

August 2, 2021

Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Re: Constitution Center Waterfront Rehabilitation – NOI Application

Dear Mr. Moreno,

On behalf of our Client, Jamestown Urban Management, enclosed, please find a Notice of Intent application and accompanying documents for the proposed Constitution Center Rehabilitation project. The project location is at 75 Constitution Road, Boston, MA and on the Boston Harbor. The project consists of repairing the existing concrete sheet pile cap by conducting routine concrete restoration to an estimated 1,040 linear feet of the 1,800-foot-long seawall. The purpose is to maintain the existing seawall to allow for the continued structural support of the Harborwalk and public use space above. The project is being conducted by a tenant of the Massachusetts Port Authority, and therefore the local Boston Wetland Bylaw is not applicable to this project. We have included the Boston NOI form and fee schedule for your review.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at nilsona@childseng.com.

Respectfully submitted,

CHILDS ENGINEERING CORPORATION

Andrew R. Nilson

Andrew R. Nilson, P.E.
Project Manager

Cc:
DEP Northeast Regional Office

August 2, 2021

Permit Reviewer
Massachusetts DEP Northeast Regional Office - Wilmington
205B Lowell Street,
Wilmington, MA 01887

Re: Constitution Center Waterfront Rehabilitation – NOI Application

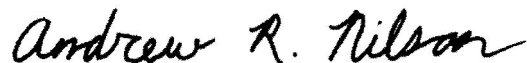
Dear Permit Reviewer,

On behalf of our Client, Jamestown Urban Management, enclosed, please find a Notice of Intent application and accompanying documents for the proposed Constitution Center Rehabilitation project. The project location is at 75 Constitution Road, Boston, MA and on the Boston Harbor. The project consists of repairing the existing concrete sheet pile cap by conducting routine concrete restoration to an estimated 1,040 linear feet of the 1,800-foot-long seawall. The purpose is to maintain the existing seawall to allow for the continued structural support of the Harborwalk and public use space above.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at nilsona@childseng.com.

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Andrew R. Nilson, P.E.
Project Manager

Cc:
Boston Conservation Commission

Constitution Center Waterfront Rehabilitation

Boston, Massachusetts

Notice of Intent

August 2021



Submitted to:

Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Applicant:

Jamestown Constitution Wharf, L.P.
1 Constitution Road
Boston, MA 02110

Applicant's Agent:



34 William Way
Bellingham, MA 02019

(508) 966 9092

childseng.com

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Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>75 Constitution Rd</u>	<u>Boston</u>	<u>02129</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42.37130</u>	<u>-71.05735</u>	
d. Latitude	e. Longitude	
<u>2</u>	<u>03594000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Jacquelyn</u>	<u>Anderson</u>	
a. First Name	b. Last Name	
<u>Jamestown Constition Wharf, L.P.</u>		
c. Organization		
<u>1 Constitution Rd</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02129</u>
e. City/Town	f. State	g. Zip Code
<u>617-242-8645</u>	<u>jlake@lpc.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u>Lauren</u>	<u>Thompson</u>	
a. First Name	b. Last Name	
<u>Massachusetts Port Authority</u>		
c. Organization		
<u>One Harborside Dr., Suite 2005</u>		
d. Street Address		
<u>East Boston</u>	<u>MA</u>	<u>02128</u>
e. City/Town	f. State	g. Zip Code
<u>617-561-1851</u>	<u>lthompson@massport.com</u>	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Andrew</u>	<u>Nilson</u>	
a. First Name	b. Last Name	
<u>Childs Engineering</u>		
c. Company		
<u>34 William Way</u>		
d. Street Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>508-966-9092</u>	<u>nilsona@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$5,222.50</u>	<u>987.50</u>	<u>\$4,235.00</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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City/Town

A. General Information (continued)

6. General Project Description:

The project consists of repairs to the existing concrete sheet pile cap on top of the existing sheet pile bulkhead at the Constitution Center. This includes typical concrete restoration of the structural element. No changes in use, elevation, or footprint are a result of this project. See Appendix A for a complete description.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

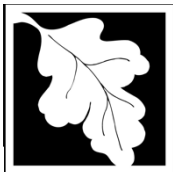
8. Property recorded at the Registry of Deeds for:

Suffolk	
a. County	b. Certificate # (if registered land)
23554	336-345
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
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Provided by MassDEP:

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City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

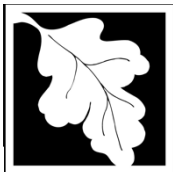
a. total square feet _____	b. square feet within 100 ft. _____	c. square feet between 100 ft. and 200 ft. _____
----------------------------	-------------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	
f. <input checked="" type="checkbox"/> Coastal Banks	1040	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	2,080	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 5-2021 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

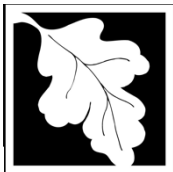
2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

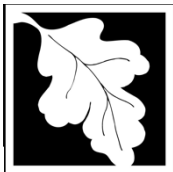
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

a. Plan Title	
Tom Quinn	Andrew Nilson
b. Prepared By	c. Signed and Stamped by
	Varies
d. Final Revision Date	e. Scale
f. Additional Plan or Document Title	
	g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

10215	07/15/21
2. Municipal Check Number	3. Check date
10214	07/15/21
4. State Check Number	5. Check date
Childs Engineering	
6. Payor name on check: First Name	7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number _____

Document Transaction Number _____

City/Town _____

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

<p>1. Signature of Applicant <u><i>[Signature]</i></u></p> <p>3. Signature of Property Owner (if different) <u><i>Pete DeBruin</i></u></p> <p>5. Signature of Representative (if any) <u><i>Andrew R. Nilson</i></u></p>	<p>2. Date <u><i>8/3/2021</i></u></p> <p>4. Date <u><i>8/3/2021</i></u></p> <p>6. Date <u><i>08/02/2021</i></u></p>
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For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

75 Constitution Rd Boston
 a. Street Address b. City/Town

 c. Check number d. Fee amount

2. Applicant Mailing Address:

Jacquelyn Anderson
 a. First Name b. Last Name
 Jamestown Constitution Wharf, L.P.
 c. Organization
 1 Constitution Rd
 d. Mailing Address
 Boston MA 02129
 e. City/Town f. State g. Zip Code
 617-242-8645 jlake@lpc.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

Lauren Thompspn
 a. First Name b. Last Name
 Massachusetts Port Authority
 c. Organization
 One Harborside Dr, Suite 2005
 d. Mailing Address
 East Boston MA 02128
 e. City/Town f. State g. Zip Code
 617-561-1851 lthompson@massport.com
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



A. GENERAL INFORMATION

1. Project Location

<u>75 Constitution Road</u>	<u>Boston</u>	<u>02129</u>
a. Street Address	b. City/Town	c. Zip Code
<u>2</u>	<u>03594000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u>Jacquelyn</u>	<u>Anderson</u>	<u>Jamestown Constitution Wharf, L.P.</u>
a. First Name	b. Last Name	c. Company
<u>1 Constitution Road</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02129</u>
e. City/Town	f. State	g. Zip Code
<u>617-242-8645</u>	<u>jlake@lpc.com</u>	
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

<u>Lauren</u>	<u>Thompson</u>	<u>Massachusetts Port Authority</u>
a. First Name	b. Last Name	c. Company
<u>One Harborside Drive, Suite 2005</u>		
d. Mailing Address		
<u>East Boston</u>	<u>MA</u>	<u>02128</u>
e. City/Town	f. State	g. Zip Code
<u>617-561-1851</u>	<u>lthompson@massport.com</u>	
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Andrew</u>	<u>Nilson</u>	<u>Childs Engineering</u>
a. First Name	b. Last Name	c. Company
<u>34 William Way</u>		
d. Mailing Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>508-966-9092</u>	<u>nilsona@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

The project consists of repairs to the existing concrete sheet pile cap on top of the existing sheet pile bulkhead at the Constitution Center. This includes typical concrete restoration of the structural element. No changes in use, elevation, or footprint are a result of this project.
See Appendix A for a complete description.

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

Suffolk

336-345

a. County
23554

b. Page Number

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

\$5,222.50

\$987.50

\$4,235.00

a. Total Fee Paid

b. State Fee Paid

c. City Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

The project is being conducted by Jamestown Management, the property is owned by MassPort.

MassPort and their tenants (Jamestown) are exempt from local bylaws and only file in

accordance with the state adopted wetland bylaws. The Boston Wetland Bylaws are not

applicable for this application.



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area _____ percentage/acreage
- (2) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
 - Applying for a Low Impact Development (LID) site design credits
 - A portion of the site constitutes redevelopment
 - Proprietary BMPs are included in the Stormwater Management System
 - No. Check below & include a narrative as to why the project is exempt
 - Single-family house
 - Emergency road repair
 - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

J.P. Anderson
Signature of Applicant

August 3, 2021
Date

Peter DeBenedictis
Signature of Property Owner (if different)

August 3, 2021
Date

Andrew R. Nilson
Signature of Representative (if any)

August 2, 2021
Date

CITY FEE DETERMINATION
Constitution Center Seawall Repairs

Fee Determination

From the City of Boston's Filing for a Wetlands Permit with the Boston Conservation Commission Memo:

City of Boston – The City of Boston Title 14 Section 450 requires the following fees PAYABLE TO THE CITY OF BOSTON for Notice of Intent processing:

- \$25.00 for projects with the fair cost of \$1,000.00 or less.
- \$50.00 for projects with the fair cost of more than 1,000.00 but not more than \$50,000.00.
- \$75.00 for projects with a fair cost of more than 50,000.00 but not more than \$100,000.00.
- For projects with a fair cost of more than 100,000.00 the fee shall be .075% of the fair cost provided, however, in no case shall the fee be more than \$1,500.00.

The estimated cost for this project is under \$100,000.00, thus, the City of Boston's fee would be \$75.00.

The Boston Conservation Commission has adopted additional fees under the Boston Wetlands Ordinance. Applicants submitting applications under the Ordinance must also pay a fee as determined by the fee schedule as follows:

Notice of Intent

- Category 5
 - \$4 per linear foot (The total fee shall not be less than \$100 or more than \$2,000)

The project is 1,040 linear feet in Category 5. Total fee is 1,040 LF * \$4 = \$4,160

Total Fee: \$75 + \$4,160 = \$4,235

APPENDIX A

Project Description

A. General Information

6. *General Project Description:*

The proposed project at the Constitution Center Property located at 75 Constitution Road, Boston MA consists of repairing the seawall supporting the property. The project is being undertaken by Jamestown Management while the property itself is owned by Massachusetts Port Authority (MassPort). The existing seawall is roughly 1,800 feet long and is comprised of a steel sheet pile supporting a concrete sheet pile cap. The concrete cap is located entirely above the Mean High Water (MHW) line and directly adjacent to the Harborwalk. Therefore, all work is being conducted above MHW. The cap also supports a handrail to protect pedestrians using the Harborwalk from falls into the Boston Harbor. The concrete sheet pile cap is the localized focus of this project as it is showing signs of minor deficiencies that should be repaired prior to them becoming more serious. The repairs include removing portions of spalled and deteriorated concrete, replacing the reinforcing steel as needed and repouring the concrete cap. The repairs are focused on several areas spanning a total of 1,040 linear feet of the wall. Please refer to the accompanying plan in Appendix B for a layout of the property and project.

Overall, the purpose of this repair project is to provide repairs to the existing seawall supporting the Constitution Center Property and Harborwalk, so that the wall stays structurally sound based on the original design intents. No changes in the overall function, elevation, or footprint are proposed for this project. In addition, no changes to the Harborwalk, handrails, or site drainage characteristics shall be made.

The proposed alternatives to the rehabilitation described above is to provide more in-depth repairs in the form of removing the existing cap and replacing with a new type of structure. This option is not only unnecessary but also significantly more expensive with more impacts to the surrounding areas including the Harborwalk. If the current deficiencies are not repaired in a timely manner, it is expected that they will grow in size and scale causing localized destabilization of the surrounding area including the Harborwalk. No immediate failures are expected based on a 2021 inspection by Childs Engineering.

Project Completion Methods

Jamestown has partnered with C. White Marine to conduct the repair work. C. White is known to many on the Boston waterfront and throughout the area as a capable contractor committed to conducting work efficiently and completely. C. White will likely determine the best means and methods for construction, but it is anticipated that the work will be conducted from the landside of the seawall. The locations of the proposed work were determined by an inspection conducted by a professional engineer in early 2021 and outlined on construction plans and highlighted in the plans accompanying this application. The general process for the construction will include the removal of the existing handrail in the immediate areas of work. The removal will be done by cutting the existing handrail using powered hand tools. This will result in portions of the Harborwalk being partially blocked off using temporary security fencing

from pedestrian use for their safety but will be positioned to allow continued use of the Harborwalk along a narrower path that is normally provided.

The contractor will utilize pneumatic powered, gas, or electric tools to remove the existing disintegrated concrete and reinforcing steel. The demolition will entail saw cutting or chipping back of the poor-quality concrete until sound concrete is reached. The sound concrete limit is determined in the field by the lack of delaminating concrete or deterioration of the concrete binder material. All removal of concrete will extend a minimum of ¾ inch beyond any existing reinforcing steel. All demolition materials will be captured for disposal. The debris boom that will be deployed on the water side will ensure all material is captured for collection. The contractor may use small floats on repair sections requiring demolition on the outshore face of the pile cap to ensure the demolition materials are properly collected.

After all demolition has been completed in each area, new reinforcing steel is installed on an as needed basis determined by the presence of existing corroded reinforcing steel. The reinforcing steel shall be epoxy coated to help prevent future corrosion issues common on all concrete structures in the marine environment. The installation of the reinforcing steel shall be completed by either splicing to existing uncorroded reinforcing steel or doweling into sound concrete for the bars to be anchored in place. Formwork will then be installed around the repair areas using standard timber formwork methods. Once the formwork has been installed, new concrete will be poured to form the new concrete sheet pile cap. Pouring of new concrete will be done on a basis determined by number of truckloads required. Concrete pouring will be conducted using a pump truck stationed in the nearby parking lot or using a concrete buggy. This shall be determined by the contractor on site based on access.

After sufficient time for concrete curing, the handrail will be reinstalled. During this time, the pedestrian barriers will remain in place. Installation will be done by fabricating base plates in kind with the ones originally removed and anchoring utilizing four bolts. The handrail will be recoated with a corrosion inhibiting steel paint product, black in color to match the existing handrail coating. The anchor bolts will be chemically anchored into the new concrete cap after sufficient curing according to the relevant American Concrete Institute codes and standards. It is expected that the contractor will not occupy the entire 1,040 linear feet of repair area but will work in phases along the seawall. C. White will be required to abide by all necessary local, state, and federal construction regulations as well as all conditions applied to the project by the Order of Conditions. It is anticipated that a debris boom will be required as part of the Order of Conditions and thus will be a requirement for the contractor. It is anticipated that this work will be conducted by a crew of 3 to 4 people.

Statement on Climate Resiliency

No major changes to the overall function, elevation, or footprint of the seawall are proposed by this project and therefore changes to the climate resiliency are structural only in nature. This project will return the concrete sheet pile cap back to its originally intended function by providing a level of structural support and integrity that ensure the seawall and land directly

behind the seawall remain stable during daily use and storm events. The top of the cap is at roughly elevation +16.2' (MLW) or roughly +10.7' (NAVD88). The existing elevation of the seawall does not conform to future sea level rise ordinances and recommendations. Raising the grade on the entire site would allow the site to be incredibly resilient; however, this option was never considered, it is not feasible given the cost to raise the level of the Harborwalk and the grade on the site, or the level of the seawall. This effort is not within the scope of this very limited repair project. Raising the entire height of the seawall would require the seawall be rebuilt entirely as the current design would not allow for additional vertical loading of surcharge due to earth fill, pedestrians, or water. The total replacement cost would be an estimated \$18,000,000 for the structure alone with additional cost relating to the shutdown and relocation of the adjacent marina and impacts to the U.S. Navy owned and National Park Service operated Charlestown Navy Yard security barrier and Homeland Security procedures.

This project will also not alter the seawalls' ability to manage stormwater, runoff, or flooding. The repairs will not close off any drainage areas along the seawall, so it does not affect the walls' ability to drain water through it, and it does not alter the pore water pressure behind it. The property managers regularly undertake a project to clean out weep holes located at two elevations in the tidal zone of the steel sheet pile bulkhead that alleviate the water pressure behind the bulkhead, this is not included in the scope of this project and was last conducted in September 2020.

The engineering team has utilized all available best management practices to ensure that the project meets the projected life cycle and will not unnecessarily change or impede navigation to the surrounding area or impacts to the resource areas.

B. Buffer Zone and Resource Area Impacts (temporary & permanent)

Note: The project is being conducted by Jamestown Management, but the property is owned by MassPort. MassPort project, or projects undertaken by MassPort tenants are not subject to local bylaws. Therefore, this application package does not include the Boston Wetlands Ordinance Notice of Intent application.

3. *Coastal Resource Areas:*

1.0 Coastal Banks

A Coastal Bank is defined in 310 CMR 10.30(2) as “a seaward facing or side of an elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland”. The seawall is considered a manmade coastal bank and the proposed repointing of the joints is subject to 310 CMR 10.30.

1.1 Performance Standards

The seawall does not supply sediment to coastal beaches, dunes, or barrier beaches. This project is a vertical buffer that does prove to be significant to storm damage prevention or flood control. In this case 310 CMR 10.30(6) through 310 CMR 10.30(8) apply.

6) *“Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.”*

The stability of the wall and the surrounding areas will not be adversely affected. The addition of the grout, and the resetting of the capstones will increase the stability of the coastal bank. The resetting of the stones and the addition of grout should not adversely affect the global stability of the seawall.

7) *“Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.”*

The coastal bank in the project location does not supply sediment to coastal beaches, coastal dunes, or barrier beaches. The project does not affect the coastal bank’s ability to prevent storm damage or provide flood control.

8) *“Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.”*

The project does not have any adverse effects on specified habitat sites of rare vertebrate or invertebrate species. There are no species listed in this area.

2.0 Land Subject to Coastal Storm Flowage

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the city of Boston FEMA Community Panel Map Number 25025C0081J was reviewed. As per review of the FIRM map, the project is located in Zone VE (EL. 11.0 in reference to NAVD88) of this resource area.

Land Subject to Coastal Storm Flowage is defined in 310 CMR 10.04 as the “land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater”. The project falls into the VE Zone, meaning the elevation of water will be, as noted on the FEMA map, EL. 11.0 in reference to NAVD88. The entire project falls below this elevation. The project does not alter or affect, in any way, the ability of the seawall, or waterfront area, to control coastal flooding or impede its ability to prevent coastal storm damage. The CZM Coastal Manual states “may deflect, reflect, and redirect storm waves, affecting adjacent properties, landward areas, and the subject property with wave energy, overwash, and flood waters”.

The CZM Coastal Manual also states “When Commissions determine that land subject to coastal storm flowage overlays other resource areas listed in the Regulations, the applicable performance standards for each resource area should be applied and the project should be appropriately conditioned to protect all stated interests”. This project, as noted above, meets all of the performance standards for the resource areas.

C. Other Applicable Standards and Requirements

7. *Is this project subject to provisions of the MADEP Stormwater Management Standards?*

This project is not subject to the provisions of the MADEP Stormwater Management Standards. The Standards are not applicable to this project since no stormwater is generated and the project will not alter or have any impact to any resource area.

D. Additional Information

1. *USGS Map is included in Appendices.*
2. *A site plan with proposed activities is included in the submitted drawing set.*
3. *Method for BVM:*

BVM and other resource area boundary delineations were identified by visual observation.

4. *Plan Information:*

<u>Plan Title</u>	<u>Date</u>
NOI-1 COVER SHEET	2021
NOI-2 BULKHEAD PLAN AND SECTION	2021
NOI-3 PROPOSED SECTIONS	2021

E. Site Photos



Photo 1: Overall view of the sheet pile bulkhead with concrete pile cap and handrails on top.



Photo 2: Overall view of the sheet pile bulkhead with concrete pile cap and handrails on top.



Photo 3: Typical view of the Harborwalk behind the sheet pile bulkhead.



Photo 4: Typical concrete defect on the sheet pile cap.



Photo 5: Typical concrete defect on the sheet pile cap.



Photo 6: Typical concrete defect on the sheet pile cap.



Active Data Layers

Check all | Uncheck all

- Major MassDOT Routes
- Massachusetts Towns
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Priority Habitats of Rare Species

Legend

Major MassDOT Routes

-  Interstate Highways
-  US Roads
-  State

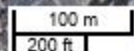
Massachusetts Towns



NHESP Estimated Habitats of Rare Wildlife



NHESP Priority Habitats of Rare Species



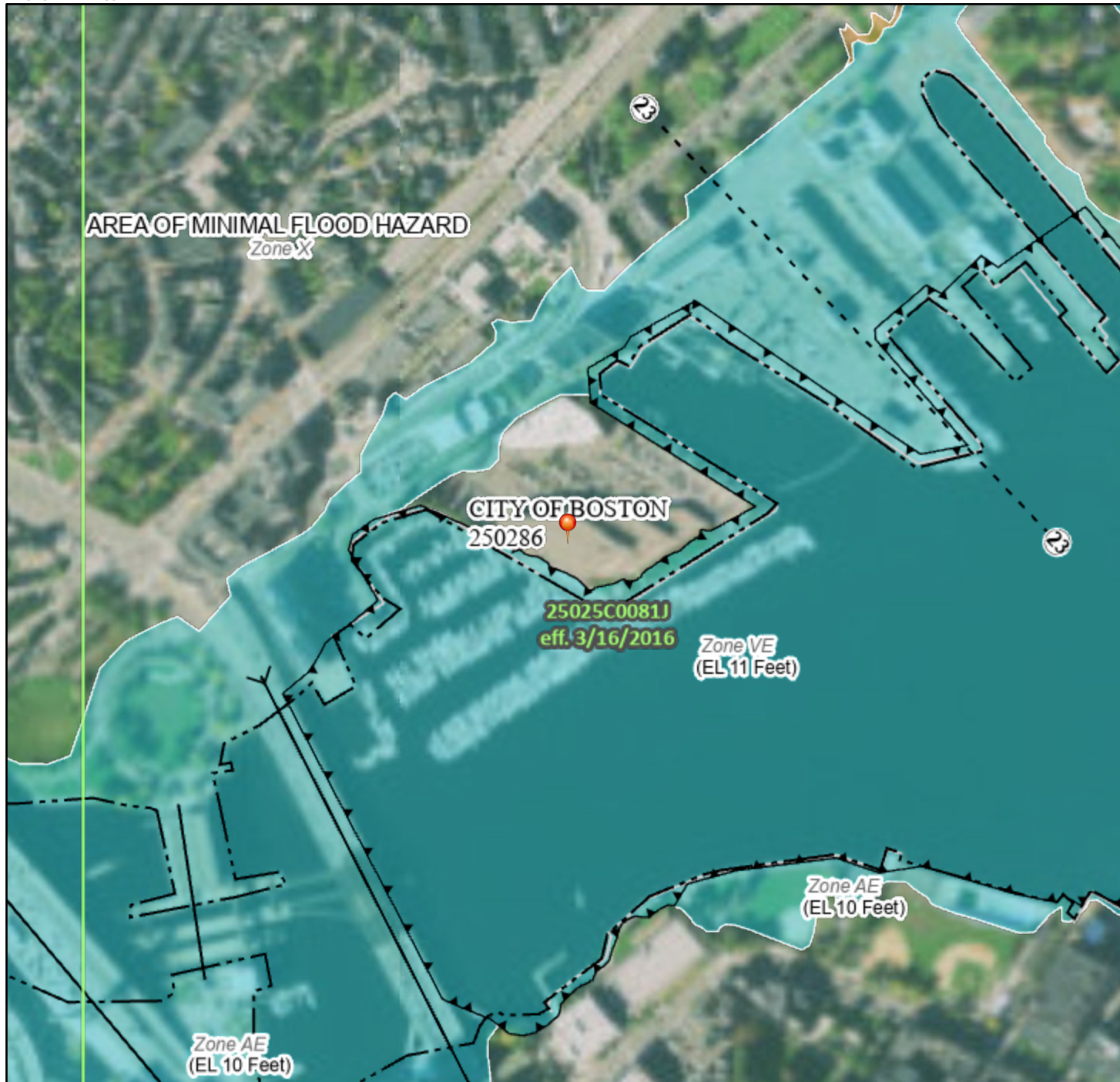
Scale = 1:9,028

236,531.19m 902,379.50m

National Flood Hazard Layer FIRMMette



71°3'48"W 42°22'30"N



71°3'10"W 42°22'3"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | 17.5 |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| MAP PANELS | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
| | | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location. |



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/14/2021 at 5:08 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX B
Abutters List and Notification Forms

Gateway Developers, Mass LLC
1 University Ave, Suite 110
Westwood, MA 02090

Constitution Plaza Associates
Constitution Plaza
Charlestown, MA 02129

Massachusetts Port Authority
1 Harborside Drive, #200S
East Boston, MA 02128

United States of America
Box 83
Arlington, MA 02174

Tudor Wharf Hotel Realty, LLC
One Post Office Square, #3100
Boston, MA 02109

Constitution Plaza Associates
9 West Broad Street, 2nd Floor
Stamford, CT 06902

United States of America
93 Chelsea
Charlestown, MA 02129



**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, Andrew Nilson, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent _____ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by Jamestown Constitution Wharf, L.P. for Sheet Pile Cap Concrete Repairs located at 1 Constitution Road.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Andrew Nilson, Digitally signed by Andrew Nilson,
P.E.
Date: 2021.08.05 15:25:26 -04'00'
P.E.

Name

08/05/2021

Date



City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

**NOTIFICATION TO ABUTTERS
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. Jamestown Constitution, L.P. has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is 75 Constitution Road, Boston MA.

C. The project involves making repairs to the existing seawall sheet pile cap that border the property at 75 Constitution Road and Boston Harbor. The repairs shall consist of restoring disintegrated concrete on top of the seawall.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from the **Andrew Nilson (Representative)** at nilsona@childseng.com between the hours of **8am to 4pm, Monday through Friday**.

F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205- 6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notices and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

CITY of BOSTON

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV



City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

波士顿湿地保护委员会

项目邻近住户通知

根据《马萨诸塞州湿地保护法》、《马萨诸塞州普通法》第 131 章第 40 节以及《波士顿湿地条例》的规定,我们特此向您,即向波士顿湿地保护委员会提出申请的项目的邻近住户,发出以下通知。

A. **JAMESTOWN MANAGEMENT COMPANY** 已向波士顿湿地保护委员会提出申请,请求批准改建一块受《湿地保护法》(《普通法》第 131 章第 40 节)和《波士顿湿地条例》保护的地块。

B. 拟开展改建活动的地块地址为: **75 CONSTITUTION ROAD, BOSTON, MA.**

C. 该项目涉及以下建设内容: 該項目涉及對現有的海堤板樁帽進行修補, 這些海堤是憲法大道75號 (75 Constitution Road) 的建築物與波士頓港 (Boston Harbor) 之間的邊界。修補工作包括恢復海堤頂部破碎的混凝土。

D. 可通過聯繫波士頓保護委員會取得意向通知書的副本, 電子郵件是 CC@boston.gov。

E. 您可于 **8AM TO 4PM, MONDAY THROUGH FRIDAY** 在 **ANDREW NILSON (REPRESENTATIVE) AT NILSONA@CHILDSENG.COM** 处获取 意向通知的副本。

F. 根據《馬薩諸塞州行政命令》(暫緩執行《公開會議法》) 聽證會將在網 上 <https://zoom.us/j/6864582044> 進行。如果無法上互聯網 (Internet), 則可致電 1-929-205-6099, 輸入會議編號(ID) 686 458 2044#, 然後使用#作為您參與的編號 (ID.)

G. 您可于**周一至周五上午 9 点到下午 5 点**联系**波士顿湿地保护委员会**, 咨询公开听证会举行的日期和时间, 邮箱地址: CC@boston.gov, 电话: (617) 635-4416。

注:公开听证会的通知(包括其举行日期、时间和地点)将提前至少五天在《波士顿先驱报》上予以公布。

注:公开听证会的通知(包括其举行日期、时间和地点)将提前至少四十八(48)小时发布在以下网页之上以及波士顿市政厅内:www.boston.gov/public-notice。如果您想提出意见或建议,您可以参加该公开听证会或将书面形式的意见或建议发送至 CC@boston.gov 或邮寄至以下地址: Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201。

注:您也可以联系波士顿湿地保护委员会或环境保护部东北地区办公室,咨询有关此项申请或《湿地保护法》的更多信息。如要联系环境保护部,请致电:东北地区:(978)694-3200。

注:如果您准备参加该公开听证会并需要口译服务,则请在听证会举行前一天中午 12 点前通过以下电子邮箱地址告知工作人员:CC@boston.gov。

CITY of BOSTON

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV

該項目涉及對現有的海堤板樁帽進行修補，這些海堤是憲法大道 75 號（75 Constitution Road）的建築物與波士頓港（Boston Harbor）之間的邊界。修補工作包括恢復海堤頂部破碎的混凝土。

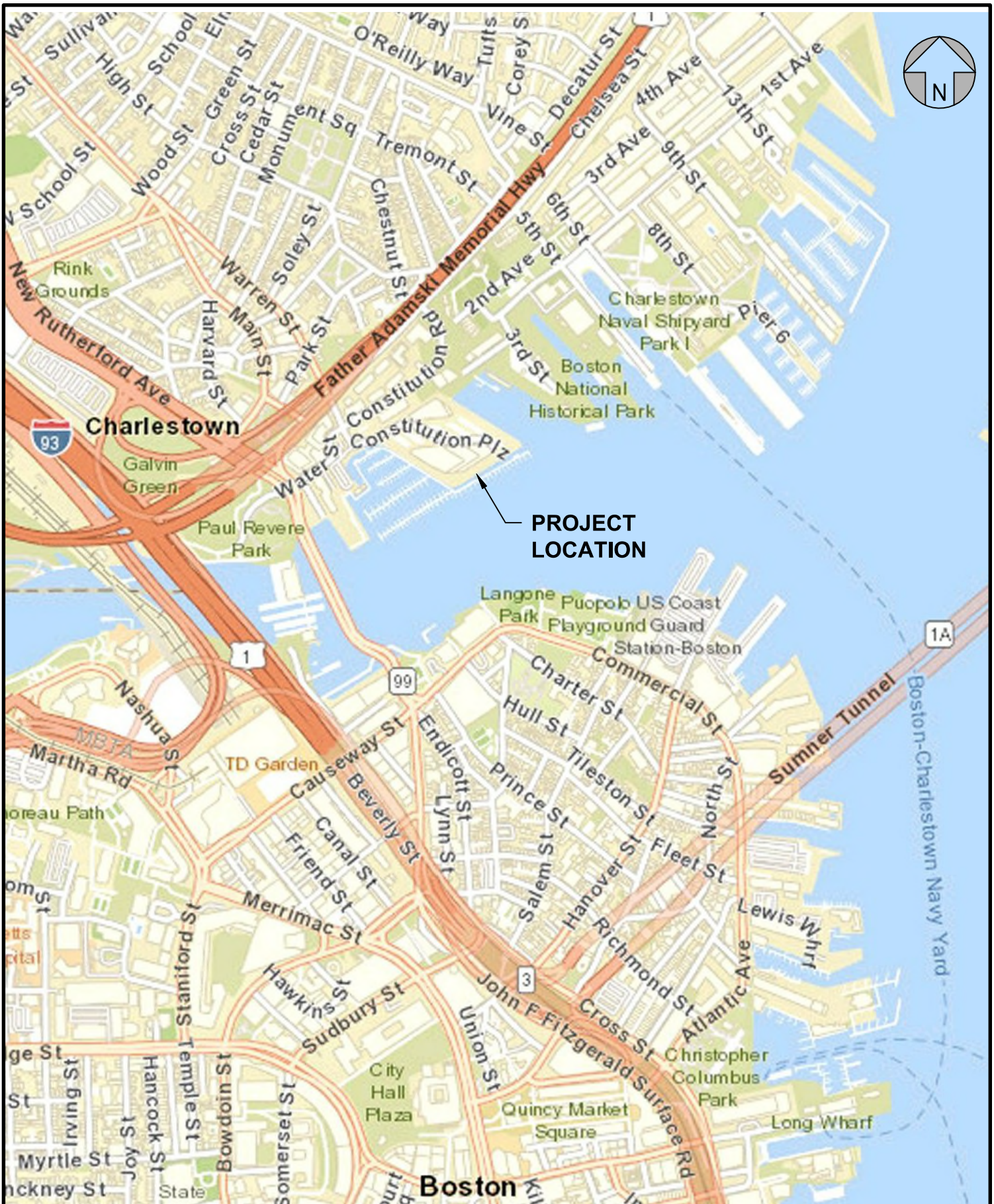


The project involves making repairs to the existing seawall sheet pile cap that border the property at 75 Constitution Road and Boston Harbor. The repairs shall consist of restoring disintegrated concrete on top of the seawall.



APPENDIX C

Project Plans



**PROJECT
LOCATION**



34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-9092 E-mail: mail@childseng.com

Designed by:	MPS	Date:	8/05/21
Drawn by:	TEQ	Ckd by:	ARN
Reviewed by:	ARN	Design file no.:	202620.01 SK01
		Scale:	NONE

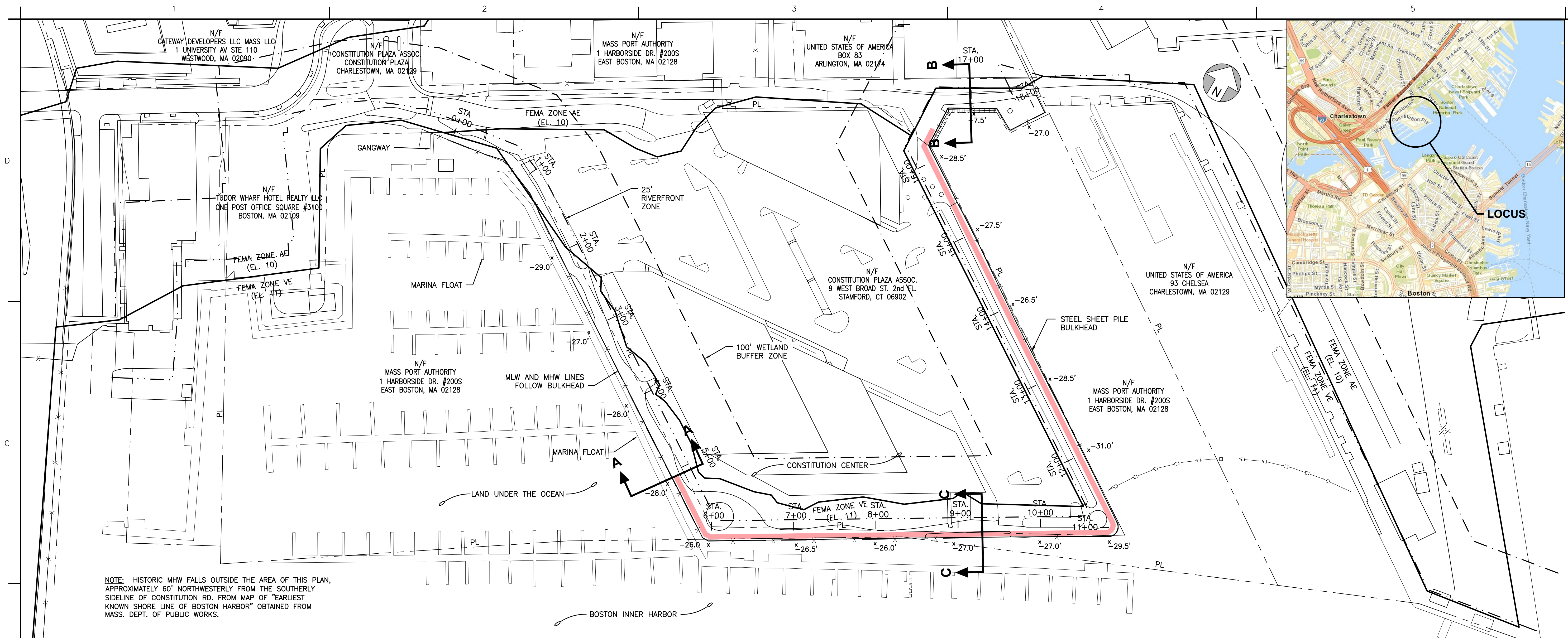
CONSTITUTION WHARF BULKHEAD
JAMESTOWN MANAGEMENT
BOSTON, MA

LOCUS MAP

Sheet
reference
number:

SK-01
Sheet 1 of 1

QUINT K:\2926-20.01 CONSTITUTION WHARF REPAIRS - JAMESTOWN\CA\DWG\PERMIT\DWGS\NOI\292620.01 NOI-02 PILE CAP PLAN.DWG Aug 06, 2021 - 8:47am



NOTE: HISTORIC MHW FALLS OUTSIDE THE AREA OF THIS PLAN, APPROXIMATELY 60' NORTHWESTERLY FROM THE SOUTHERLY SIDELINE OF CONSTITUTION RD. FROM MAP OF "EARLIEST KNOWN SHORE LINE OF BOSTON HARBOR" OBTAINED FROM MASS. DEPT. OF PUBLIC WORKS.

GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING OR BARRIERS SURROUNDING THE WORK SITE TO PRECLUDE SAFETY HAZARDS AS NECESSARY. CONTRACTOR SHALL PROVIDE FLASHING LIGHTS ALONG TEMPORARY FENCE OR BARRICADE AT NIGHT.
2. THE CONTRACTOR SHALL PROVIDE FALL PROTECTION FOR WORKERS WHERE REQUIRED. ALSO, WORKERS SHALL WEAR LIFE JACKETS. SCAFFOLDING SHALL BE PROVIDED AS NECESSARY, AND A SCAFFOLDING PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW, PRIOR TO COMMENCEMENT OF WORK.
3. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH CONDITIONS AT THE SITE AND SUGGESTED CONSTRUCTION SEQUENCES SHOWN ON THE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SAFE GUARDS TO MAINTAIN ALL PARTS OF THE EXISTING STRUCTURES IN SAFE CONDITION AT ALL TIMES DURING THE PROCESS OF CONSTRUCTION AND TO PROTECT THE PROPERTY FROM DAMAGE.
4. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION SURVEY TO VERIFY ALL DIMENSIONS AND CONDITIONS PERTAINING TO THE WORK. SHOULD ACTUAL FIELD DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER AND PRESENT THEM WITH AN ADJUSTED PLAN PRIOR TO PROCEEDING WITH THE WORK.
5. THE FACILITIES ARE EXPOSED TO SEVERE WEATHER CONDITIONS THAT WILL EFFECT THE WORK. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT THE WORK AND SHALL BE RESPONSIBLE FOR ANY LOSS OF TIME AND EQUIPMENT OR DAMAGE TO THE WORK AS A RESULT OF THE WEATHER.
6. IF THE CONTRACTOR ENCOUNTERS UTILITIES THAT AFFECT THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO CONTINUING WITH THE WORK.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL WASTE MATERIALS AND DEMOLISHED MATERIALS NOT BEING REUSED, OFF SITE AT AN APPROVED FACILITY.
8. CONTRACTOR SHALL NOT ALLOW ANY WASTE MATERIALS TO ENTER THE WATER. CONTRACTOR SHALL TAKE MEASURES TO COLLECT ALL DEMOLISHED WASTE.
9. CONTRACTOR TO ASSUME THAT ALL CONCRETE CONTAINS REINFORCING STEEL.
10. ANY DAMAGE TO THE EXISTING STRUCTURE(S) BEYOND THE LIMIT OF DEMOLITION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AND AT NO COST.
11. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR REMOVAL, TRANSPORT AND DISPOSAL OF DEMOLISHED MATERIALS.
12. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE ON A DAILY BASIS AND MAINTAIN A CLEAN WORK SITE.
13. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS UNIFORM BUILDING CODE WITH LATEST AMENDMENTS.
14. ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE LATEST ACI 318 BUILDING CODE.
15. ALL STEEL FABRICATION AND CONSTRUCTION SHALL CONFORM TO THE LATEST AISC STEEL CONSTRUCTION MANUAL SPECIFICATIONS AND CODE.
16. ALL STRUCTURAL STEEL WELDING SHALL COMPLY WITH AWS D1.1 / D1.1M. UNDERWATER WELDING SHALL COMPLY WITH AWS D3.6.
17. ALL REINFORCING STEEL WELDING SHALL COMPLY WITH AWS D1.4.
18. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CAST-IN-PLACE CONCRETE SHALL BE 5000 PSI
19. THE MAXIMUM WATER TO CEMENT RATIO FOR CONCRETE SHALL BE 0.40.
20. CONCRETE SHALL CONTAIN A MINIMUM OF 4 GAL/YD3 OF CALCIUM NITRITE SOLUTION OR EQUIVALENT CORROSION INHIBITOR.
21. CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/4 INCH.
22. ALL CONCRETE SHALL HAVE 6% TO 8% ENTRAINED AIR.
23. CONCRETE SHALL BE WET CURED FOR A MINIMUM OF SEVEN DAYS BEFORE ANY LOADS ARE APPLIED THERETO.
24. ALL EXPOSED CONCRETE EDGES SHALL HAVE A 1 INCH CHAMFER.
25. REINFORCING STEEL SHALL BE DEFORMED, EPOXY COATED BARS CONFORMING TO ASTM A 615, GRADE 60. EPOXY COATING SHALL CONFORM TO ASTM A775/A775M.
26. MINIMUM LAP OF REINFORCING BARS SHALL BE AS SHOWN BELOW:

BAR SIZE	LAP
#4	21 INCH
#6	34 INCH
#8	72 INCH
27. MINIMUM COVER OVER REINFORCING SHALL BE 3 INCHES UNLESS NOTED OTHERWISE.
28. INSTALLATION OF REINFORCING SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO CONCRETE PLACEMENT TO ALLOW FOR INSPECTION BY THE OWNER.
29. WHERE CONTINUOUS REINFORCING IS CALLED FOR IT SHALL BE EXTENDED CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPICES OR HOOKED AT DISCONTINUOUS ENDS.
30. REINFORCEMENT SHALL NOT BE TACK WELDED.
31. STEEL GRADES FOR FABRICATION SHALL BE:
 PLATES: ASTM A36 - GALVANIZED UNLESS OTHERWISE NOTED
 BOLTS: ASTM A325 - GALVANIZED
 ANCHOR BOLTS AND PINS: ASTM A490
 ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS ONLY.
 ALL WELDING ELECTRODES SHALL BE E70XX.

VERTICAL DATUM: MLW = 0.0'

SPALLING IN THE PILE CAP								
DEFECT ID	INSHORE FACE	TOP FACE	OUTSHORE FACE	UNDERSIDE FACE	LOCATION	ESTIMATED AREA (SF)	FENCE POSTS TO REINSTALL FOLLOWING REPAIRS	REPAIR DETAIL
1	NO VISIBLE SPALLING	CCS ENTIRE FACE	CCS TOP 8 INCHES	NO VISIBLE SPALLING	1+03 TO 1+14	30	1	A
					1+14 TO 1+35	74	2	
					1+51 TO 1+58	25	2	
2	NO VISIBLE SPALLING	CCS ENTIRE FACE	CCS ENTIRE FACE	NO VISIBLE SPALLING	2+69 TO 2+77	28	1	A
					3+09 TO 3+32	81	1	
					5+27 TO 5+35	28	1	
					11+60 TO 13+50	665	18	
3	NO VISIBLE SPALLING	2 SQUARE FOOT SPALLING AT CORNER	2 SQUARE FOOT SPALLING AT CORNER	NO VISIBLE SPALLING	1+82	4	0	C
		3 SQUARE FOOT SPALLING AT CORNER	3 SQUARE FOOT SPALLING AT CORNER		2+96	4	0	
					9+32	9	0	
4	NO VISIBLE SPALLING	NO VISIBLE SPALLING	ENTIRE FACE	NO VISIBLE SPALLING	2+16 TO 2+60	66	4	A
					4+51 TO 4+54	4.5	0	
5	NO VISIBLE SPALLING	ENTIRE FACE	ENTIRE FACE	ENTIRE FACE	4+24 TO 4+30	24	0	A
7	ENTIRE FACE	ENTIRE FACE	ENTIRE FACE	ENTIRE FACE	4+87 TO 5+00	32.5	1	A
					5+04 TO 5+09	24	0	A
					5+95 TO 6+18	99	3	
					6+27 TO 6+40	56	2	
					6+40 TO 6+46	26	1	
					7+93 TO 8+27	146	3	
					9+73 TO 9+90	73	1	
					10+08 TO 10+25	73	1	
					10+36 TO 10+53	73	2	A
					11+20 TO 11+60	172	5	
					13+60 TO 13+70	43	2	
					13+75 TO 14+00	107	3	
					14+08 TO 14+12	17	1	
9	ENTIRE FACE	ENTIRE FACE	NO VISIBLE SPALLING	NO VISIBLE SPALLING	14+05 TO 14+52	131	2	A
					14+95 TO 15+35	112	5	
10	ENTIRE FACE (18" HIGH)	ENTIRE FACE	NO VISIBLE SPALLING	NO VISIBLE SPALLING	16+93 TO 16+97	14	1	B
					17+23 TO 17+27	14	1	

NOTE: THE DETAILS ON SHEET 2 SHOW THE REPAIRS FOR DEFECTS 3, 7, AND 10. THESE REPAIRS WILL BE SIMILAR FOR ALL DEFECTS. THIS TABLE DESCRIBES WHICH FACES THE REPAIR WILL APPLY TO FOR EACH DEFECT.

CHILDS ENGINEERING
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 966-9092
 E-mail: mail@childseng.com



Designed by:	MPS	07/15/21	None
Drawn by:	TEC	ARN 202620.01 NOI-02	None
Checked by:	ARN	None	None
Reviewed by:	ARN	None	None

CONSTITUTION WHARF BULKHEAD
 JAMESTOWN MANAGEMENT
 BOSTON, MA
BULKHEAD PLAN AND SECTIONS

Sheet reference number:
NOI-02
 Sheet 2 of 3

APPENDIX D

Proof of Mailings

7021 0350 0001 0417 3260

U.S. Postal Service™ **CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

2926-21 MIT

For delivery information, visit our website at www.usps.com®.

Boston, MA 02211

Certified Mail Fee	\$3.60	0766
Postage	\$0.55	06
Total Postage	\$7.00	

Return Receipt (hardcopy) \$11.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postmark: AUG 05 2021
 Sent To: Department of Environmental Protection, Box 4062, Boston, MA 02211

7021 0350 0001 0417 3253

U.S. Postal Service™ **CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

2926-21 MIT

For delivery information, visit our website at www.usps.com®.

Wilmington, MA 01887

Certified Mail Fee	\$3.60	0766
Postage	\$2.40	06
Total Postage	\$8.00	

Return Receipt (hardcopy) \$11.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postmark: AUG 05 2021
 Sent To: Permit Reviewer, Massachusetts DEP Northeast Regional Office - Wilmington, 205B Lowell Street, Wilmington, MA 01887

7021 0350 0001 0417 3185

U.S. Postal Service™ 2926-21 NOI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Westwood, MA 02090 OFFICIAL USE

Certified Mail Fee	\$3.60
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0419 08
Postmark Here

Postage	\$0.55
Total Postage and Fees	\$7.00

08/06/2021

Sent To
Street and Apt. No.
City, State, ZIP+4
PS Form 3800, April 2013 PSN 7530-02-000-9047

Gateway Developers LLC, Mass LLC
1 University Av Ste 110
Westwood, Ma 02090

7021 0350 0001 0417 3192

U.S. Postal Service™ 2926-21 NOI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Charlestown, MA 02129 OFFICIAL USE

Certified Mail Fee	\$3.60
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0766 06
Postmark Here
AUG - 5 2021

Postage	\$0.55
Total Postage and Fees	\$7.00

08/05/2021
USPS

Sent To
Street and Apt. No.
City, State, ZIP+4
PS Form 3800, April 2013 PSN 7530-02-000-9047

1 Constitution Plaza Associates
Constitution Plaza
Charlestown, MA 02129

7021 0350 0001 0417 3208

U.S. Postal Service™ 2926-21 NOI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

East Boston, MA 02128 OFFICIAL USE

Certified Mail Fee	\$3.60
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0766 06
Postmark Here
AUG - 5 2021

Postage	\$0.55
Total Postage and Fees	\$7.00

08/05/2021
USPS

Sent To
Street and Apt. No.
City, State, ZIP+4
PS Form 3800, April 2013 PSN 7530-02-000-9047

Massachusetts Port Authority
1 Harborside Drive, #200S
East Boston, MA 02128

7021 0350 0001 0417 3215

U.S. Postal Service™ 2926-21 NOI
CERTIFIED MAIL® RECEIPT .01
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For delivery information, visit our website at www.usps.com®.

Arlington, MA 02174 OFFICIAL USE

Certified Mail Fee	\$3.60
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0766 06
Postmark Here
AUG - 5 2021

Postage	\$0.55
Total Postage and Fees	\$7.00

08/05/2021
USPS

Sent To
Street and Apt. No.
City, State, ZIP+4
PS Form 3800, April 2013 PSN 7530-02-000-9047

United States of America
Box 83
Arlington, MA 02174

7021 0350 0001 0417 3222

U.S. Postal Service™ 2926-21 WI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Boston, MA 02109 OFFICIAL USE

Certified Mail Fee	\$3.60	0766
Extra Services & Fees (check box, add fee as appropriate)		06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage	\$7.00	

Postmark Here
AUG - 5 2021
USPS
08/05/2021

Sent To
Tudor Wharf Hotel Realty, LLC
One Post Office Square, #3100
Boston, MA 02109

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0350 0001 0417 3239

U.S. Postal Service™ 2926-21 WI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Stamford, CT 06902 OFFICIAL USE

Certified Mail Fee	\$3.60	0766
Extra Services & Fees (check box, add fee as appropriate)		06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Po	\$7.00	

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AUG - 5 2021
USPS
08/05/2021

Sent To
Constitution Plaza Associates
9 West Broad Street, 2nd Floor
Stamford, CT 06902

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0350 0001 0417 3246

U.S. Postal Service™ 2926-21 WI
CERTIFIED MAIL® RECEIPT .01
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Charlestown, MA 02129 OFFICIAL USE

Certified Mail Fee	\$3.60	0766
Extra Services & Fees (check box, add fee as appropriate)		06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage	\$7.00	

Postmark Here
AUG - 5 2021
USPS
08/05/2021

Sent To
United States of America
93 Chelsea
Charlestown, MA 02129

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions