE EXISTING EPDM ROOFING WITH ASSOCIATED FLASHINGS, NAILERS, ETC. DOWN TO ORIGINAL SUBSTRATE. INSTALL NEW FULLY ADHERED EPDM ROOFING WITH COPPER FLASHINGS.
3.	INSPECT AND REPAIR EXISTING GUTTERS. INSTALL NEW GUTTERS TO MATCH EXISTING PROFILE WHERE INDICATED. REPLACE ANY DETERIORATED GUTTER STRAPS IN-KIND.
4.	INSTALL NEW RED COPPER STEPPED COUNTER FLASHING AT ROOF TO WALL CONNECTIONS. SET IN SAW CUT REGLET TO MATCH EXISTING.
5.	NEW COPPER TO BE 20 OZ. RED COPPER TO MATCH EXISTING.
6.	REPLACE EXISTING WOOD DECK WITH NEW TREX COMPOSITE DECK MATERIAL. COLOR TO BE PEBBLE GREY.
7.	MODIFY / RAISE EXISTING EXHAUST VENTS, VENT PIPES, ELECTRICAL CONDUIT, ETC. AS NEEDED FOR INSTALLATION OF NEW ROOFING SYSTEMS.



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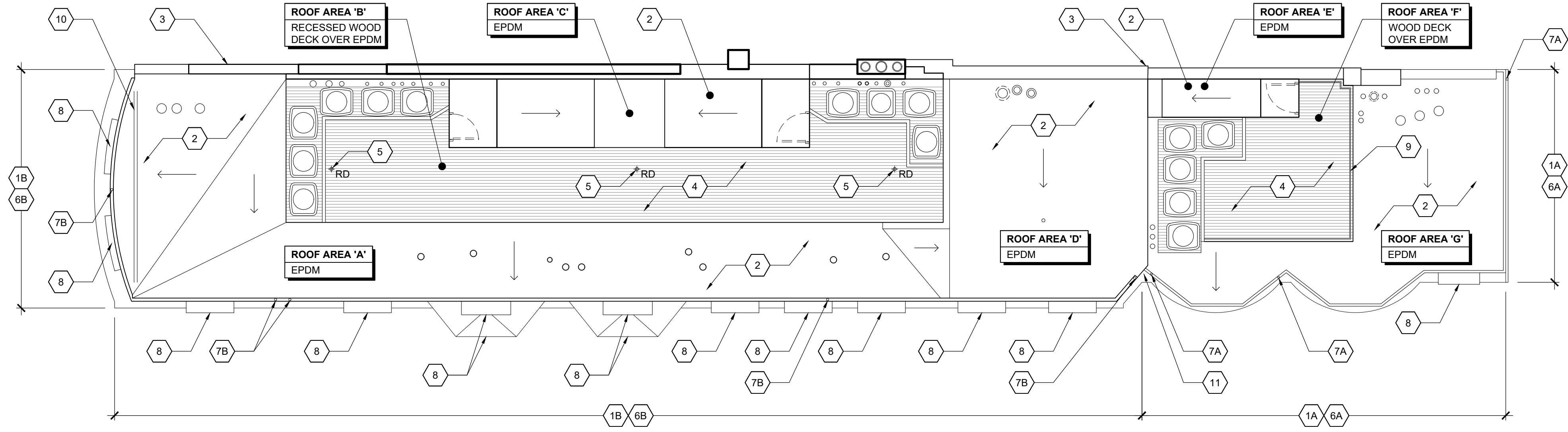
MARK	DATE	DESCRIPTION
	01-27-22	BLC SUBMISSION
ISSUE:		

PROJECT NO.:	21052
DRAWN BY:	LP
CHECKED BY:	SAW
DRAWING SCALE:	AS NOTED

SHEET TITLE:
ROOF PLAN

SHEET:
A-101

DO NOT SCALE DRAWING



1 ROOF PLAN
1/8"=1'-0"

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ISSUE:	DESCRIPTION

PROJECT NO.: 21052
DRAWN BY: LP
CHECKED BY: SAW
DRAWING SCALE: AS NOTED

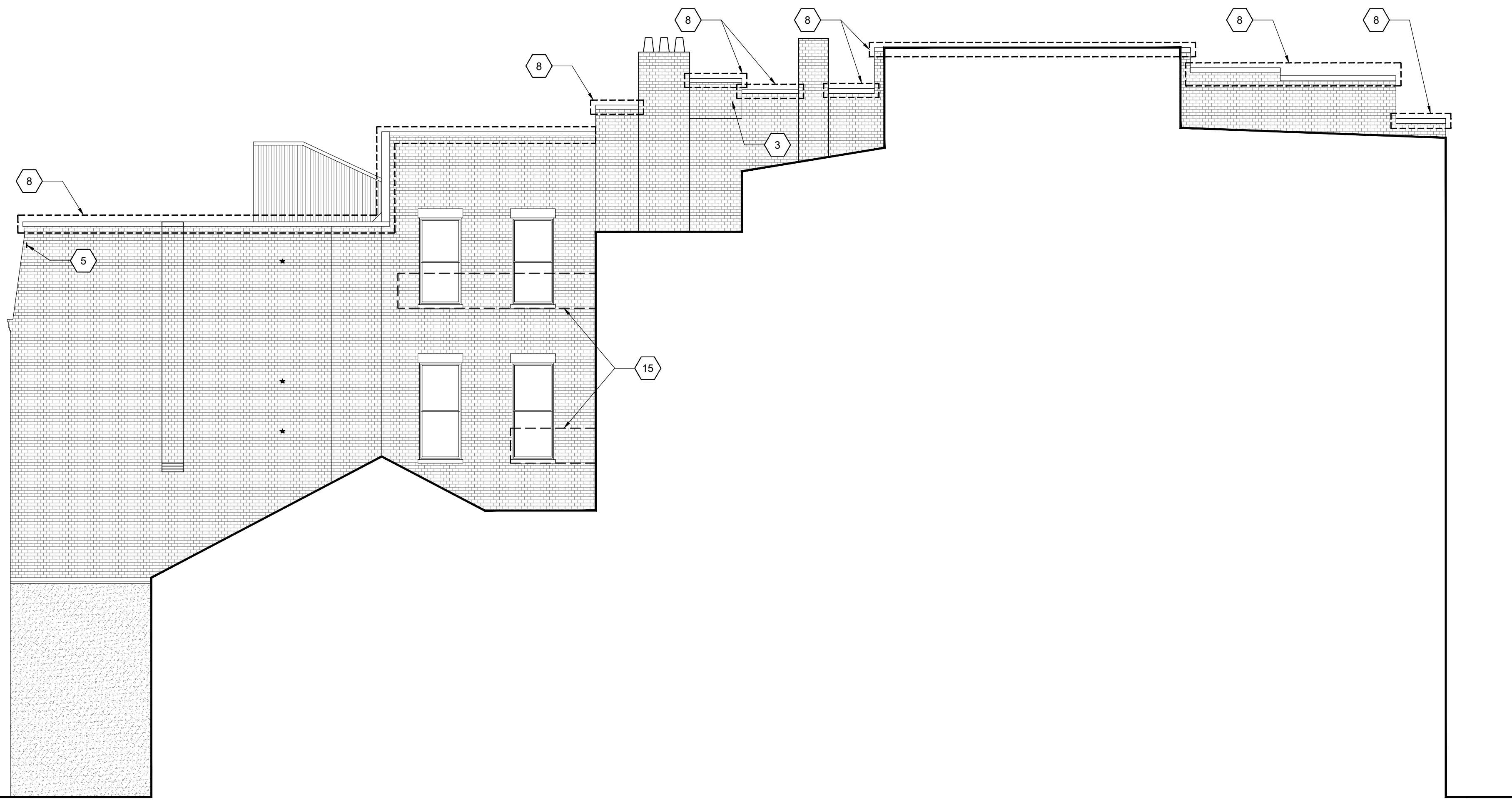
SOUTH AND WEST ELEVATIONS

SHEET:
A-201

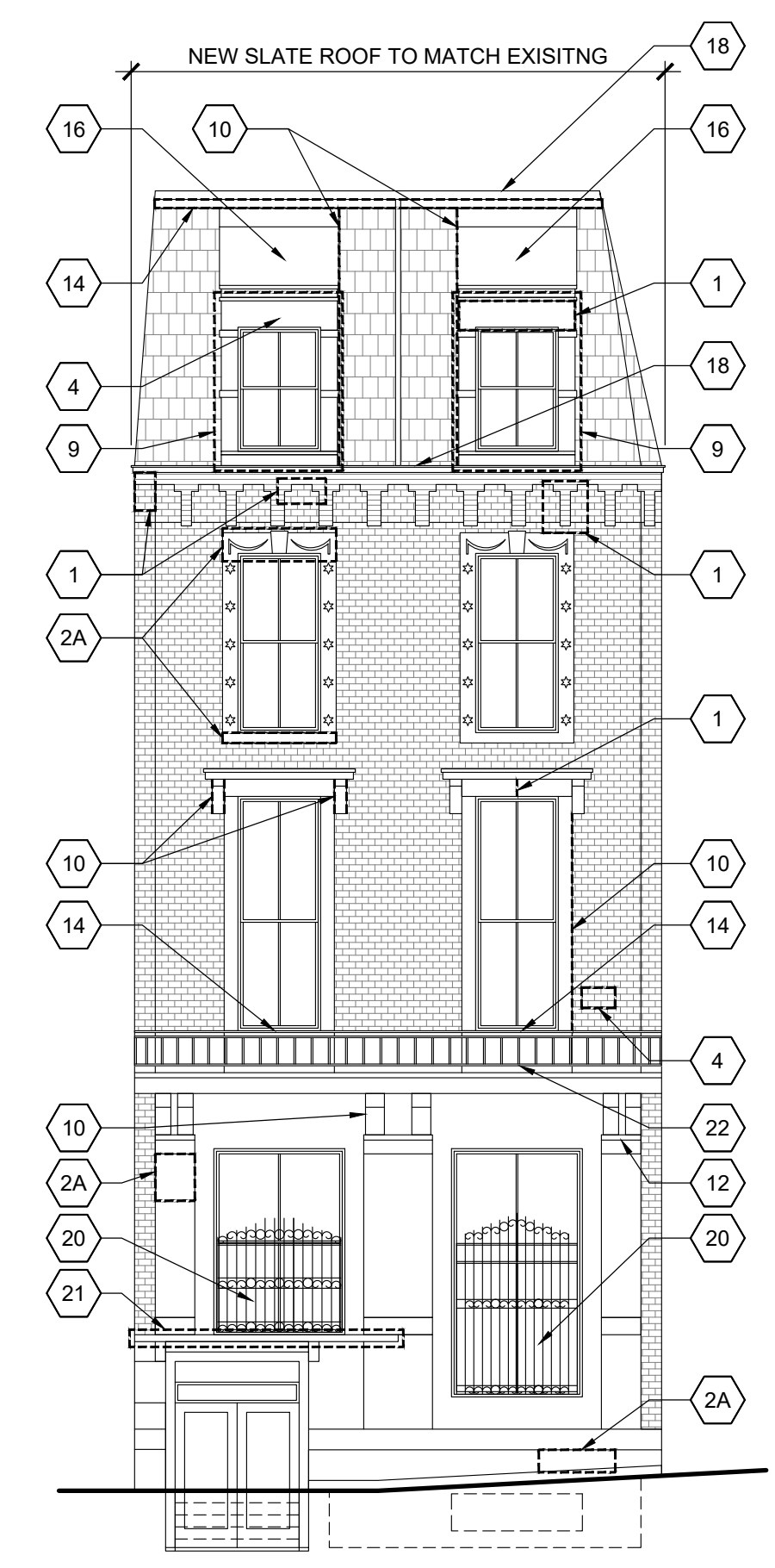
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KEY NOTES		
TAG	CONDITION	REPAIR
1	DETERIORATED MORTAR JOINTS	NEW MORTAR TO MATCH EXISTING ORIGINAL MORTAR IN COLOR, TEXTURE, STRENGTH, AND TOOLING.
2A	SPALLED / DETERIORATED / CRACKED STONE	FOR SURFACES DETERIORATED LESS THAN OR UP TO 1/2" INCH - REMOVE LOOSE MATERIAL AND ABRUPT EDGES. FOR DETERIORATION OVER 1/2", PREPARE REPAIR AREA TO HAVE SIMPLE GEOMETRY AND SQUARE SHOULDERS 1/2" DEEP MINIMUM. REPAIR WITH JAHN M70.
2B	SPALLED / DETERIORATED / CRACKED STONE (ORNAMENTAL STONE AT BASE WALL)	REMOVE DAMAGED STONE FACE AND INSTALL NEW STONE DUTCHMAN WITH MATCHING ORNAMENTAL CARVING.
3	STAINED BRICK / EFFLORESCENCE AT BRICK	CLEAN EXISTING BRICK MASONRY WITH JAHN LIGHT AND HEAVY DUTY CLEANERS AS APPROPRIATE.
4	DAMAGED / CRACKED / MISSING BRICK	REMOVE / REPLACE EXISTING BRICK MASONRY.
5	RUSTED METAL EMBEDDED IN BRICK	REMOVE RUSTED METAL. FILL IN EXISTING HOLE AT MASONRY WITH MATCHING BRICK.
6	SPALLED / CRACKED SILL OR HEADER	REPAIRS TO BE MADE WITH CONPROCO INJECTION GROUT OR APPROVED EQUAL.
7	RUSTED METAL / FAILED COATING AT DORMER	CLEAN AND REPAINT WITH RD ELASTOMETAL COATING.
8	DETERIORATED / DAMAGED FLASHING	INSTALL NEW COPPER FLASHING WITH APPROPRIATE FASTENERS.
9	FAILED COATING AT STONE / MASONRY	REMOVE EXISTING COATINGS AND PREVIOUS REPAIRS BACK TO ORIGINAL STONE MATERIAL. REPAIR AS REQUIRED IN NOTE #2A. REPAINT BRICK AT DORMERS, TYPICAL.
10	FAILED SEALANT JOINTS	REMOVE EXISTING SEALANT AND INSTALL NEW BACKER ROD AND SEALANT.
11	RUST STAINS AT STONE	CLEAN / REMOVE RUST STAIN WITH JAHN RUST REMOVER.
12	ENVIRONMENTAL STAINING AT STONE	CLEAN / REMOVE ENVIRONMENTAL STAINING WITH JAHN LIGH AND HEAVY DUTY CLEANERS AS APPROPRIATE.
13	DETERIORATED STONE FOUNDATION	REPOINT AREA OF STONE FOUNDATION.
14	ROTTED WOOD TRIM / SILL	WOOD REPAIRS TO BE PERFORMED WITH WOOD DUTCHMAN OR WOOD COMPONENT REPLACEMENT WITH THE SAME WOOD SPECIES WHEN POSSIBLE. REPAIRS TO BE PERFORMED TO MINIMIZE THE AMOUNT OF ORIGINAL MATERIAL BEING REMOVED. REPAINT, TYPICAL.
15	FIRE BALCONIES (NOT SHOWN FOR CLARITY)	REVIEW AND REPAIR TO BE PERFORMED UNDER DIRECTION OF FIRE ESCAPE CONSULTANT.
16	EXISTING EPDM ROOF OVER WINDOW SURROUNDS	NEW FLAT SEAM COPPER ROOF AND FLASHING AT DORMER WINDOWS, TYPICAL.
17	EXISTING EPDM ROOF OVER WINDOW BAY WINDOWS	NEW FLAT SEAM COPPER ROOF, FLASHING, AND GUTTERS, TYPICAL.
18	DAMAGED EXISTING GUTTER	NEW COPPER GUTTER AND FLASHING TO MATCH EXISTING.
19	EXISTING GUTTER TO REMAIN	INSPECT AND REPAIR EXISTING COPPER GUTTER AND FLASHING.
20	IRON WINDOW GRATE	REPAIR, REPAINT, AND FIX CLOSED.
21	ENTRANCE ROOF	REMOVE EXISTING COPPER FLASHING/ GUTTER AND ASPHALTIC MATERIAL. INSTALL NEW COPPER FLASHING/ GUTTER.
22	IRON RAILING	REPAIR AND REPAINT EXISTING IRON RAILING.
23	BAY WINDOW	CLEAN SURFACE AND REPLACE SEALANTS, TYPICAL.

GENERAL NOTES	
1.	NEW MORTAR TO MATCH EXISTING ORIGINAL MORTAR IN COLOR, TEXTURE, STRENGTH, AND TOOLING. PROVIDE MOCK-UP FOR ARCHITECT AND BOSTON LANDMARKS COMMISSION REVIEW AND APPROVAL.
2.	MASONRY CLEANING PRODUCTS TO BE SELECTED AND TESTED IN NON-VISIBLE LOCATIONS TO PROVIDE APPROPRIATE LEVEL OF CLEANING WITHOUT CAUSING ANY DAMAGE TO EXISTING MASONRY SURFACES. THE INTENT IS NOT TO RETURN THE MASONRY SURFACES TO A "LIKE-NEW" APPEARANCE, BUT TO REMOVE THE MOST NOTICEABLE CARBON, ENVIRONMENTAL DIRT, AND WATER STAINING. CLEANING SAMPLES TO BE REVIEWED WITH BOSTON LANDMARKS COMMISSION PRIOR TO PROCEEDING WITH WORK.
3.	FOR STONE MASONRY SURFACES DETERIORATED LESS THAN OR UP TO 1/2" INCH - REMOVE LOOSE MATERIAL AND ABRUPT EDGES. FOR DETERIORATION OVER 1/2", PREPARE REPAIR AREA TO HAVE SIMPLE GEOMETRY AND SQUARE SHOULDERS 1/2" DEEP MINIMUM. REPAIR WITH JAHN M70 REPAIR MORTAR TO MATCH STONE PROPERTIES.
4.	WOOD REPAIRS TO BE PERFORMED WITH WOOD DUTCHMAN OR WOOD COMPONENT REPLACEMENT WITH THE SAME WOOD SPECIES WHEN POSSIBLE. REPAIRS TO BE PERFORMED TO MINIMIZE THE AMOUNT OF ORIGINAL MATERIAL BEING REMOVED.
5.	REPAINT ALL WOOD DOORS, WINDOWS, AND TRIM. NEW PAINT TO MATCH EXISTING PAINT COLOR AND SHEEN.
6.	NEW COPPER TO BE 20 OZ. RED COPPER TO MATCH EXISTING.
7.	ALL STONE FACADES TO BE CLEANED. REMOVE ALL ENVIRONMENTAL AND RUST STAINING.
8.	REMOVE SEALANT FROM STONE JOINTS AND REPLACE WITH PROPER MORTAR.
9.	SEAL ALL CONDUITS/ WIRES/ PIPES/ OPENINGS THROUGH EXTERIOR WALL AND CONCRETE FOUNDATION.
10.	ALL WINDOW SEALANT PERIMETER JOINTS TO BE REMOVED AND REPLACED.
11.	ALL METAL ANCHORS TO REMAIN TO BE CLEANED AND PAINTED WITH RD ELASTOMETAL.



2 WEST ELEVATION
1/8"=1'-0"



1 SOUTH ELEVATION - BEACON STREET
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PROJECT NO.:	21052
DRAWN BY:	LP
CHECKED BY:	SAW
DRAWING SCALE:	AS NOTED

SHEET TITLE:

NORTH AND EAST ELEVATIONS

SHEET:

A-202

DO NOT SCALE DRAWING



2 EAST ELEVATION - SPRUCE STREET
1/8"=1'-0"

1 NORTH ELEVATION - BRANCH STREET
1/8"=1'-0"

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