

REQUIRED DOCUMENTATION: Please include all required documentation with this application; review instructions carefully for details.

ESTIMATED COST OF PROPOSED WORK: _____

IV. DULY AUTHORIZED SIGNATURES (both required)

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT Monika Z. Pauli OWNER* [Signature]

*(If building is a condominium or cooperative, the chairman must sign.)

PRINT MONIKA Z. PAULI PRINT Jamir Pender

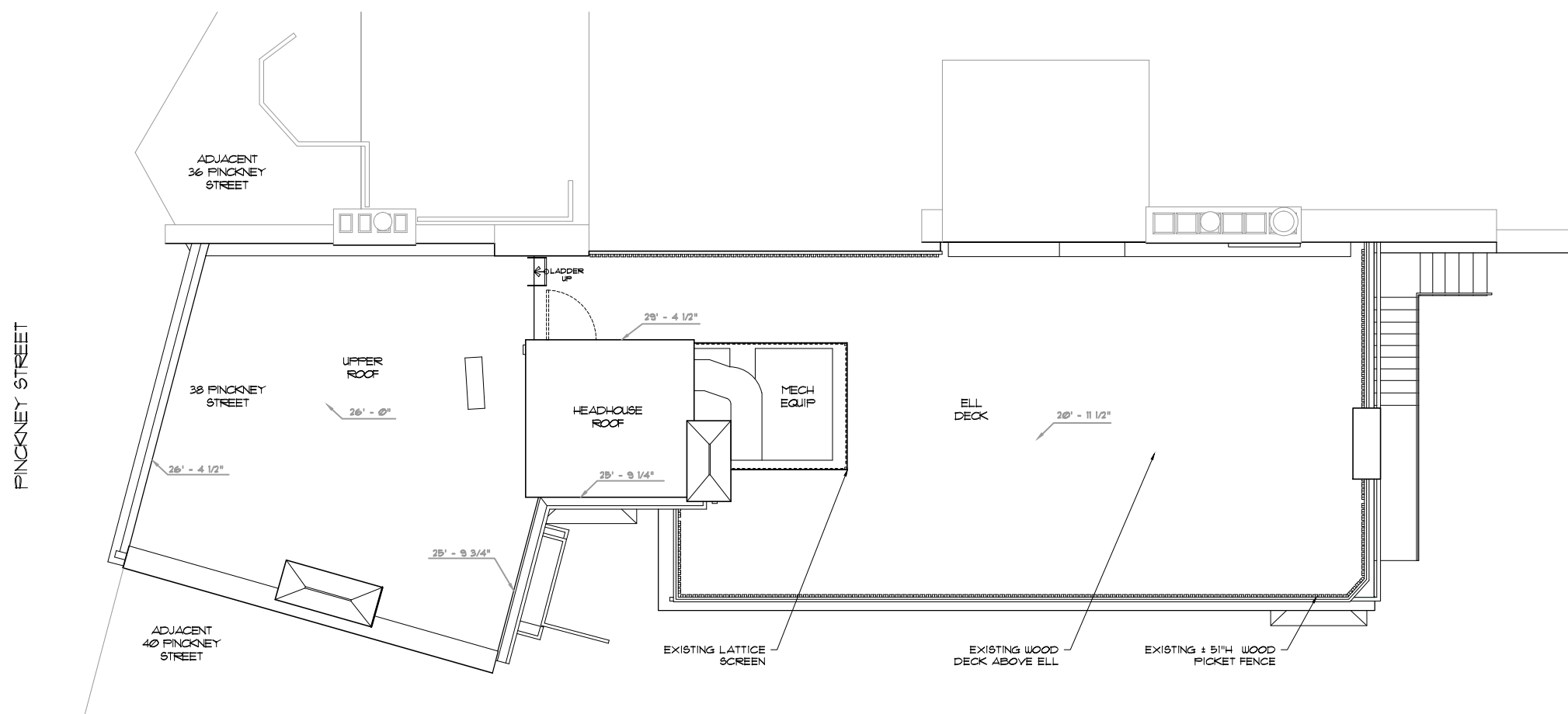
Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

UNSIGNED OR PARTIALLY SIGNED FORMS WILL BE REJECTED

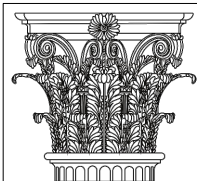
THIS APPLICATION IS NOT COMPLETE WITHOUT SIGNATURES, FEES AND REQUIRED DOCUMENTATION. The checklist below is for reference only: Please refer to the detailed application instructions for deadlines, fee schedule and required documentation specific to your proposal.

- COMPLETED APPLICATION FORM
- APPLICATION FEE (Check or money order made payable to City of Boston; see fee schedule in Instructions)
- DESCRIPTION OF WORK (A brief description must be included on the front page; additional pages of detailed information may be attached. **Applications that only note "see attached" will not be accepted.**)
- PHOTOS OF EXISTING CONDITIONS
- DRAWINGS AND SPECIFICATIONS AS REQUIRED (See "documentation requirements" in instructions)





① EXISTING ROOF / ELL DECK PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"

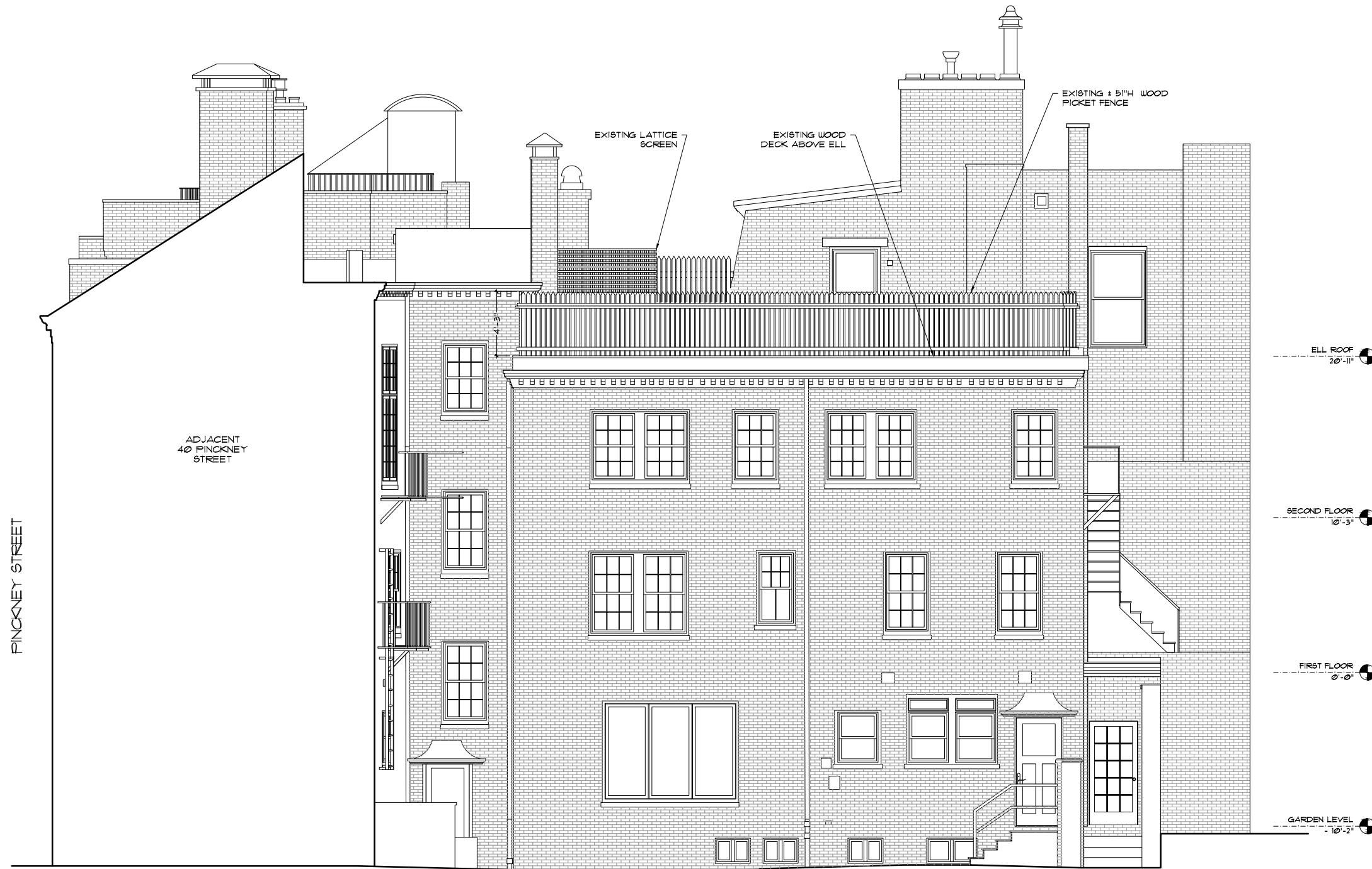


PAULI & URIBE
ARCHITECTS LLC
 Classic Architecture
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 Boston, Massachusetts, 02108
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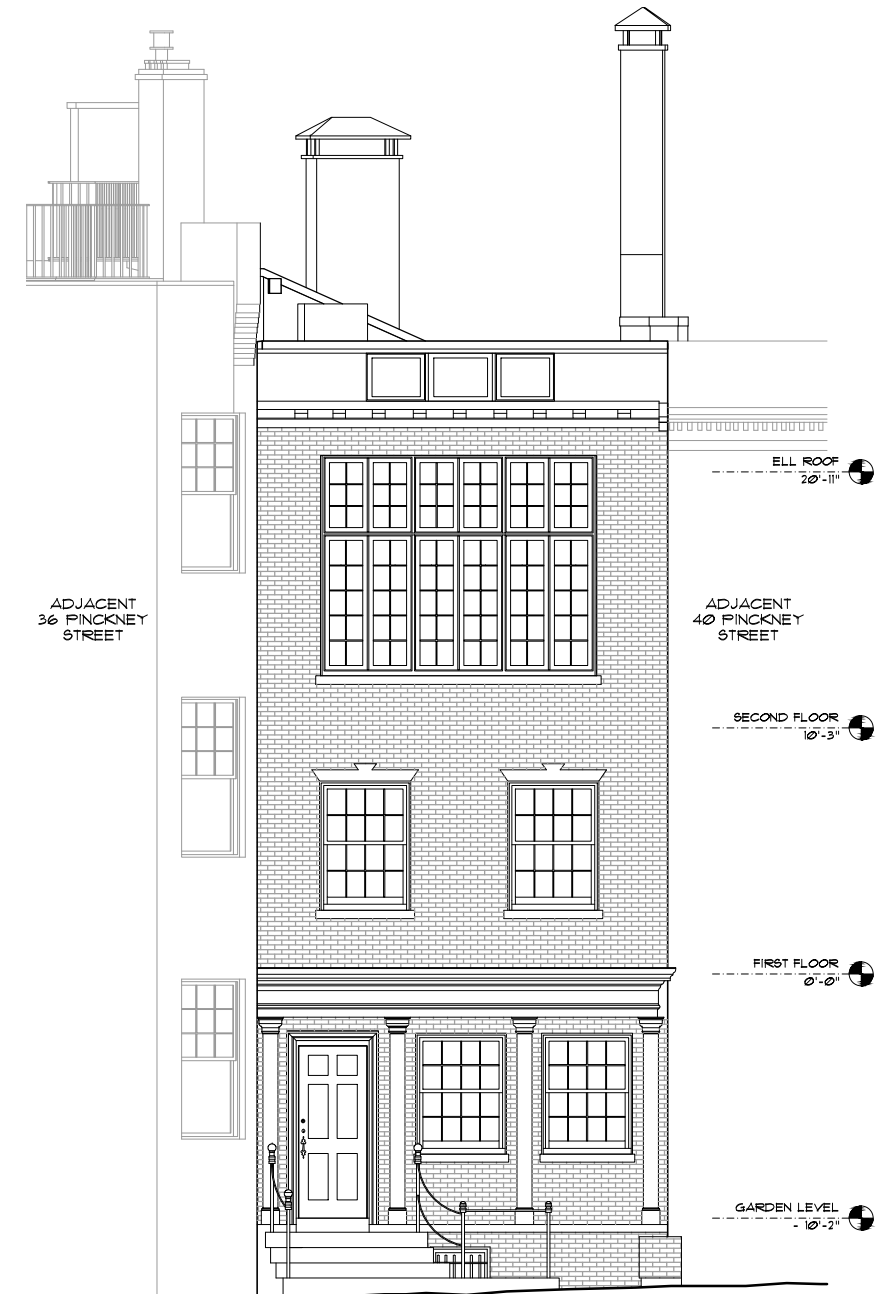
38 PINCKNEY STREET
 BOSTON, MA 02114

SHEET TITLE:
 EXISTING CONDITIONS
 ROOF / ELL DECK PLAN
 DATE: NOVEMBER 22, 2021
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZF

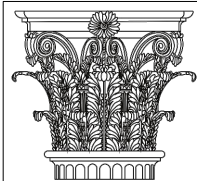
SHEET NO.
 EC1.01



① EXISTING SIDE (WEST) ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



② EXISTING FRONT (NORTH) ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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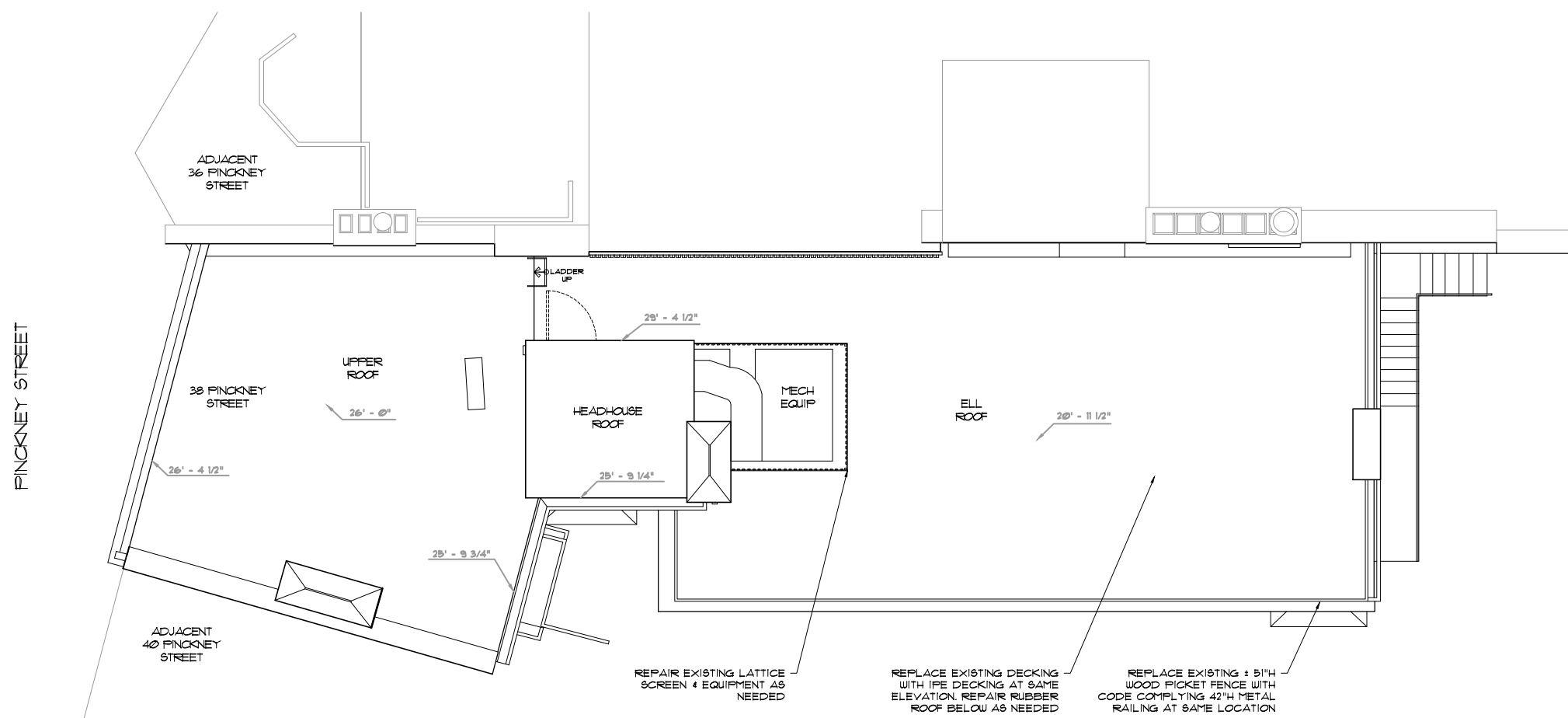
38 PINCKNEY STREET
 BOSTON, MA 02114

SHEET TITLE:
 EXISTING CONDITIONS
 EXTERIOR ELEVATIONS

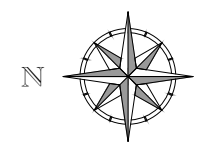
DATE: NOVEMBER 22, 2021
 SCALE: AS NOTED
 DRAWN: JGUR & RJP
 CHECKED: JGUR & MZF

SHEET NO.

EC3.01



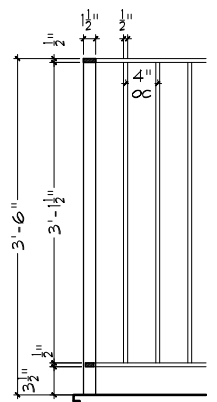
① PROPOSED ROOF / ELL DECK PLAN
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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38 PINCKNEY STREET
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SHEET TITLE: PROPOSED ROOF / ELL DECK PLAN	SHEET NO. A1.01
DATE: NOVEMBER 22, 2021	
SCALE: AS NOTED	
DRAWN: JGUR & RJP	
CHECKED: JGUR & MZF	



3 RAILING DETAIL
 FULL: 1" = 1'-0"
 HALF: 1/2" = 1'-0"

REPAIR EXISTING LATTICE SCREEN & EQUIPMENT AS NEEDED

REPLACE EXISTING DECKING WITH IPE DECKING AT SAME ELEVATION. REPAIR RUBBER ROOF BELOW AS NEEDED

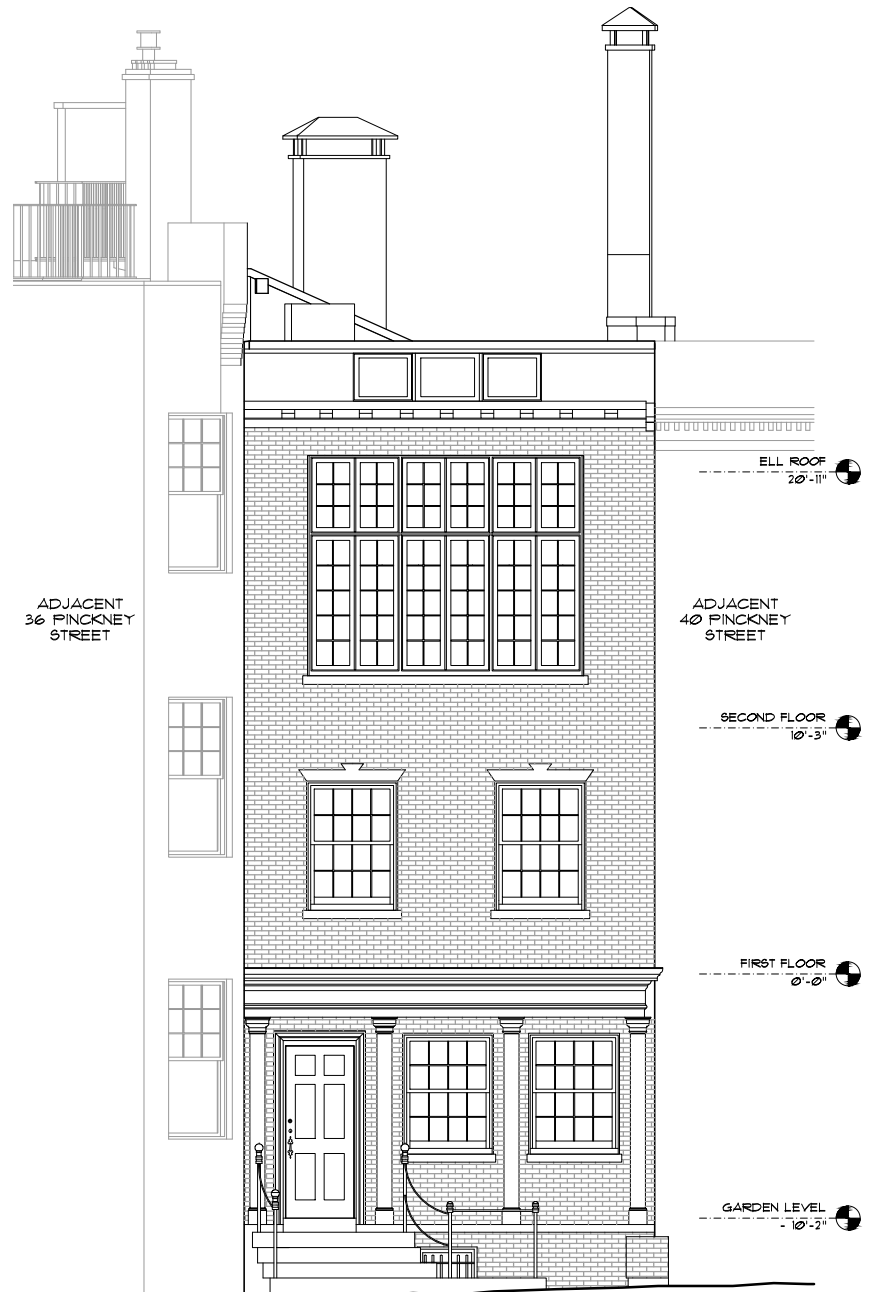
REPLACE EXISTING 5 1/4" WOOD PICKET FENCE WITH CODE COMPLYING 42" H METAL RAILING AT SAME LOCATION

PINCKNEY STREET

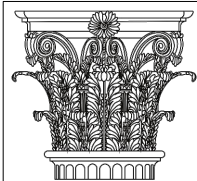
ADJACENT 40 PINCKNEY STREET



1 PROPOSED SIDE (WEST) ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



2 PROPOSED FRONT (NORTH) ELEVATION
 FULL: 1/4" = 1'-0", HALF: 1/8" = 1'-0"



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38 PINCKNEY STREET
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SHEET TITLE:
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 EXTERIOR ELEVATIONS
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SHEET NO.

A3.01