

January 14, 2022

Nicholas Moreno
Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Re: Constellation Wharf, Pier 7 Underdeck Repairs – NOI Application

Dear Mr. Moreno,

On behalf of our Client, The Lundgren Management Group, Inc, enclosed please find a Notice of Intent application and accompanying documents for the proposed Constellation Wharf Underdeck Repairs project. The project location is 1 Pier 7, Charlestown, MA on Boston Harbor. The project consists of repairing the existing concrete pier by repairing the spalling on pile caps and underdeck. The purpose is to maintain the pier to allow for the continued structural support of the buildings above.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at nilsona@childseng.com.

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Andrew R. Nilson, P.E.
Project Manager

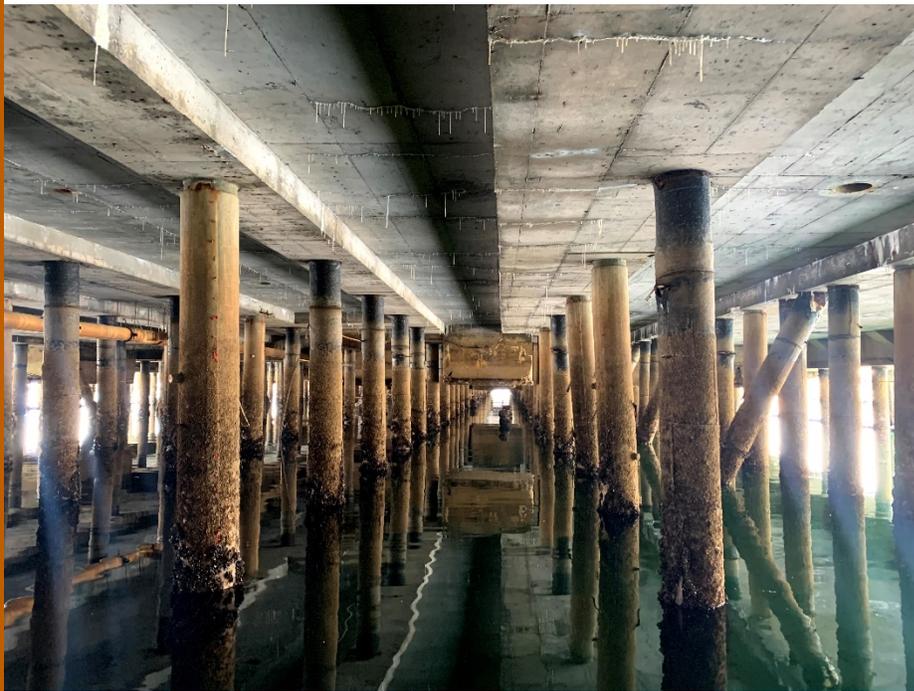
cc:
DEP Northeast Regional Office
Division of Marine Fisheries

Constellation Wharf, Pier 7

Charlestown, Massachusetts

Notice of Intent

January 5, 2022



Submitted to:

Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Applicant:

The Lundgren Management Group, Inc.
121 Captains Row
Chelsea, MA 02150

Applicant's Representative:



34 William Way
Bellingham, MA 02019
(508) 966 9092
childseng.com

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Constellation Wharf Condominium Association
Pier 7, Ninth Street
Charlestown, MA 02129

January 11, 2022

RE: Confirmation of Management Agent Representation

To whom it May concern:

Please be informed that under the direction of the Board of Managers, Property Manager John O'Neil of the Lundgren Management Group is authorized to sign agreements and forms on behalf of the Constellation Wharf Condominium Association as directed by the Board of Managers.

Sincerely,

A handwritten signature in black ink, appearing to read "Gerald H. Angoff", with a long, sweeping underline.

Board of Manager President
Gerald H. Angoff, MD MBA
38 Pier 7
Charlestown, MA 02129



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Charlestown
City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>1 Pier 7</u>	<u>Charlestown</u>	<u>02129</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>2047</u>	<u>42.37400N</u>	<u>71.04964W</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>3516</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>John</u>	<u>O'Neil</u>	
a. First Name	b. Last Name	
<u>The Lundgren Management Group, Inc.</u>		
c. Organization		
<u>121 Captains Row</u>		
d. Street Address		
<u>Chelsea</u>	<u>MA</u>	<u>02150</u>
e. City/Town	f. State	g. Zip Code
<u>617-887-3333</u>	<u>john@lundgrenmgmt.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u>Constellation Wharf Condominium Administration</u>		
c. Organization		
<u>1 Pier 7</u>		
d. Street Address		
<u>Charlestown</u>	<u>MA</u>	<u>02129</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Andrew</u>	<u>Nilson</u>	
a. First Name	b. Last Name	
<u>Childs Engineering</u>		
c. Company		
<u>34 Williams Way</u>		
d. Street Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>(508) 966-9092</u>	<u>nilsona@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u></u>	<u>\$1677.50</u>	<u>\$4505.00</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

See Attachment A - Proposed Project and Resource Area Impacts and Mitigations

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

SUFFOLK

a. County

12694

c. Book

b. Certificate # (if registered land)

272

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
----------------------	-------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	4100	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

_____	_____
a. square feet of BVW	b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____	_____
a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 2021 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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 Bureau of Resource Protection - Wetlands
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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
 Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
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Provided by MassDEP:
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Charlestown
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

CONSTELLATION WHARF UNDERDECK REPAIRS 9-10-21

a. Plan Title

Andrew Nilson, P.E.

Andrew Nilson, P.E.

b. Prepared By

c. Signed and Stamped by

10-13-21

As Noted

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

10272

2. Municipal Check Number

01/03/2022

3. Check date

10270

4. State Check Number

01/03/2022

5. Check date

Childs Engineering

6. Payor name on check: First Name

7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

<u>Constellation Wharf, Pier 7</u>	<u>Charlestown</u>
a. Street Address	b. City/Town
<u></u>	<u>\$1677.50</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>John</u>	<u>O'Neil</u>	
a. First Name	b. Last Name	
<u>The Lundgren Management Group, Inc.</u>		
c. Organization		
<u>121 Captains Row</u>		
d. Mailing Address		
<u>Chelsea</u>	<u>MA</u>	<u>02150</u>
e. City/Town	f. State	g. Zip Code
<u>617-887-3333</u>	<u>john@lundgrenmgmt.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u>Constellation Wharf Condominium Association</u>		
c. Organization		
<u>1 Pier 7</u>		
d. Mailing Address		
<u>Charlestown</u>	<u>MA</u>	<u>02129</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Work on Docks, Piers, Revetments, Dikes, etc. (coastal or inland)	815 LF	\$4.00	\$3380
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	\$3380.00
State share of filing Fee:	\$1677.50
City/Town share of filing Fee:	\$4505.00

a. Total Fee from Step 5
 b. 1/2 Total Fee **less** \$12.50
 c. 1/2 Total Fee **plus** \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581-3336
508.792.7270



A. GENERAL INFORMATION

1. Project Location

<u>1 Pier 7</u>	<u>Charlestown</u>	<u>02129</u>
a. Street Address	b. City/Town	c. Zip Code
<u>2047</u>	<u>3516</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u>John</u>	<u>O'Neil</u>	<u>The Lundgren Management Group, Inc.</u>
a. First Name	b. Last Name	c. Company
<u>121 Captains Row</u>		
d. Mailing Address		
<u>Chelsea</u>	<u>MA</u>	<u>02150</u>
e. City/Town	f. State	g. Zip Code
<u>617-887-3333</u>		<u>john@lundgrenmgmt.com</u>
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

		<u>Constellation Wharf Condominium Administration</u>
a. First Name	b. Last Name	c. Company
<u>1 Pier 7</u>		
d. Mailing Address		
<u>Charlestown</u>	<u>MA</u>	<u>02129</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Andrew</u>	<u>Nilson</u>	<u>Childs Engineering</u>
a. First Name	b. Last Name	c. Company
<u>34 William Way</u>		
d. Mailing Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>(508) 966-9092</u>		<u>nilsona @childseng.com</u>
h. Phone Number	i. Fax Number	j. Email address



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

The other permits required are a WPA Form 3 Notice of Intent filed with the MA DEP.



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area _____ percentage/acreage
- (2) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
 - Applying for a Low Impact Development (LID) site design credits
 - A portion of the site constitutes redevelopment
 - Proprietary BMPs are included in the Stormwater Management System
 - No. Check below & include a narrative as to why the project is exempt
 - Single-family house
 - Emergency road repair
 - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

Date

Item/Account	Description	Project	
Permit Fees:Fees	permits, filings, recordings, etc.	2954-21.01 - Constellation W...	\$
10100 - Operating Checking			\$1,677.50

SF5001NLHG-1

TO REORDER, CALL YOUR LOCAL SAFEGUARD DISTRIBUTOR AT 800-992-7277

CRX76K0010000

B20SF001073



F2B721 STKDK07 01/24/2020 10:21 -232- PO

Item/Account	Description	Project	
Permit Fees:Fees	permits, filings, recordings, etc.	2954-21.01 - Constellation W...	\$
10100 - Operating Checking			\$4,505.00

SF5001NLHG-1

TO REORDER, CALL YOUR LOCAL SAFEGUARD DISTRIBUTOR AT 800-992-7277

CRX76K0010000

B20SF001073



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APPENDIX A

Project Description

A. General Information

6. *General Project Description:*

The proposed project at Constellation Wharf on Pier 7 in Charlestown, MA includes repairing the existing concrete pier superstructure located on the underside of the pier. The pier was constructed in the 1950's by the U.S. Navy and used as a munitions loading pier until the 1980's when it was converted to condominiums. The concrete pier deck is supported by concrete pile caps and beams which are all supported by concrete filled steel pipe piles. The deficiencies that require repairs were located through a program to conduct periodic inspections of the pier structure. The most recent inspection effort was conducted by Childs Engineering and included an underwater and above water inspection of the underside of the pier in spring 2021. The results of this inspection discussed maintenance required in the near future and items for the Condo Association to consider for long term upgrades and capital planning. This inspection program is a continuation from a project which took place in 2014 and 2015 to provide repairs and preventative maintenance to the pile support structure. This previous project was permitted under DEP File No. 006-1353 and included installation of support pile encasements and sacrificial anode cathodic protection.

This proposed project includes repairs to existing open and closed corrosion spalling on the underside of the Pier. The spalling is located on the underdeck, pile caps, and beams and ranges in size from 1 square foot to 164 square feet. The total spalling square footage is approximately 4,100 square feet underneath the pier. The concrete spalling will be repaired using standard concrete restoration methods which includes chipping back the old concrete until sound concrete is reached, replacing the existing steel reinforcing if required, and reforming and adding new concrete. The repair details can be seen in the Plans on Sheet S-03 in the Details labeled "Pile Cap Repair-Type A", "Pile Cap Repair-Type B", and "Underdeck Repair Section". The work will be done in three phases denoted by priority level.

Overall, the purpose of the project is to maintain the existing pier structure so it can continue to support the condominium complex above. The proposed alternatives to repairing the pier are to not repair it and continue to let it deteriorate. This option is not viable because it could potentially endanger the people living above it and have more costly repairs down the line. This option also poses a greater environmental risk by letting the deteriorating pier structure fall into the fall. Another alternative would be to replace the pier. This option is not feasible because it would displace the people living above it, it would be a greater financial and environmental undertaking. Repairing the pier reduces the cost, and the environmental impact all while maintaining the pier structure.

A contractor has not been selected as of this application submittal date, but the project management team will ensure that a qualified marine contractor with extensive experience with similar projects is selected. The underdeck is expected to be accessed through temporary staging on floating docks underneath the pier. The staging will need to be adjusted frequently to accommodate for the large tide fluctuation in the harbor. The timeline as of now is to complete the priority work in 2022. Any work that cannot be accomplished during that time

and within the budgets of the Association will be deferred to a later date. The engineering team has prioritized the repairs ranking them from 1 to 3, where priority 1 repairs should be conducted within 2 to 3 years, priority 2 should be completed within 5 years, and priority 3 should be completed within 10 years. The contractor will be required to abide by all necessary local, state, and federal construction regulations as well as all conditions applied to the project by the Order of Conditions. They will also be held to all necessary safety regulations and navigational regulations set forth by the U.S. Coast Guard. There is a "Summary of Work" document attached that includes a summary of the work as well as a condition proposed by the Engineer. The summary of work includes a cost for the Priority 1 repairs, but all three priority levels are included in this permit application. Note that all the debris created by the repairs will be captured and disposed of.

The contractor will accomplish the proposed work from a work barge alongside of and at the end of the pier to provide staging area for workers and material storage. The contractor will access the job area using wooden or metal floats placed under the pier. It is possible that some members of the timber fender system may need to be temporarily removed to allow for more access. Due to the tidal nature of the project, the contractor's work will be limited by the water level and allowable safe access under the pier. The floats will provide a working platform for the contractor but also a platform to catch all debris. The floats will be installed under the project work areas to ensure all demolition materials will be captured for disposal. The contractor will remove all demolition material by scooping it up and placing it in small buckets, the buckets will be hand carried out from under the pier onto an adjacent staging barge and disposed of in a dumpster. The barge carrying the dumpster will be towed to a work yard for offloading on an as needed basis. The demolition will be conducted using electric or pneumatic powered tools, given the overhead nature of the project, these tools will need to be smaller and therefore quieter.

It is expected that the contractor will capture all materials removed during demolition using the floating barges installed under the pier. An alternative to floating barges will be for the contractor to hang staging from the concrete structures or utilizing the support piles. Both options will ensure that the demolition material be captured for removal. The project team is also aware that the pier is located in a relatively congested and active marine area during warmer months and it is therefor also expected that the selected contractor ensure that all construction activities including staging barge be located to minimize adverse impacts to the surrounding business.

The engineering team has utilized all available best management practices to ensure that the project meets the projected life cycle and will not unnecessarily change or impede navigation to the surrounding area or impacts to the resource areas. The goal of the project is to repair the concrete portions of the pier that have become compromised over the decades and have possibly seen a reduction in capacity. Many of the deficiencies found requiring repairs are due to poor protection to the reinforcing steel or exposure to chlorides and weather over decades of use. The design team has developed repairs that, if executed sufficiently, will increase the life cycle of the pier by providing additional protection to the reinforcing steel.

Statement on Climate Resiliency

In consideration of climate change and sea level rise. This project will help improve the pier's ability to withstand the increase in storm intensity and frequency by helping rehabilitate the deck and pile caps and prevent further deterioration that will only be exacerbated by sea level rise and storms. The pier is already established and has enough height in its current construction to be able to withstand some sea level rise. The original elevation of the concrete pier deck, as constructed by the Navy in the 1950's is +16.0' MLW, the annual 1% storm event as determined by FEMA is +16.16' MLW. The first-floor elevation of the condominiums is roughly +18.0' MLW or higher.

Raising the elevation of the pier and condominium complex above it is not a reasonable undertaking. The scope of the repairs is relatively minor in regards to the costs associated with elevating the pier. The scope of the repair is also isolated to the underdeck so changing other aspects of the pier was not considered during this project. In the future, as repairs on other areas of the pier become required, other alternatives can be examined.

This project will also not alter the pier's ability to manage stormwater, runoff, or flooding. The repairs are confined to the underside of the pier and will not alter the pier's ability to drain water off of or through it.

The project being mainly below the pier deck means there will be no adverse heat effects and will not alter the ground cover or the water temperature.

While many options for confronting sea level rise are available, few are viable or affordable. The Association is fully aware of the potential for future impacts to their structure based on sea level rise and have studied the plans and data developed by the Climate Ready Charlestown program. The Association has committed to engage in a study that helps outline climate resiliency risks of the current pier structure, the impacts that may be caused by sea level rise, and potential remediation for these impacts. This study is in the beginning planning phases and as of the submittal of this application, has not reached any conclusions and is generally in a different timescale as this proposed repair project. The overall process is expected to take many months to years to reach a full conclusion.

B. Buffer Zone and Resource Area Impacts (temporary & permanent)

3. Coastal Resource Areas:

1.0 Land Subject to Coastal Storm Flowage

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the city of Boston FEMA Community Panel Map Number 25025C0081J was reviewed. As per review of the FIRM map, the project is located in Zone VE (EL. 11.0 feet in reference to NAVD88) of this resource area.

Land Subject to Coastal Storm Flowage is defined in 310 CMR 10.04 as the “land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater”. The project falls into the VE Zone, meaning the elevation of water will be, as noted on the FEMA map, EL. 11.0 in reference to NAVD88.

The pier deck falls above this elevation, however some of the repairs will be done close to or within this elevation. The project does not alter or affect, in any way, the ability of the seawall, or waterfront area, to control coastal flooding or impede its ability to prevent coastal storm damage. The CZM Coastal Manual states a structure that “may deflect, reflect, and redirect storm waves, affecting adjacent properties, landward areas, and the subject property with wave energy, overwash, and flood waters”. Our project does not change the pier structure’s fundamental construction.

C. Other Applicable Standards and Requirements

7. *Is this project subject to provisions of the MADEP Stormwater Management Standards?*

This project is not subject to the provisions of the MADEP Stormwater Management Standards. The Standards are not applicable to this project since no stormwater is generated and the project will not alter or have any impact to any resource area.

D. Additional Information

1. *USGS Map is included in Appendices.*
2. *A site plan with proposed activities is included in the submitted drawing set.*
3. *Method for BVM:*

BVM and other resource area boundary delineations were identified by visual observation.

4. *Plan Information:*

<u>Plan Title</u>	<u>Date</u>
G-01 Title Sheet	2021
G-02 Notes	2021
S-01 Underdeck Condition Plan	2021
S-02 Underdeck Condition Plan	2021
S-03 Sections and Details	2021

SUMMARY OF WORK & ESTIMATES

SCOPE OF WORK

This summary of work includes the broad scope necessary to carry out repairs to the concrete underdeck of Constellation Wharf, formerly known as Pier 7 in the Charlestown Navy Yard on the Boston Harbor. The goal of this document and the accompanying plans is to outline the scope of work and provide clarity to aid in planning the future capital expenses required to conduct the recommended repairs. All recommended repairs are based on the Waterfront Facilities Inspection report completed by Childs Engineering in June 2021. The accompanying plans are not intended to be utilized for final design or construction purposes.

The required work to be completed at Constellation Wharf shall include but is not necessarily limited to the following work and as shown on the accompanying plans:

1. Provide all necessary staging and equipment to conduct the work discussed herein.
2. Provide temporary staging on floats for additional utility trades whose scope is not discussed in this document. The staging shall be provided for an estimated time period of 4 weeks and shall be maintained during all tide cycles by the Contractor. The standard hours of work operation are anticipated for the additional trades.
3. Conduct the concrete pile cap Type A and Type B spall repairs outlined in the accompanying plans.
4. Conduct the concrete underdeck spall repairs outlined in the accompanying plans.
5. Provide basic services to satisfy conditions required by local permitting agencies including a debris boom and siltation curtain, DEP project sign, and equipment required to catch and dispose of all project waste. Currently an Order of Conditions has not been obtained for this project, but typical conditions are expected.

PROJECT LOCATION

Constellation Wharf, Pier 7, Charlestown, MA, Boston Harbor – [Project Location Map Link](#)

STAGING OF WORK

- A. The project site is subject to tidal fluctuation as defined on the plans. Access during high tides is limited or prohibited. The Contract shall provide all necessary staging to access the repair areas as required. No damage to the existing structure due to staging left in place is permitted and it is expected that the Contractor will provide full-time labor to handle all staging maintenance.
- B. Provide underdeck staging for additional trades to conduct utility repairs on the underside of the pier. The trades will require the same access to the underdeck

area that the pile cap and underdeck repairs require. It is estimated that the trades will need 4 weeks of staging use to complete their tasks. During this time, the Contractor will provide all labor necessary to maintain the staging during tidal fluctuations and location moves.

HOURS OF WORK

The Contractor's regular work hours shall be considered Monday through Friday 7:30 A.M. through 5:00 P.M. with an allowable quiet start. Due to the tidal nature of this work, it is anticipated that work may be required to be conducted outside normal work hours to complete it in a timely manner. This contingency is based on impact to tenants and not included in this project estimate.

RESTRICTIONS AND DISTURBANCES

- A. Work and movement of personnel and equipment shall be coordinated to avoid disturbance or interference with the Owner, tenant operations, or pedestrians utilizing the Harborwalk public space.
- B. Any material and equipment required for construction shall not be stored on the Owner's property without prior authorization.
- C. The Contractor shall maintain and protect all existing structures and utilities within the general area of the work limits.
- D. The Contractor shall be responsible for all temporary facilities and controls required for the successful execution of the work including all services found necessary for the Contractor's construction operations.

DEBRIS AND WASTE

- A. The Contractor shall be responsible for the proper disposal of all waste created by the project and shall conform to all existing laws, ordinances, regulations, orders, and decrees pertaining to the disposal of project materials.
- B. Surplus materials and equipment from the project shall be transported, stored, or disposed of by the Contractor. All debris and waste material generated by the work shall become the property of the Contractor and shall be immediately removed from the site and legally disposed of. The Contractor shall be responsible for arranging an off-site disposal area.

WORK EXECUTION

- A. Many of the defects outlined in the plans are due to improper construction techniques such as lack of reinforcing steel cover. The repair details outlined in the accompany plans are intended to provide the Owner with repairs that improve

upon the original construction of the pier. These designs are preliminary in nature and are subject to further scrutiny on the part of the Engineer. Should the Contractor disagree with any repair details or methods, suggestions can be submitted to the Owner and Engineer in an effort to produce the best possible product.

- B. All standard construction submittals are expected to be required for this project including but not limited to product data sheets, manufacturer’s recommended preparation and installation techniques, material sources, and schedules.

CONSTRUCTION DOCUMENTATION

- A. It is anticipated that all typical construction documentation will be required on the part of the Contractor including all documents necessary to satisfy the local, state, and federal permits and of the construction specifications.
- B. Preconstruction submittals shall be submitted to the Owner and Engineer prior to mobilization to the site and are required to comply with local permitting and the project Order of Conditions. The required submittals are estimated to include the following:
 - a. Mass DEP project sign
 - b. Spill Management Plan
 - c. List of responsible people for project compliance
 - d. Acknowledgement of understanding of project plans, specifications, and Order of Conditions
 - e. Construction material and equipment staging plan
 - f. Daily log summarizing work
 - g. Project approach and narrative discussing how the work will be completed including a brief discussion of the materials being used and methods or machines used to install them
 - h. Project schedule including sequencing.

COST ESTIMATING

For the purposes of obtaining future budgetary information, please complete the following table indicating the cost to perform each scope of work item. Please account for all work items outlined in this document include documentation management. Deficiencies have been broken down by repair type and priority. Repairs given higher priority should be conducted in the near future and are larger in scale or affect larger portions of the structure. Lower priority repairs are smaller defects or do not provide the same operational capability impact as the higher priority repairs. Refer to the accompanying plans for differing repair types and locations of repairs.

Repair types (A, B, Underdeck) dictate the repair method while repair priority (1, 2, 3) dictates the urgency of the repair. It is assumed that the priority 1 repairs will carry the same relative repair type cost as priority 2 and 3.

ITEM NO.	DESCRIPTION OF WORK AND UNIT PRICES WRITTEN	UNIT PRICE	ESTIMATE D QUANTITY	UNIT	LUMP SUM
1	Mobilization Provide all labor, materials, and transportation necessary to mobilize to the job site. Estimate shall be lump sum.	\$75,000	1	LS	\$75,000
2	Staging and Maintenance Provide temporary staging for additional trades to perform underdeck work for the estimated time frame of 4 weeks. The Contractor shall provide all labor necessary to maintain the underdeck staging throughout the 4-week period. Estimate shall be lump sum.	\$35,000	1	LS	\$35,000
3	Priority 1: Type A Concrete Pile Cap Repairs Conduct Type A repairs to the concrete pile cap as shown on the accompanying plans. Estimate shall be per square foot repaired.	\$330	56	SF	\$18,480
4	Priority 1: Type B Concrete Pile Cap Repairs Conduct Type B repairs to the concrete pile cap as shown on the accompanying plans. Estimate shall be per square foot repaired.	\$295	1443	SF	\$425,685
5	Priority 1: Concrete Underdeck Repairs Conduct repairs to the concrete underdeck as shown on the accompanying plans. Estimate shall be per square foot repaired.	\$230	135	SF	\$31,050
6	Priority 2: Type A Concrete Pile Cap Repairs Conduct Type A repairs to the concrete pile cap as shown on the accompanying plans.		41	SF	

ITEM NO.	DESCRIPTION OF WORK AND UNIT PRICES WRITTEN	UNIT PRICE	ESTIMATE D QUANTITY	UNIT	LUMP SUM
	Estimate shall be per square foot repaired.				
7	Priority 2: Type B Concrete Pile Cap Repairs Conduct Type B repairs to the concrete pile cap as shown on the accompanying plans. Estimate shall be per square foot repaired.		1702	SF	
8	Priority 2: Concrete Underdeck Repairs Conduct repairs to the concrete underdeck as shown on the accompanying plans. Estimate shall be per square foot repaired.		118	SF	
9	Priority 3: Type A Concrete Pile Cap Repairs Conduct Type A repairs to the concrete pile cap as shown on the accompanying plans. Estimate shall be per square foot repaired.		23	SF	
10	Priority 3: Type B Concrete Pile Cap Repairs Conduct Type B repairs to the concrete pile cap as shown on the accompanying plans. Estimate shall be per square foot repaired.		99	SF	
11	Priority 3: Concrete Underdeck Repairs Conduct repairs to the concrete underdeck as shown on the accompanying plans. Estimate shall be per square foot repaired.		456	SF	

Subtotal of Construction Costs: \$ _____

END OF SECTION

APPENDIX C

Project Plans

National Flood Hazard Layer FIRMette



71°3'21"W 42°22'42"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

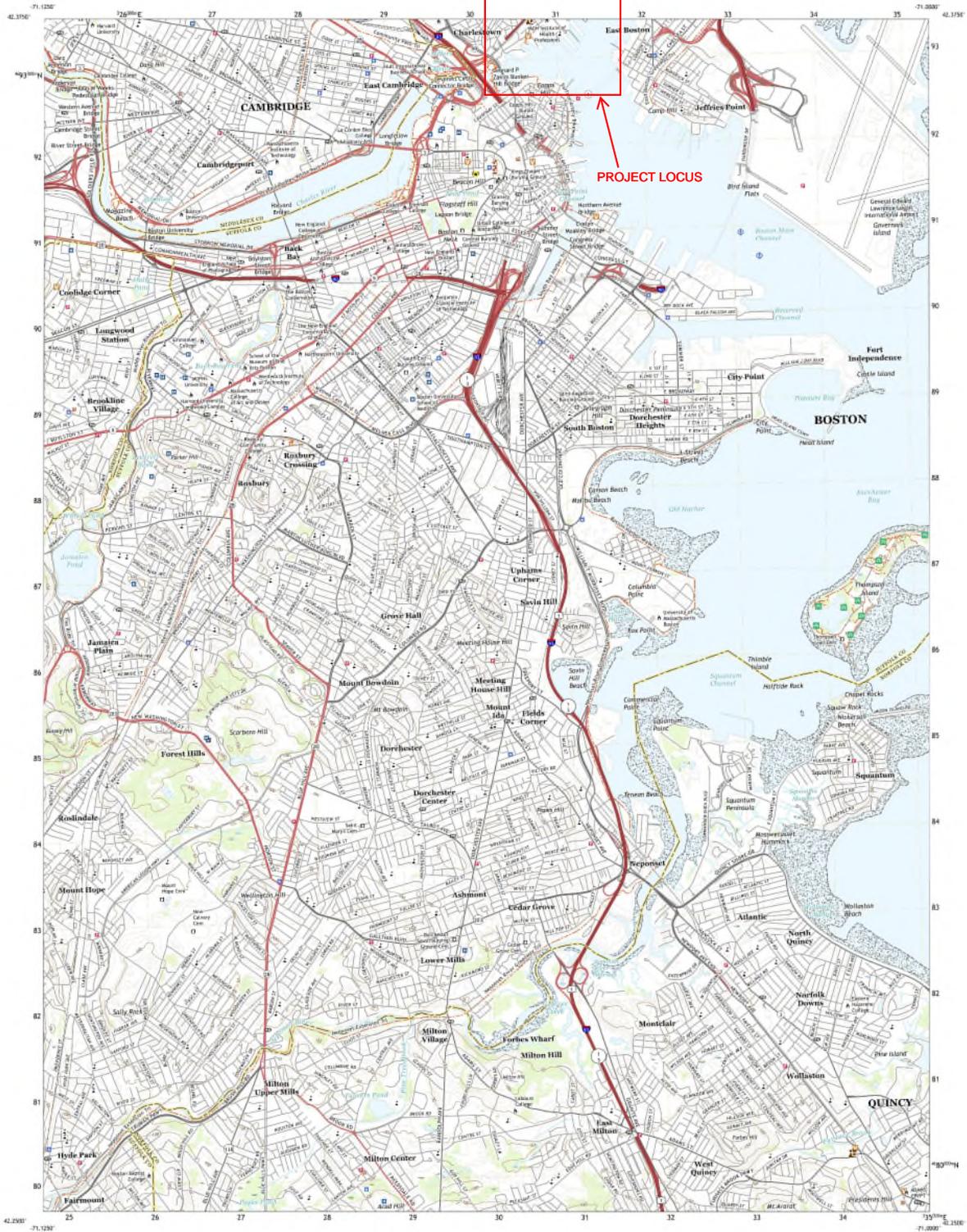
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

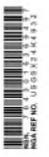
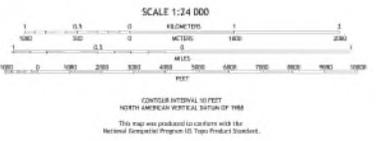
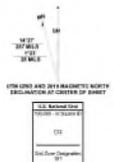
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

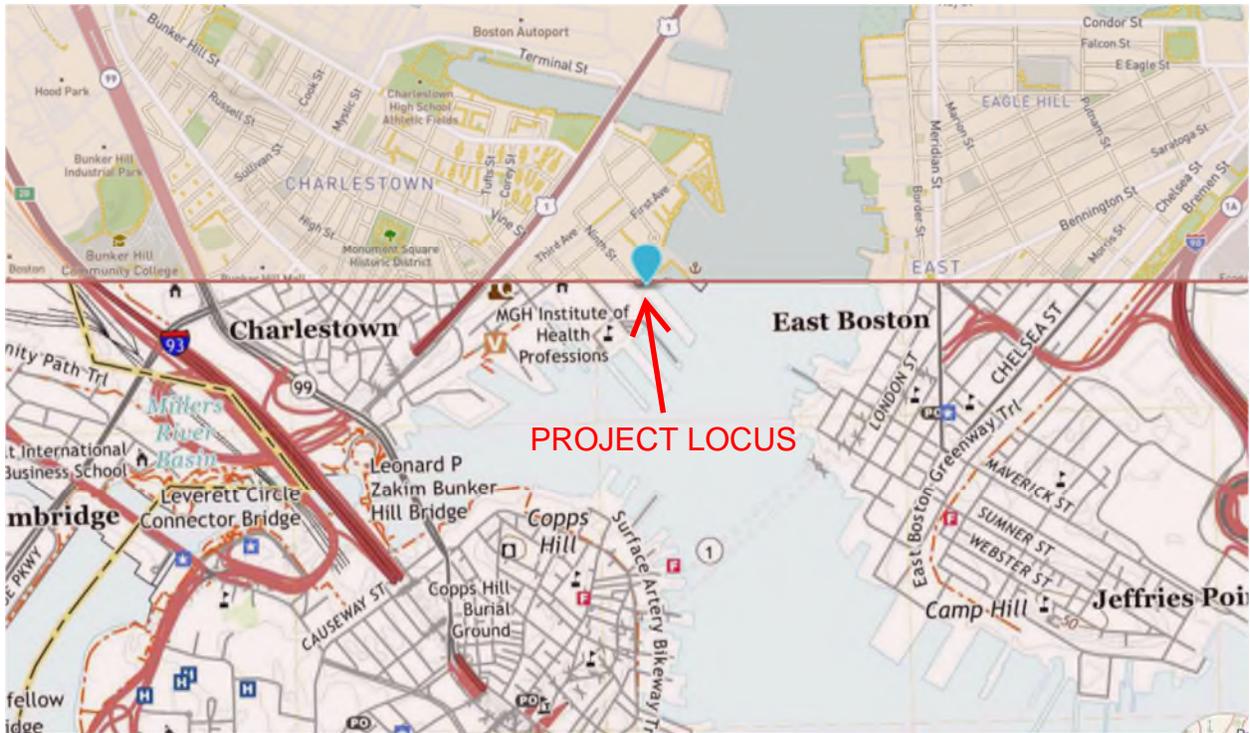
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/6/2021 at 10:53 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Produced by the United States Geological Survey
 1:250,000 Edition of 1982 (2022)
 North American Datum of 1983 (NAD83). Projection and
 1:250,000 Edition of 1982 (2022). Date of 1982
 This map is not a legal document. Measurements for
 general use for 1:250,000 scale. It is not intended for
 navigation or other uses where accuracy is essential.
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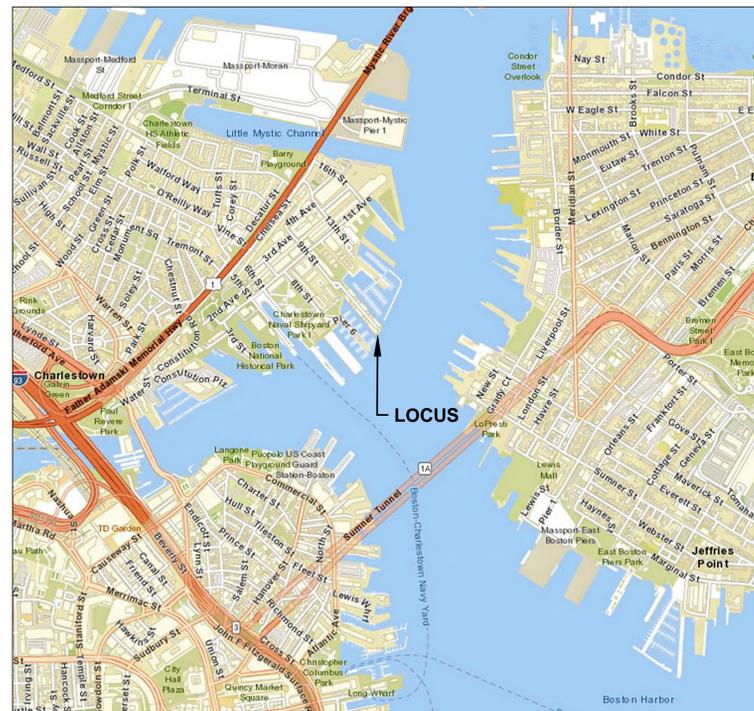




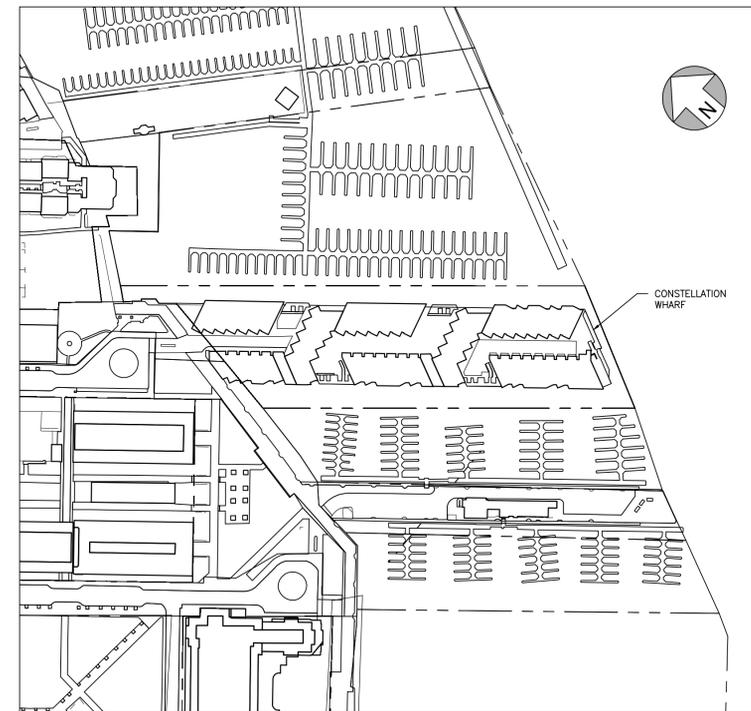
Close-up of USGS TOPO Map

CONSTELLATION WHARF UNDERDECK REHABILITATION PROJECT

CHARLESTOWN, MA



LOCUS MAP



SITE PLAN

DRAWING INDEX		
SHEET NO.	DRAWING NO.	DRAWING TITLE
GENERAL		
1	G-01	TITLE SHEET AND DRAWING INDEX
2	G-02	GENERAL NOTES
3	G-03	SITE PLAN
STRUCTURAL		
4	S-01	UNDERDECK CONDITION PLAN
5	S-02	UNDERDECK CONDITION PLAN
6	S-03	SECTIONS AND DETAILS



Mark	Description	Date	Appr.

Designed by:	ARN	Date:	01/07/22
Drawn by:	TEC	Design file no.:	205421.01 G-01
Checked by:	ARN	Scale:	N/A
Reviewed by:	ARN		

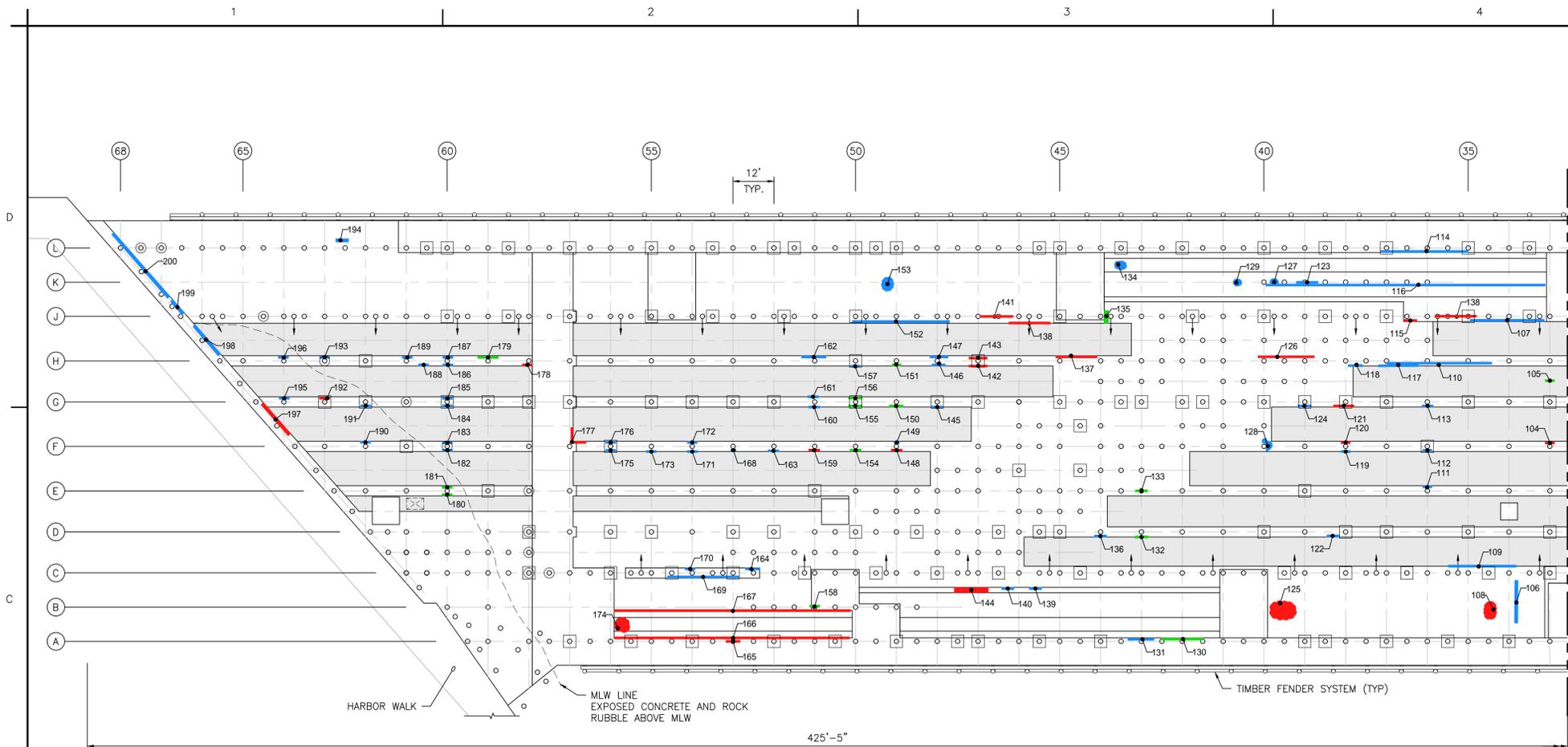
CONSTELLATION WHARF
UNDERDECK REHABILITATION PROJECT
CHARLESTOWN, MA

TITLE SHEET
FOR NOTICE OF INTENT

Sheet reference number:
G-01
Sheet 1 of 6

**PERMIT DRAWINGS
NOT FOR CONSTRUCTION**

TOM QUINN K:\2954-21.01 CONSTELLATION WHARF 35% DESIGN - LUNDGREN\CADD\PERMIT DWGS\NON\295421.01 S-01&S-02.DWG Jan 07, 2022 1:14pm



PLAN
SCALE: 1"=20'-0"

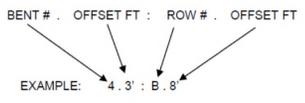
LOCATING ASSET DEFECTS FROM WATERFRONT INSPECTIONS

THE FOLLOWING IDENTIFIES THE WAYS IN WHICH ASSET DEFECTS HAVE BEEN IDENTIFIED AND REPORTED IN THE DEFECTS TABLE. THE COORDINATE SYSTEM UTILIZED USES THE PREDETERMINED BENTS AND ROWS OF THE STRUCTURE.

1) Bent and Row Coordinate System
Defect Location & Defect Center Key - For All Asset Defects

Typical assets include: Piles, Pile Caps, Decks, Deck Components, Beams, Wales, Chocks and Structures spanning perpendicular to pile caps. (Defect Location is the same as Defect Center)

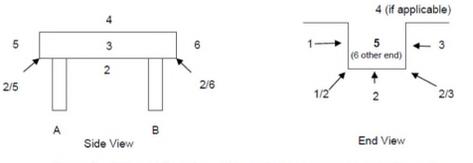
Typical Asset Type	Defect Location	Defect Center
DA	21.5':30'	21.5':30'
P	22:A	22:A
DC	21.5':25'	21.5':25'
FP	22.5':A-1'	22.5':A-1'
PC	23.0':B:3'	23.0':B:3'



General Note:
OFFSET FT is the number of feet to next consecutive bent or row unless a - (minus sign) is used to indicate number of feet in opposite direction (only used at locations outside the normal bent and row grid at first bent or first row, for example a minus may be used with fender piles, chocks and wales).

Deck & Deck Component Notes:
For Deck and Deck Components the row offset is taken from the edge of the structure and no row number is necessary.

Pile Caps, Beams, Wales, Chocks and Alike Notes:
To identify the correct face (F) or corners (C) refer to the figure below.



Notes:
1) End View of Pile Cap (or Beam) is end view at start of member. The position of the start of the member is looking low to high along bents for beams perpendicular to the bent or along rows for pile caps as follows, for example:
a. Pile Caps start at Row A looking towards Row B.
b. Beam starts at Bent 21 looking towards Bent 23.

- GENERAL NOTES:**
1. THE CONCRETE UNDERDECK SLAB TYPICALLY EXHIBITS HAIRLINE MAP/PATTERN CRACKING.
 2. THE BOTTOM FACE OF MOST OF THE CONCRETE COMPONENTS (ASSETS) TYPICALLY EXHIBIT HAIR-CHAIR STAINING.
 3. TRANSVERSE FULL WIDTH CRACKS, SPANNING BETWEEN THE PILE CAP BEAMS RANGING FROM 5 TO 20 FEET ON CENTER, WITH LECHATE; WERE OBSERVED FOR APPROXIMATELY 25% OF THE CONCRETE UNDERDECK SLAB.
 4. THE EDGE PERIMETER CONCRETE UTILITY VAULTS, THAT RUN LONGITUDINAL TO THE PIER, TYPICALLY EXHIBIT DISINTEGRATION AND LOCALIZED AREAS OF ADVANCE OPEN CORROSION SPALLING OF THE BOTTOM PORTION OF THE VAULTS.

- REPAIR NOTES:**
1. PRIORITY HAS BEEN GIVEN TO REPAIRS INVOLVING LARGER AREAS, EXPOSED REINFORCING STEEL, AND STRUCTURAL SIGNIFICANT AREAS.
 2. DEFECT PRIORITY ARE AS FOLLOWS:
 1. DEFECTS THAT SHOULD BE REPAIRED DURING THE NEXT REPAIR CYCLE AND INVOLVE STRUCTURALLY SENSITIVE AREAS OR WILL GROW IN SCALE IN THE NEAR FUTURE TO AFFECT THE OPERATIONAL CAPABILITIES OF THE STRUCTURE.
 2. DEFECTS THAT SHOULD BE REPAIRED WITHIN 3 TO 5 YEARS FOLLOWING THE FIRST REPAIR CYCLE. DEFECTS THAT HAVE NOT YET GROWN TO A SCALE THAT INVOLVE REINFORCING STEEL OR DO NOT POTENTIALLY AFFECT OPERATIONAL CAPABILITIES.
 3. DEFECTS AT THE LOWEST PRIORITY THAT ARE ON STRUCTURES BELIEVED TO HAVE LIMITED IMPACT ON THE OVERALL PIER CAPACITY OR ARE SMALL IN SCALE.

TABLE LEGEND

PC	PILE CAP
DU	DECK UNDERSIDE
UV	UTILITY VAULT
OCS	OPEN CORROSION SPALL
CCS	CLOSED CORROSION SPALL

- LEGEND**
- ① PILE BENT DESIGNATION
 - Ⓐ PILE ROW DESIGNATION
 - 16"Ø STEEL PIPE VERTICAL PILE
 - ⊙ 16"Ø STEEL PIPE BATTER PILE
 - ⊠ 16"Ø PILES WITH 18"Ø FRP JACKETS FILLED WITH GROUT
 - ⊡ 16"Ø PILES WITH 28"Ø STRUCTURAL REPAIR JACKET
 - ⊙ 16"Ø PILES WITH SINGLE ANODE
 - LOCATION AND APPROXIMATE SIZE OF CONCRETE DEFECT WITH PRIORITY 1
 - LOCATION AND APPROXIMATE SIZE OF CONCRETE DEFECT WITH PRIORITY 2
 - LOCATION AND APPROXIMATE SIZE OF CONCRETE DEFECT WITH PRIORITY 3
 - ②⑤ INDICATES DEFECT ID No. SEE DEFECT TABLE FOR TYPE AND DIMENSIONS



DEFECT TABLE

Defect ID No.	Defect Priority	Asset Type	Defect Center Location	Defect Type	Beam Sides	Spall Length (ft)	Spall Area (sf)	Spall Depth (in)	Exposed ReBars (#)	Repair Type
105	3	UV	33.G.5'	OCS	C1/2		6	2	1	UD
106	2	DU	33.9:B	CCS			30			UD
107	2	PC	34.J-2'	CCS	C1/2	20	40			B
108	1	PC	34.6:B	OCS	C2/3	40	40	2	2	B
109	2	PC	34.6:C.2	CCS	C2/3	20	40			B
110	2	PC	35.6:H-2'	CCS	C1/2	30	60			B
111	2	PC	36.E-2'	CCS	C2/3		8			B
112	2	PC	36.F-2'	OCS	C1/2	4	4	2	1	B
113	2	PC	36.G-2'	CCS	C1/2		4			B
114	2	PC	36.L-2'	CCS	C1/2	26	52			B
115	1	PC	36.6:J-2'	OCS	C1/2	5	10	2	1	B
116	2	PC	36.6:K.4'	CCS	C2/3	82	164			B
117	2	PC	36.10:H-2'	OCS/CCS	C1/2	10	20	2	1	B
118	2	PC	37.6:H-2'	CCS	C1/2		4			B
119	2	PC	38.F-2'	CCS	C1/2		4			B
120	1	PC	38.F-2'	OCS	C2/3	4	4	1	1	B
121	1	PC	38.G-2'	OCS	C1/2	10	2	2	1	B
122	2	PC	38.3:D-2'	OCS	C1/2	3	2	1	1	B
123	2	PC	38.9:K	CCS	2	3				A
124	2	PC	39.G-2'	OCS	C1/2	4	2	1	1	B
125	1	PC	39.5:B	OCS	C2/3	60	2	4	1	B
126	1	PC	39.6:H.2'	OCS	C2/3	16	64	3	1	B
127	2	PC	39.9:K	CCS	2	3				A
128	2	PC	40.F	CCS	C2/3	15				B
129	2	PC	40.9:K	OCS	2	3	2	1	1	A
130	3	UV	42.A	OCS	C2/3	12	2	8	1	B
131	2	PC	43.A.2'	OCS	C2/3	8	2	2	2	B
132	3	PC	43.D-2'	OCS	C1/2	4				B
133	3	PC	43.E-2'	OCS	C1/2	8				B
134	2	PC	43.5:K.5'	OCS	2	4	2	1	1	B
135	3	PC	43.8:J	OCS	C1/2	6				B
136	2	PC	44.D-2'	OCS	C1/2	6	2	1	1	B
137	1	PC	44.6:H.2'	OCS	C2/3	12	48	2	1	B
138	1	PC	45.6:J-2'	OCS	C1/2	12	24	2	1	B
139	2	PC	45.9:C-3'	OCS	C1/2	4	2	1	1	B
140	2	PC	46.3:C-3'	OCS	C1/2	4	2	1	1	B
141	1	PC	46.4:J	OCS	2	10	2	5	1	A
142	1	PC	47.H-2'	OCS	C1/2	6	12	2	6	B
143	1	PC	47.H.2'	OCS	C2/3	6	12	2	6	B
144	1	PC	47.4:B.6'	OCS/CCS	2	10	2	1	1	A
145	2	PC	48.G-2'	OCS	C1/2	4	2	1	1	B
146	2	PC	48.H-2'	CCS	C1/2	3	6			B
147	2	PC	48.H.2'	CCS	2	5	10			B
148	1	PC	49.F-2'	OCS	C1/2	8	2	1	1	B
149	2	PC	49.F-2'	OCS	C2/3	3	2	1	1	B
150	3	PC	49.G-2'	CCS	C1/2	4				B
151	3	PC	49.H-2'	CCS	C1/2	3	6			B
152	2	PC	49.J-2'	CCS	C1/2	30	60			B
153	2	DU	49.4:K	CCS		12				UD
154	3	PC	50.F-2'	CCS	C1/2	6				B
155	3	PC	50.G-2'	CCS	C1/2	4				B
156	3	PC	50.G.2'	CCS	C2/3	4				B
157	2	PC	50.H-2'	OCS	C1/2	3	6	2	1	B
158	3	PC	51:B	CCS		3				A
159	1	PC	51.F-2'	OCS	C1/2	12	2	2	2	B
160	2	PC	51.G-2'	OCS	C1/2	4	2	1	1	B
161	2	PC	51.G.2'	OCS	C2/3	4	2	1	1	B
162	2	PC	51.H.2'	CCS	C1/2	12	24			B
163	2	PC	52.F-2'	OCS	C1/2	10	2	1	1	B
164	2	PC	52.4:C.2'	OCS	2,3,4	4	2	1	1	B
165	1	PC	53.A.1'	OCS	C2/3	8	2	2	2	B
166	1	PC	53.A.2'	OCS/CCS	C2/3	70	140	2	1	B
167	1	PC	53.B-2'	OCS/CCS	C1/2	70	140	2	1	B
168	2	PC	53.F-2'	OCS	C1/2	8	2	1	1	B
169	2	PC	53.9:C-2'	CCS	C1/2	25				B
170	2	PC	54.C.2'	CCS	C2/3	6				B
171	2	PC	54.F-2'	OCS	C1/2	8	2	1	1	B
172	2	PC	54.F-2'	OCS	C2/3	8	2	1	1	B
173	2	PC	55.F-2'	OCS	C1/2	8				B
174	1	PC	55.9:A.6'	OCS	2	10	2	4	1	A
175	2	PC	56.F-2'	CCS	C1/2	4				B
176	2	PC	56.F.2'	CCS	C2/3	4				B
177	1	PC	57.F.2'	OCS	C2/3	10	20	2	5	B
178	1	PC	59.H-2'	OCS	C1/2	4	2	2	2	B
179	3	PC	59.H.2'	OCS	C2/3	5				B
180	3	PC	60.E-2'	OCS	C1/2	6				B
181	3	PC	60.E.2'	CCS	C2/3	6				B
182	2	PC	60.F-2'	OCS	C1/2	6	2	1	1	B
183	2	PC	60.F.2'	OCS	C2/3	6	2	1	1	B
184	2	PC	60-G-2'	OCS	C1/2	3	2	1	1	B
185	2	PC	60-G.2'	OCS	C2/3	3	2	1	1	B
186	2	PC	60.H-2'	OCS	C1/2	3	2	1	1	B
187	2	PC	60.H.2'	OCS	C2/3	3	2	1	1	B
188	2	PC	60.7:H-2'	OCS	C1/2	4	2	1	1	B
189	2	PC	61.H.2'	OCS	C2/3	4	2	1	1	B
190	2	PC	62.F.2'	OCS	C2/3	3	2	1	1	B
191	2	PC	62.G-2'	OCS	C1/2	4	2	1	1	B
192	1	PC	63.G.2'	OCS	C2/3	4	2	3	1	B
193	2	PC	63.H.2'	OCS	C2/3	3	2	1	1	B
194	2	DU	63.5:L.5'	OCS		1	3	1	1	UD
195	2	PC	64.G.2'	CCS	C2/3	4				B
196	2	PC	64.H.2'	OCS	C2/3	4	2	1	1	B
197	1	PC	64.2:F.8'	OCS	C2/3	12	24	4	6	B
198	2	PC	65.10:H.6'	OCS	C2/3	10	20	3	1	B
199	2	PC	66.7:J.3'	OCS	C2/3	5	10	4	1	B
200	2	PC	67.6:K.4'	CCS	C2/3	25	50			B

CHILD'S ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-9092
E-mail: mail@childseng.com

COMMONWEALTH OF MASSACHUSETTS
ANDREW N. NIELSON
No. 51822
REGISTERED PROFESSIONAL ENGINEER

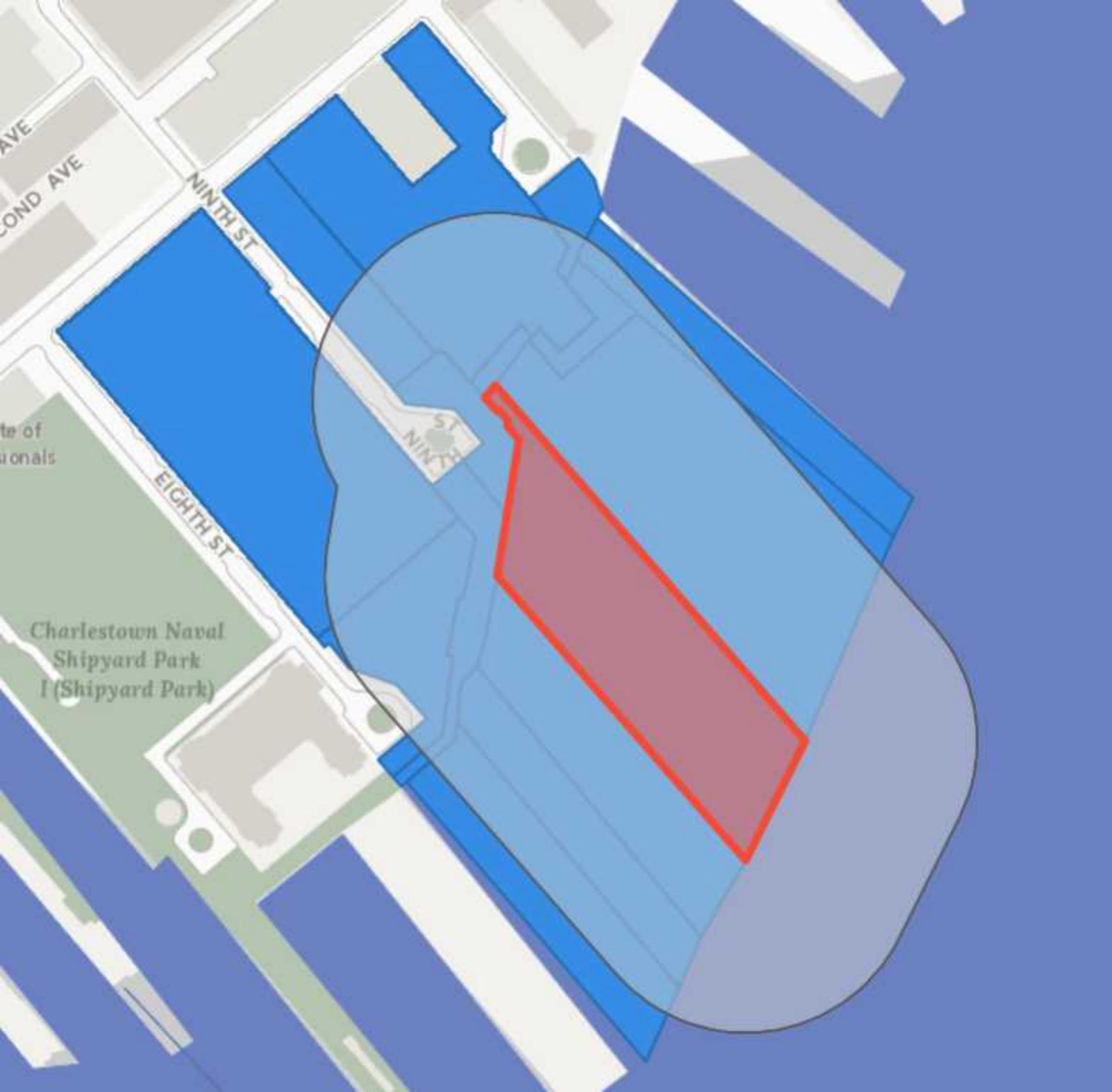
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Checked by	SSS
Reviewed by	ARN

CONSTELLATION WHARF UNDERDECK REHABILITATION PROJECT
CHARLESTOWN, MA
UNDERDECK CONDITION PLAN FOR NOTICE OF INTENT

Sheet reference number:
S-02
Sheet 5 of 6

PERMIT DRAWINGS NOT FOR CONSTRUCTION

APPENDIX B
Abutters List and Notification Forms



COND AVE
AVE

NINTH ST

EIGHTH ST

ST
NINTH

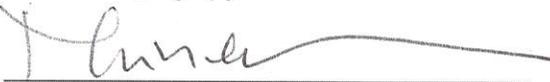
Charlestown Naval
Shipyard Park
I (Shipyard Park)

TRANSLATION CERTIFICATE

I, Muneebur Rahman, certify to the best of my knowledge and belief that the following is a true and accurate translation of the below-mentioned document(s) from English to Chinese completed under my supervision this 14th day of December, 2021.

Description of document(s): Boston Conservation Notification to Abutters - Constellation Wharf

Number of pages: 3
Including --
Translation certificate: 1 page
Translation: 1 page(s)
Source: 1 page(s)



SIGNATURE



On this 14th day of December, 2021, before me, the undersigned notary public, personally appeared Muneebur Rahman who proved to me through satisfactory evidence of identification, which was Massachusetts driver's license, to be the person who signed the above statement in my presence.



NOTARY PUBLIC'S SIGNATURE & SEAL



KRISTAL M. PADILLA
Notary Public
Commonwealth of Massachusetts
My Commission Expires
December 18, 2026

“对支撑波士顿港星座码头（7 号码头）产权公寓的现有码头结构进行维修。维修工作将包括对甲板下上部结构的孤立区域进行少量混凝土修复。”



Boston Conservation Notification to Abutters
For Constellation Wharf Translated to Simplified Chinese

Text for translation:

“making repairs to the existing pier structure that supports the condominiums at Constellation Wharf (Pier 7) on the Boston Harbor. The repairs shall consist of minor concrete restoration to isolated areas of the underdeck superstructure.”





BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

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Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على cc@boston.gov أو 617-635-3850.

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

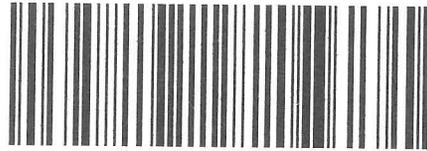
IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.



CERTIFIED MAIL®



WATERFRONT STRUCTURAL ENGINEERING
34 WILLIAM WAY • BELLINGHAM, MA 02019



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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy)

Return Receipt (electronic)

Certified Mail Restricted Delivery

Adult Signature Required

Adult Signature Restricted Delivery

Postage

Total Postage

Sent To

Street and

City, State

PS Form 3800, APRIL 2015 PSN 7530-02-000-9004

See Reverse for Instructions

Permit Reviewer
Massachusetts DEP Northeast Regional
Office - Wilmington
205B Lowell Street
Wilmington, MA 01887

34 William Way
Bellingham, MA 02019
(508) 966 9092

COMPLETE THIS SECTION ON DELIVERY

Signature

Agent
 Addressee

■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Permit Reviewer
Massachusetts DEP Northeast Regional
Office - Wilmington
205B Lowell Street
Wilmington, MA 01887



9590 9402 7264 1284 6925 33

2. Article Number (Transfer from service label)

7021 0350 0001 0418 9964

Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Adult Signature
 Adult Signature Restricted Delivery
 Certified Mail®
 Certified Mail Restricted Delivery
 Collect on Delivery
 Collect on Delivery Restricted Delivery

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

all Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

0954-21 NOI

Domestic Return Receipt

CHILDS ENGINEERING
 WATERFRONT STRUCTURAL ENGINEERING
 34 WILLIAM WAY • BELLINGHAM, MA 02019



7021 0350 0001 0418 9971
 7021 0350 0001 0418 9971

PS Form 3811
 City, State, ZIP
 Street and Apt
 Sent To
 Total Postage \$
 Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Postmark Here

OFFICIAL USE
 U.S. Postal Service™
 CERTIFIED MAIL® RECEIPT
 Domestic Mail Only
 For delivery information, visit our website at www.usps.com
 2954-21 NOI

Environmental Reviewer
 Division of Marine Fisheries
 North Shore Office
 30 Emerson Avenue
 Gloucester, MA 01930

34 William Way
 Bellingham, MA 02019

SENDER INFORMATION

- Complete this card and return it to the post office with your mailpiece.
- Print your name and address so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

SECTION ON DELIVERY

- Agent
- Addressee

B. Received by (Printed Name) _____ C. Date of Delivery _____

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

1. Article Addressed to:
 Environmental Reviewer
 Division of Marine Fisheries
 North Shore Office
 30 Emerson Avenue
 Gloucester, MA 01930

9590 9402 7264 1284 6925 40

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

2. Article Number (Transfer from service label)

7021 0350 0001 0418 9971

Restricted Delivery