

December 17, 2021

City of Boston  
Conservation Commission  
Attn: Nicholas Moreno, Executive Director  
1 City Hall Square, Room 709  
Boston, MA 02201

Re: Notice of Intent  
Proposed Utility Upgrades  
40 Channel Center Street  
Boston, MA

Dear Members of the Commission:

On behalf of the Owner/Applicant, 40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC, Bohler is pleased to submit the attached Notice of Intent and supporting documentation for the proposed utility improvements. The Project work is proposed to take place on the ±10,347 SF parcel known as 40 Channel Center Street, located in the South Boston Neighborhood. The Applicant proposes the installation of electric utility upgrades to the building, inclusive of an above ground, pad-mounted electric transformer and associated conduit connections. The Project will also include the construction of stormwater drainage systems, including subsurface chambers and a French drain system, per Boston Water & Sewer Commission (BWSC) requirements.

The Project is located within the following jurisdictional resource areas: Land Subject to Coastal Storm Flowage, the Coastal Flood Resilience Zone, and the Groundwater Conservation Overlay District (GCOD). The Project will not result in any increase in impervious surface area across the Site and following the disturbance involved with the proposed site work detailed herein, the Site will be restored to match pre-existing conditions.

Enclosed, please find the following in support of our Notice of Intent for the above referenced project:

Notice of Intent Package (1 Original and 1 Copy)

- WPA Form 3;
- City of Boston NOI Application Form;
- City of Boston NOI Filing Checklist;
- Copy of the Wetland Fee Transmittal Form;
- Copies of the Application Fee Checks;
- List of Abutters, Notification Forms, and Affidavit of Service;
- Project Description;
- Drainage Summary;
- USGS Map;
- FEMA Flood Insurance Rate Map; and
- Site Photos;
- Check made payable to The City of Boston for the NOI processing fee; and
- Check made payable to The City of Boston for the NOI filing fee.

Additional Materials and Enclosures (2 Copies)

- Site Development Plans dated December 13, 2021 (reduced to 11" X 17"); and
- Transformer Profile Exhibit dated December 13, 2021.



We respectfully request that the Conservation Commission review the attached NOI submission and schedule the Applicant to be heard at the January 5, 2022 public hearing. Should you have any questions or comments upon reviewing this package, please feel free to contact us at 617-849-8040.

Sincerely,

BOHLER

A handwritten signature in blue ink that reads "Jared Walsh".

Jared Walsh, E.I.T.

A handwritten signature in blue ink that reads "Mark Wixted".

Mark Wixted, P.E.

# NOTICE OF INTENT

40 Channel Center Street

Parcel 0602757060  
Boston, Massachusetts

December 15, 2021

Applicant/Owner:

40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110

Preparer:

Bohler  
45 Franklin Street, Floor 5  
Boston, MA 02110

Project No. M211067

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ATTACHMENT A: Site Development Plans, dated December 13, 2021

# NOTICE OF INTENT (FORM 3)

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**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston, MA

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

40 Channel Center Street  
a. Street Address

Boston  
b. City/Town

02210  
c. Zip Code

Latitude and Longitude:  
42.346568°  
d. Latitude

-71.051118°  
e. Longitude

Map 4F, Plat M-4  
f. Assessors Map/Plat Number

0602757060  
g. Parcel /Lot Number

2. Applicant:

Joshua  
a. First Name

Mahoney  
b. Last Name

40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC  
c. Organization

300 A Street, Floor 5  
d. Street Address

Boston  
e. City/Town

MA  
f. State

02210  
g. Zip Code

857-930-3800  
h. Phone Number

i. Fax Number

Joshua.Mahoney@Akelius.us  
j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Mark  
a. First Name

Wixted  
b. Last Name

Bohler  
c. Company

45 Franklin Street, Floor 5  
d. Street Address

Boston  
e. City/Town

MA  
f. State

02110  
g. Zip Code

617-849-8060  
h. Phone Number

i. Fax Number

mwixted@bohlereng.com  
j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110.00  
a. Total Fee Paid

\$42.50  
b. State Fee Paid

\$67.50  
c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
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# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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## A. General Information (continued)

6. General Project Description:

The Project consists of electric utility upgrades to the building, inclusive of an above ground, pad-mounted electric transformer and associated conduit connections. The design will also include the construction of stormwater drainage systems, including subsurface chambers and a french drain system with associated site work.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

61571

c. Book

b. Certificate # (if registered land)

333

d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users: Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Form with columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Includes checkboxes for various resource areas like Designated Port Areas, Land Under the Ocean, Barrier Beach, Coastal Beaches, Coastal Dunes, Coastal Banks, Rocky Intertidal Shores, Salt Marshes, Land Under Salt Ponds, Land Containing Shellfish, Fish Runs, and Land Subject to Coastal Storm Flowage. Includes a section for Restoration/Enhancement and Project Involves Stream Crossings.



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

- August 1, 2017  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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### C. Other Applicable Standards and Requirements (cont'd)

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site

- (e)  Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c.  Is this an aquaculture project?      d.  Yes     No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC

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- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
  - 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  - 2.  A portion of the site constitutes redevelopment
  - 3.  Proprietary BMPs are included in the Stormwater Management System.
 b.  No. Check why the project is exempt:
  - 1.  Single-family house
  - 2.  Emergency road repair
  - 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Boston, MA
City/Town

## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

See plan list (attached)

a. Plan Title

Bohler

Mark Wixted, P.E.

b. Prepared By

c. Signed and Stamped by

December 15, 2021

1"=20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

042455

12/14/21

2. Municipal Check Number

3. Check date

042456

12/14/21

4. State Check Number

5. Check date

Bohler Engineering MA, LLC

6. Payor name on check: First Name

7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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City/Town

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

SEE OWNER/APPLICANT SIGNATURE BELOW

1. Signature of Applicant  
*John J. Mahoney*

3. Signature of Property Owner (if different)  
*John J. Mahoney*

5. Signature of Representative (if any)

2. Date  
*12/16/21*

4. Date  
*12/16/21*

6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

CITY OF BOSTON ENVIRONMENT NOTICE OF  
INTENT APPLICATION FORM

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## INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

### INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

### INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm) or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581-3336  
508.792.7270



**A. GENERAL INFORMATION**

1. Project Location

<u>40 Channel Center Street</u>	<u>Boston</u>	<u>02110</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Map 4F, Plat M-4</u>	<u>0602757060</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u>Joshua</u>	<u>Mahoney</u>	<u>40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC</u>	
a. First Name	b. Last Name	c. Company	
<u>300 A Street, Floor 5</u>			
d. Mailing Address			
<u>Boston</u>	<u>Massachusetts</u>	<u>02110</u>	
e. City/Town	f. State	g. Zip Code	
<u>857-930-3800</u>	<u>Joshua.Mahoney@Akelius.us</u>		
h. Phone Number	i. Fax Number	j. Email address	

3. Property Owner

<u>Joshua</u>	<u>Mahoney</u>	<u>40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC</u>	
a. First Name	b. Last Name	c. Company	
<u>300 A Street, Floor 5</u>			
d. Mailing Address			
<u>Boston</u>	<u>Massachusetts</u>	<u>02110</u>	
e. City/Town	f. State	g. Zip Code	
<u>857-930-3800</u>	<u>Joshua.Mahoney@Akelius.us</u>		
h. Phone Number	i. Fax Number	j. Email address	

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Mark</u>	<u>Wixted</u>	<u>Bohler</u>	
a. First Name	b. Last Name	c. Company	
<u>45 Franklin Street, Floor 5</u>			
d. Mailing Address			
<u>Boston</u>	<u>Massachusetts</u>	<u>02110</u>	
e. City/Town	f. State	g. Zip Code	
<u>617-849-8040</u>	<u>mwixted@bohlereng.com</u>		
h. Phone Number	i. Fax Number	j. Email address	



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes  No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

The Project consists of electric utility upgrades to the building, inclusive of an above ground, pad-mounted electric transformer and associated conduit connections. The design will also include the construction of stormwater drainage systems, including subsurface chambers and a french drain system with associated site work.

7. Project Type Checklist

- a.  Single Family Home
- b.  Residential Subdivision
- c.  Limited Project Driveway Crossing
- d.  Commercial/Industrial
- e.  Dock/Pier
- f.  Utilities
- g.  Coastal Engineering Structure
- h.  Agriculture – cranberries, forestry
- i.  Transportation
- j.  Other

8. Property recorded at the Registry of Deeds

Suffolk	333
a. County	b. Page Number
61571	
c. Book	d. Certificate # (if registered land)

9. Total Fee Paid

\$217.50	\$42.50	\$175.00
a. Total Fee Paid	b. State Fee Paid	c. City Fee Paid

**B. BUFFER ZONE & RESOURCE AREA IMPACTS**

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes  No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

**C. OTHER APPLICABLE STANDARDS & REQUIREMENTS**

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

The Project's infiltration system design was submitted to the Boston Water and Sewer Commission (BWSC) for review on November 18, 2021 and is still awaiting review comments. The Property is also located in the Groundwater Conservation Overlay District, which will require approval from the Zoning Board of Appeals after an Article 32 No Harm Letter has been received from both the Boston Groundwater Trust and BWSC. No variances will be required for the site work associated with this Project. A building permit will be sought following the approval process.



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.

- Yes  No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

**A. Submit Supplemental Information for Endangered Species Review**

Percentage/acreage of property to be altered:

(1) within wetland Resource Area \_\_\_\_\_  
percentage/acreage

(2) outside Resource Area \_\_\_\_\_  
percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes  No

If yes, provide the name of the ACEC: \_\_\_\_\_

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

Applying for a Low Impact Development (LID) site design credits

A portion of the site constitutes redevelopment

Proprietary BMPs are included in the Stormwater Management System

No. Check below & include a narrative as to why the project is exempt

Single-family house

Emergency road repair

Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes  No



**D. SIGNATURES AND SUBMITTAL REQUIREMENTS**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

SEE OWNER/APPLICANT SIGNATURE BELOW

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

John J. Madony

12/16/21

\_\_\_\_\_  
Signature of Property Owner (if different)

\_\_\_\_\_  
Date

Paul Watta

12/16/21

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date

# CITY OF BOSTON CHECKLIST

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## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission Staff: 617-635-3850 ([cc@boston.gov](mailto:cc@boston.gov)).

Please Submit the Following to the Conservation Commission:

- Two copies (a signed original and 1 copy) of a completed Notice of Intent (WPA Form 3)
- Two copies (a signed original and 1 copy) of a completed Boston Notice of Intent (Local Form)
- Two copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, grading and spot elevations and all wetland resource areas and associated buffer zones. Some projects may require both an aerial view of the plans along with a profile view of plans depending on the scope of work.
- Two copies of an 8 ½" x 11" section of the [USGS quadrangle map](#) of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- (If applicable) Two copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- Two copies of the determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the [Natural Heritage & Endangered Species Program](#) have the maps necessary to make this determination.
- (If applicable) Two hard copies of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events.
- (If applicable) A narrative detailing best management practices for stormwater management as set forth in the Stormwater Management Standards of the Massachusetts Department of Environmental Protection and any separate standards and guidelines prepared by the City and the Boston Water and Sewer Commission.
- (If applicable) Two hard copies of the Checklist for Stormwater Report
- Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.
- Any photographs related to the project representing the wetland resource areas.
- Two copies of a detailed project narrative describing the following: an overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met (listing out each performance standard); a consideration of the effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on the resource areas and proposed activities; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts. The applicant shall also include narrative on how they plan to integrate climate change and adaptation planning considerations into their project to promote climate resilience to protect and promote Resource Area Values and functions into the future.
- Two copies of an Abutters List, Affidavit of Service and [Abutter Notification](#), filed concurrently with the Notice of Intent. Abutter notices shall be sent in both English and the second most commonly spoken language(s) in the neighborhood(s) where the project is proposed. Notices shall also include Babel notice cards for additional translation and language access services. [All abutters within 300' of the project](#)

## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

[property line](#) must be notified including those in a neighboring municipality. In such an instance, a copy of the filing must also be sent to the local Conservation Commission of the neighboring municipality.  
EXCEPTION: When work is in land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the “project site.”

- N/A  Two copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonplans.org/planning/planning-initiatives/article-37-green-building-guidelines>. Please print the pdf that you will receive via email after completion and include it in your submission.
- Electronic copies.** Documents may be submitted via email, or via an email link to downloadable documents.



To minimize the use of non-recyclable materials ***please do not include vinyl or plastic binders, bindings, folders or covers with the filing.*** Staples and binder clips are good choices.

## FILING FEE DOCUMENTATION

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- Copy of Check for DEP Filing Fee (State Share)
- Copies of the City of Boston Filing Fees



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

40 Channel Center Street Boston  
 a. Street Address b. City/Town  
 042456 \$42.50  
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Joshua Mahoney  
 a. First Name b. Last Name  
 40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC  
 c. Organization  
 300 A Street, Floor 5  
 d. Mailing Address  
 Boston MA 02210  
 e. City/Town f. State g. Zip Code  
 857-930-3800 Joshua.Mahoney@Akelius.us  
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name b. Last Name  
 c. Organization  
 d. Mailing Address  
 e. City/Town f. State g. Zip Code  
 h. Phone Number i. Fax Number j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Site work without a house	1	\$110.00	\$110.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
<b>Step 5/Total Project Fee:</b>			\$110.00

**Step 6/Fee Payments:**

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filing Fee:	\$67.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee <b>less</b> \$12.50
	c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

## ABUTTER'S LIST

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**NOTIFICATION TO ABUTTERS  
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. <sup>40 Channel Center Street Boston LLC c/o</sup> Akelius Real Estate Management LLC has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is \_\_\_\_\_.

C. The project involves \_\_\_\_\_.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).

E. Copies of the Notice of Intent may be obtained from \_\_\_\_\_ by contacting them at \_\_\_\_\_ between the hours of \_\_\_\_\_, \_\_\_\_\_.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at [CC@boston.gov](mailto:CC@boston.gov) by 12 PM the day before the hearing.



**AFFIDAVIT OF SERVICE  
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act  
and Boston Wetlands Ordinance**

I, \_\_\_\_\_, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A \_\_\_\_\_ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by \_\_\_\_\_ for \_\_\_\_\_ located at \_\_\_\_\_.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date



## NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES COMISIÓN DE CONSERVACIÓN DE BOSTON

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **40 Channel Center Street Boston LLC en nombre de Akelius Real Estate Management LLC** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **40 Channel Center Street, Boston, MA 02110**.

C. El proyecto consiste en **mejoras de los servicios públicos, incluido un transformador de tipo pedestal para el edificio existente y los sistemas de drenaje para proporcionar infiltración en el sitio**.

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en [CC@boston.gov](mailto:CC@boston.gov).

E. Las copias de la notificación de intención pueden obtenerse de **Bohler (Mark Wixted), 617-849-8040** entre las **9:00 AM y 5:00 PM, de lunes a viernes**.

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a [CC@boston.gov](mailto:CC@boston.gov) o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en [www.boston.gov/public-notices](http://www.boston.gov/public-notices) y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a [CC@boston.gov](mailto:CC@boston.gov) o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en [CC@boston.gov](mailto:CC@boston.gov) antes de las 12 PM del día anterior a la audiencia.



MAPA Translations,  
Inc 216 Concord Rd  
Wayland, MA 01778  
[info@mapatranslation.com](mailto:info@mapatranslation.com)  
[www.mapatranslation.com](http://www.mapatranslation.com)

## Affidavit of Authenticity

The undersigned, **MAPA Translations, Inc.**, hereby states as proof that the below translation provided to **Bohler Engineering MA LLC** on behalf of **Akelius Real Estate Management LLC** is a certified translation:

12/13/2021 Spanish Translation

Client: Bohler Engineering  
Division: City of Boston  
Project: City of Boston Environment (Boston Conservation Commission)  
Document: Notification to Abutters  
Word Count: 495  
Requested by Jared Walsh on 12-09-2021  
Job Number: DEC2021-178

I declare, to the best of my knowledge and belief, the information herein is true, correct, and complete.

Name: Drita Protopapa

Date: December 16, 2021

Signature: *Drita Protopapa*



## BABEL NOTICE

English:

**IMPORTANT!** This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at [cc@boston.gov](mailto:cc@boston.gov) or 617-635-3850.

Spanish:

**¡IMPORTANTE!** Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico [cc@boston.gov](mailto:cc@boston.gov) o llamando al 617-635-3850.

Haitian Creole:

**AVI ENPÒTAN!** Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan [cc@boston.gov](mailto:cc@boston.gov) oswa 617-635-3850.

Traditional Chinese:

**非常重要！**這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 [cc@boston.gov](mailto:cc@boston.gov) 電話# 617-635-3850..

Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

**非常重要！**这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 [cc@boston.gov](mailto:cc@boston.gov) 电话# 617-635-3850.

Cape Verdean Creole:

**INPURTANTI!** Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na [cc@boston.gov](mailto:cc@boston.gov) ó 617-635-3850.

Arabic:

**مهم!** يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على [cc@boston.gov](mailto:cc@boston.gov) أو 617-635-3850.

Russian:

**ВАЖНО!** В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты [cc@boston.gov](mailto:cc@boston.gov), либо по телефону 617-635-3850.

Portuguese:

**IMPORTANTE!** Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: [cc@boston.gov](mailto:cc@boston.gov) ou 617-635-3850.

French:

**IMPORTANT !** Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à [cc@boston.gov](mailto:cc@boston.gov) ou au 617-635-3850.



PID	OWNER	ADDRESSEE	MAIL_ADDRESS	MAIL_CS	MAIL_ZFULL_ADDRESS
602739000	GILLETTE MANUFACTURING	C/O D WALLS/PROCTER & GAMBLE	PO BOX 599 ATTN: TAX DIVISION	CINCINNATI	45201 20 SOBIN PK
602757060	40 CHANNEL CENTER STREET BOSTON LLC	3 POST OFFICE SQUARE 4TH FLOOR	C/O AKELIUS REAL ESTATE MANAGEMENT LLC	BOSTON	2109 40 CHANNEL CENTER ST
602750050	MIDWAY ARTIST COLLECTIVE INC	C/O MIDWAY STUDIOS	15 CHANNEL CENTER ST	BOSTON	2210 15 CHANNEL CENTER ST
602760000	UNITED STATES POSTAL SERVICE		309 A STREET	SOUTH BOSTON	2127 HAUL RD
602757045	10-20 CHANNEL CENTER	C/O JLL MGMT OFFICE ATT: GM	20 CHANNEL CENTER ST	BOSTON	2210 20 30 CHANNEL CENTER ST
601168002	GILLETTE COMPANY	C/O D WALLS/PROCTER & GAMBLE	PO BOX 599 ATTN: TAX DIVISION	CINCINNATI	45201 MT WASHINGTON AV
602751300	REILLY MICHAEL F		35 CHANNEL CENTER ST #207	BOSTON	2210 35 CHANNEL CENTER ST 207
602751100	CACCAVARO RONALD		25 CHANNEL CENTER ST UNIT 812	SOUTH BOSTON	2210 25 CHANNEL CENTER ST 812
602751100	FLANAGAN BRENDAN		25 CHANNEL CENTER ST # 806	BOSTON	2110 25 CHANNEL CENTER ST 806
602751300	GRAY JOHN		2 WESTCOTT DRIVE	HOPKINTON	1748 35 CHANNEL CENTER ST 302
602751100	TWENTY-5 CHANNEL CTR CONDO		25 CHANNEL CENTER ST	BOSTON	2210 25 CHANNEL CENTER ST
602751100	CORREIA AMANDIO V		25 CHANNEL CENTER ST #610	BOSTON	2210 25 CHANNEL CENTER ST 610
602751100	SALEMME ANNE		25 CHANNEL CENTER ST #1107	BOSTON	2210 25 CHANNEL CENTER ST 1107
602751100	CARLSON RICHARD L		25 CHANNEL CENTER ST #PH-105	BOSTON	2210 25 CHANNEL CENTER ST PH-105
602751300	FATTA SIGNATURE PROPERTIES LLC	5 PALFREY RD	CAROL FATTA	GLOUCESTER	1930 35 CHANNEL CENTER ST 503
602751100	DIEP THUYEN LE		42-44 EUSTON RD	BRIGHTON	2135 25 CHANNEL CENTER ST 211
602751100	REVOCABLE TRUST OF LOUISE	C/O LOUISE C PUTNAM	25 CHANNEL CTR #410	BOSTON	2210 25 CHANNEL CENTER ST 410
602751300	MADHU SURESH		35 CHANNEL CENTER ST #405	BOSTON	2210 35 CHANNEL CENTER ST 405
602751300	JENNESS LLC		70 FEDERAL ST STE 301	BOSTON	2110 35 CHANNEL CENTER ST 100
602751100	SASSO JOHN R		25 CHANNEL CENTER ST #1003	BOSTON	2210 25 CHANNEL CENTER ST 1003
602751100	LEESER NANCY G	C/O NANCY LEESER	25 CHANNEL CENTER ST #PH-203	BOSTON	2210 25 CHANNEL CENTER ST PH-203
602751100	DEERY JANE		25 CHANNEL CENTER ST #205	BOSTON	2210 25 CHANNEL CENTER ST 205
602751100	KOTELLY CHRISTOPHER A		25 CHANNEL CENTER ST #604	BOSTON	2210 25 CHANNEL CENTER ST 604
602751100	KOURIS GEORGE		25 CHANNEL CENTER ST #809	BOSTON	2210 25 CHANNEL CENTER ST 809
602751300	DIPIERTO CHARLES J		35 CHANNEL CENTER ST #305	BOSTON	2210 35 CHANNEL CENTER ST 305
602751300	GIESE MARK H		35 CHANNEL CENTER ST #204	BOSTON	2210 35 CHANNEL CENTER ST 204
602751100	PURCELL KERRY		25 CHANNEL CENTER ST #402	BOSTON	2210 25 CHANNEL CENTER ST 402
602751100	MOON YOUNGME		25 CHANNEL CENTER ST PH-102	BOSTON	2210 25 CHANNEL CENTER ST PH-102
602751300	KLEIN JAMIE A		35 CHANNEL CENTER ST #210	BOSTON	2210 35 CHANNEL CENTER ST 210
602751300	DE LAS MERCEDES FARRANDMARIA	C/O MARIA DE LAS MERCEDES FARRANDO	35 CHANNEL CENTER ST #411	BOSTON	2210 35 CHANNEL CENTER ST 411
602751100	TRACH WILLIAM J		25 CHANNEL CENTER ST, UNIT PH-108	BOSTON	2210 25 CHANNEL CENTER ST PH-108
602751100	PAN MIAOMIAO		25 CHANNEL CENTER ST, UNIT 601	BOSTON	2210 25 CHANNEL CENTER ST 601
602751300	ALTER TRACY		35 CHANNEL CENTER ST #408	BOSTON	2210 35 CHANNEL CENTER ST 408
602751300	MAUMY-FLORESCU HELENE		35 CHANNEL CENTER ST #506	BOSTON	2210 35 CHANNEL CENTER ST 506
602751100	QUIRK THOMAS V		25 CHANNEL CENTER ST #208	BOSTON	2210 25 CHANNEL CENTER ST 208
602751100	SUGARMAN DUKE		25 CHANNEL CENTER ST #1007	BOSTON	2210 25 CHANNEL CENTER ST 1007
602751100	PARK WILLIAM		25 CHANNEL CENTER ST, UNIT 607	BOSTON	2210 25 CHANNEL CENTER ST 607
602751300	FORT POINT HOLDINGS LLC		35 CHANNEL CENTER ST #402	BOSTON	2210 35 CHANNEL CENTER ST 402
602751100	DEKERMANJI ANTHONY		25 CHANNEL CENTER ST #202	BOSTON	2210 25 CHANNEL CENTER ST 202
602751300	MUGHISUDDIN TARIK		35 CHANNEL CENTER ST #201	BOSTON	2210 35 CHANNEL CENTER ST 201
602751300	MCGEE JOAN		35 CHANNEL CENTER ST #304	BOSTON	2210 35 CHANNEL CENTER ST 304
602751100	HEMINGWAY KATHLEEN M		25 CHANNEL CENTER ST #612	BOSTON	2210 25 CHANNEL CENTER ST 612
602751100	25 CHANNEL CENTER #401 REALTY LLC		62 RUST WAY	COHASSET	25 CHANNEL CENTER ST 401
602751300	FATTA NICHOLAS B		35 CHANNEL CENTER ST #209	BOSTON	2210 35 CHANNEL CENTER ST 209
602751100	HIMMEL KENNETH C		25 CHANNEL CENTER ST #PH-107	BOSTON	2210 25 CHANNEL CENTER ST PH-107
602751300	WATKINS MARK B		35 CHANNEL CENTER ST, UNIT 505	BOSTON	2210 35 CHANNEL CENTER ST 505
602751100	HAN CHIEH-TING		25 CHANNEL CENTER ST #606	BOSTON	2210 25 CHANNEL CENTER ST 606
602751100	GALICIA JULIETTE M		25 CHANNEL CENTER UNIT 207	BOSTON	2210 25 CHANNEL CENTER ST 207

602751100 AMBALAVANAN SIVA		11126 ASHBURY MEADOWS DR	DAYTON	45458 25 CHANNEL CENTER ST 1006
602751300 CHANNEL DESIGN GROUP LLC MASS LLC	C/O PETER G POST	44 MASSASOIT STREET	NORTHAMPTON	1060 35 CHANNEL CENTER ST 102
602751300 NIEDERMAN RICHARD		8 PETER COOPER RD #7B	NEW YORK	10010 35 CHANNEL CENTER ST 310
602751100 THOMSEN ANN C	C/O CHRISTOPHER THOMSEN	25 CHANNEL CENTER ST #811	BOSTON	2210 25 CHANNEL CENTER ST 811
602751300 RANGEL SHAWN J		55 SHAW RD	CHESTNUT HILL	2467 35 CHANNEL CENTER ST 301
602751100 MILLER EDWARD H		25 CHANNEL CENTER ST, UNIT 1104	BOSTON	2210 25 CHANNEL CENTER ST 1104
602751100 KRAMER ERIC		25 CHANNEL CENTER ST #803	BOSTON	2210 25 CHANNEL CENTER ST 803
602751100 PALLOTTA GERARD		25 CHANNEL CENTER ST, UNIT 404	BOSTON	2210 25 CHANNEL CENTER ST 404
602751300 BRENNAN PATRICK JAMES		35 CHANNEL CENTER, UNIT 410	BOSTON	2210 35 CHANNEL CENTER ST 410
602751100 CCC PH 202 LLC		72 SHARP ST, UNIT PH 202	BOSTON	2210 25 CHANNEL CENTER ST PH-202
602751100 FLATIRONS REALTY TRUST	25 CHANNEL CENTER ST # PH104	C/O MICHAEL STACK	BOSTON	2210 25 CHANNEL CENTER ST PH-104
602751300 DRESCHER THEODORE O	C/O HYDE PROPERTIES	840 SUMMER ST #101	BOSTON	2127 35 CHANNEL CENTER ST 502
602751100 MALCHODI JOY A		25 CHANNEL CENTER ST #407	BOSTON	2210 25 CHANNEL CENTER ST 407
602751100 HASHIMOTO LARA		25 CHANNEL CENTER ST, UNIT 210	BOSTON	2210 25 CHANNEL CENTER ST 210
602751100 KAUFFMAN LEE B		25 CHANNEL CENTER ST #609	BOSTON	2210 25 CHANNEL CENTER ST 609
602751300 THIRTY-5 CHANNEL CTR CONDO		35 CHANNEL CENTER ST	BOSTON	2210 35 CHANNEL CENTER ST
602751100 SARIN ARADHANA		25 CHANNEL CENTER ST, UNIT 1101	BOSTON	2210 25 CHANNEL CENTER ST 1101
602751300 BETTINELLI STEPHEN		35 CHANNEL CENTER ST #508	BOSTON	2210 35 CHANNEL CENTER ST 508
602751300 CORSETTI GIANLUCA	C/O AMY L COOK	1520 COLUMBIA RD #2	SOUTH BOSTON	2127 35 CHANNEL CENTER ST 307
602751100 ZEKIS LYNNE M		25 CHANNEL CENTER ST #603	BOSTON	2210 25 CHANNEL CENTER ST 603
602751100 WHITE ROBERT F		25 CHANNEL CENTER ST #1002	BOSTON	2210 25 CHANNEL CENTER ST 1002
602751100 FINNEGAN JAMES J		25 CHANNEL CENTER ST, UNIT 204	BOSTON	2210 25 CHANNEL CENTER ST 204
602751100 PESELMAN RINA B		25 CHANNEL CTR ST #808	BOSTON	2210 25 CHANNEL CENTER ST 808
602751100 HAVERN ROBERT A III	C/O MAUREEN C HAVERN	25 CHANNEL CTR ST UNIT 201	BOSTON	2210 25 CHANNEL CENTER ST 201
602751300 NGUYEN TRINH		35 CHANNEL CENTER ST #203	BOSTON	2210 35 CHANNEL CENTER ST 203
602751100 EATON SHANNON		25 CHANNEL CENTER #1103	BOSTON	2210 25 CHANNEL CENTER ST 1103
602751100 IONITA MIHAELA		25 CHANNEL CENTER ST #PH-101	BOSTON	2210 25 CHANNEL CENTER ST PH-101
602751100 MARY KAY LEONARD TRUST		25 CHANNEL CENTER ST #403	BOSTON	2210 25 CHANNEL CENTER ST 403
602751100 ROSENBERG NAOMI	C/O MAOMI ROSENBERG	25 CHANNEL CENTER ST #802	BOSTON	2210 25 CHANNEL CENTER ST 802
602751100 LE BOURG MICHEL	C/O ANNE HUANG	145 GROVE ST	BROOKLINE	2467 25 CHANNEL CENTER ST 412
602751100 HARRINGTON RICHARD J		25 CHANNEL CENTER ST #406	BOSTON	2210 25 CHANNEL CENTER ST 406
602751300 CATHERINE A JASON REVOCABLE TRUST	C/O CATHERINE A JASON	35 CHANNEL CENTER ST #407	BOSTON	2210 35 CHANNEL CENTER ST 407
602751100 GRAHAM-MARTINEZ FAMILY TRUST	C/O PHILIP B GRAHAM	25 CHANNEL CENTER ST #PH-201	BOSTON	2210 25 CHANNEL CENTER ST PH-201
602751300 DEE ROCELYN S		35 CHANNEL CENTER ST #507	BOSTON	2210 35 CHANNEL CENTER ST 507
602751100 LAUREN BAKER-HART 2017 TRUST	C/O JAY C HART	25 CHANNEL CENTER ST # 608	BOSTON	2210 25 CHANNEL CENTER ST 608
602751100 KUBIAK RAYMOND J		25 CHANNEL CENTER ST #1008	BOSTON	2210 25 CHANNEL CENTER ST 1008
602751300 STONE ESTA-LEE		35 CHANNEL CENTER ST #401	BOSTON	2210 35 CHANNEL CENTER ST 401
602751300 WANG YINO		29 BLUEBERRY HILL RD	WESTON	2493 35 CHANNEL CENTER ST 306
602751300 CHANNEL DESIGN GROUP LLC MASS LLC	C/O PETER G POST	44 MASSASOIT STREET	NORTHAMPTON	1060 35 CHANNEL CENTER ST 104
602751300 STUMPFF ASTRID M		35 CHANNEL CENTER ST, UNIT 206	BOSTON	2210 35 CHANNEL CENTER ST 206
602751300 SUCH DARA L		35 CHANNEL CENTER ST #303	BOSTON	2210 35 CHANNEL CENTER ST 303
602751100 DE FRAGACHAN PIMENTEL	MARIA E PIMENTEL DE FRAGACHAN	25 CHANNEL CENTER ST #611	BOSTON	2210 25 CHANNEL CENTER ST 611
602751100 MACKIE DAVID C		25 CHANNEL CENTER ST #1106	BOSTON	2210 25 CHANNEL CENTER ST 1106
602751100 KESHIAN AMANDA		25 CHANNEL CENTER ST #212	BOSTON	2210 25 CHANNEL CENTER ST 212
602751100 RIBBLER JUDITH S		25 CHANNEL CENTER ST #805	BOSTON	2210 25 CHANNEL CENTER ST 805
602751100 MEHTA RUSTOM F		25 CHANNEL CENTER ST #409	BOSTON	2210 25 CHANNEL CENTER ST 409
602751300 ROMA ANTHONY R		35 CHANNEL CENTER ST #404	BOSTON	2210 35 CHANNEL CENTER ST 404
602751300 LANGONE MICHAEL J		35 CHANNEL CENTER ST #504	BOSTON	2210 35 CHANNEL CENTER ST 504
602757065 CHANNEL CENTER OWNERS	C/O PROPERTIES LLC	10 CHANNEL CENTER ST #510	BOSTON	2210 CHANNEL CENTER ST

602751300 WICE JAMES J		35 CHANNEL CENTER ST #309	BOSTON	2210 35 CHANNEL CENTER ST 309
602751300 GOOKIN PATRICK		35 CHANNEL CENTER ST #511	BOSTON	2210 35 CHANNEL CENTER ST 511
602751100 MEISTER WILLIAM M		25 CHANNEL CENTER ST #1005	BOSTON	2210 25 CHANNEL CENTER ST 1005
602751100 BURLING GROUP LLC		5404 BURLING RD	BETHESDA	20814 25 CHANNEL CENTER ST PH-204
602751300 JENNESS LLC		70 FEDERAL ST	BOSTON	2110 35 CHANNEL CENTER ST 101
602751100 HANLEY DEAN F		25 CHANNEL CENTER, UNIT 810	BOSTON	2210 25 CHANNEL CENTER ST 810
602751300 TURNBERRY 3908 LLC		35 CHANNEL CENTER ST, UNIT 211	BOSTON	2210 35 CHANNEL CENTER ST 211
602751300 MLANIE RAY LIVING TRUST		35 CHANNEL CENTER ST, UNIT 205	BOSTON	2210 35 CHANNEL CENTER ST 205
602751100 JAMES R BERRY TRUST		25 CHANNEL CENTER UNIT 1105	BOSTON	2210 25 CHANNEL CENTER ST 1105
602751100 ACHTMANN ERIC		25 CHANNEL CENTER ST, UNIT 804	BOSTON	2210 25 CHANNEL CENTER ST 804
602751100 RODGERS TODD K		25 CHANNEL CENTER ST #405	BOSTON	2210 25 CHANNEL CENTER ST 405
602751100 HEFFERNEN KATHLEEN		25 CHANNEL CENTER ST #408	BOSTON	2210 25 CHANNEL CENTER ST 408
602751300 BOBEK SCOTT A		35 CHANNEL CENTER ST #501	BOSTON	2210 35 CHANNEL CENTER ST 501
602751300 SAWZIN CAMERON K		35 CHANNEL CENTER ST #409	BOSTON	2210 35 CHANNEL CENTER ST 409
602751100 LOPES GARY		25 CHANNEL CENTER ST, UNIT # PH-103	BOSTON	25 CHANNEL CENTER ST PH-103
602751300 FORT POINT HOLDINGS LLC A MASS LLC		35 CHANNEL CENTER UNIT #402	BOSTON	2210 35 CHANNEL CENTER ST 403
602751100				25 CHANNEL CENTER ST 209
602751300 JACKSON ADAM		35 CHANNEL CENTER ST #308	BOSTON	2210 35 CHANNEL CENTER ST 308
602751300 LUXURY BRANDS INC		5 BATCHELDER RD	SEABROOK	3874 35 CHANNEL CENTER ST 509
602754010 US VI TOWER POINT LLC	C/O NORTHWOOD INVESTORS LLC	575 FIFTH AVE 23RD FLR	NEW YORK	10017 27 43 WORMWOOD ST
602751100 FREND PATRICK J		25 CHANNEL CENTER ST #203	BOSTON	2210 25 CHANNEL CENTER ST 203
602751100 DE LAS MERCEDES FARRANDO	MARIA DE LAS MERCEDES FARRANDO	25 CHANNEL CENTER ST #602	BOSTON	2210 25 CHANNEL CENTER ST 602
602751300 PEAK CANDICE		35 CHANNEL CENTER ST #208	BOSTON	2210 35 CHANNEL CENTER ST 208
602751100 WHITE KRISTIN		25 CHANNEL CENTER ST #1001	BOSTON	2210 25 CHANNEL CENTER ST 1001
602751100 E, F AND C LLC		355 CONGRESS ST	BOSTON	2210 25 CHANNEL CENTER ST 807
602751100 JAH REALTY LLC		91 LAGRANGE ST	CHESTNUT HILL	2467 25 CHANNEL CENTER ST
602751300 GISNESS WILLIAM		35 CHANNEL CENTER ST #202	BOSTON	2210 35 CHANNEL CENTER ST 202
601165010 RBCS ACQUISITIONS LLC	177 MILK ST	C/O RELATED BEAL LLC	BOSTON	2109 244 284 A ST
602751100 FREIDIN RALPH B		25 CHANNEL CENTER ST #1102	BOSTON	2210 25 CHANNEL CENTER ST 1102
602751100 25 CHANNEL CENTER LLC		17 CAROLINE ST	WELLESLEY	2481 25 CHANNEL CENTER ST 801
602757055 CHANNEL CENTER OWNERS	C/O PROPERTIES LLC	10 CHANNEL CENTER ST #510	BOSTON	2210 CHANNEL CENTER ST
602751100 WALDMAN MARYANNE		25 CHANNEL CENTER ST #1108	BOSTON	2210 25 CHANNEL CENTER ST 1108
602751100 MEROLA JAMES L TS		25 CHANNEL CENTER ST #411	BOSTON	2210 25 CHANNEL CENTER ST 411
602751300 FLORESCU HELENE		35 CHANNEL CENTER ST #406	BOSTON	2210 35 CHANNEL CENTER ST 406
602751100 KANE JOSEPH		25 CHANNEL CENTER ST #PH-106	BOSTON	2210 25 CHANNEL CENTER ST PH-106
602751300 MALDONADO LUIS M III	C/O DIANA L MALDONADO	33 HORACE RD	BELMONT	2478 35 CHANNEL CENTER ST 311
602751100 CHENEVERT SHERRI		25 CHANNEL CENTER ST #206	BOSTON	2210 25 CHANNEL CENTER ST 206
602751300 CHANNEL DESIGN GROUP LLC	C/O PETER G POST	44 MASSASOIT STREET	NORTHAMPTON	1060 35 CHANNEL CENTER ST 103
602751100 SOUZA JAMES JR	C/O JAMES SOUZA & DENNIS BRADY	25 CHANNEL CENTER ST #605	BOSTON	2210 25 CHANNEL CENTER ST 605
602753010 STERLING SCOTT R		21 WORMWOOD ST #508	BOSTON	2210 21 WORMWOOD ST 508
602753010 BECK KIMBERLY A		151 REDDINGTON STREET	SWAMPSCOTT	1907 21 WORMWOOD ST 307
602753010 KRASINSKI MICHAEL		21 WORMWOOD ST #220	BOSTON	2210 21 WORMWOOD ST 220
602753010 MARTHA A MAZZONE REVOCABLE TRUST	C/O MARTHA MAZZONE	21 WORMWOOD ST #514	BOSTON	2210 21 WORMWOOD ST 514
602753010 PHITAYAKORN ANGEL	21 WORMWOOD ST, UNIT 314	C/O ROY PHITAYAKORN	BOSTON	2210 21 WORMWOOD ST 315
602753010 RYAN HEBERDEN W		21 WORMWOOD ST #615	BOSTON	2210 21 WORMWOOD ST 615
602753010 MORRIS JAMES T		21 WORMWOOD ST #413	BOSTON	2210 21 WORMWOOD ST 413
602753010 WONG MICHAEL		21 WORMWOOD ST #610	BOSTON	2210 21 WORMWOOD ST 610
602753010 HING DOREEN		21 WORMWOOD ST #603	BOSTON	2210 21 WORMWOOD ST 603
602753010 HERDER GREG DEN		21 WORMWOOD ST #324	BOSTON	2210 21 WORMWOOD ST 324

602753010	BLOTNER MARK		1989 COMMONWEALTH AVE #S222	BOSTON	2215 21 WORMWOOD ST 422
602753010	GAVIN MOLLY		21 WORMWOOD ST #301	BOSTON	2210 21 WORMWOOD ST 301
602753010	GUMKOWSKI JOHN		21 WORMWOOD ST, UNIT 517	BOSTON	2210 21 WORMWOOD ST 517
602753010	BERGER DEBRA E		21 WORMWOOD ST #505	BOSTON	2210 21 WORMWOOD ST 505
602753010	SKALKOS ANASTASIOS G		21 WORMWOOD ST UNIT 318	BOSTON	2110 21 WORMWOOD ST 318
602753010	CARROLL WAYNE J		21 WORMWOOD ST #416	BOSTON	2210 21 WORMWOOD ST 416
602753010	WAGNER RODERICK J		21 WORMWOOD ST # 511	BOSTON	2210 21 WORMWOOD ST 511
602753010	PETRONZIO ANNA		21 WORMWOOD ST #607	BOSTON	2210 21 WORMWOOD ST 607
602753010	HANGARTER JEAN		21 WORMWOOD ST #410	BOSTON	2210 21 WORMWOOD ST 410
602753010	DISIPIO JOSEPH		21 WORMWOOD ST, UNIT 619	BOSTON	2210 21 WORMWOOD ST 619
602753010	KAM JENNIFER		21 WORMWOOD ST #419	BOSTON	2210 21 WORMWOOD ST 419
602753010	KESARIS ZOI		172 PURITAN DR	QUINCY	2169 21 WORMWOOD ST 321
602753010	GOULD BENJAMIN E		21 WORMWOOD ST, UNIT 223	BOSTON	2210 21 WORMWOOD ST 223
602753010	GREER RICHARD K TS	C/O SAGARINOS	106 SOUTH ST	BOSTON	2111 21A WORMWOOD ST 21A
602753010	PANZICA DANIELLE		21 WORMWOOD ST #402	BOSTON	2210 21 WORMWOOD ST 402
602753010	NORMAN ALLISON		21 WORMWOOD ST, UNIT 304	BOSTON	2210 21 WORMWOOD ST 304
602753010	FINKS JEANNE		21 WORMWOOD ST #309	BOSTON	2210 21 WORMWOOD ST 309
602753010	LIBERATOS KARIN M		21 WORMWOOD ST#510	BOSTON	2210 21 WORMWOOD ST 510
602753010	MORGAN SOPHIE		21 WORMWOOD ST #516	BOSTON	2210 21 WORMWOOD ST 516
602753010	ANNE BAILEY BERMAN 2011	C/O ANNE BAILEY BERMAN	164 POINT OF PINES AVE	CENTERVILLE	2632 21 WORMWOOD ST 415
602753010	SINGER ROGER M		PO BOX 2756	DURANGO	81302 21 WORMWOOD ST 618
602753010	OKEEFFE ALISSA A	C/O ALISSA A OKEEFFE	21 WORMWOOD ST #418	BOSTON	2210 21 WORMWOOD ST 418
602753010	MOTAMEDI MOHAMMED		21 WORMWOOD ST #407	BOSTON	2210 21 WORMWOOD ST 407
602753010	HANOIAN PETER G		21 WORMWOOD ST #522	BOSTON	2210 21 WORMWOOD ST 522
602753010	KELLY B MOSS REVOCABLE TRUST	C/O KELLY B MOSS	21 WORMWOOD STREET UNIT 303	BOSTON	2210 21 WORMWOOD ST 303
602753010	MACNAUGHT COLIN A		21 WORMWOOD ST #424	BOSTON	2210 21 WORMWOOD ST 424
602753010	LISNOW MARK		21 WORMWOOD ST #401	BOSTON	2210 21 WORMWOOD ST 401
602753010	IODICE MICHAEL F III	C/O MICHAEL F IODICE III	21 WORMWOOD ST #312	BOSTON	2210 21 WORMWOOD ST 312
602753010	YEE MICHAEL K		21 WORMWOOD ST, UNIT 306	SOUTH BOSTON	2210 21 WORMWOOD ST 306
602753010	COOPER JAMES		21 WORMWOOD ST #320	BOSTON	2210 21 WORMWOOD ST 320
602753010	FITZGERALD WAGNER MARGARET E	C/O RODERICK J WAGNER	21 WORMWOOD ST #513	BOSTON	2210 21 WORMWOOD ST 513
602753010	WHITTAKER ELIZABETH		21 WORMWOOD ST #614	BOSTON	2127 21 WORMWOOD ST 614
602752000	TWO 49A ST COOPERATIVE CORP	C/O STEPHANIE BERLO, PROP MGR	BARKAN MGT CO- 24 FARNSWORTH ST	BOSTON	2210 6 BINFORD ST
602753010	CAROLINE Y CHUN LIVING TRUST	C/O CAROLINE CHUN-MCCARTY	109 CEDAR LANE	WESTWOOD	2090 21 WORMWOOD ST 609
602753010	MALTON CRAIG		21 WORMWOOD ST #404	BOSTON	2210 21 WORMWOOD ST 404
602757070	CHANNEL CENTER OWNERS	C/O PROPERTIES LLC	10 CHANNEL CENTER ST #510	BOSTON	2210 CHANNEL CENTER ST
602753010	SIMAO KAREN D	C/O KAREN SIMAO	21 WORMWOOD ST #621	BOSTON	2210 21 WORMWOOD ST 621
602753010	CAMILLO JOSEPH A JR		40 PEBBLE BROOK DR	MIDDLEBOROUGH	2346 21 WORMWOOD ST 421
602753010	WANG JACK Z		21 WORMWOOD ST #519	BOSTON	2210 21 WORMWOOD ST 519
602753010	HAYES S RHIANNON		21 WORMWOOD ST #225	BOSTON	2210 21 WORMWOOD ST 225
602753010	BINDER ALISON		61 BOOTH HILL RD	SCITUATE	2066 21 WORMWOOD ST 323
602753010	MAVRIDES MARCIA		21 WORMWOOD ST, UNIT 502	BOSTON	2210 21 WORMWOOD ST 502
602753010	SULLIVAN KERRY A	C/O KERRY SULLIVAN	21 WORMWOOD ST #525	BOSTON	2210 21 WORMWOOD ST 525
602753010	MIGLIOSI JOSEPH C	C/O JOSEPH MIGLIOSI	21 WORMWOOD ST #311	BOSTON	2210 21 WORMWOOD ST 311
602753010	FEAGLEY LESLIE ANNE		21 WORMWOOD ST #305	BOSTON	2210 21 WORMWOOD ST 305
602753010	BARBA RYAN	C/O RYAM BARBA	21 WORMWOOD ST #504	BOSTON	2210 21 WORMWOOD ST 504
602753010	SULLIVAN LORRAINE M		21 WORMWOOD ST #518	BOSTON	2210 21 WORMWOOD ST 518
602753010	LEE JEE HYUNG		21 WORMWOOD ST #317	BOSTON	2210 21 WORMWOOD ST 317
602753010	MCGLONE DORSEY E		21 WORMWOOD ST #409	BOSTON	2210 21 WORMWOOD ST 409

602753010 ZARSKI MONIKA		21 WORMWOOD ST #606	BOSTON	2210 21 WORMWOOD ST 606
602753010 SUN XIXI		21 WORMWOOD ST #620	BOSTON	2210 21 WORMWOOD ST 620
602753010 SMITH RAPHAEL M		21 WORMWOOD ST #222	BOSTON	2210 21 WORMWOOD ST 222
601165100 GILLETTE COMPANY	C/O D WALLS/PROCTER&GAMBLE	PO BOX 599 - ATTN: TAX DIVISION	CINCINNATI	45201 232 A ST
602753010 MURPHY JOHN ALEC		21 WORMWOOD ST #420	BOSTON	2210 21 WORMWOOD ST 420
602753010 FORT POINT PLACE		21 WORMWOOD ST	BOSTON	2110 21 WORMWOOD ST
602753010 21 WORMWOOD STREET UNIT 403 REALTY TRUST	C/O PETER H MARCUS	21 WORMWOOD ST #403	BOSTON	2210 21 WORMWOOD ST 403
602753010 STERLING SCOTT		21 WORMWOOD ST #501	BOSTON	2210 21 WORMWOOD ST 501
602753010 GREEN EDWARD R		21 WORMWOOD ST #524	BOSTON	2210 21 WORMWOOD ST 524
602753010 KATZ DAVID M		21 WORMWOOD ST # 507	BOSTON	2210 21 WORMWOOD ST 507
602753010 EDWARDS NICHOLAS		21 WORMWOOD ST #515	BOSTON	2210 21 WORMWOOD ST 515
602753010 DESANTAREN MANUEL		21 WORMWOOD ST #308	BOSTON	2210 21 WORMWOOD ST 308
602753010 MARSH ROBERT T		21 WORMWOOD ST, UNIT 412	BOSTON	2210 21 WORMWOOD ST 412
602753010 PHITAYAKORN ANGEL	21 WORMWOOD ST, UNIT 314	C/O ROY PHITAYAKORN	SOUTH BOSTON	2210 21 WORMWOOD ST 314
602753010 BUCKLEY CHARLES		21 WORMWOOD ST #616	BOSTON	2210 21 WORMWOOD ST 616
602753010 LEFKOWITZ JOINT REVOCABLE TRUST		21 WORMWOOD ST, UNIT 602	BOSTON	2210 21 WORMWOOD ST 602
602753010 TRACY RYAN		21 WORMWOOD ST, UNIT 406	BOSTON	2210 21 WORMWOOD ST 406
602753010 CHHAJTA ARTI		21 WORMWOOD ST, UNIT 521	BOSTON	2210 21 WORMWOOD ST 521
602753010 PASHOU CHRISTINA		21 WORMWOOD ST #423	BOSTON	2210 21 WORMWOOD ST 423
602753010 MARGARET VARGO REVOCABLE TRUST	C/O DENNIS L VARGO	21 WORMWOOD ST #623	BOSTON	2210 21 WORMWOOD ST 623
602753010 TOTH MICHELLE A		21 WORMWOOD ST #325	BOSTON	2210 21 WORMWOOD ST 325
602753010 STERLING SCOTT		21 WORMWOOD ST #506	BOSTON	2210 21 WORMWOOD ST 506
602753010 OBRIEN KRISTIN		21 WORMWOOD ST #319	BOSTON	2210 21 WORMWOOD ST 319
602753010 GLYNN NANCY BUTLER		21 WORMWOOD ST #512	BOSTON	2210 21 WORMWOOD ST 512
602753010 DIORIO TAMMY J		21 WORMWOOD ST #313	BOSTON	2210 21 WORMWOOD ST 313
602753010 TURNBERRY 3908 LLC		21 WORMWOOD ST, UNIT 611	BOSTON	2210 21 WORMWOOD ST 611
602753010 CAIN SEAN P		21 WORMWOOD ST #411	BOSTON	2210 21 WORMWOOD ST 411
602753010 BERG DARCI L		21 WORMWOOD ST #608	BOSTON	2210 21 WORMWOOD ST 608
602753010 THOMAS ELISA C		205 WATER ST, UNIT 3A	BROOKLYN	11201 21 WORMWOOD ST 405
602753010 RHIM MELISSA H		21 WORMWOOD ST #322	BOSTON	2210 21 WORMWOOD ST 322
602753010 SCHENKEIN DAVID P TS	C/O DAVID P SCHENKEIN TS	21 WORMWOOD ST #622	BOSTON	2210 21 WORMWOOD ST 622
602753010 FRESH TURF LLC		7 CERINA RD	JAMAICA PLAIN	2130 21 B WORMWOOD ST 21B
602753010 SZARY KASIA		21 WORMWOOD ST #601	BOSTON	2210 21 WORMWOOD ST 601
602753010 LEVINE RICHARD E	C/O RICHARD T LEVINE	21 WORMWOOD ST # 520	BOSTON	2210 21 WORMWOOD ST 520
602753010 FERREL GEORGE T		21 WORMWOOD ST #224	BOSTON	2210 21 WORMWOOD ST 224
602753010 WAGNER RODERICK J		21 WORMWOOD ST, UNIT 511	BOSTON	2210 21 WORMWOOD ST 509
602753010 LAFOND BRIAN		21 WORMWOOD ST, UNIT 310	BOSTON	2210 21 WORMWOOD ST 310
602753010 ADVANI TUSHAR		250 HAMMOND POND PW #610 NORTH	NEWTON	2467 21 WORMWOOD ST 503
602753010 SKALKOS ANASTASIOS G		21 WORMWOOD ST UNIT 316	BOSTON	2116 21 WORMWOOD ST 316
602753010 ANNE BAILEY BERMAN 2011	C/O ANNE BAILEY BERMAN	164 POINT OF PINES AVE	CENTERVILLE	2632 21 WORMWOOD ST 414
602753010 ROSANA ALEXIS C		21 WORMWOOD ST #408	BOSTON	2210 21 WORMWOOD ST 408
602753010 ROTH ZACHARY N		21 WORMWOOD ST, UNIT 417	BOSTON	2210 21 WORMWOOD ST 417
602753010 ZACK TIMOTHY		21 WORMWOOD ST, UNIT 604	BOSTON	2210 21 WORMWOOD ST 604
602753010 NADER ANDREW JOHN		50 COUNTRYSIDE LN	MILTON	2186 21 WORMWOOD ST 221
602753010 HENNESSEY PATRICIA A TS		21 WORMWOOD ST # 425	BOSTON	2210 21 WORMWOOD ST 425
602753010 BONACETO PAUL J		21 WORMWOOD ST #523	BOSTON	2210 21 WORMWOOD ST 523
602753010 SPLAGOUNIAS KONSTANTINOS		21 WORMWOOD ST #302	BOSTON	2210 21 WORMWOOD ST 302
602753010 PETERSON BRUCE		21 WORMWOOD ST UNIT#209	BOSTON	2210 21 WORMWOOD ST 209
602753010 MARGARET F STRAKOSCH REVOCABLE TRUST		21 WORMWOOD ST, UNIT 201	BOSTON	2210 21 WORMWOOD ST 201

602753010 RONAN JUDITH		21 WORMWOOD ST #217	BOSTON	2210 21 WORMWOOD ST 217
602753010 STAVROPOULOS GEORGE		21 WORMWOOD ST, UNIT 204	BOSTON	2210 21 WORMWOOD ST 204
602753010 WALSH CHRISTOPHER S		21 WORMWOOD ST, UNIT 214	BOSTON	2210 21 WORMWOOD ST 214
602753010 SMITH IAN		21 WORMWOOD ST #211	BOSTON	2210 21 WORMWOOD ST 211
602753010 SULLIVAN JOHN		11 EASTMAN AVE	WESTWOOD	2090 21 WORMWOOD ST 203
602753010 MCKIE DEBORAH A TS	C/O DEBORAH MCKIE TS	21 WORMWOOD ST #208	BOSTON	2210 21 WORMWOOD ST 208
602753010 TWENTY ONE C REALTY TRUST	C/O HANSY BETTER BARRAZA	1B MEYER ST	BOSTON	2131 21C WORMWOOD ST 21C
602753010 KEIM CRAIG P		21 WORMWOOD ST #216	BOSTON	2210 21 WORMWOOD ST 216
602753010 KRAUSS EVA		21 WORMWOOD ST #213	BOSTON	2210 21 WORMWOOD ST 213
602753010 OCONNOR THOMAS C		21 WORMWOOD ST #206	BOSTON	2210 21 WORMWOOD ST 206
602753010 SILIRIE CATHERINE LEE		21 WORMWOOD ST, UNIT 219	BOSTON	2210 21 WORMWOOD ST 219
602753010 MAVRIDES-RODGERS JULIA		21 WORMWOOD ST #210	BOSTON	2210 21 WORMWOOD ST 210
602753010 FOWLER JASON M		21 WORMWOOD ST #218	BOSTON	2210 21 WORMWOOD ST 218
602753010 HOLLINGER STEVEN		21 WORMWOOD ST #215	BOSTON	2210 21 WORMWOOD ST 215
602753010 MALOOF ROBERT		21 WORMWOOD ST #212	BOSTON	2210 21 WORMWOOD ST 212
602753010 COMBE KAREN R		21 WORMWOOD ST #202	BOSTON	2210 21 WORMWOOD ST 202

# PROJECT DESCRIPTION

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## 1. Introduction

On behalf of the Applicant, 40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC, Bohler is pleased to submit a Notice of Intent (NOI) for the proposed work associated with the Property located at 40 Channel Center Street in the South Boston neighborhood. This Notice of Intent (NOI) is filed pursuant to G.L. Chapter 131, Section 40, the Massachusetts Wetlands Protection Act (WPA) and its applicable regulations, and 310 CMR 10.00. The entire parcel is located within the coastal 100-year floodplain (identified as Zone AE per FEMA), as such, the activities associated with the construction of the Project will all be taking place within this resource area, which is classified as Land Subject to Coastal Storm Flowage per 310 CMR 10.04.

The Applicant is proposing to retrofit a portion of the interior space of the existing building, which is inclusive utility upgrades which will add an above ground, pad-mounted electric transformer and stormwater infiltration systems to manage the required stormwater volume over the impervious areas of the Property. The existing conditions at the Site consist of a building (existing to remain), an impervious elevated patio area (associated with the first floor restaurant use), a screened fence enclosure for exterior building utilities, a combination of pervious and impervious pedestrian surfaces, and landscaped area with plantings. Existing water and sanitary sewer connections will be retained and protected. A subsurface leaching chamber infiltration system combined with a perforated pipe infiltration system and a French drain infiltration system and have been proposed to comply with BWSC stormwater requirements as the Site is also located in the Groundwater Conservation Overlay District (GCOD).

Indirect impacts from stormwater discharges are to be mitigated through the use of sedimentation and erosion control measures during construction. A Drainage Summary detailing the compliance with the MassDEP regulations is provided in Appendix A.

## 2. Wetland Resource Areas

### 2.1 Resource Area Evaluation

The entire site is located within the coastal 100-year floodplain per FEMA map panel 25025C00081J, published March 16, 2016, at base flood elevation (BFE) of 10 feet (NAVD88). Per Boston City Base (BCB), the 100-year floodplain is located at elevation 16.46 (NAVD88 elevation + 6.46 feet). The Site was surveyed by Feldman Land Surveyors on November 10, 2020. The 100-year floodplain in this area is defined as Land Subject to Coastal Storm Flowage per 310 CMR 10.04.

## 2.2 Regulated Area Impacts

The Project proposes site improvements within the coastal 100-year floodplain. Impacts will include removal and resetting of disturbed existing pedestrian surfaces, construction of the pad-mounted electrical transformer and associated conduit, and construction of the underground infiltration systems per BWSC standard requirements. Refer to the Site Development Plans provided in Attachment A for a full depiction of proposed activities. Prior to any construction-related activities erosion control measures will be established to prevent any damage to the resource area. These standard control devices, i.e., filter tubing and stormwater inlet protection, will serve to mitigate indirect impacts from stormwater discharge during construction.

## 2.3 Rare Species and Habitats

There is no Priority Habitat or Estimated Habitat for rare or endangered species on the Site, according to the 14<sup>th</sup> edition of the Natural Heritage & Endangered Species (NHESP) Atlas, available on MassGIS.

## 3. Work Located in Jurisdictional Area

The Project will include the construction of two (2) new stormwater management systems to help improve both the quality and quantity of the stormwater runoff generated from the site adhering to the BWSC standard requirements. The on-site stormwater management systems consist of one (1) French drain infiltration system and one (1) underground leaching chamber infiltration system combined with a perforated pipe infiltration system. These systems have been sized to capture and infiltrate the volume of one inch of runoff generated over the total predevelopment impervious drainage areas. The Project has been designed to manage this minimum volume and the systems are shown to match or reduce peak runoff rates for the volumes generated by the 2-year, 10-year, and 100-year storms (listed in Table 1 below).

**Table 1: Design Point Peak Runoff Rate Summary\***

Point of Analysis	2-Year Storm			10-Year Storm			100-Year Storm		
	Pre	Post	Δ	Pre	Post	Δ	Pre	Post	Δ
<b>DP1</b>	0.44	0.44	<b>0.00</b>	0.71	0.70	<b>-0.01</b>	1.12	1.11	<b>-0.01</b>
<b>DP2</b>	0.14	0.14	<b>0.00</b>	0.23	0.23	<b>0.00</b>	0.36	0.36	<b>0.00</b>

\*Flows are represented in cubic feet per second (cfs)

The proposed infiltration systems will be maintained in accordance with the Operation and Maintenance plan included in Appendix A.

Additionally, an above ground, pad-mounted electric transformer will also be

introduced to the Site to service the existing building, a portion of which will receive internal retrofitting. The transformer will be designed by Eversource and its associated conduit connections will be served by an existing electric manhole within the A Street right-of-way. The existing building's electric service is currently tied to a separate electric manhole in A Street, which is proposed to be cut and removed to allow for this new service installation.

#### 4. Climate Change and Adaption Planning Considerations

The Owner understands that the Site is subject to the impacts of climate change and that building resiliency will be important in the future. The main use of the ground floor is an existing restaurant that will remain and is not part of this Project. The finished floor of the restaurant is approximately 18.75 or 2.75'+/- above existing grade around the building. This should provide a reasonable level of protection from increased flood elevations. There are two access doors at grade level that may need to be modified in the future or use temporary flood barriers, such as an AquaFence product. The building owner understands this and will investigate such measures. The scope of this current construction project is mainly focused on renovation of upper floors of the building and the associated electrical service upgrades and stormwater system implementation, so no changes are proposed to the exterior doors at this time.

#### 5. Summary

The jurisdictional resource areas applicable to this Project are the 100-year floodplain (Land Subject to Coastal Storm Flowage) per 310 CMR 10.04. All proposed work is located within this jurisdictional area, which includes the removal and resetting of disturbed pedestrian surfaces, construction of the pad-mounted electrical transformer and associated conduit, and construction of the underground infiltration systems per BWSC standard requirements. The Project has been designed in accordance with the Wetlands Protection Act Regulations (310 CMR 10.00) and the local regulations set forth in the Ordinance Protecting Local Wetlands and Promoting Climate Change Adaption in the City of Boston.

During construction, appropriate BMPs will be installed, inclusive of standard erosion control barriers and inlet protection. Impacts to the stormwater management system are further described in the Drainage Summary provided in Appendix A.

## **APPENDIX A - DRAINAGE SUMMARY**

December 15, 2021

Boston Conservation Commission  
1 City Hall Square, Room 709  
Boston, MA 02201  
Attn: Nicholas Moreno, Executive Director

**Re: Notice of Intent Application Package  
40 Channel Center Street  
Boston, MA**

Dear Members of the Board:

On behalf of 40 Channel Center Street Boston LLC c/o Akelius Real Estate Management LLC, the Applicant, Bohler is pleased to submit a copy of the Project's stormwater checklist to the Notice of Intent Application for the Property located at 40 Channel Center Street in Boston, MA. The proposed utility work for this Site is to be classified as a redevelopment. The proposed work does not alter the existing drainage patterns and there appears to be no stormwater systems on-site. The Project consists of electric utility upgrades to the building, inclusive of an above ground, pad-mounted electric transformer and associated conduit connections. The design will also include the construction of stormwater drainage systems, including subsurface leaching chambers combined with a perforated pipe infiltration system and a French drain system. The Project complies with the MassDEP Stormwater Management Standards as a redevelopment project.

Standard 1: There are no new untreated discharges.

Standard 2: The proposed Project is a redevelopment. The Property is located on Land Subject to Coastal Storm Flowage under the jurisdiction of the MassDEP and in the Coastal Flood Resilience Overlay District under the jurisdiction of the Boston Conservation Commission. There will be no increase in peak stormwater runoff rates. The proposed subsurface infiltration systems will manage stormwater runoff from the impervious area on-site.

Standard 3: There is no increase in impervious area as compared to existing conditions. The post-construction groundwater recharge conditions will be managed by implementing a subsurface leaching chamber infiltration system combined with a perforated pipe infiltration system and a French drain infiltration system that have been sized to capture and infiltrate 1-inch of runoff from the defined subcatchment areas on-site, in accordance with BWSC requirements. These systems will help to improve both the quality and quantity of stormwater runoff that is generated from impervious area on the site. During larger, less frequent storm events, overflow from the subsurface infiltration system will enter the existing main by reusing an existing roof drain connection to the main, replicating existing conditions. The overflow volume from the French drain will enter the main via sheet flow to existing catch basins in Channel Center Street that tie into the pipe, to also replicate the existing conditions on-site. The Project complies with this standard to the maximum extent practicable.

Standard 4: The post-construction TSS conditions will remain unchanged upon pre-construction conditions as no increase in impervious area is proposed.

Standard 5: The proposed Project is not considered to be a "Land Use with Higher Potential Pollutant Loads" (LUHPPL).

Standard 6: The Project is not located within any environmentally critical areas.

Standard 7: As described in this letter, this Project qualifies as a redevelopment and meets all standards to the maximum extent practicable.

Standard 8: The proposed Project will provide construction period erosion and sedimentation controls as indicated within the site plan set provided for this Project, including inlet protection to filter stormwater discharges.

Standard 9: An Operation and Maintenance (O&M) Plan for this site has been prepared and included in the Notice of Intent.

Standard 10: No illicit discharges will be created as part of the site construction in the area in question.

If you have any questions, please do not hesitate to contact us at (617) 849-8040.

Sincerely,

**BOHLER**



Jared Walsh, E.I.T.



Mark Wixted, P.E.

Cc: Robin Blatt-Eisengart, Akelius Real Estate Management LLC  
File: M211067

# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

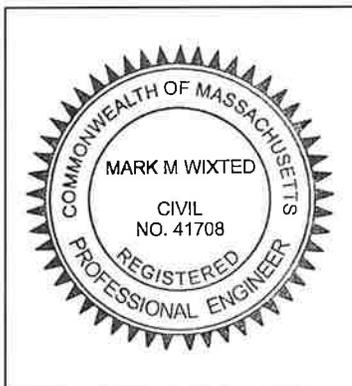
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



*Mark M. Wixted* 12/16/21

Signature and Date

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment

# Checklist for Stormwater Report

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## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): Proprietary Infiltration BMP Structures

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.

# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

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<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.

# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.

# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.

# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
  - Redevelopment Project
  - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.

# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

## BWSC SUMMARY OF DRAINAGE CALCULATIONS

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### **SUMMARY OF DRAINAGE CALCULATIONS**

TOTAL DRAINAGE AREA SIZE = 8,395 SF  
REQUIRED STORAGE VOLUME: 8,395 SF X 1-IN (1 FT/12 IN) = 699.6 = 700 CF

FRENCH DRAIN INFILTRATION SYSTEM  
DESIGN RUNOFF VOLUME: 1-YEAR DESIGN STORM (1-INCH)  
IMPERVIOUS SYSTEM DESIGN AREA: 2,060 SF (172 CF)

PROPOSED PIPE VOLUME  
12" PERFORATED PIPE VOLUME:  $V = \pi (R^2)(L) = \pi \times (0.5 \text{ FT})^2 \times (60.0 \text{ FT}) = 47 \text{ CF}$

PROPOSED STONE VOLUME  
STONE VOLUME:  $V = (L \times (W \times D) - \pi (R^2) \times 0.30) + (2.0 \text{ FT} \times W \times D \times 0.30)$   
 $= (62.0 \text{ FT} \times ((2.0 \text{ FT} \times 5.0 \text{ FT}) - \pi \times (0.5 \text{ FT})^2 \times 0.30) + (2.0 \text{ FT} \times 2.0 \text{ FT} \times 5.0 \text{ FT} \times 0.30)$   
 $= 177 \text{ CF}$

TOTAL FRENCH DRAIN SYSTEM VOLUME = 47 + 177 = 224 CF > 172 CF (REQ.)

UNDERGROUND CONCRETE GALLEY & PERFORATED PIPE COMBINED INFILTRATION SYSTEM  
DESIGN RUNOFF VOLUME: 1-YEAR DESIGN STORM (1-INCH)  
IMPERVIOUS SYSTEM DESIGN AREA: 6,335 SF (528 CF)

PROPOSED LEACHING INFILTRATION SYSTEM WITH STONE VOLUME  
SYSTEM VOLUME (6 CHAMBERS WITH 6" SIDE/BOTTOM STONE):  $V = 349 \text{ CF}$

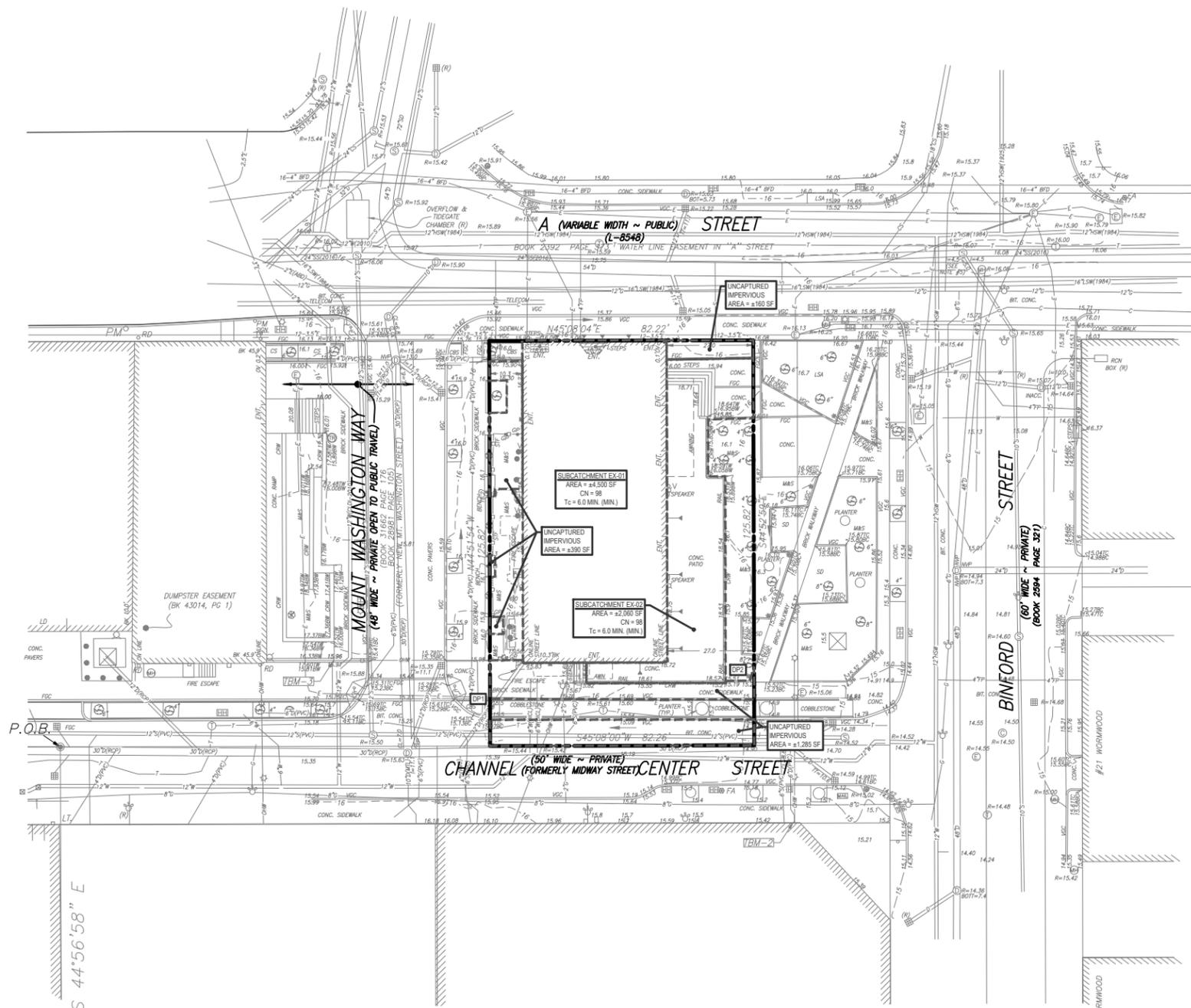
PROPOSED PIPE VOLUME  
24" PERFORATED PIPE VOLUME:  $V = \pi (R^2)(L) = \pi \times (1.25 \text{ FT})^2 \times (30.0 \text{ FT}) = 147 \text{ CF}$

PROPOSED STONE VOLUME  
STONE VOLUME:  $V = (L \times (W \times D) - \pi (R^2) \times 0.30) + (1.0 \text{ FT} \times W \times D \times 0.30)$   
 $= (30.0 \text{ FT} \times ((3.5 \text{ FT} \times 3.5 \text{ FT}) - \pi \times (1.25 \text{ FT})^2 \times 0.30)) + (1.0 \text{ FT} \times 3.5 \text{ FT} \times 3.5 \text{ FT} \times 0.30)$   
 $= 70 \text{ CF}$

TOTAL INFILTRATION SYSTEM VOLUME = 349 + 147 + 70 = 566 CF > 528 CF (REQ.)

TOTAL SYSTEM STORAGE VOLUME ON-SITE = 224 + 566 = 790 CF

REQUIRED SYSTEM STORAGE = 700 CF; PROPOSED STORAGE = 790 CF



S 44°56'58" E

P:\121167\DRAWINGS\PLAN\121167\121167-CVL-LAYOUT-1-WE-EX-01.DWG

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LAND ACQUISITION  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
0	11/12/2021	BWSC SUBMISSION #1	JWV	MMW
1	12/02/2021	ELECTRIC UTILITY REVISIONS	JWV	MMW
2	12/13/2021	BWSC COMMENT RESPONSE	JWV	MMW

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**ISSUED FOR PERMIT**

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PROJECT NO.: M211067  
 DRAWN BY: JWV  
 CHECKED BY: MMW  
 DATE: 12/13/2021  
 CAD ID.: M211067-CVL

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**AKELIUS REAL ESTATE MANAGEMENT LLC**

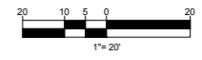
PROPOSED UTILITY UPGRADES  
 PARCEL ID: 0602757060  
 40 CHANNEL CENTER STREET,  
 CITY OF BOSTON,  
 SUFFOLK COUNTY,  
 MASSACHUSETTS

**BOHLER**  
 45 FRANKLIN STREET, 5th FLOOR  
 BOSTON, MA 02110  
 Phone: (617) 849-8040  
 www.BohlerEngineering.com

SHEET TITLE:  
**EXISTING CONDITIONS WATERSHED MAP**

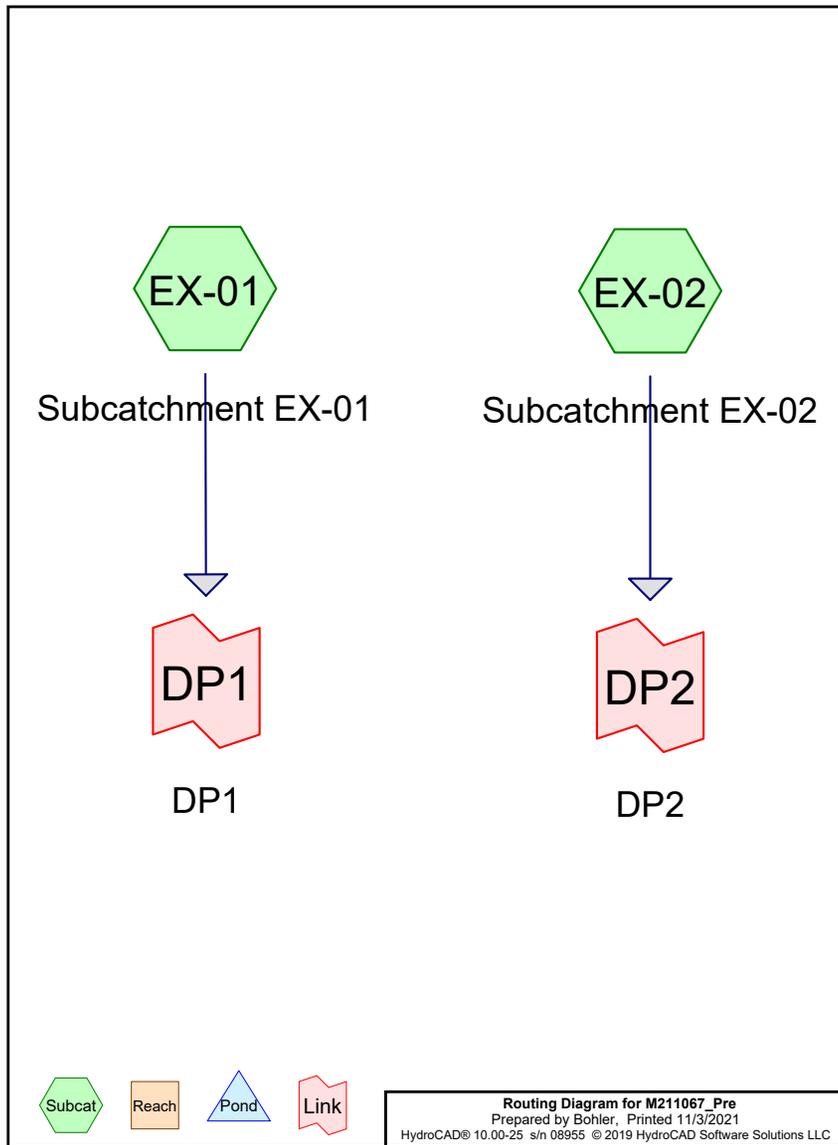
SHEET NUMBER:  
**WS-EX**

REVISION 2 - 12/13/2021



**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.047	98	Patio and Awning Area (EX-02)
0.103	98	Roof Area (EX-01)
<b>0.151</b>	<b>98</b>	<b>TOTAL AREA</b>



Routing Diagram for M211067\_Pre  
Prepared by Bohler, Printed 11/3/2021  
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**M211067\_Pre**

Prepared by Bohler

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Page 3

**Soil Listing (all nodes)**

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.151	Other	EX-01, EX-02
<b>0.151</b>		<b>TOTAL AREA</b>

**M211067\_Pre**

Prepared by Bohler

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Page 4

**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.047	0.047	Patio and Awning Area	EX-02
0.000	0.000	0.000	0.000	0.103	0.103	Roof Area	EX-01
<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.151</b>	<b>0.151</b>	<b>TOTAL AREA</b>	

Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment EX-01** Runoff Area=4,500 sf 100.00% Impervious Runoff Depth=2.99"  
 Tc=6.0 min CN=98 Runoff=0.32 cfs 0.026 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=2.99"  
 Tc=6.0 min CN=98 Runoff=0.14 cfs 0.012 af

**Link DP1: DP1** Inflow=0.32 cfs 0.026 af  
 Primary=0.32 cfs 0.026 af

**Link DP2: DP2** Inflow=0.14 cfs 0.012 af  
 Primary=0.14 cfs 0.012 af

Total Runoff Area = 0.151 ac Runoff Volume = 0.037 af Average Runoff Depth = 2.99"  
 0.00% Pervious = 0.000 ac 100.00% Impervious = 0.151 ac

**Summary for Subcatchment EX-01: Subcatchment EX-01**

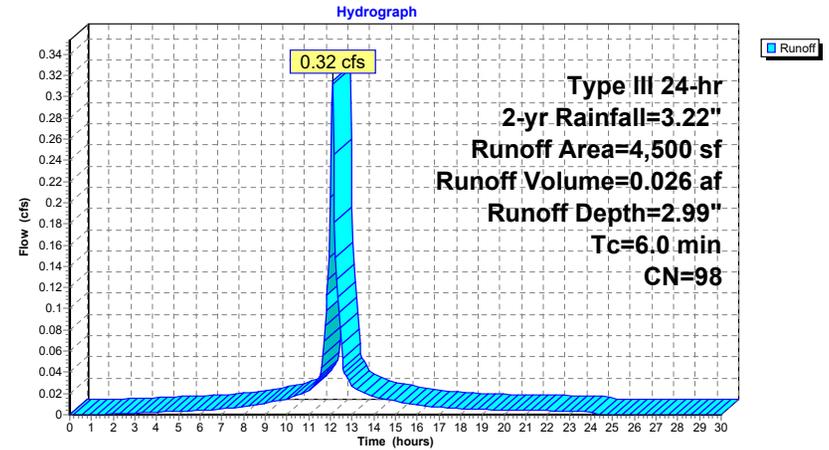
Runoff = 0.32 cfs @ 12.09 hrs, Volume= 0.026 af, Depth= 2.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
 Type III 24-hr 2-yr Rainfall=3.22"

Area (sf)	CN	Description
4,500	98	Roof Area
4,500		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment EX-01**



**Summary for Subcatchment EX-02: Subcatchment EX-02**

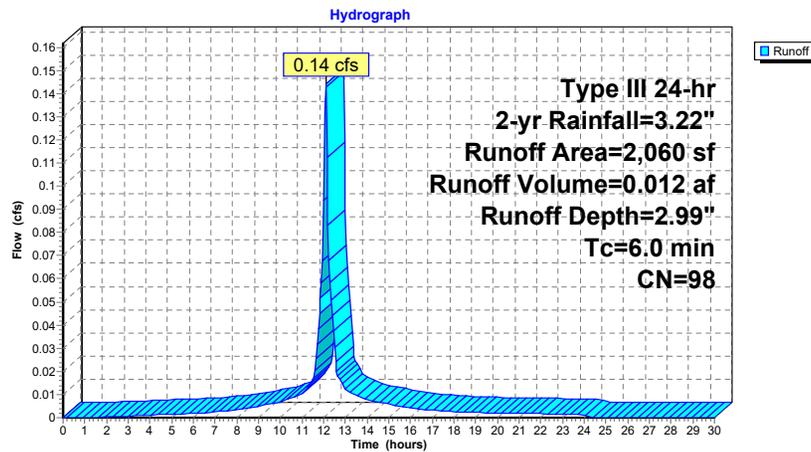
Runoff = 0.14 cfs @ 12.09 hrs, Volume= 0.012 af, Depth= 2.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 2-yr Rainfall=3.22"

Area (sf)	CN	Description
2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**

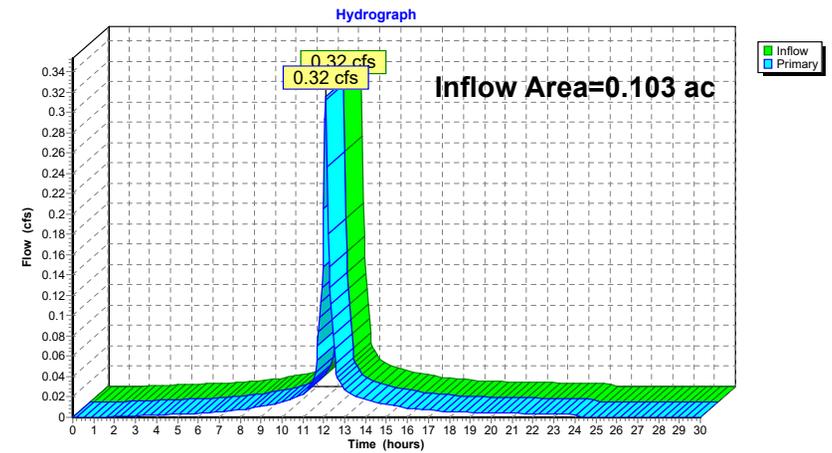


**Summary for Link DP1: DP1**

Inflow Area = 0.103 ac, 100.00% Impervious, Inflow Depth = 2.99" for 2-yr event  
Inflow = 0.32 cfs @ 12.09 hrs, Volume= 0.026 af  
Primary = 0.32 cfs @ 12.09 hrs, Volume= 0.026 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP1: DP1**



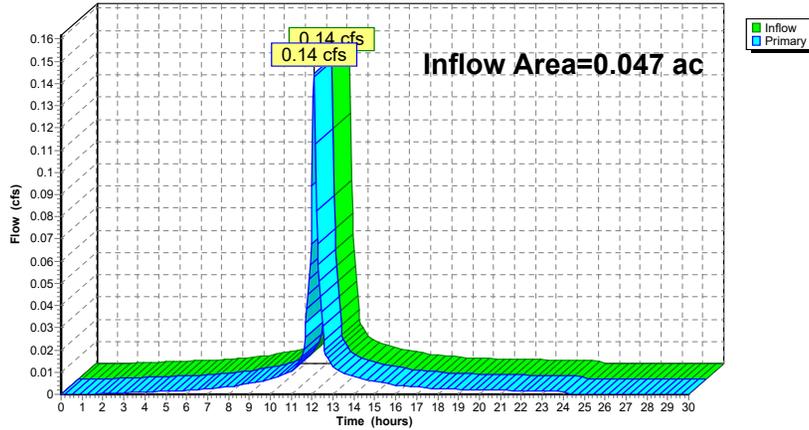
**Summary for Link DP2: DP2**

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 2.99" for 2-yr event  
 Inflow = 0.14 cfs @ 12.09 hrs, Volume= 0.012 af  
 Primary = 0.14 cfs @ 12.09 hrs, Volume= 0.012 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP2: DP2**

Hydrograph



Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment EX-01** Runoff Area=4,500 sf 100.00% Impervious Runoff Depth=4.85"  
 Tc=6.0 min CN=98 Runoff=0.50 cfs 0.042 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=4.85"  
 Tc=6.0 min CN=98 Runoff=0.23 cfs 0.019 af

**Link DP1: DP1**  
 Inflow=0.50 cfs 0.042 af  
 Primary=0.50 cfs 0.042 af

**Link DP2: DP2**  
 Inflow=0.23 cfs 0.019 af  
 Primary=0.23 cfs 0.019 af

**Total Runoff Area = 0.151 ac Runoff Volume = 0.061 af Average Runoff Depth = 4.85"**  
**0.00% Pervious = 0.000 ac 100.00% Impervious = 0.151 ac**

**Summary for Subcatchment EX-01: Subcatchment EX-01**

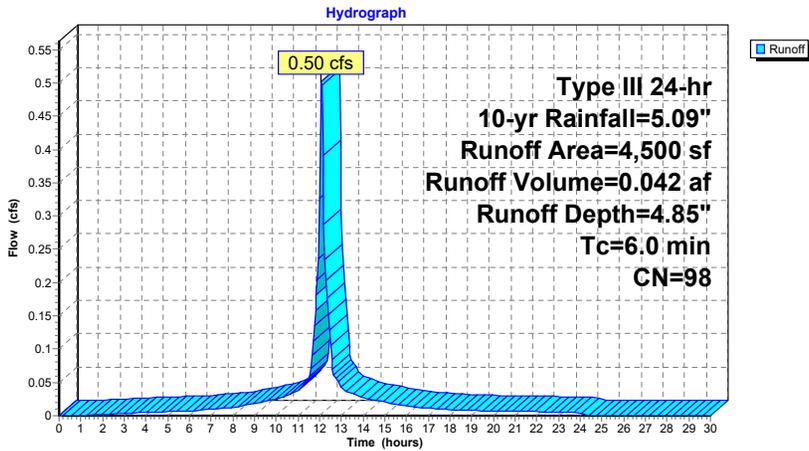
Runoff = 0.50 cfs @ 12.09 hrs, Volume= 0.042 af, Depth= 4.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-yr Rainfall=5.09"

Area (sf)	CN	Description
* 4,500	98	Roof Area
4,500		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment EX-01**



**Summary for Subcatchment EX-02: Subcatchment EX-02**

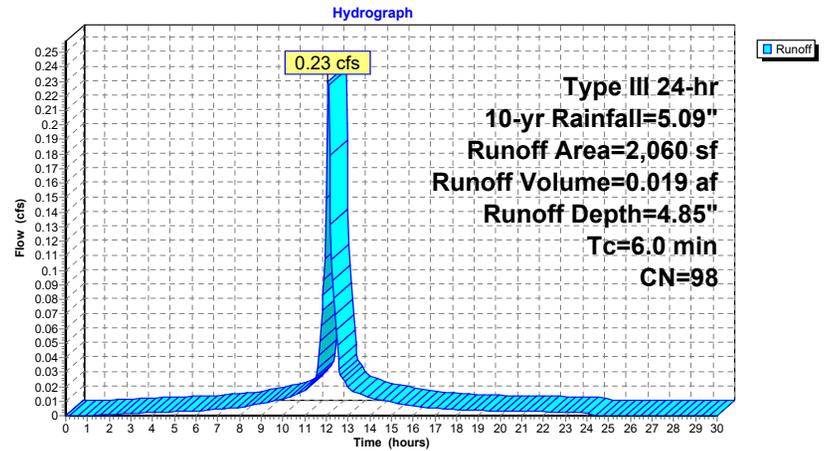
Runoff = 0.23 cfs @ 12.09 hrs, Volume= 0.019 af, Depth= 4.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-yr Rainfall=5.09"

Area (sf)	CN	Description
* 2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**



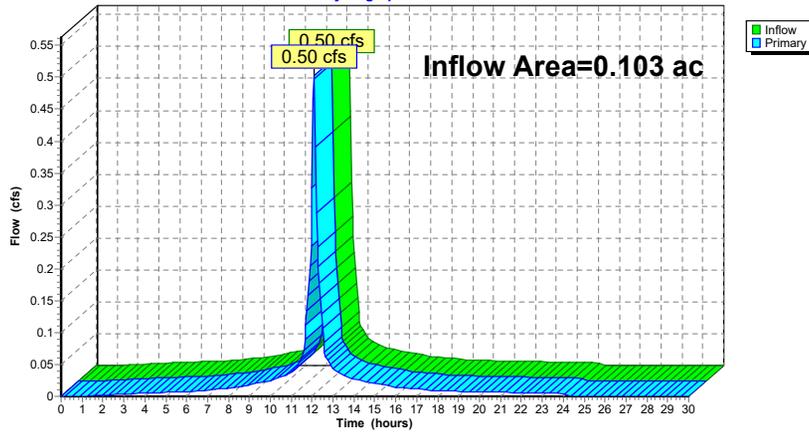
### Summary for Link DP1: DP1

Inflow Area = 0.103 ac, 100.00% Impervious, Inflow Depth = 4.85" for 10-yr event  
Inflow = 0.50 cfs @ 12.09 hrs, Volume= 0.042 af  
Primary = 0.50 cfs @ 12.09 hrs, Volume= 0.042 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

#### Link DP1: DP1

Hydrograph



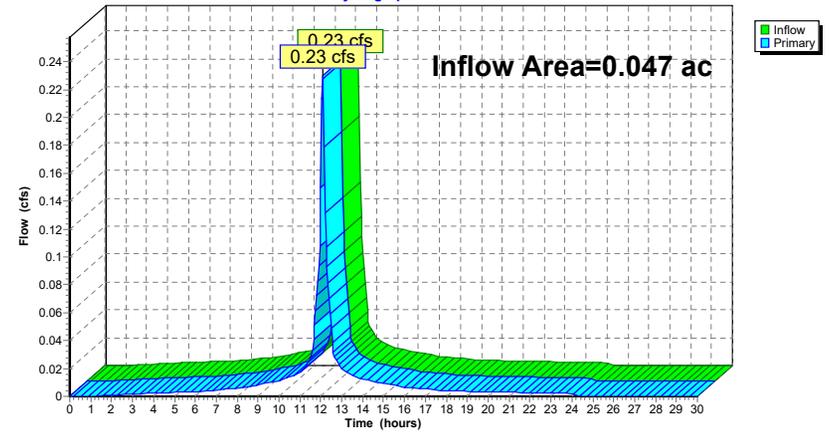
### Summary for Link DP2: DP2

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 4.85" for 10-yr event  
Inflow = 0.23 cfs @ 12.09 hrs, Volume= 0.019 af  
Primary = 0.23 cfs @ 12.09 hrs, Volume= 0.019 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

#### Link DP2: DP2

Hydrograph



Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment EX-01** Runoff Area=4,500 sf 100.00% Impervious Runoff Depth=7.81"  
 Tc=6.0 min CN=98 Runoff=0.80 cfs 0.067 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=7.81"  
 Tc=6.0 min CN=98 Runoff=0.36 cfs 0.031 af

**Link DP1: DP1** Inflow=0.80 cfs 0.067 af  
 Primary=0.80 cfs 0.067 af

**Link DP2: DP2** Inflow=0.36 cfs 0.031 af  
 Primary=0.36 cfs 0.031 af

Total Runoff Area = 0.151 ac Runoff Volume = 0.098 af Average Runoff Depth = 7.81"  
 0.00% Pervious = 0.000 ac 100.00% Impervious = 0.151 ac

**Summary for Subcatchment EX-01: Subcatchment EX-01**

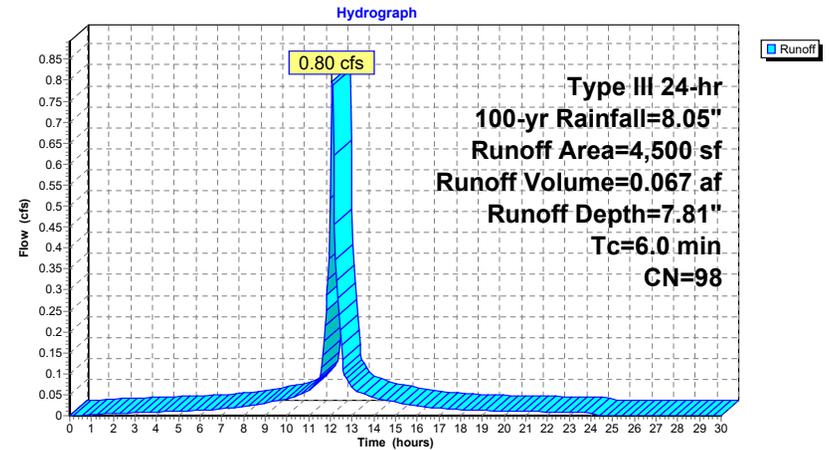
Runoff = 0.80 cfs @ 12.09 hrs, Volume= 0.067 af, Depth= 7.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span=0.00-30.00 hrs, dt= 0.05 hrs  
 Type III 24-hr 100-yr Rainfall=8.05"

Area (sf)	CN	Description
4,500	98	Roof Area
4,500		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment EX-01**



**Summary for Subcatchment EX-02: Subcatchment EX-02**

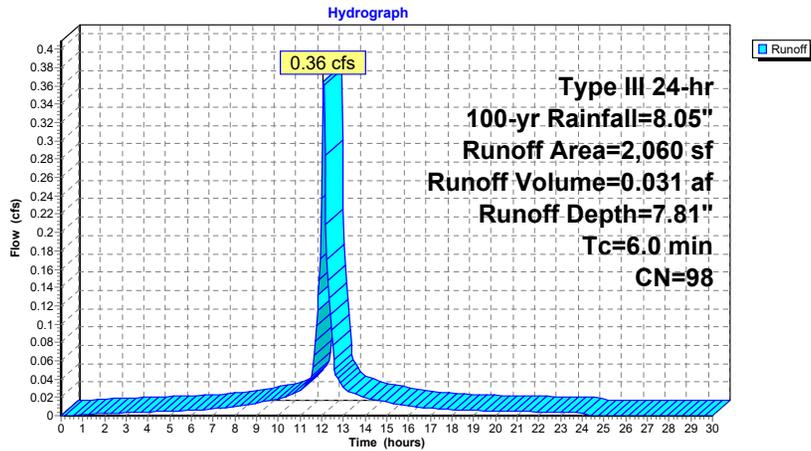
Runoff = 0.36 cfs @ 12.09 hrs, Volume= 0.031 af, Depth= 7.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
 Type III 24-hr 100-yr Rainfall=8.05"

Area (sf)	CN	Description
2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**

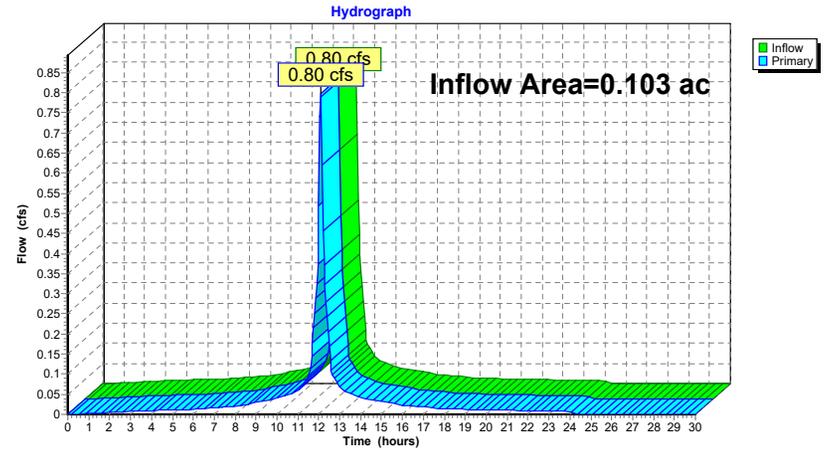


**Summary for Link DP1: DP1**

Inflow Area = 0.103 ac, 100.00% Impervious, Inflow Depth = 7.81" for 100-yr event  
 Inflow = 0.80 cfs @ 12.09 hrs, Volume= 0.067 af  
 Primary = 0.80 cfs @ 12.09 hrs, Volume= 0.067 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP1: DP1**



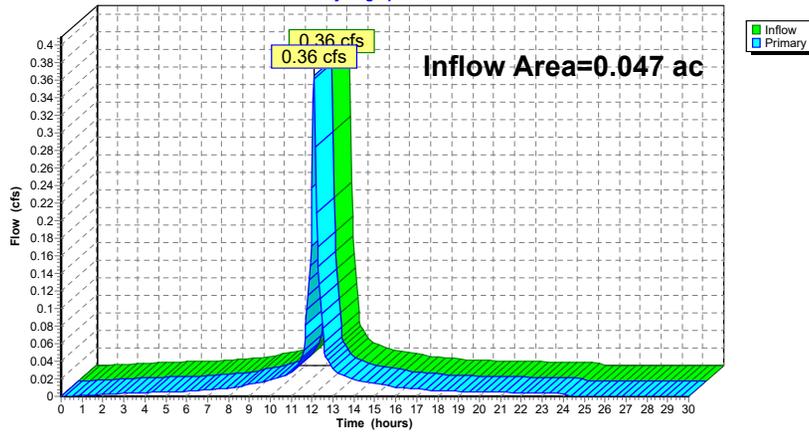
### Summary for Link DP2: DP2

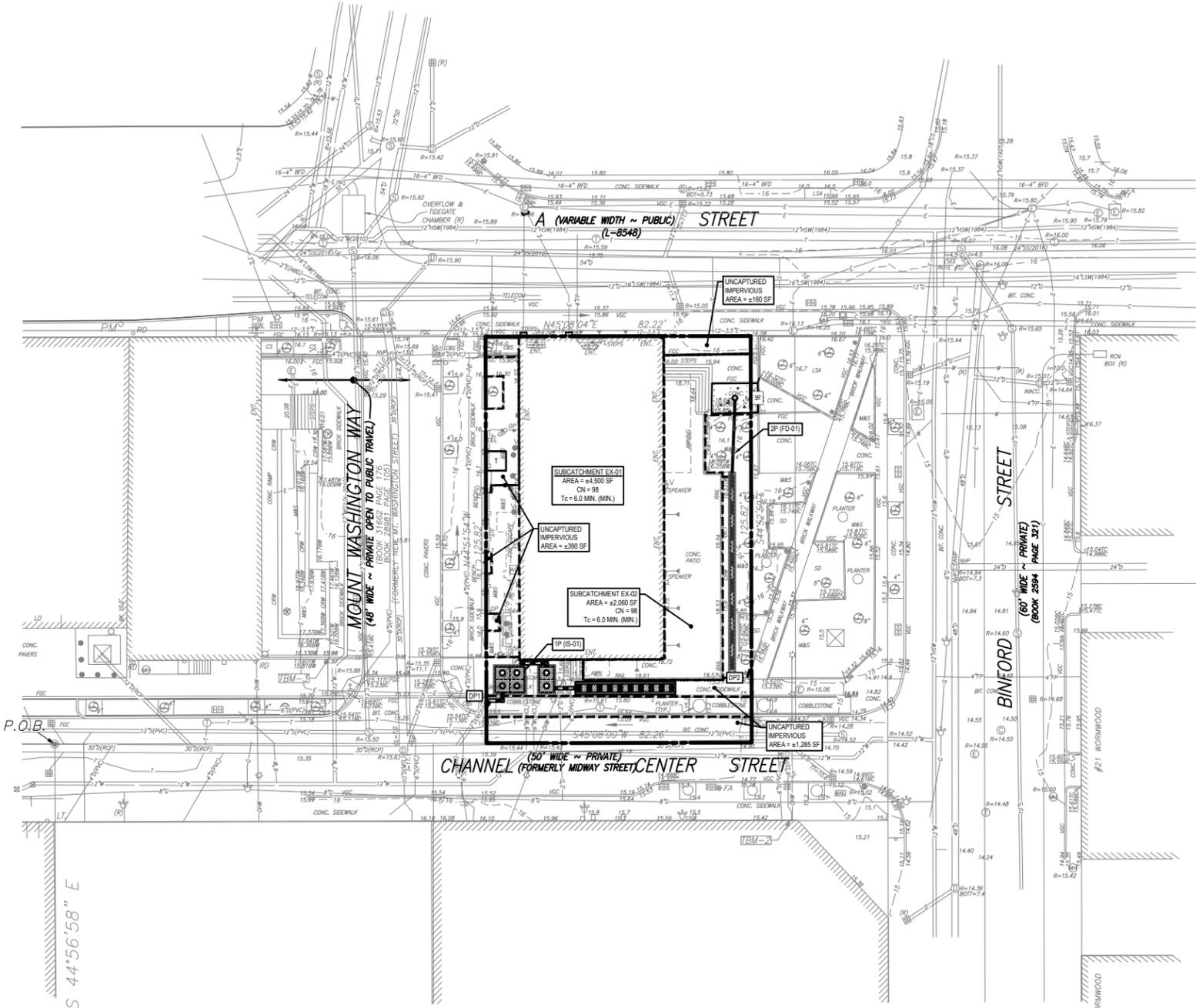
Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 7.81" for 100-yr event  
Inflow = 0.36 cfs @ 12.09 hrs, Volume= 0.031 af  
Primary = 0.36 cfs @ 12.09 hrs, Volume= 0.031 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

### Link DP2: DP2

Hydrograph





BOHLER ENGINEERING PROJECT: 0602757060 - 40 CHANNEL CENTER STREET - LAYOUT - WS-PR-PROP. DRAWN MAP

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 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LAND ACQUISITION  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
0	11/12/2021	BWSC SUBMISSION #1	JJW	MMW
1	12/02/2021	ELECTRIC UTILITY REVISIONS	JJW	MMW
2	12/13/2021	BWSC COMMENT RESPONSE	JJW	MMW

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**ISSUED FOR PERMIT**

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PROJECT No.: M211067  
 DRAWN BY: JJW  
 CHECKED BY: MMW  
 DATE: 12/13/2021  
 CAD ID.: M211067-CVL

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**AKELIUS REAL ESTATE MANAGEMENT LLC**

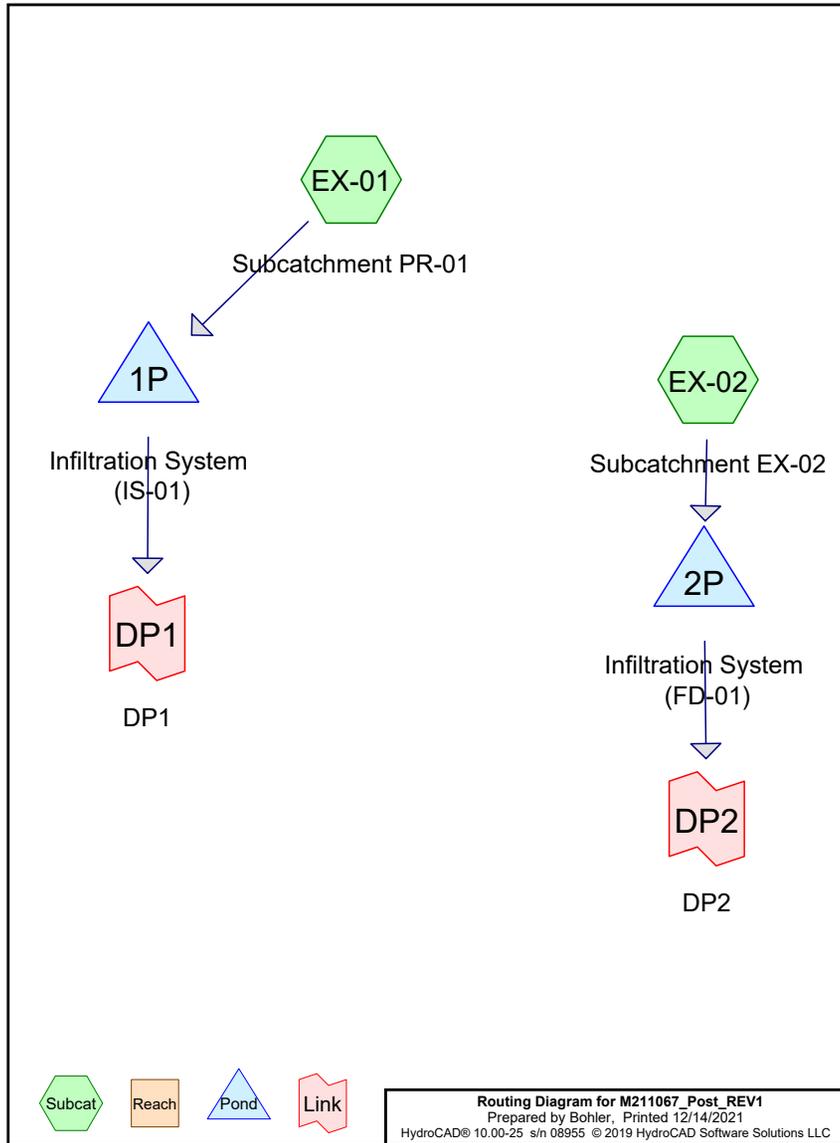
PROPOSED UTILITY UPGRADES  
 PARCEL ID: 0602757060  
 40 CHANNEL CENTER STREET,  
 CITY OF BOSTON,  
 SUFFOLK COUNTY,  
 MASSACHUSETTS

**BOHLER**  
 45 FRANKLIN STREET, 5th FLOOR  
 BOSTON, MA 02110  
 Phone: (617) 849-8040  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

SHEET TITLE:  
**PROPOSED CONDITIONS WATERSHED MAP**

SHEET NUMBER:  
**WS-PR**

REVISION 2 - 12/13/2021



**M211067\_Post\_REV1**

Prepared by Bohler

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Page 2

**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.047	98	Patio and Awning Area (EX-02)
0.103	98	Roof Area (EX-01)
0.042	98	Uncaptured Impervious Area (EX-01)
<b>0.193</b>	<b>98</b>	<b>TOTAL AREA</b>

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**Soil Listing (all nodes)**

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.193	Other	EX-01, EX-02
<b>0.193</b>		<b>TOTAL AREA</b>

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**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.047	0.047	Patio and Awning Area	EX-02
0.000	0.000	0.000	0.000	0.103	0.103	Roof Area	EX-01
0.000	0.000	0.000	0.000	0.042	0.042	Uncaptured Impervious Area	EX-01
<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.193</b>	<b>0.193</b>	<b>TOTAL AREA</b>	

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Type III 24-hr 2-yr Rainfall=3.22"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment PR-01** Runoff Area=6,335 sf 100.00% Impervious Runoff Depth=2.99"  
Tc=6.0 min CN=98 Runoff=0.44 cfs 0.036 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=2.99"  
Tc=6.0 min CN=98 Runoff=0.14 cfs 0.012 af

**Pond 1P: Infiltration System (IS-01)** Peak Elev=13.53' Storage=531 cf Inflow=0.44 cfs 0.036 af  
Outflow=0.44 cfs 0.025 af

**Pond 2P: Infiltration System (FD-01)** Peak Elev=15.58' Storage=206 cf Inflow=0.14 cfs 0.012 af  
Outflow=0.14 cfs 0.007 af

**Link DP1: DP1** Inflow=0.44 cfs 0.025 af  
Primary=0.44 cfs 0.025 af

**Link DP2: DP2** Inflow=0.14 cfs 0.007 af  
Primary=0.14 cfs 0.007 af

**Total Runoff Area = 0.193 ac Runoff Volume = 0.048 af Average Runoff Depth = 2.99"**  
**0.00% Pervious = 0.000 ac 100.00% Impervious = 0.193 ac**

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Type III 24-hr 2-yr Rainfall=3.22"

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**Summary for Subcatchment EX-01: Subcatchment PR-01**

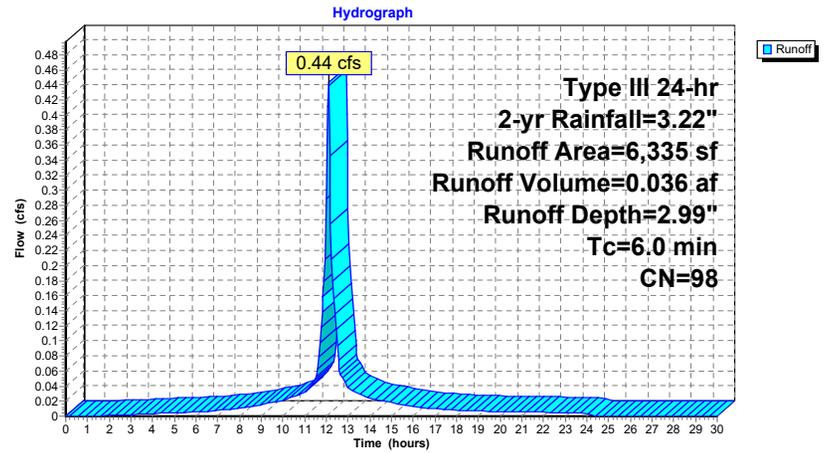
Runoff = 0.44 cfs @ 12.09 hrs, Volume= 0.036 af, Depth= 2.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 2-yr Rainfall=3.22"

	Area (sf)	CN	Description
*	4,500	98	Roof Area
*	1,835	98	Uncaptured Impervious Area
	6,335	98	Weighted Average
	6,335		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment PR-01**



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Type III 24-hr 2-yr Rainfall=3.22"

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**Summary for Subcatchment EX-02: Subcatchment EX-02**

Runoff = 0.14 cfs @ 12.09 hrs, Volume= 0.012 af, Depth= 2.99"

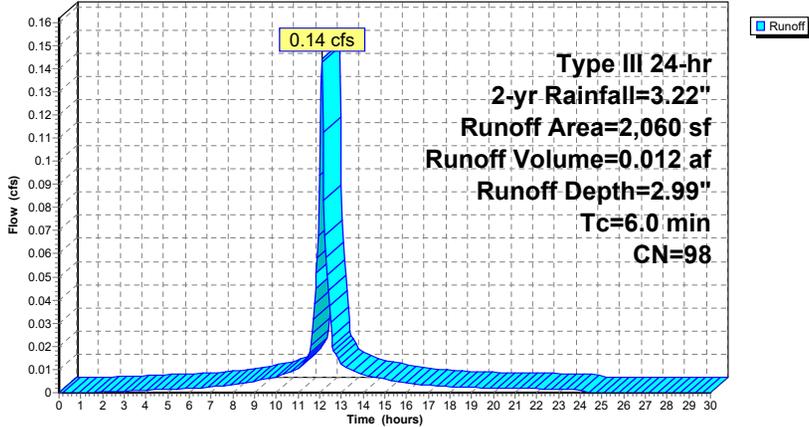
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 2-yr Rainfall=3.22"

Area (sf)	CN	Description
2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**

Hydrograph



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Type III 24-hr 2-yr Rainfall=3.22"

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**Summary for Pond 1P: Infiltration System (IS-01)**

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 2.99" for 2-yr event  
Inflow = 0.44 cfs @ 12.09 hrs, Volume= 0.036 af  
Outflow = 0.44 cfs @ 12.09 hrs, Volume= 0.025 af, Atten= 2%, Lag= 0.4 min  
Primary = 0.44 cfs @ 12.09 hrs, Volume= 0.025 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2  
Peak Elev= 13.53' @ 12.09 hrs Surf.Area= 239 sf Storage= 531 cf

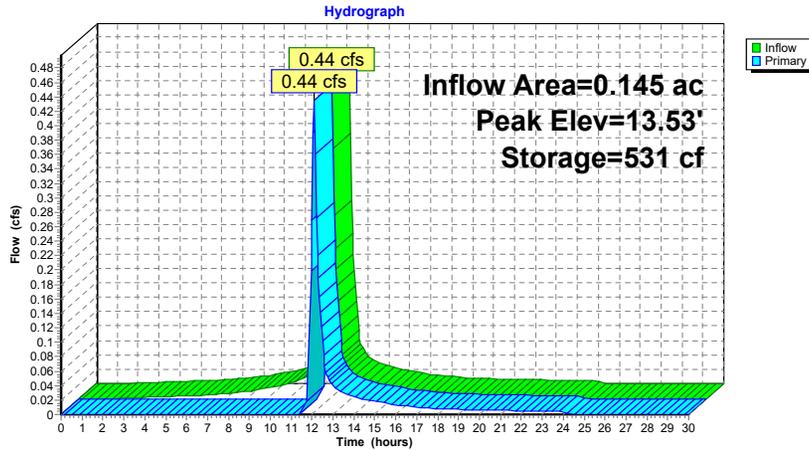
Plug-Flow detention time= 181.9 min calculated for 0.025 af (68% of inflow)  
Center-of-Mass det. time= 85.6 min ( 841.8 - 756.3 )

Volume	Invert	Avail. Storage	Storage Description
#1	8.70'	74 cf	<b>9.00'W x 14.50'L x 4.75'H Leaching Chamber System Stone</b> 620 cf Overall - 374 cf Embedded = 246 cf x 30.0% Voids
#2	9.20'	278 cf	<b>Shea Leaching Galley Chambers (4x4x4)x 6</b> Inside #1 Inside= 42.2"W x 45.0"H => 13.25 sf x 3.50'L = 46.4 cf Outside= 54.0"W x 51.0"H => 15.58 sf x 4.00'L = 62.3 cf
#3	11.40'	147 cf	<b>30.0" Round 30" Perforated Pipe</b> Inside #4 L= 30.0'
#4	10.90'	70 cf	<b>3.50'W x 31.00'L x 3.50'H Perforated Pipe System Stone</b> 380 cf Overall - 147 cf Embedded = 232 cf x 30.0% Voids
		569 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Primary	13.20'	<b>12.0" Vert. 12" Outlet to Main</b> C= 0.600

Primary OutFlow Max=0.43 cfs @ 12.09 hrs HW=13.52' (Free Discharge)  
1=12" Outlet to Main (Orifice Controls 0.43 cfs @ 1.94 fps)

**Pond 1P: Infiltration System (IS-01)**



**Summary for Pond 2P: Infiltration System (FD-01)**

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 2.99" for 2-yr event  
 Inflow = 0.14 cfs @ 12.09 hrs, Volume= 0.012 af  
 Outflow = 0.14 cfs @ 12.09 hrs, Volume= 0.007 af, Atten= 1%, Lag= 0.5 min  
 Primary = 0.14 cfs @ 12.09 hrs, Volume= 0.007 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 15.58' @ 12.09 hrs Surf.Area= 178 sf Storage= 206 cf

Plug-Flow detention time= 206.1 min calculated for 0.007 af (60% of inflow)  
 Center-of-Mass det. time= 99.2 min ( 855.5 - 756.3 )

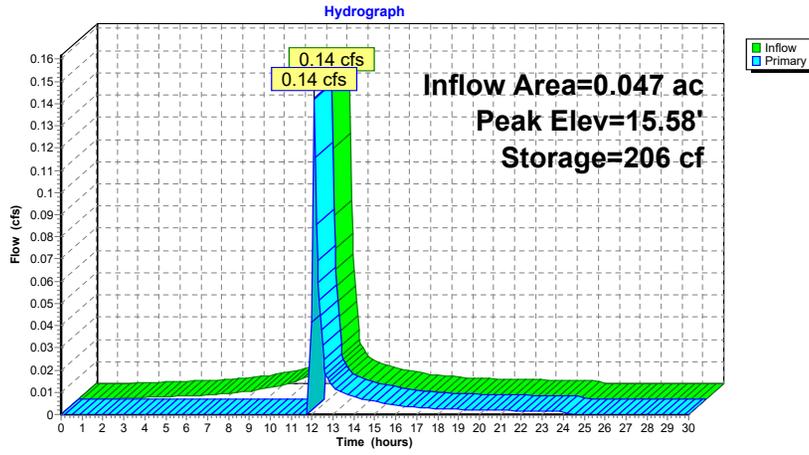
Volume	Invert	Avail.Storage	Storage Description
#1	11.00'	172 cf	<b>2.00'W x 62.00'L x 5.00'H French Drain (FD-01)</b> 620 cf Overall - 47 cf Embedded = 573 cf x 30.0% Voids
#2	15.50'	8 cf	<b>Ponding (Prismatic)</b> Listed below (Recalc)
#3	12.85'	47 cf	<b>12.0" Round 12" HDPE Perforated Pipe</b> Inside #1 L= 60.0'
		227 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
15.50	25	0	0
15.65	80	8	8

Device	Routing	Invert	Outlet Devices
#1	Primary	15.55'	<b>8.0' long x 0.5' breadth Granite Curb Overflow</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=0.11 cfs @ 12.09 hrs HW=15.58' (Free Discharge)  
 1=Granite Curb Overflow (Weir Controls 0.11 cfs @ 0.47 fps)

**Pond 2P: Infiltration System (FD-01)**

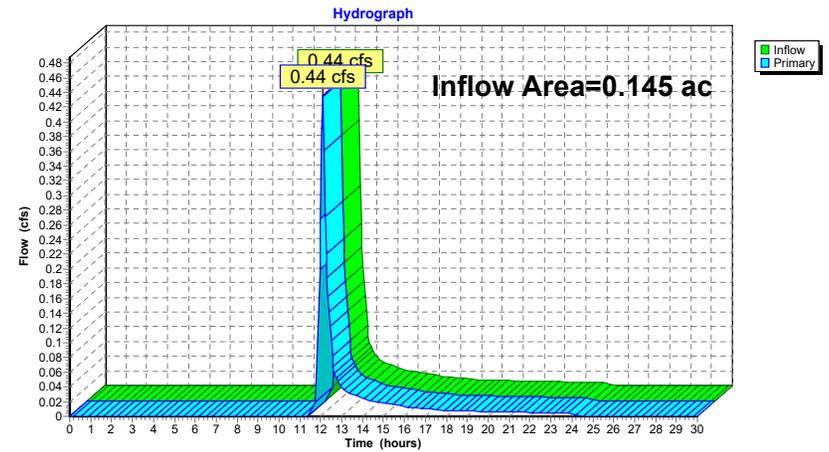


**Summary for Link DP1: DP1**

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 2.04" for 2-yr event  
Inflow = 0.44 cfs @ 12.09 hrs, Volume= 0.025 af  
Primary = 0.44 cfs @ 12.09 hrs, Volume= 0.025 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP1: DP1**



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Type III 24-hr 2-yr Rainfall=3.22"

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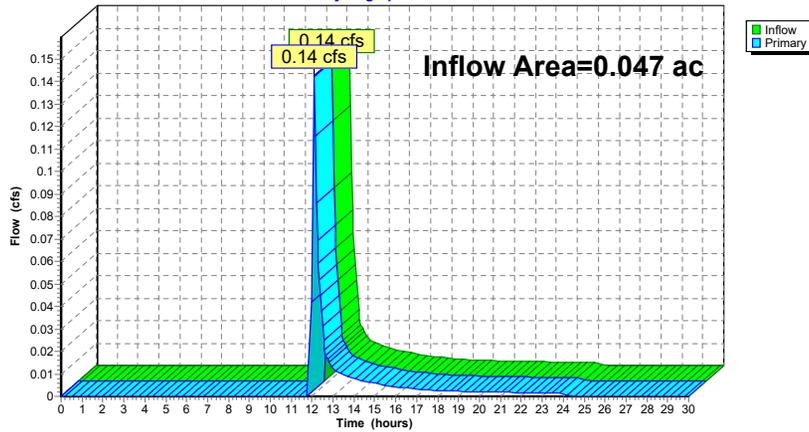
**Summary for Link DP2: DP2**

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 1.79" for 2-yr event  
 Inflow = 0.14 cfs @ 12.09 hrs, Volume= 0.007 af  
 Primary = 0.14 cfs @ 12.09 hrs, Volume= 0.007 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP2: DP2**

Hydrograph



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Type III 24-hr 10-yr Rainfall=5.09"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment PR-01** Runoff Area=6,335 sf 100.00% Impervious Runoff Depth=4.85"  
 Tc=6.0 min CN=98 Runoff=0.71 cfs 0.059 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=4.85"  
 Tc=6.0 min CN=98 Runoff=0.23 cfs 0.019 af

**Pond 1P: Infiltration System (IS-01)** Peak Elev=13.62' Storage=537 cf Inflow=0.71 cfs 0.059 af  
 Outflow=0.70 cfs 0.047 af

**Pond 2P: Infiltration System (FD-01)** Peak Elev=15.60' Storage=208 cf Inflow=0.23 cfs 0.019 af  
 Outflow=0.23 cfs 0.014 af

**Link DP1: DP1** Inflow=0.70 cfs 0.047 af  
 Primary=0.70 cfs 0.047 af

**Link DP2: DP2** Inflow=0.23 cfs 0.014 af  
 Primary=0.23 cfs 0.014 af

**Total Runoff Area = 0.193 ac Runoff Volume = 0.078 af Average Runoff Depth = 4.85"**  
**0.00% Pervious = 0.000 ac 100.00% Impervious = 0.193 ac**

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Type III 24-hr 10-yr Rainfall=5.09"

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**Summary for Subcatchment EX-01: Subcatchment PR-01**

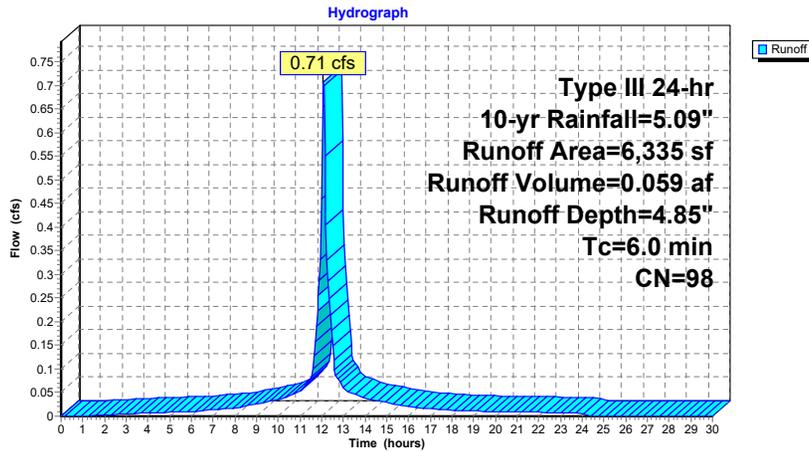
Runoff = 0.71 cfs @ 12.09 hrs, Volume= 0.059 af, Depth= 4.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-yr Rainfall=5.09"

Area (sf)	CN	Description
4,500	98	Roof Area
1,835	98	Uncaptured Impervious Area
6,335	98	Weighted Average
6,335		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment PR-01**



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Type III 24-hr 10-yr Rainfall=5.09"

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**Summary for Subcatchment EX-02: Subcatchment EX-02**

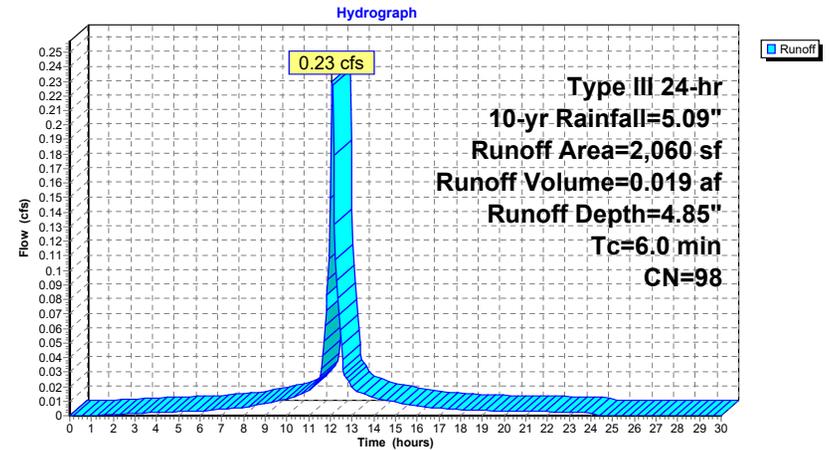
Runoff = 0.23 cfs @ 12.09 hrs, Volume= 0.019 af, Depth= 4.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-yr Rainfall=5.09"

Area (sf)	CN	Description
2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**



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Type III 24-hr 10-yr Rainfall=5.09"

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**Summary for Pond 1P: Infiltration System (IS-01)**

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 4.85" for 10-yr event  
 Inflow = 0.71 cfs @ 12.09 hrs, Volume= 0.059 af  
 Outflow = 0.70 cfs @ 12.09 hrs, Volume= 0.047 af, Atten= 2%, Lag= 0.3 min  
 Primary = 0.70 cfs @ 12.09 hrs, Volume= 0.047 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2  
 Peak Elev= 13.62' @ 12.09 hrs Surf.Area= 239 sf Storage= 537 cf

Plug-Flow detention time= 144.0 min calculated for 0.047 af (80% of inflow)  
 Center-of-Mass det. time= 67.8 min ( 815.5 - 747.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	8.70'	74 cf	<b>9.00'W x 14.50'L x 4.75'H Leaching Chamber System Stone</b> 620 cf Overall - 374 cf Embedded = 246 cf x 30.0% Voids
#2	9.20'	278 cf	<b>Shea Leaching Galley Chambers (4x4x4) x 6</b> Inside #1 Inside= 42.2"W x 45.0"H => 13.25 sf x 3.50'L = 46.4 cf Outside= 54.0"W x 51.0"H => 15.58 sf x 4.00'L = 62.3 cf
#3	11.40'	147 cf	<b>30.0" Round 30" Perforated Pipe</b> Inside #4 L= 30.0'
#4	10.90'	70 cf	<b>3.50'W x 31.00'L x 3.50'H Perforated Pipe System Stone</b> 380 cf Overall - 147 cf Embedded = 232 cf x 30.0% Voids
		569 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Primary	13.20'	<b>12.0" Vert. 12" Outlet to Main</b> C= 0.600

**Primary OutFlow** Max=0.68 cfs @ 12.09 hrs HW=13.62' (Free Discharge)  
 1=12" Outlet to Main (Orifice Controls 0.68 cfs @ 2.20 fps)

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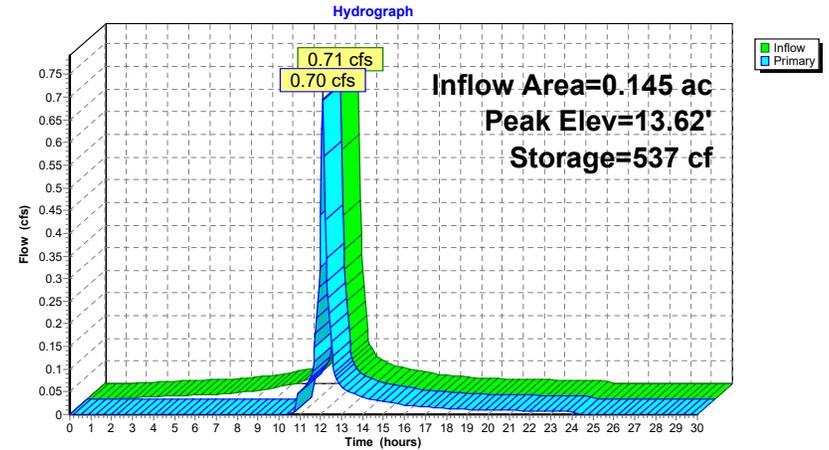
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Type III 24-hr 10-yr Rainfall=5.09"

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**Pond 1P: Infiltration System (IS-01)**



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Type III 24-hr 10-yr Rainfall=5.09"

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**Summary for Pond 2P: Infiltration System (FD-01)**

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 4.85" for 10-yr event  
 Inflow = 0.23 cfs @ 12.09 hrs, Volume= 0.019 af  
 Outflow = 0.23 cfs @ 12.09 hrs, Volume= 0.014 af, Atten= 1%, Lag= 0.3 min  
 Primary = 0.23 cfs @ 12.09 hrs, Volume= 0.014 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 15.60' @ 12.09 hrs Surf.Area= 184 sf Storage= 208 cf

Plug-Flow detention time= 159.8 min calculated for 0.014 af (75% of inflow)  
 Center-of-Mass det. time= 74.9 min ( 822.6 - 747.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	11.00'	172 cf	<b>2.00'W x 62.00'L x 5.00'H French Drain (FD-01)</b> 620 cf Overall - 47 cf Embedded = 573 cf x 30.0% Voids
#2	15.50'	8 cf	<b>Ponding (Prismatic)</b> Listed below (Recalc)
#3	12.85'	47 cf	<b>12.0" Round 12" HDPE Perforated Pipe</b> Inside #1 L= 60.0'
		227 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
15.50	25	0	0
15.65	80	8	8

Device	Routing	Invert	Outlet Devices
#1	Primary	15.55'	<b>8.0' long x 0.5' breadth Granite Curb Overflow</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=0.21 cfs @ 12.09 hrs HW=15.59' (Free Discharge)  
 1=Granite Curb Overflow (Weir Controls 0.21 cfs @ 0.59 fps)

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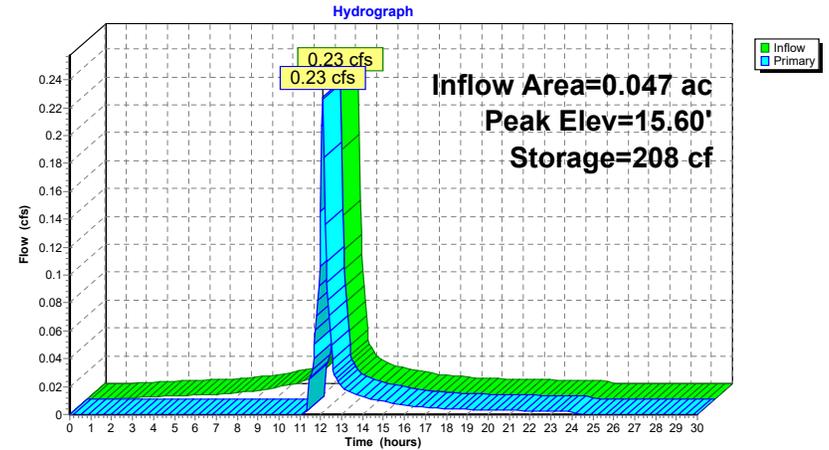
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Type III 24-hr 10-yr Rainfall=5.09"

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**Pond 2P: Infiltration System (FD-01)**



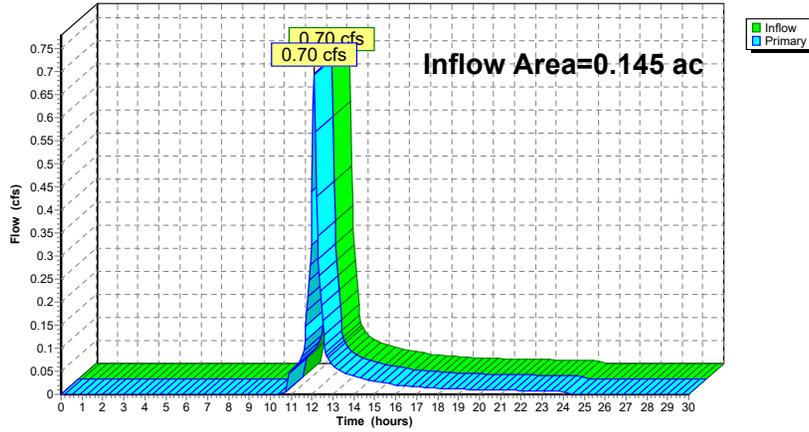
Summary for Link DP1: DP1

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 3.90" for 10-yr event  
 Inflow = 0.70 cfs @ 12.09 hrs, Volume= 0.047 af  
 Primary = 0.70 cfs @ 12.09 hrs, Volume= 0.047 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Link DP1: DP1

Hydrograph



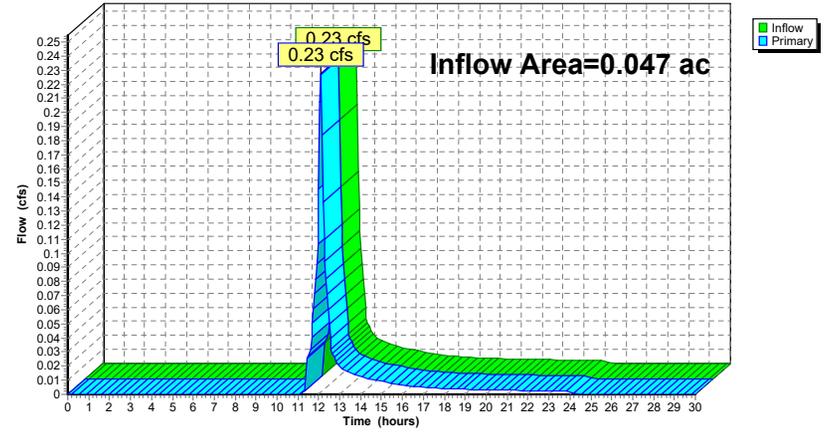
Summary for Link DP2: DP2

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 3.66" for 10-yr event  
 Inflow = 0.23 cfs @ 12.09 hrs, Volume= 0.014 af  
 Primary = 0.23 cfs @ 12.09 hrs, Volume= 0.014 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

Link DP2: DP2

Hydrograph



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Type III 24-hr 100-yr Rainfall=8.05"

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Time span=0.00-30.00 hrs, dt=0.05 hrs, 601 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

**Subcatchment EX-01: Subcatchment PR-01** Runoff Area=6,335 sf 100.00% Impervious Runoff Depth=7.81"  
Tc=6.0 min CN=98 Runoff=1.12 cfs 0.095 af

**Subcatchment EX-02: Subcatchment EX-02** Runoff Area=2,060 sf 100.00% Impervious Runoff Depth=7.81"  
Tc=6.0 min CN=98 Runoff=0.36 cfs 0.031 af

**Pond 1P: Infiltration System (IS-01)** Peak Elev=13.75' Storage=545 cf Inflow=1.12 cfs 0.095 af  
Outflow=1.11 cfs 0.083 af

**Pond 2P: Infiltration System (FD-01)** Peak Elev=15.61' Storage=210 cf Inflow=0.36 cfs 0.031 af  
Outflow=0.36 cfs 0.026 af

**Link DP1: DP1** Inflow=1.11 cfs 0.083 af  
Primary=1.11 cfs 0.083 af

**Link DP2: DP2** Inflow=0.36 cfs 0.026 af  
Primary=0.36 cfs 0.026 af

**Total Runoff Area = 0.193 ac Runoff Volume = 0.125 af Average Runoff Depth = 7.81"**  
**0.00% Pervious = 0.000 ac 100.00% Impervious = 0.193 ac**

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Type III 24-hr 100-yr Rainfall=8.05"

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**Summary for Subcatchment EX-01: Subcatchment PR-01**

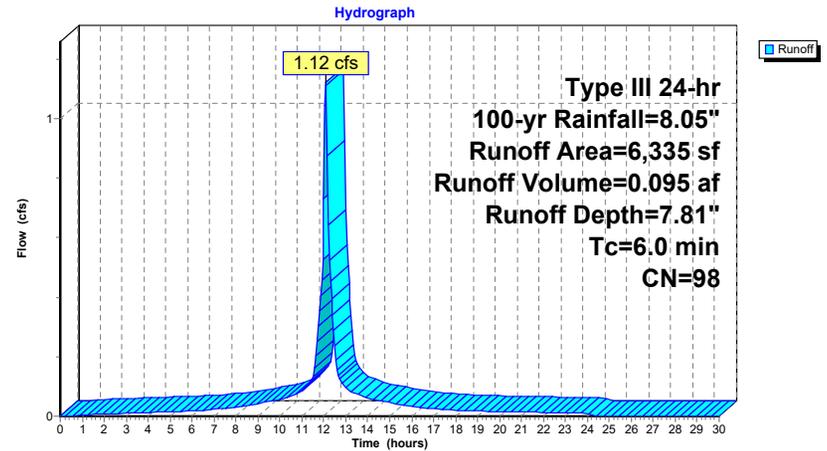
Runoff = 1.12 cfs @ 12.09 hrs, Volume= 0.095 af, Depth= 7.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 100-yr Rainfall=8.05"

	Area (sf)	CN	Description
*	4,500	98	Roof Area
*	1,835	98	Uncaptured Impervious Area
	6,335	98	Weighted Average
	6,335		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-01: Subcatchment PR-01**



**M211067\_Post\_REV1**

Prepared by Bohler

HydroCAD® 10.00-25 s/n 08955 © 2019 HydroCAD Software Solutions LLC

Type III 24-hr 100-yr Rainfall=8.05"

Printed 12/14/2021

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**Summary for Subcatchment EX-02: Subcatchment EX-02**

Runoff = 0.36 cfs @ 12.09 hrs, Volume= 0.031 af, Depth= 7.81"

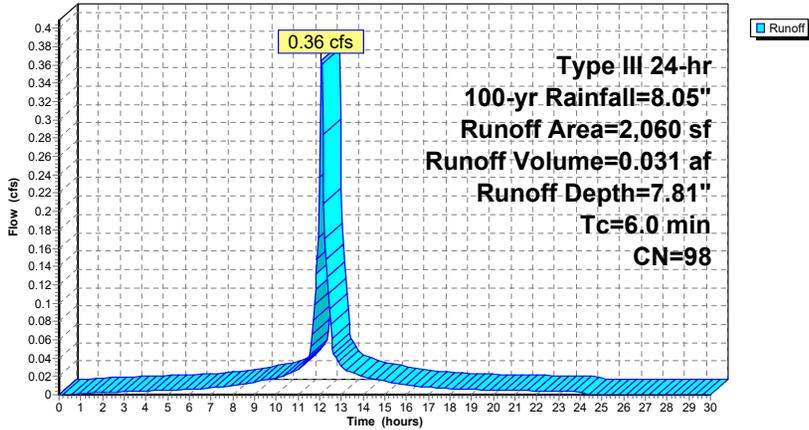
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 100-yr Rainfall=8.05"

Area (sf)	CN	Description
2,060	98	Patio and Awning Area
2,060		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Direct

**Subcatchment EX-02: Subcatchment EX-02**

Hydrograph



**M211067\_Post\_REV1**

Prepared by Bohler

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Type III 24-hr 100-yr Rainfall=8.05"

Printed 12/14/2021

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**Summary for Pond 1P: Infiltration System (IS-01)**

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 7.81" for 100-yr event  
 Inflow = 1.12 cfs @ 12.09 hrs, Volume= 0.095 af  
 Outflow = 1.11 cfs @ 12.09 hrs, Volume= 0.083 af, Atten= 1%, Lag= 0.2 min  
 Primary = 1.11 cfs @ 12.09 hrs, Volume= 0.083 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 2  
 Peak Elev= 13.75' @ 12.09 hrs Surf.Area= 239 sf Storage= 545 cf

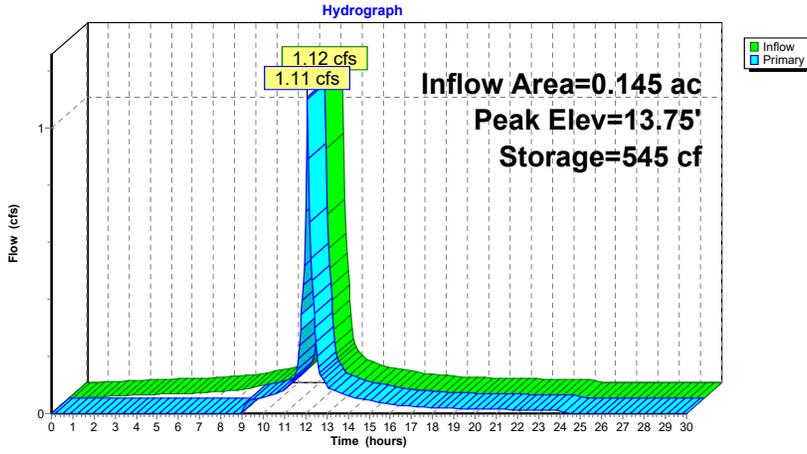
Plug-Flow detention time= 110.5 min calculated for 0.083 af (88% of inflow)  
 Center-of-Mass det. time= 53.1 min ( 794.2 - 741.1 )

Volume	Invert	Avail. Storage	Storage Description
#1	8.70'	74 cf	<b>9.00'W x 14.50'L x 4.75'H Leaching Chamber System Stone</b> 620 cf Overall - 374 cf Embedded = 246 cf x 30.0% Voids
#2	9.20'	278 cf	<b>Shea Leaching Galley Chambers (4x4x4) x 6</b> Inside #1 Inside= 42.2"W x 45.0"H => 13.25 sf x 3.50'L = 46.4 cf Outside= 54.0"W x 51.0"H => 15.58 sf x 4.00'L = 62.3 cf
#3	11.40'	147 cf	<b>30.0" Round 30" Perforated Pipe</b> Inside #4 L= 30.0'
#4	10.90'	70 cf	<b>3.50'W x 31.00'L x 3.50'H Perforated Pipe System Stone</b> 380 cf Overall - 147 cf Embedded = 232 cf x 30.0% Voids
		569 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Primary	13.20'	<b>12.0" Vert. 12" Outlet to Main</b> C= 0.600

**Primary OutFlow** Max=1.08 cfs @ 12.09 hrs HW=13.74' (Free Discharge)  
 ↳ **1=12" Outlet to Main** (Orifice Controls 1.08 cfs @ 2.50 fps)

**Pond 1P: Infiltration System (IS-01)**



**Summary for Pond 2P: Infiltration System (FD-01)**

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 7.81" for 100-yr event  
 Inflow = 0.36 cfs @ 12.09 hrs, Volume= 0.031 af  
 Outflow = 0.36 cfs @ 12.09 hrs, Volume= 0.026 af, Atten= 1%, Lag= 0.2 min  
 Primary = 0.36 cfs @ 12.09 hrs, Volume= 0.026 af

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 15.61' @ 12.09 hrs Surf.Area= 190 sf Storage= 210 cf

Plug-Flow detention time= 124.1 min calculated for 0.026 af (85% of inflow)  
 Center-of-Mass det. time= 59.0 min ( 800.2 - 741.1 )

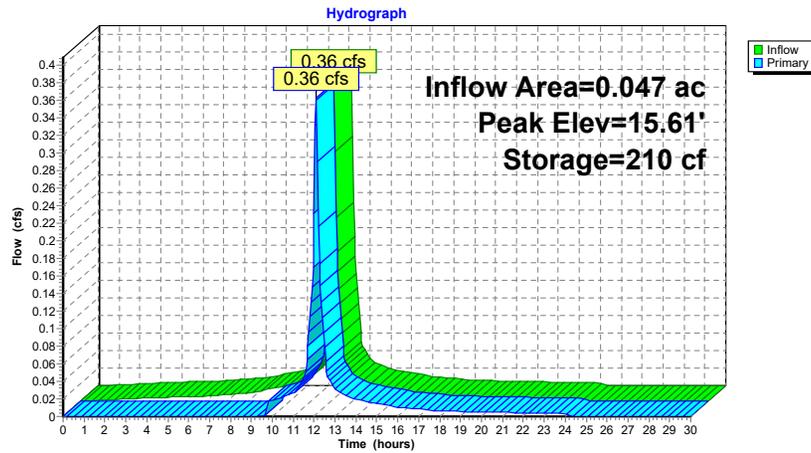
Volume	Invert	Avail.Storage	Storage Description
#1	11.00'	172 cf	<b>2.00'W x 62.00'L x 5.00'H French Drain (FD-01)</b> 620 cf Overall - 47 cf Embedded = 573 cf x 30.0% Voids
#2	15.50'	8 cf	<b>Ponding (Prismatic)</b> Listed below (Recalc)
#3	12.85'	47 cf	<b>12.0" Round 12" HDPE Perforated Pipe Inside #1</b> L= 60.0'
		227 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
15.50	25	0	0
15.65	80	8	8

Device	Routing	Invert	Outlet Devices
#1	Primary	15.55'	<b>8.0' long x 0.5' breadth Granite Curb Overflow</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=0.34 cfs @ 12.09 hrs HW=15.61' (Free Discharge)  
 1=Granite Curb Overflow (Weir Controls 0.34 cfs @ 0.69 fps)

**Pond 2P: Infiltration System (FD-01)**

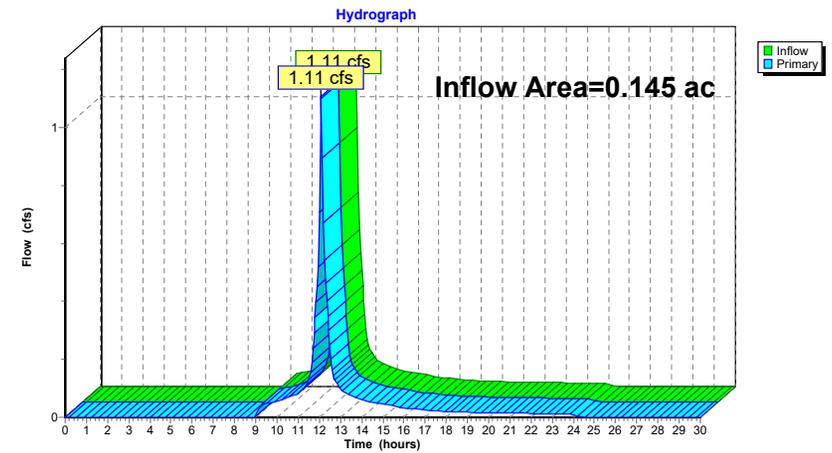


**Summary for Link DP1: DP1**

Inflow Area = 0.145 ac, 100.00% Impervious, Inflow Depth = 6.86" for 100-yr event  
Inflow = 1.11 cfs @ 12.09 hrs, Volume= 0.083 af  
Primary = 1.11 cfs @ 12.09 hrs, Volume= 0.083 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

**Link DP1: DP1**



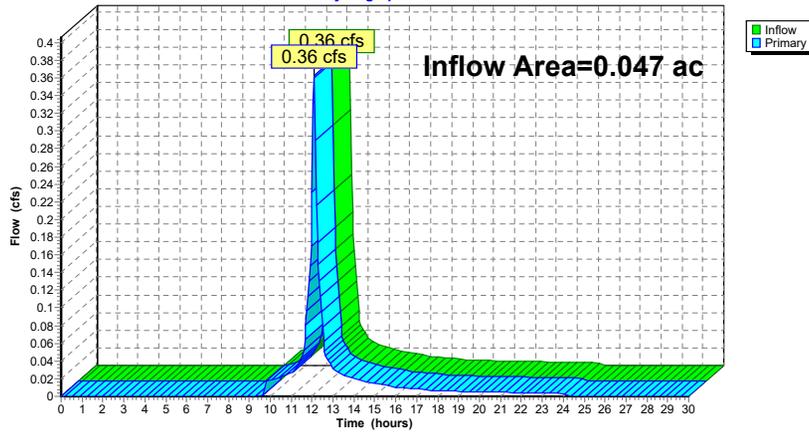
### Summary for Link DP2: DP2

Inflow Area = 0.047 ac, 100.00% Impervious, Inflow Depth = 6.63" for 100-yr event  
Inflow = 0.36 cfs @ 12.09 hrs, Volume= 0.026 af  
Primary = 0.36 cfs @ 12.09 hrs, Volume= 0.026 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs

### Link DP2: DP2

Hydrograph



# **STORMWATER OPERATION AND MAINTENANCE PLAN**

*40 Channel Center Street  
Boston, MA*

## **RESPONSIBLE PARTY DURING CONSTRUCTION:**

*40 Channel Center Street LLC  
c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110*

## **RESPONSIBLE PARTY POST CONSTRUCTION:**

*40 Channel Center Street LLC  
c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110*

### **Construction Phase**

During the construction phase, all erosion control devices and measures shall be maintained in accordance with the final record plans, local/state approvals and conditions, and the EPA Construction General Permit. Additionally, the maintenance of all erosion / siltation control measures during construction shall be the responsibility of the general contractor. Upon proper notice to the property owner, the City of Boston or its authorized designee shall be allowed to enter the property at a reasonable time and in a reasonable manner for the purposes of inspection.

### **Post Development Controls**

Once construction is completed, the post development stormwater controls are to be operated and maintained in compliance with the following permanent procedures (note that the continued implementation of these procedures shall be the responsibility of the Owner or its assignee):

1. Area drain and piping: Inspect two (2) times per year and at the end of foliage and snow-removal seasons. These features shall be cleaned at least two (2) times per year, at the conclusion of the seasons mentioned above, or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the catch basin or underground system. Accumulated sediment and hydrocarbons present must be removed and properly disposed of off-site in accordance with MADEP and other applicable requirements.

Approximate Maintenance Budget: Cleaning – \$200/year

2. Underground Galley Chamber Infiltration System: Preventative maintenance after every major storm event during the first three (3) months of operation and at least twice per year thereafter. Inspect structure and pretreatment BMP to ensure proper operation after every major storm event (generally equal or greater to 3.0 inches in 24 hours) for the first three months. Sediment collecting in the bottom of the basin shall be inspected twice annually, and removal shall commence any time the sediment reaches a depth of six inches anywhere in the basin. Any sediment removed shall be disposed of in accordance with MADEP and other applicable requirements.

Approximate Maintenance Budget: Cleaning – \$200/year per structure

3. French Drain Infiltration System: Inspect the French drain at least twice a year for evidence of clogging. Remove trash and debris twice a year to prevent clogging of the stone voids in the system. Any sediment identified when removing debris shall be disposed of in accordance with MADEP and other applicable requirements.

Approximate Maintenance Budget: Cleaning – \$500/year

All components of the stormwater system will be accessible by the owner or their assignee.

**STORMWATER MANAGEMENT SYSTEM**  
**POST-CONSTRUCTION INSPECTION REPORT**

**LOCATION:**

*40 Channel Center Street  
Boston, MA*

**RESPONSIBLE PARTY:**

*40 Channel Center Street LLC  
c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110*

NAME OF INSPECTOR:	INSPECTION DATE:
Note Condition of the Following (sediment depth, debris, standing water, damage, etc.):	
Area Drain:	
Underground Galley Chamber Infiltration System:	
French Drain Infiltration System:	
Other:	
Note Recommended Actions to be taken on the Following (sediment and/or debris removal, repairs, etc.):	
Area Drain:	

Underground Galley Chamber Infiltration System:

French Drain Infiltration System:

Other:

Comments:



## **LONG-TERM POLLUTION PREVENTION PLAN**

*40 Channel Center Street  
Boston, MA*

### **RESPONSIBLE PARTY DURING CONSTRUCTION:**

*40 Channel Center Street LLC  
c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110*

### **RESPONSIBLE PARTY POST CONSTRUCTION:**

*40 Channel Center Street LLC  
c/o Akelius Real Estate Management LLC  
300 A Street, Floor 5  
Boston, MA 02110*

For this site, the Long-Term Pollution Prevention Plan will consist of the following:

- The property owner shall be responsible for “good housekeeping” including proper periodic maintenance of building and pavement areas, curbing, landscaping, etc.
- Proper storage and removal of solid waste (dumpsters).
- Regular inspections and maintenance of Stormwater Management System as noted in the “O&M Plan”.
- Snow removal shall be the responsibility of the property owner. Snow shall not be plowed, dumped and/or placed in forebays, infiltration basins or similar stormwater controls. Salting and/or sanding of pavement / walkway areas during winter conditions shall only be done in accordance with all state/local requirements and approvals.

## **OPERATION AND MAINTENANCE TRAINING PROGRAM**

The Owner will coordinate an annual in-house training session to discuss the Operations and Maintenance Plan, the Long-Term Pollution Prevention Plan, and the Spill Prevention Plan and response procedures. Annual training will include the following:

### Discuss the Operations and Maintenance Plan

- Explain the general operations of the stormwater management system and its BMPs
- Identify potential sources of stormwater pollution and measures / methods of reducing or eliminating that pollution
- Emphasize good housekeeping measures

### Discuss the Spill Prevention and Response Procedures

- Explain the process in the event of a spill
- Identify potential sources of spills and procedures for cleanup and /or reporting and notification
- Complete a yearly inventory or Materials Safety Data sheets of all tenants and confirm that no potentially harmful chemicals are in use.
- Trash and other debris shall be removed from all areas of the site at least twice yearly.
- Plants shall be pruned as necessary.
- The use of fertilizers will be kept at a level consistent with typical commercial building use. Fertilizer will be applied a maximum of once to twice per year.
- The use of pesticides will be kept at a level consistent with typical commercial building use. Where possible mechanical methods (i.e. pest traps) or biological methods (i.e. beneficial insects) of pest control shall be implemented. If pesticides (insecticide, herbicide, and fungicide) are required to be used, a pesticide which poses the lowest risk to public health and the environment shall be used.
- In no case shall snow be disposed of or stored in resource areas (wetlands, floodplain, streams or other water bodies).
- Stockpiled snow will be removed from the Site and disposed of at an off-site location in accordance with all local, state and federal regulations.

- The amount of sand and deicing chemicals shall be kept at the minimum amount required to provide safe pedestrian and vehicle travel.
- Deicing chemicals are recommended as a pretreatment to storm events to minimize the amount of applied sand.
- Sand and deicing chemicals should be stockpiled under covered storage facilities that prevent precipitation and adjacent runoff from coming in contact with the deicing materials. Stockpile areas shall be located outside resource areas.
- The primary agents used for deicing of sidewalks and shall consist of salt alternatives such as calcium carbonate ( $\text{CaCO}_3$ ) or potassium chloride (KCl) or sodium chloride.
- Recycle materials whenever possible. Provide separate containers for recycle materials. Recycling products will be removed by a certified waste hauler.

## **SPILL PREVENTION AND RESPONSE PROCEDURES** **(POST CONSTRUCTION)**

In order to prevent or minimize the potential for a spill of Hazardous Substances or Oil or come into contact with stormwater, the following steps will be implemented:

1. All Hazardous Substances or Oil (such as pesticides, petroleum products, fertilizers, detergents, acids, paints, paint solvents, cleaning solvents, etc.) will be stored in a secure location, with their lids on, preferably under cover, when not in use.
2. The minimum practical quantity of all such materials will be kept on site.
3. A spill control and containment kit (containing, for example, absorbent materials, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided on site.
4. Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be trained regarding these procedures and the location of the information and cleanup supplies.
5. It is the OWNER's responsibility to ensure that all Hazardous Waste on site is disposed of properly by a licensed hazardous material disposal company. The OWNER is responsible for not exceeding Hazardous Waste storage requirements mandated by the EPA or state and local authorities.

In the event of a spill of Hazardous Substances or Oil, the following procedures should be followed:

1. All measures should be taken to contain and abate the spill and to prevent the discharge of the Hazardous Substance or Oil to stormwater or off-site. (The spill area should be kept well ventilated and personnel should wear appropriate protective clothing to prevent injury from contact with the Hazardous Substances.)
2. For spills of less than five (5) gallons of material, proceed with source control and containment, clean-up with absorbent materials or other applicable means unless an imminent hazard or other circumstances dictate that the spill should be treated by a professional emergency response contractor.
3. For spills greater than five (5) gallons of material immediately contact the MADEP at the toll-free 24-hour statewide emergency number: **1-888-304-1133**, the local fire department (**9-1-1**) and an approved emergency response contractor. Provide information on the type of material spilled, the location of the spill, the quantity spilled, and the time of the spill to the emergency response contractor or coordinator, and proceed with prevention, containment and/or clean-up if so desired. (Use the form provided, or similar).
4. If there is a Reportable Quantity (RQ) release, then the National Response Center should be notified immediately at (800) 424-8802; within 14 days a report should be submitted to the EPA regional office describing the release, the date and circumstances of the release and the steps taken to prevent another release. This Pollution Prevention Plan should be updated to reflect any such steps or actions taken and measures to prevent the same from reoccurring.



Cause of Spill: \_\_\_\_\_  
\_\_\_\_\_

Measures Taken to Clean up Spill: \_\_\_\_\_  
\_\_\_\_\_

Type of equipment: \_\_\_\_\_ Make: \_\_\_\_\_ Size: \_\_\_\_\_

License or S/N: \_\_\_\_\_

Location and Method of Disposal \_\_\_\_\_  
\_\_\_\_\_

Procedures, method, and precautions instituted to prevent a similar occurrence from recurring: \_\_\_\_\_  
\_\_\_\_\_

Additional Contact Numbers:

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) EMERGENCY PHONE:

1-888-304-1133

NATIONAL RESPONSE CENTER PHONE:

(800) 424-8802

U.S. ENVIRONMENTAL PROTECTION AGENCYPHONE:

(888) 372-7341

## ILLICIT DISCHARGE STATEMENT

Certain types of non-stormwater discharges are allowed under the U.S. Environmental Protection Agency Construction General Permit. These types of discharges will be allowed under the conditions that no pollutants will be allowed to come in contact with the water prior to or after its discharge. The control measures which have been outlined previously in this LTPPP will be strictly followed to ensure that no contamination of these non-storm water discharges takes place. Any existing illicit discharges, if discovered during the course of the work, will be reported to MassDEP and the local DPW, as applicable, to be addressed in accordance with their respective policies. No illicit discharges will be allowed in conjunction with the proposed improvements.

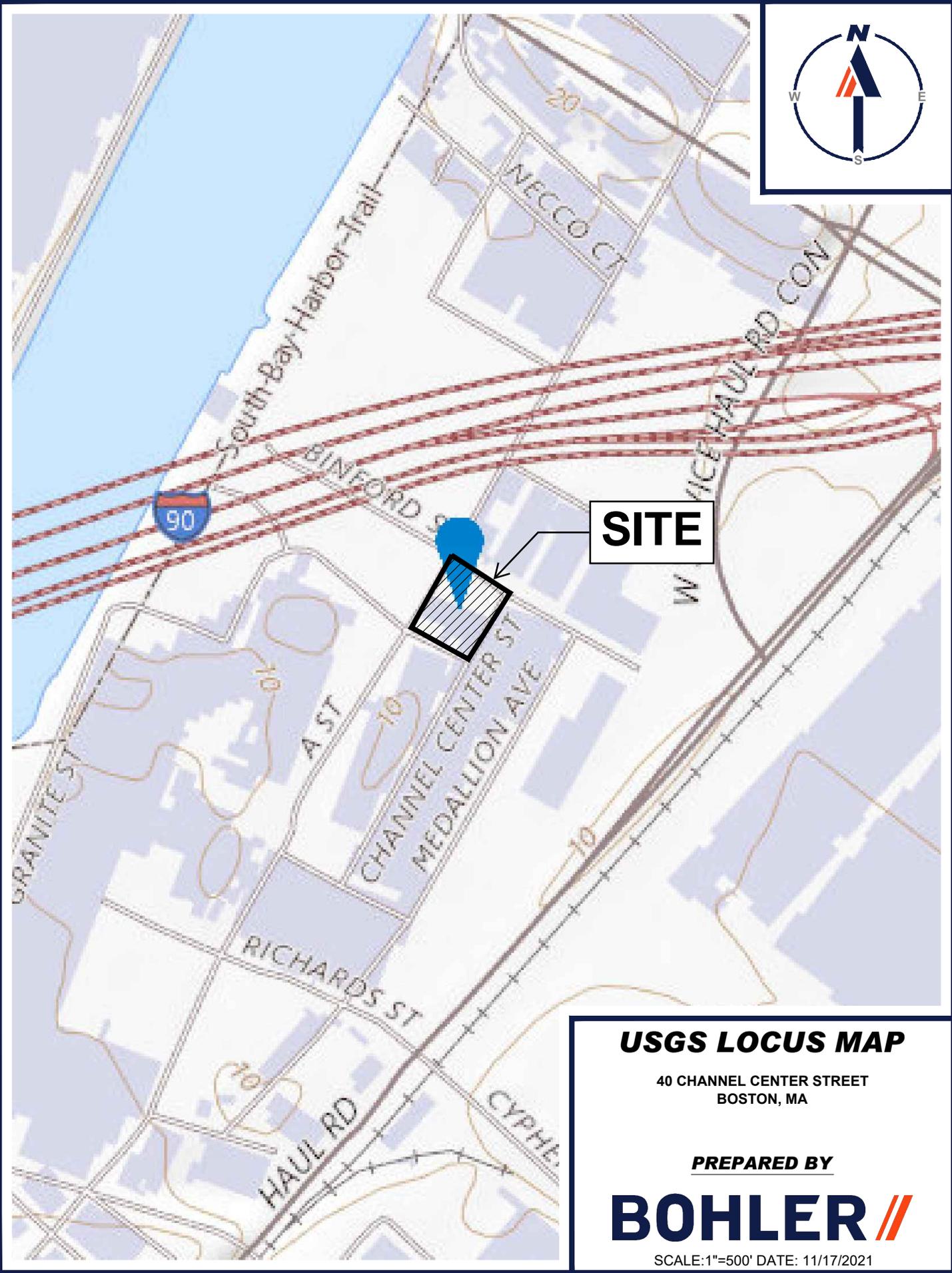
Duly Acknowledged:



Name & Title

Joshua J Mahoney  
Apartment Team Lead  
Akelius Real Estate Management

**APPENDIX B – USGS MAP**



**USGS LOCUS MAP**

40 CHANNEL CENTER STREET  
BOSTON, MA

**PREPARED BY**

**BOHLER** //

SCALE: 1"=500' DATE: 11/17/2021

**APPENDIX C – FEMA FLOOD INSURANCE RATE MAP**

# National Flood Hazard Layer FIRMMette



71°3'23"W 42°21'1"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |  |
|------------------------------------|--|--|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br><i>Zone A, V, A99</i>  |
|                                    |  | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>   |
|                                    |  | Regulatory Floodway  |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  |
|                                    |  | Area with Flood Risk due to Levee <i>Zone D</i>  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>   |
|                                    |  | Effective LOMRs  |
| <b>GENERAL STRUCTURES</b>          |  | Area of Undetermined Flood Hazard <i>Zone D</i>  |
|                                    |  | Channel, Culvert, or Storm Sewer   |
| <b>OTHER FEATURES</b>              |  | Levee, Dike, or Floodwall  |
|                                    |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation  |
| <b>MAP PANELS</b>                  |  | 17.5 Coastal Transect  |
|                                    |  | Base Flood Elevation Line (BFE)  |
|                                    |  | Limit of Study   |
|                                    |  | Jurisdiction Boundary  |
|                                    |  | Coastal Transect Baseline  |
|                                    |  | Profile Baseline   |
| <b>MAP PANELS</b>                  |  | Digital Data Available   |
|                                    |  | No Digital Data Available  |
|                                    |  | Unmapped   |
|                                    |  | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.                                     |



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/15/2021 at 11:44 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

## **APPENDIX D – SITE PICTURES**



Picture 1: View of sidewalk in front of the building.



Picture 2: Front entrance to the restaurant.



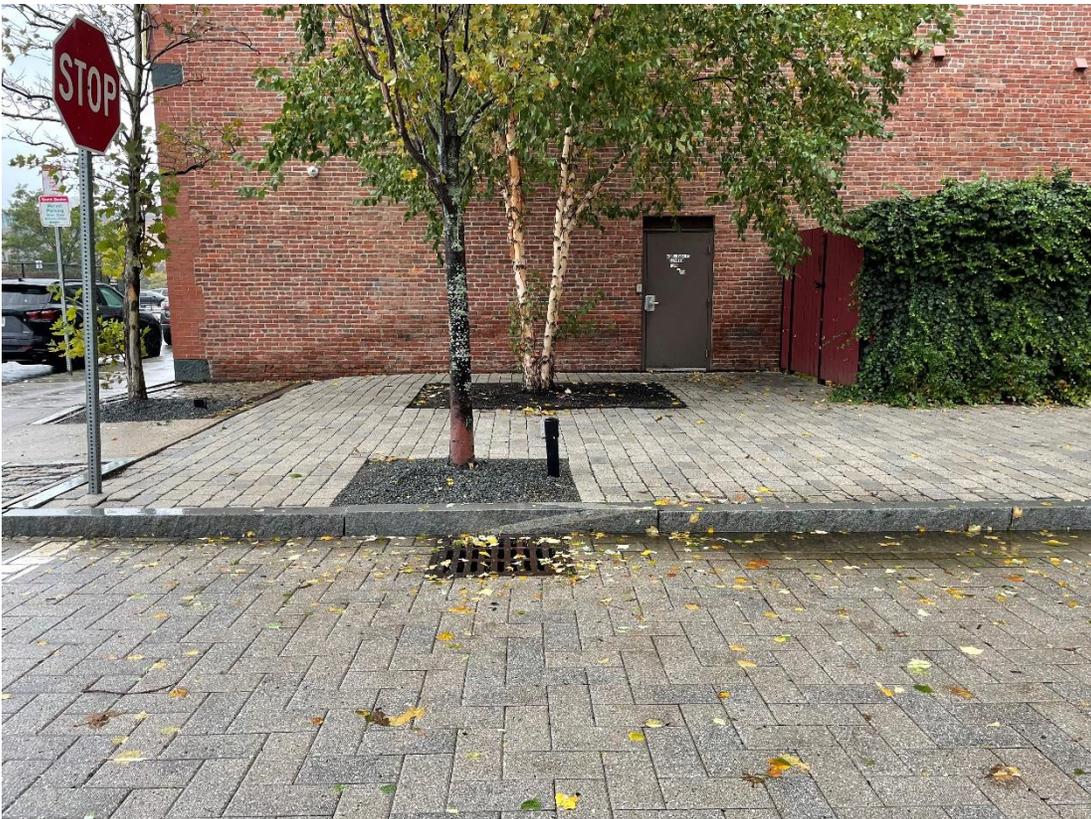
Picture 3: View of Channel Center Street.



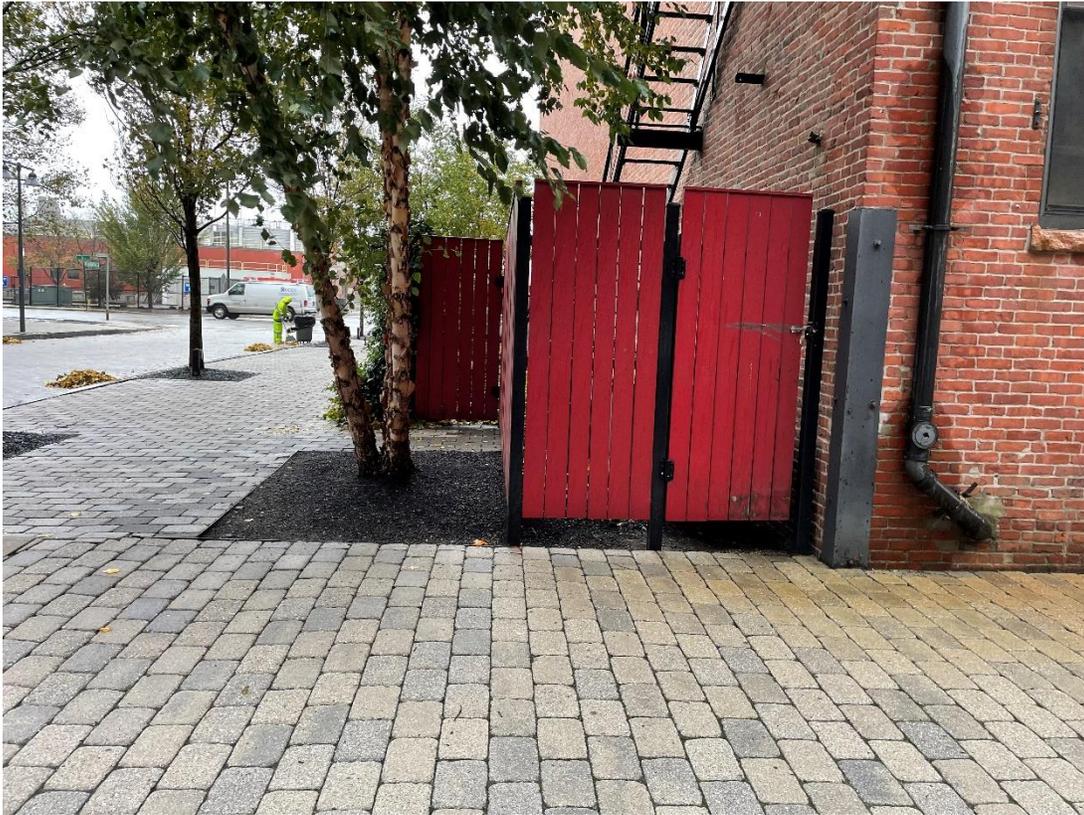
Picture 4: View of sidewalk at the back of the building.



Picture 5: View of east side of building.



Picture 6: View of North-east corner of building.



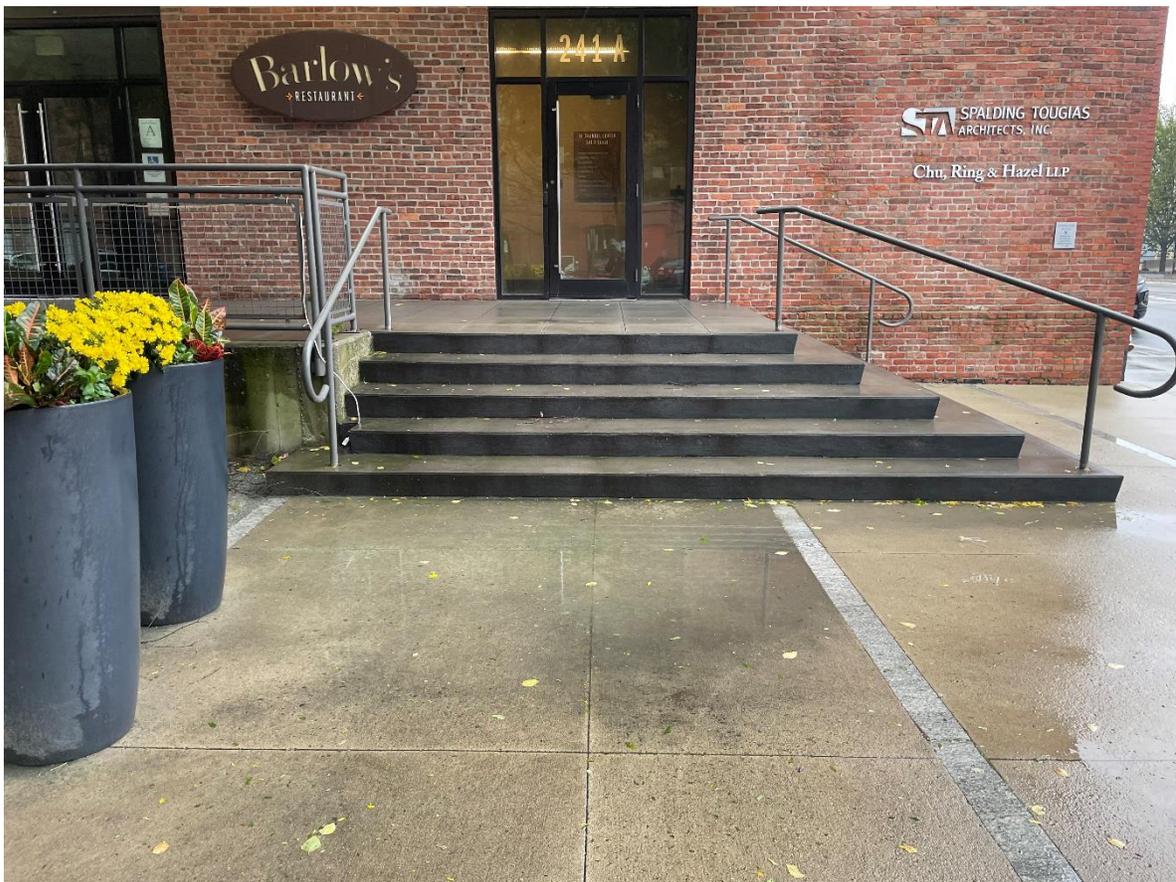
Picture 7: View of South-east corner of building.



Picture 8: View of west side of building.



Picture 9: View of walkway on west side of building.



Picture 10: West side entrance to the restaurant. .

**ATTACHMENT A – SITE DEVELOPMENT PLANS  
(See 11”x17” Plan Set Enclosed)**

<u>PlanTitle</u>	<u>Prepared By</u>	<u>Date</u>
General Notes Sheet	Bohler	12/13/2021
Grading, Drainage & Utility Plan	Bohler	12/13/2021
Detail Sheet	Bohler	12/13/2021
Existing Conditions Plan	Feldman Land Surveyors	11/10/2020
Transformer Profile Exhibit	Bohler	12/13/2021

## GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
  - "SURVEY - EXISTING CONDITIONS PLAN - 40 CHANNEL CENTER STREET & 241 A STREET", PREPARED BY FELDMAN LAND SURVEYORS, DATED NOVEMBER 10, 2020.PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE PROVIDED TO MEET AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE 42 U.S.C. § 12101 et seq. & 28 C.F.R. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY DISCREPANCY, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS OR FROM THE INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, OF ANY DISCREPANCIES, AMBIGUITIES OR CONFLICTS BETWEEN THE PLANS AND THE INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS. CONTRACTOR WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR THE PROJECT OR AS PART OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE PRECAUTIONS AND MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, UTILITIES, PAVEMENT, CURBS, ETC. ALL COSTS ASSOCIATED WITH THE REPAIRS MUST BE PAID BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH THE REPAIRS AND REPLACEMENT OF SUCH EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR AND REPLACE ALL PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE. CONTRACTORS MUST HAVE THEIR COI POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RESTART DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING, BUT NOT LIMITED TO, EMPLOYERS AND ALL CLAIMS AND OBLIGATIONS ASSUMED BY THE CONTRACTORS. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE REVENUE/ENDORSEMENT.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA. CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO LIABILITY FOR SAME. HEREUNDER, BOHLER ENGINEERING'S REVIEW DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DELAYS DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSIGHTING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICY OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATION, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS (S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

## GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITIES TO COMPLY WITH THE SCOPE OF WORK AS SHOWN ON THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF ALL UTILITIES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO PROVIDE PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY THE IN-CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SYSTEMS. WHERE CONFLICTS EXIST BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VALVE, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER'S INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SEWER, WATER, GAS, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULDER SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS. CONTRACTOR SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION, AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA AS WELL AS ANY OTHER AGENCIES WITH JURISDICTION OVER THESE AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOOPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE. MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY NOTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE/UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH S/LT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASPH/TO M24 AND TYPE S3 SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS WITH GASKET FOR S/LT TIGHT JOINT. PVC RCP FOR ROOT DRAIN CONNECTION MUST BE SDR 26 OR SCHED. 40 UNLESS INDICATED OTHERWISE.

23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

- FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
- FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D2043
- FOR PIPE WITHIN 10 FT. OF BUILDING PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

25. STORMWATER ROOT DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

26. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

27. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR S/LP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (MINIMUM CLASS 52 THICKNESS), ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. LOCATION OF PROPOSED UTILITY POLE LOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND/FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

## GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "SURVEY - EXISTING CONDITIONS PLAN - 40 CHANNEL CENTER STREET & 241 A STREET", PREPARED BY FELDMAN LAND SURVEYORS, DATED NOVEMBER 10, 2020.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMANCE OF THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REGULATIONS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
  - A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
  - B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
  - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. RANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

J. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

K. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF-SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

L. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

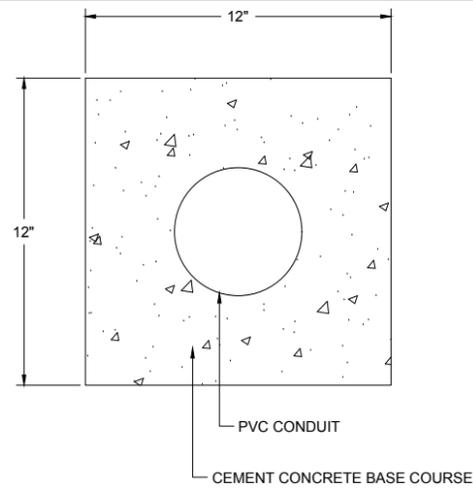
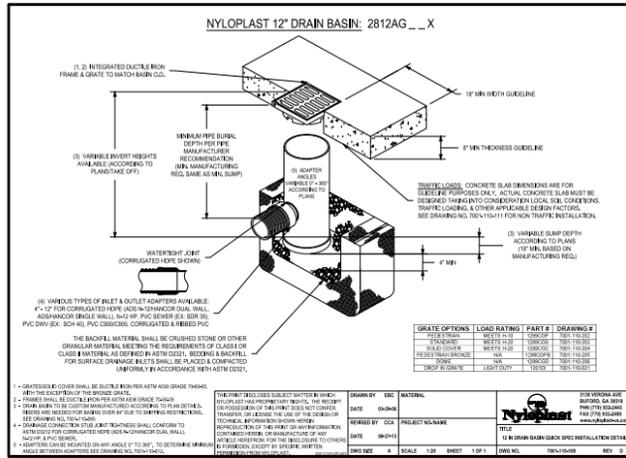
M. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORM IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

N. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

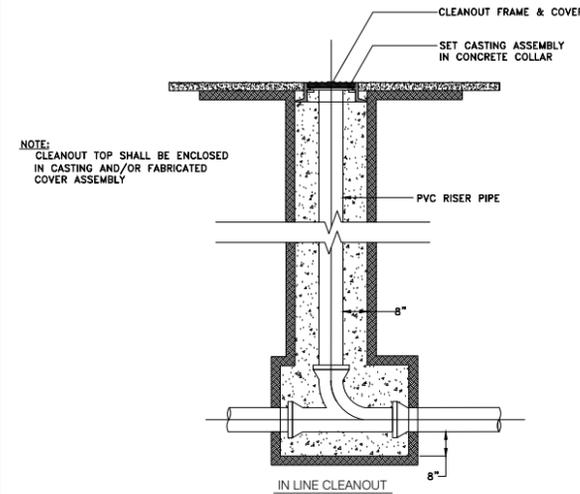
O. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.

P. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.</

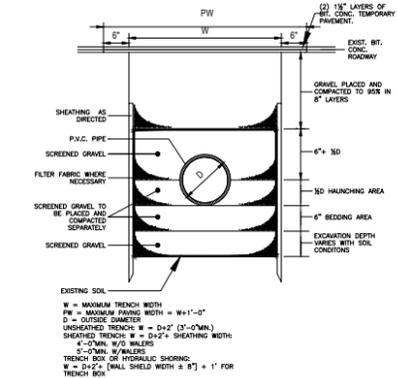




NOTE: PVC CONDUIT SHALL BE ENCASED IN 12 INCHES OF CEMENT CONCRETE BASE COURSE. SAND WILL NOT BE REQUIRED AT THESE LOCATIONS. CONCRETE WILL BE PAID FOR UNDER ITEM 431.1, HIGH EARLY STRENGTH CEMENT CONCRETE BASE COURSE.



NOTE: CLEANOUT TOP SHALL BE ENCLOSED IN CASTING AND/OR FABRICATED COVER ASSEMBLY



W = MAXIMUM TRENCH WIDTH = W+1'-0"  
 PW = MAXIMUM TRENCH WIDTH = W+1'-0"  
 D = OUTSIDE DIAMETER  
 UNDESIGNED TRENCH W = D+2' (2'-0" MIN)  
 DESIGNED TRENCH W = D+2' (SHEATHING WIDTH = 4'-0" MIN)  
 TRENCH BOX OF HYBRIDIC SHADING:  
 W = D+2' (WALL SHEATHING WIDTH = 8' 1" FOR TRENCH BOX)

**NYLOPLAST 12" AREA DRAIN WITH PEDESTRIAN GRATE**

N.T.S.

**UTILITY - CONCRETE ENCASED CONDUIT (BOSTON PWD DETAIL S.1)**

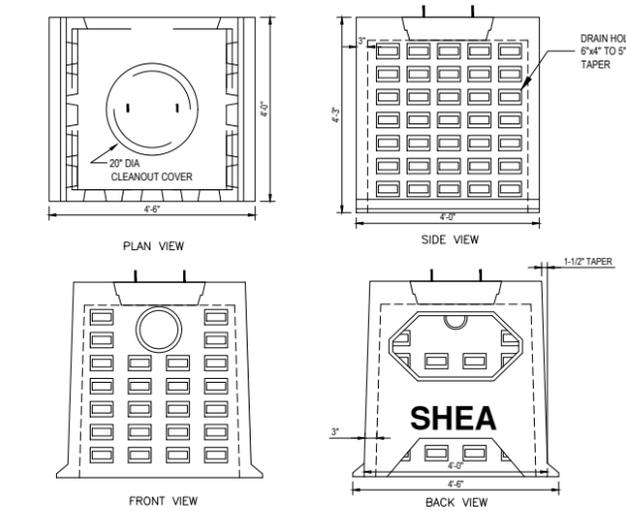
N.T.S.

**IN-LINE WYE CLEANOUT (BWSC DETAIL B-17)**

N.T.S.

**PVC PIPE TRENCH (BWSC DETAIL B-09)**

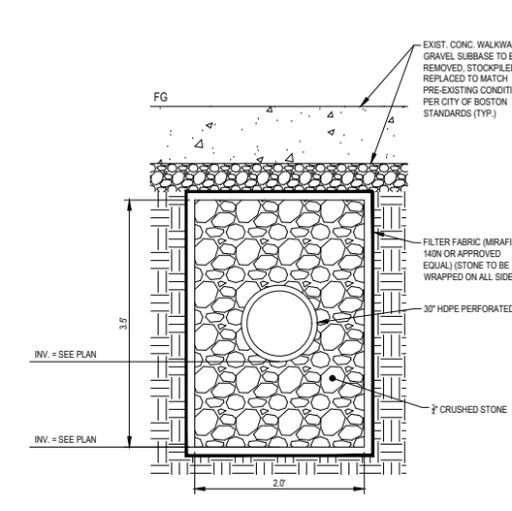
N.T.S.



NOTES:  
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 3 FEET COVER.  
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

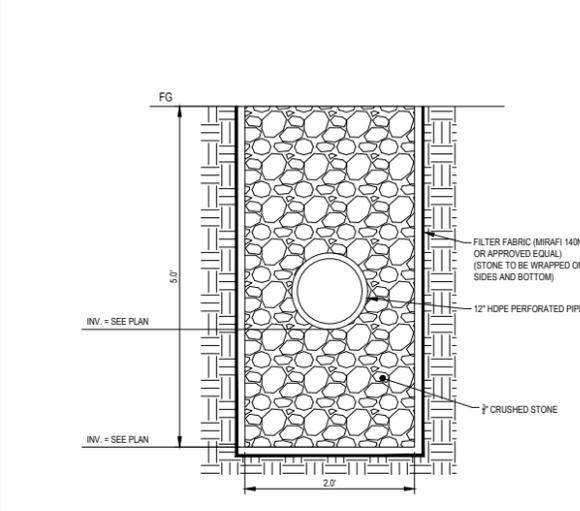
**4 FT x 4 FT GALLEY CENTER AND END DETAIL**

N.T.S.



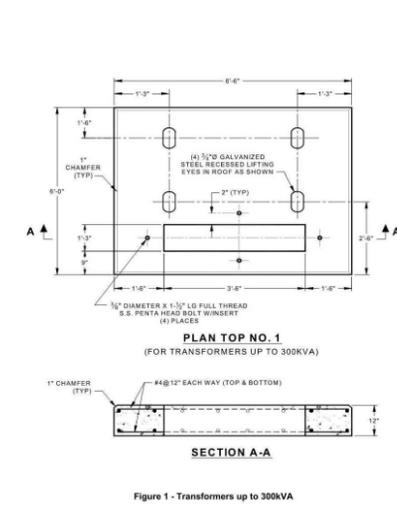
**PERFORATED PIPE INFILTRATION SYSTEM DETAIL**

N.T.S.



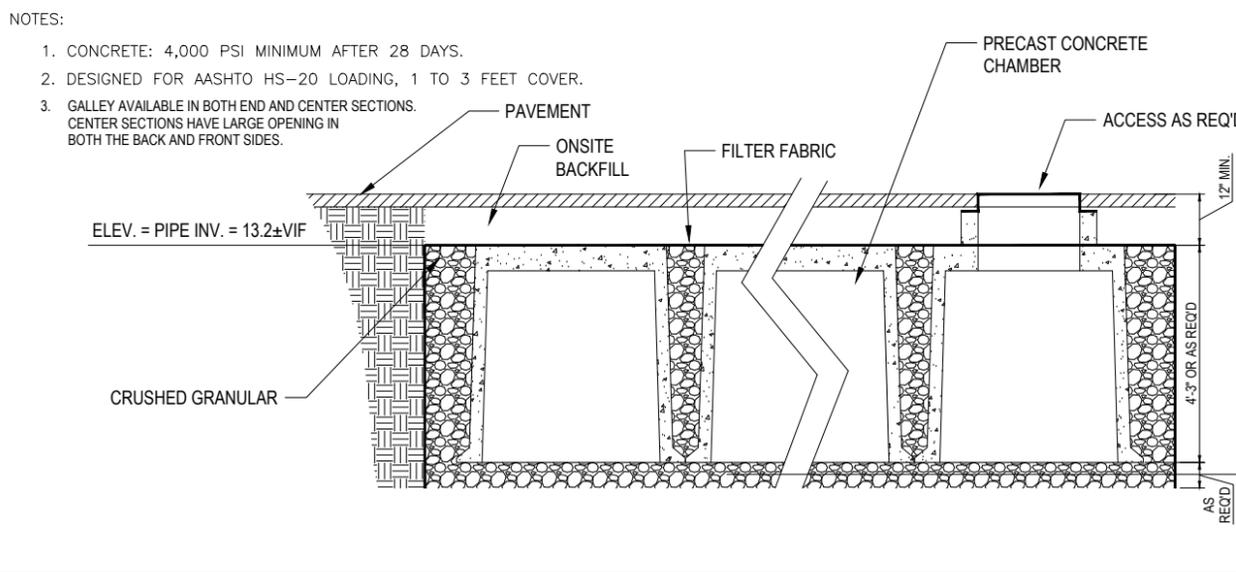
**FRENCH DRAIN INFILTRATION SYSTEM DETAIL**

N.T.S.



**EVERSOURCE PRECAST CONCRETE TRANSFORMER FOUNDATION DETAIL (TRANSFORMERS UP TO 300 KVA)**

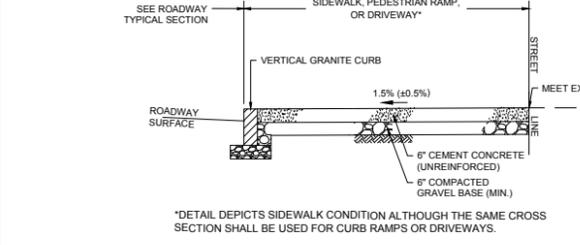
N.T.S.



NOTES:  
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 3 FEET COVER.  
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

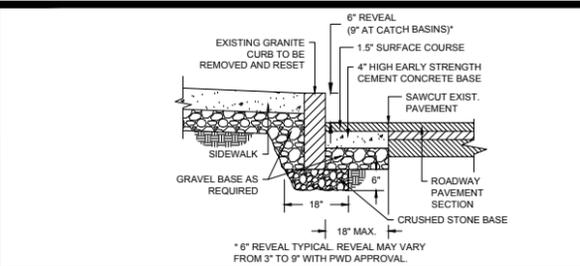
**4 FT X 4 FT GALLEY SECTION DETAIL**

N.T.S.



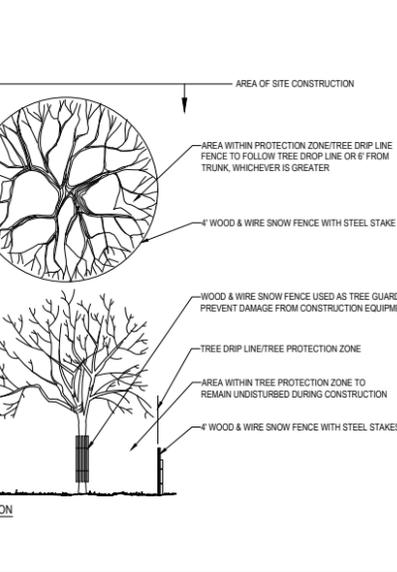
**SIDEWALK - CONCRETE (BOSTON PWD DETAIL S.1)**

N.T.S.



**CURB - GRANITE RESET (BOSTON PWD DETAIL C.1)**

N.T.S.



**TREE PROTECTION DURING SITE CONSTRUCTION**

N.T.S.



REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
0	11/12/2021	BWSC SUBMISSION #1	JJW	MMW
1	12/02/2021	ELECTRIC UTILITY REVISIONS	JJW	MMW
2	12/13/2021	BWSC COMMENT RESPONSE	JJW	MMW



**ISSUED FOR PERMIT**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: M211067  
 DRAWN BY: JJW  
 CHECKED BY: MMW  
 DATE: 12/13/2021  
 CAD ID: M211067-CVL

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**AKELIUS REAL ESTATE MANAGEMENT LLC**

PROPOSED UTILITY UPGRADES

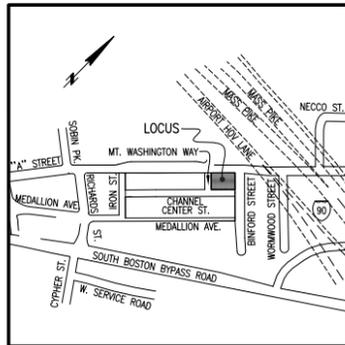
PARCEL ID: 0602757060  
 40 CHANNEL CENTER STREET,  
 CITY OF BOSTON,  
 SUFFOLK COUNTY,  
 MASSACHUSETTS



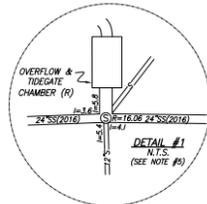
SHEET TITLE:  
**DETAIL SHEET**

SHEET NUMBER:  
**C-901**

REVISION 2 - 12/13/2021

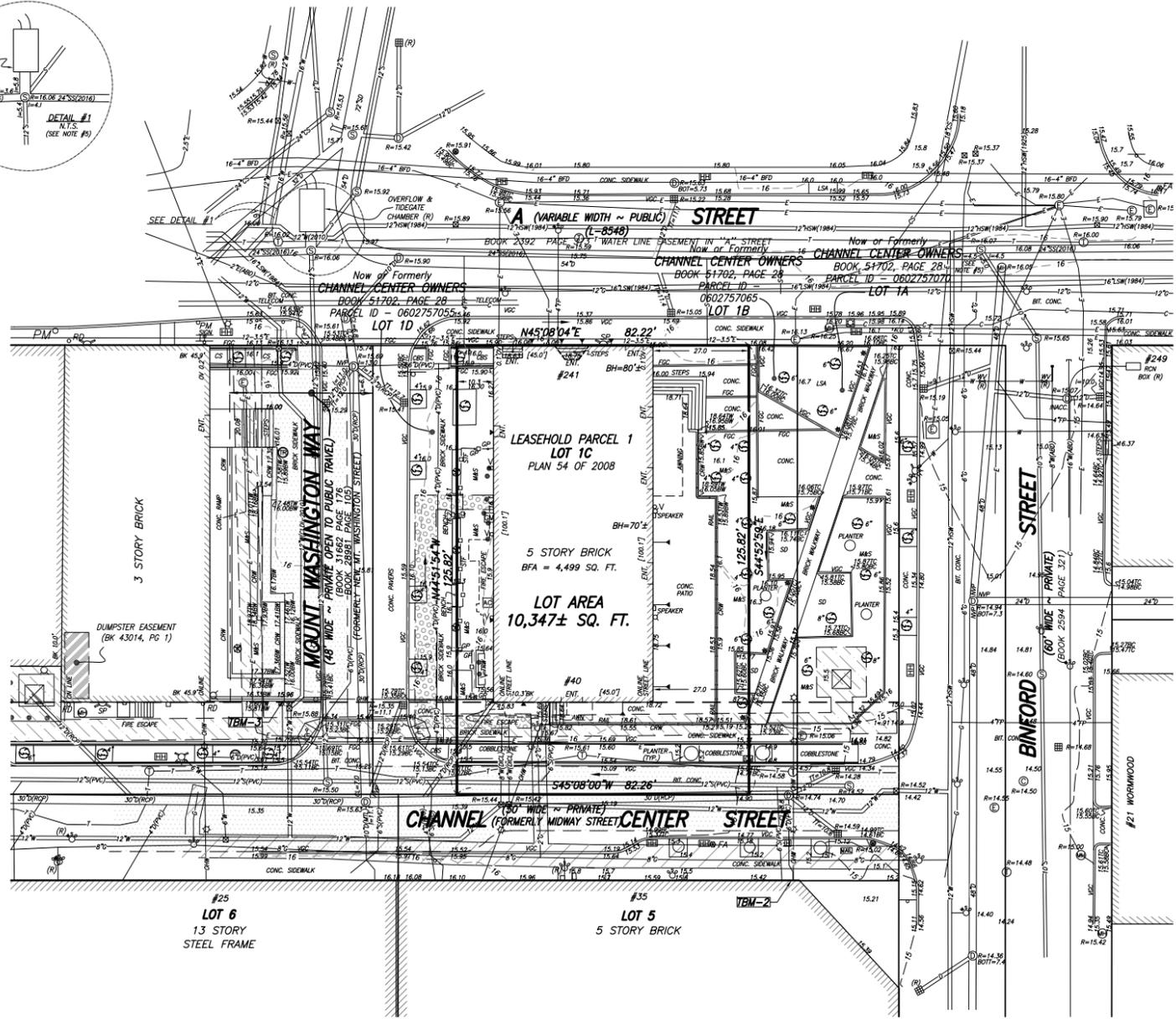


VICINITY MAP NOT TO SCALE



**LEGEND**

- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER SHUT OFF/WATER GATE
- ⊙ GAS SHUT OFF/GAS GATE
- ⊙ BOSTON WATER VALVE
- ⊙ CATCH BASIN
- ⊙ LIGHT POLE
- ⊙ ELECTRIC HANDHOLE
- ⊙ BOLLARD
- ⊙ POST
- ⊙ SIGN
- ⊙ OBSERVATION WELL
- ⊙ STAND PIPE/SIAMESE CONNECTION
- ⊙ FLOOD LIGHT
- ⊙ WALK LIGHT
- ⊙ TRANSFORMER
- ⊙ GAS METER
- ⊙ AIR CONDITIONING UNIT
- ⊙ DECIDUOUS TREE
- ⊙ HANDICAP RAMP
- AWN AWNING
- [X.X'] BUILDING DIMENSION
- BC BOTTOM OF CURB
- BFA BUILDING FOOTPRINT AREA
- BH BUILDING HEIGHT
- BIT BITUMINOUS
- BK BACK
- BOT= BOTTOM ELEVATION
- BW BOTTOM OF WALL
- (C) CALCULATED
- CLF CHAIN LINK FENCE
- CL CENTERLINE TROUGH
- CONC CONCRETE
- CS COBBLE STONE
- ENT ENTRANCE
- FGC FLUSH GRANITE CURB
- I= INVERT ELEVATION
- INACC. INACCESSIBLE
- LCC LAND COURT CASE
- LSA LANDSCAPE AREA
- NVP NO VISIBLE PIPES
- SD STONE DUST
- M&S MULCH & SHRUBS
- NTS NOT TO SCALE
- POB POINT OF BEGINNING
- (R) RECORD
- SQ. FT. SQUARE FEET
- TBM TEMPORARY BENCH MARK
- TC TOP OF CURB
- TT= TOP OF TRAP
- TW TOP OF WALL
- VGC VERTICAL GRANITE CURB
- v VENT
- ⊙ SECURITY CAMERA
- C CABLE TELEVISION
- CS COMBINED SEWER
- D DRAIN
- E ELECTRIC
- FP FIRE PIPE
- G GAS
- L STREET LIGHTING
- M MEDIA
- OHW OVERHEAD WIRES
- S SEWER
- T TELEPHONE
- W WATER
- 12"(C) PIPE SIZE AND MATERIAL
- W(ABD) ABANDONED
- ED EMERGENCY
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- WROUGHT IRON FENCE
- ⊙ BWS EASEMENT
- ⊙ GAS EASEMENT
- ⊙ GAS EASEMENT
- ⊙ ELECTRIC EASEMENT



**NOTES:**

1. BENCH MARK INFORMATION:  
BENCH MARK USED:  
TBM-A: X-CUT SET ON THE FRONT LEFT BOLT OF A HYDRANT ON THE NORTHWESTERLY SIDE OF NECCO STREET AT THE INTERSECTION OF THE NORTHEASTERLY SIDE OF NECCO COURT. ELEVATION=21.11  
TEMPORARY BENCH MARKS SET:  
TBM-1: X-CUT SET ON THE RIGHT CORNER OF GRANITE STEP AT No. 249 A STREET (0.70' ABOVE GRADE). ELEVATION=16.69  
TBM-2: X-CUT SET ON THE LEFT CORNER OF BOTTOM OF GRANITE WINDOW Lintel LOCATED AT No. 35 CHANNEL CENTER STREET JUST BEFORE BUILDING BEVELS TOWARD BINFORD STREET, AS SHOWN HEREON (1.0' ABOVE GRADE). ELEVATION=16.34  
TBM-3: X-CUT SET ON THE TOP LEFT CORNER OF CONCRETE RETAINING WALL LOCATED AT SOUTHWEST CORNER OF CHANNEL CENTER STREET AND MOUNT WASHINGTON WAY, AS SHOWN HEREON (1.65' ABOVE GRADE). ELEVATION=17.54
2. ELEVATIONS REFER TO BOSTON CITY BASE (BCB).
3. CONTOUR INTERVAL EQUALS ONE (1) FOOT.
4. BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "A", AN AREA INSIDE OF THE 1.0% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C0081J, CITY OF BOSTON COMMUNITY NUMBER 25086, PANEL NUMBER 081J, HAVING AN EFFECTIVE DATE OF MARCH 16, 2016.
5. DUE TO THE RISK OF COVID-19 EXPOSURE AT THE TIME OF THE RECENT SURVEY, SEWER MANHOLES WERE NOT OPENED AND INVERTS WERE NOT MEASURED. THEREFORE, ANY SEWER MANHOLE INVERTS SHOWN HEREON ARE BASED ON RECORD AND/OR AS-BUILT PLAN INFORMATION.
6. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD WHERE THEY EXIST AND ARE PLOTTABLE. UTILITIES THAT ARE NOT PLOTTABLE MAY EXIST, BUT ARE NOT SHOWN HEREON. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

**REFERENCES**

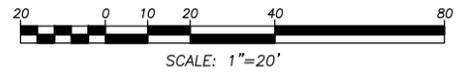
- SUFFOLK COUNTY REGISTRY OF DEEDS
- BOOK 43013, PAGE 344
- BOOK 44667, PAGE 114
- PLAN 54 OF 2008

**OWNER OF RECORD**

- FORTY CHANNEL CENTER HOLDINGS VAF, LLC
- BOOK 41396, PAGE 334
- PARCEL ID - 0602757060

**EXISTING CONDITIONS PLAN  
40 CHANNEL CENTER STREET  
& 241 A STREET  
BOSTON, MASS.**

FELDMAN LAND SURVEYORS NOVEMBER 10, 2020  
152 HAMPDEN STREET PHONE: (617)357-9740  
BOSTON, MASS. 02119 www.feldmansurveyors.com



SCALE: 1"=20'

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*D. Raffle*  
DAMIEN J. RAFFLE, PLS (MA# 49629)  
DJR@FELDMANSURVEYORS.COM

12/9/2021  
DATE



RESEARCH	FIELD CHIEF NG	PROJ MGR MDS	APPROVED DSR	SHEET NO. 1 OF 1
CALC	CADD UAK/MLM	FIELD CHECKED	CRD FILE 17707	JOB NO. 17707

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
0	11/12/2021	BWSC SUBMISSION #1	JJW	MMW
1	12/02/2021	ELECTRIC UTILITY REVISIONS	JJW	MMW
2	12/13/2021	BWSC COMMENT RESPONSE	JJW	MMW

**FOR EXHIBIT PURPOSES ONLY**

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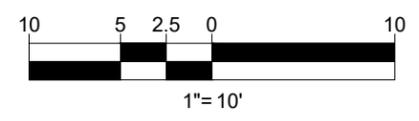
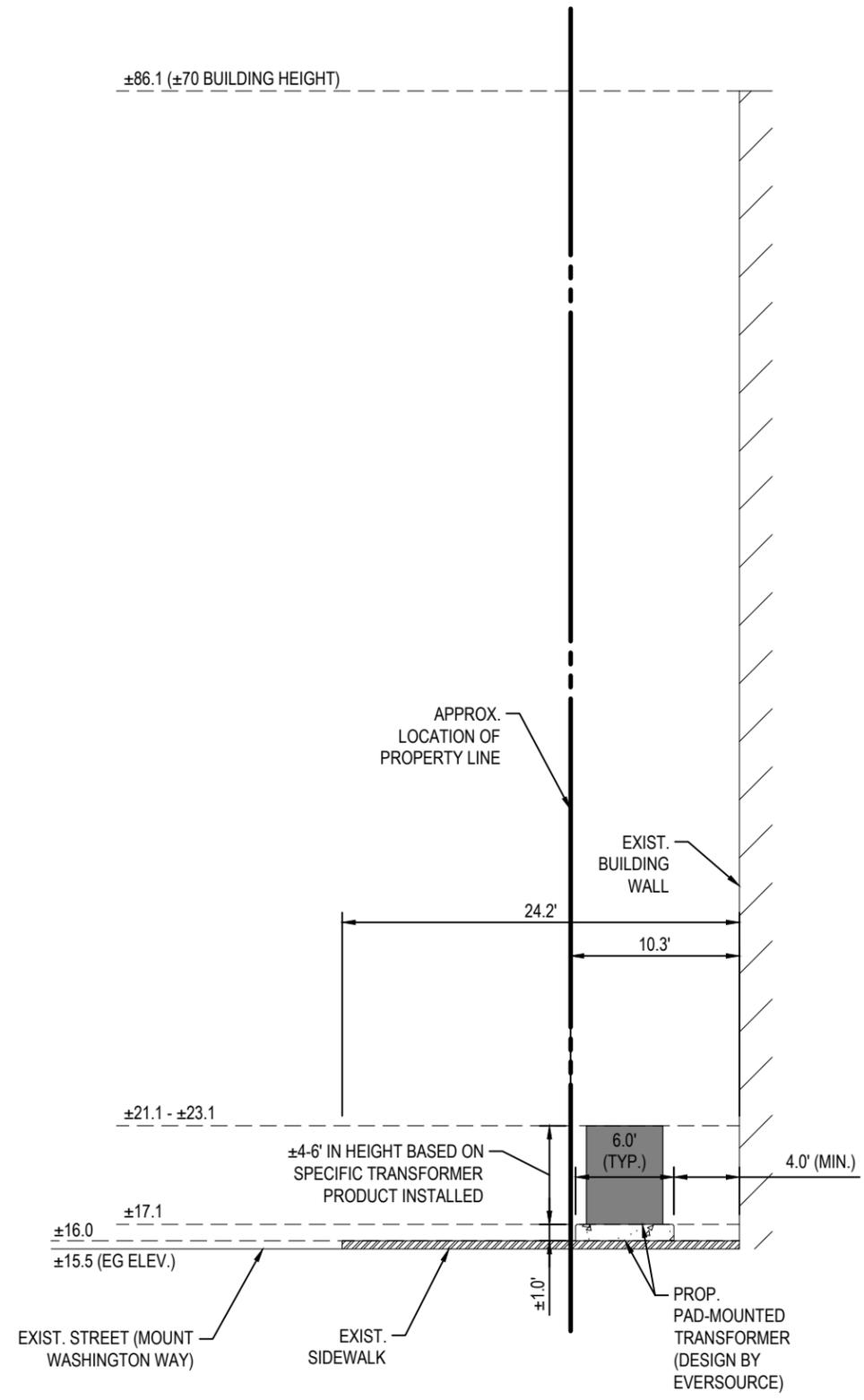
PROJECT No.: M211067  
 DRAWN BY: JJW  
 CHECKED BY: MMW  
 DATE: 12/13/2021  
 CAD I.D.: M211067-X-TTB-1\_24X36

PROJECT:  
**SITE DEVELOPMENT PLANS**  
 FOR  
**AKELIUS REAL ESTATE MANAGEMENT LLC**  
 PROPOSED UTILITY UPGRADES  
 PARCEL ID: 0602757060  
 40 CHANNEL CENTER STREET,  
 CITY OF BOSTON,  
 SUFFOLK COUNTY,  
 MASSACHUSETTS

**BOHLER**  
 45 FRANKLIN STREET, 5th FLOOR  
 BOSTON, MA 02110  
 Phone: (617) 849-8040  
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 SHEET NUMBER:  
**EXH-1**

REVISION 2 - 12/13/2021



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