

PROJECT:

CURLEY HOUSE EXTERIOR RESTORATION

350 JAMAICAWAY
JAMAICA PLAIN, MA



CLIENT:

CITY OF BOSTON

1 CITY HALL SQUARE
BOSTON, MA

ARCHITECT:



WESSLING
ARCHITECTS
AIA-CSI-BOCA
PRESIDENTS PLACE, 1250 HANCOCK STREET, SUITE 815N
QUINCY, MA 02169 TEL. 617-773-8150 FAX 617-773-4902
www.wesslingarchitects.com

SHEET NUMBER	DRAWING TITLE	ISSUED FOR B.L.C. - 02/01/21	DRAWING & SKETCHES ISSUED DURING CONSTRUCTION			

GENERAL

G-000	COVER SHEET	<input checked="" type="checkbox"/>				
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ARCHITECTURAL

A-101	ROOF PLAN	<input checked="" type="checkbox"/>				
A-102	ROOF PHOTOGRAPHS	<input checked="" type="checkbox"/>				
A-201	WEST ELEVATIONS	<input checked="" type="checkbox"/>				
A-202	NORTH ELEVATIONS	<input checked="" type="checkbox"/>				
A-203	EAST ELEVATIONS	<input checked="" type="checkbox"/>				
A-204	SOUTH ELEVATIONS	<input checked="" type="checkbox"/>				
A-205	ELEVATION PHOTOGRAPHS	<input checked="" type="checkbox"/>				
A-206	SITE PLANS AND GARAGE ELEVATIONS	<input checked="" type="checkbox"/>				

ISSUED FOR BOSTON LANDMARKS COMMISSION 02/01/21

NOT FOR CONSTRUCTION
PROFESSIONAL

20130 CURLEY HOUSE EXTERIOR RESTORATION

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GENERAL RESTORATION NOTES	
1.	INSTALL NEW SLATE SHINGLES TO MATCH EXISTING SIZE, COLOR, AND HEAD LAP.
2.	REPAIR DAMAGED ROOF FLASHINGS.
KEY NOTES	
1	REPAIR/ REPLACE MOVING, DAMAGED, OR MISSING SLATE SHINGLES. REFER TO KEY TAG FOR LOCATIONS.
2	REPLACE EXISTING ROOF MEMBRANE WITH NEW FLAT SEAM COPPER ROOF WITH RUBBER ROOF PAVERS AT THIRD FLOOR FIRE ESCAPE DOOR.
3	ROUTE AND SEAL CRACKS IN CONCRETE CHIMNEY CAPS. NEW SEALANT TO HAVE SANDED FACE TO MATCH EXISTING CONCRETE.
4	NEW FLAT SEAM COPPER ROOF OVER NEW CONSTRUCTION AT MUDROOM.
5	REMOVE EXISTING METAL ROOFS.
6	INSTALL NEW ENGINEERED SNOW GUARD SYSTEM.
7	EXISTING ROOF VENT TO REMAIN.
8	EXISTING FIRE ESCAPE - NOT SHOWN FOR CLARITY.
9	NEW FLAT SEAM COPPER ROOFS TO MATCH EXISTING.
KEY	
S	MISSING / DAMAGED SLATE
LS	LOOSE SLATE

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MARK	DATE	DESCRIPTION
	02-01-21	BLC SUBMISSION

PROJECT NO.: 20130
DRAWN BY: LAW
CHECKED BY: SAW
DRAWING SCALE: AS NOTED

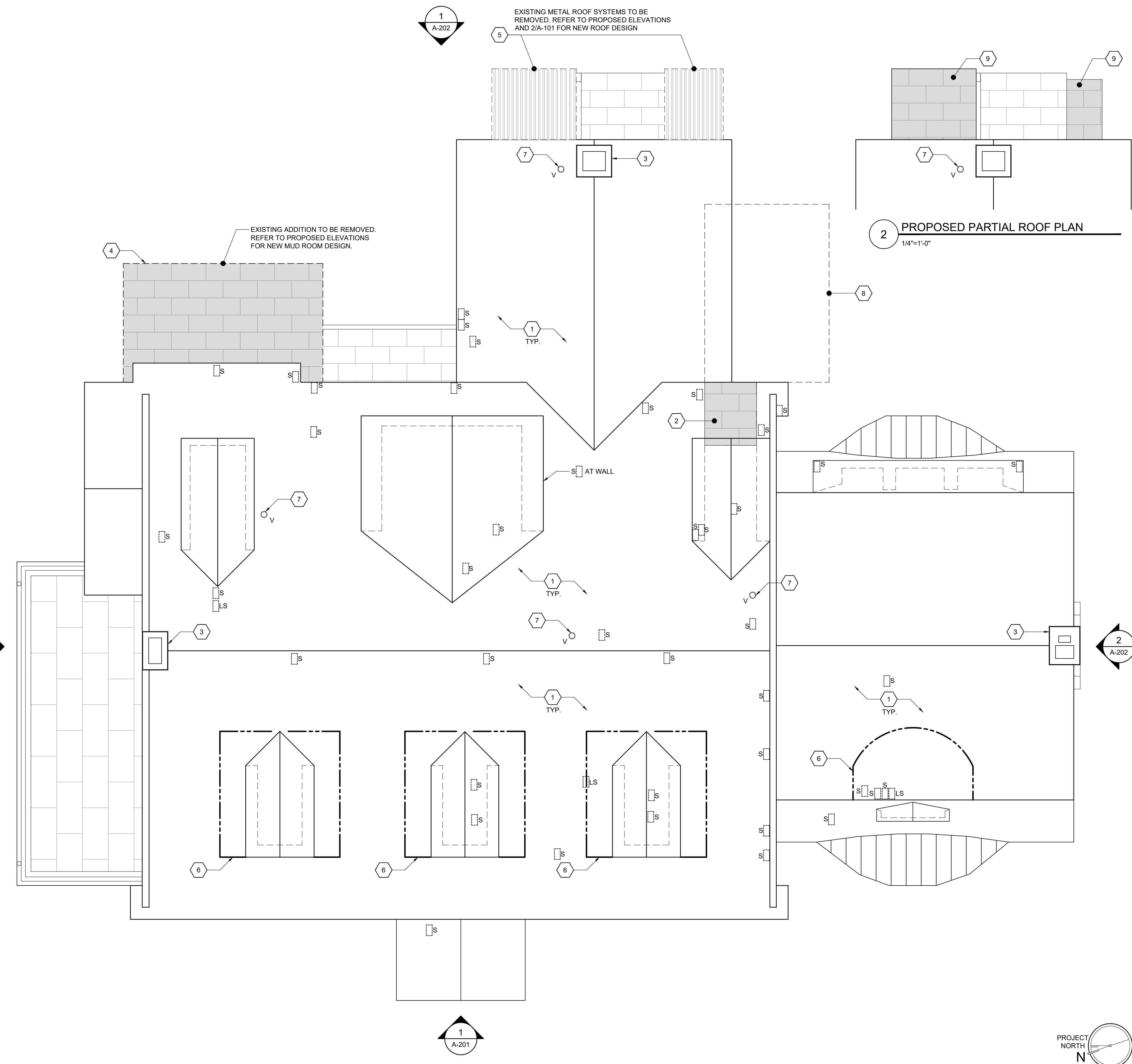
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ROOF PLAN

SHEET:

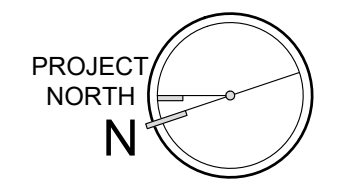
A-101

DO NOT SCALE DRAWING



1 EXISTING ROOF PLAN
1/4"=1'-0"

2 PROPOSED PARTIAL ROOF PLAN
1/4"=1'-0"



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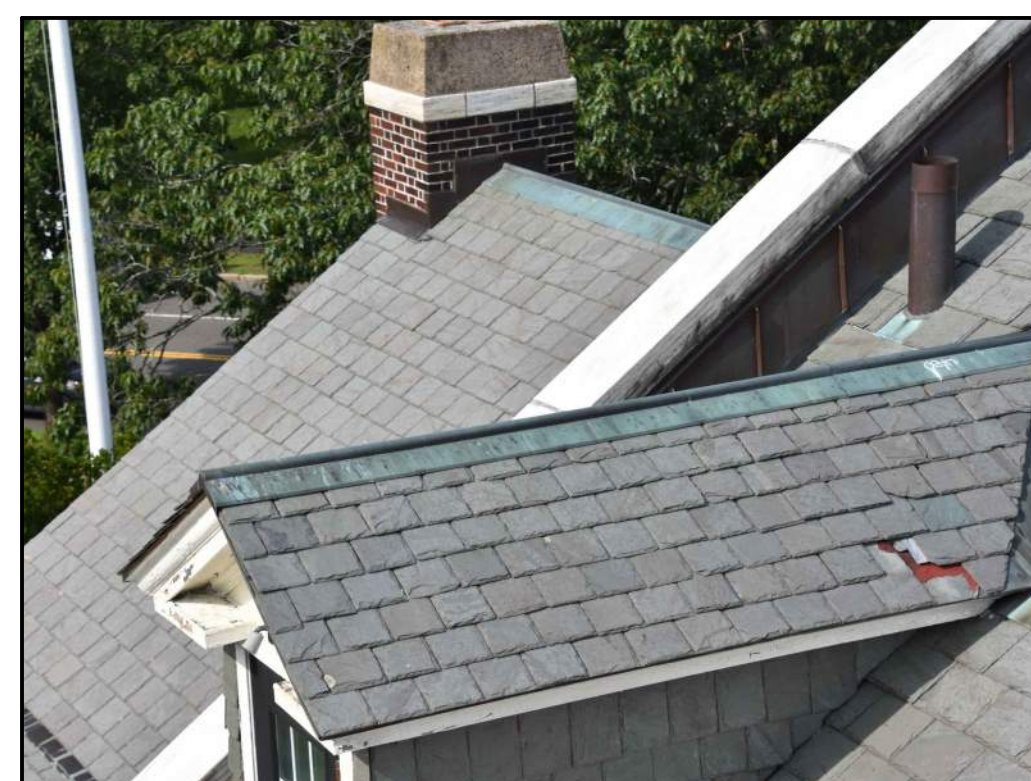
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**ROOF
PHOTOGRAPHS**

SHEET:
A-102

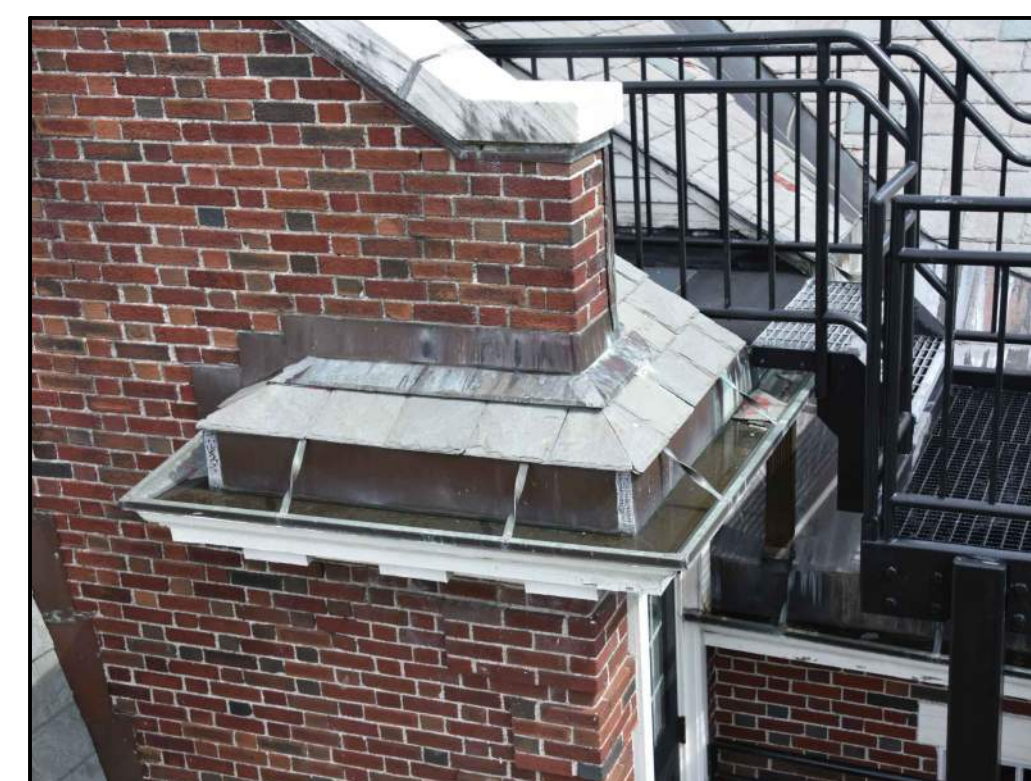
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20 TYPICAL SLATE ROOF



16 TYPICAL DORMER AND VENT PIPE



12 TYPICAL GUTTER CONDITION



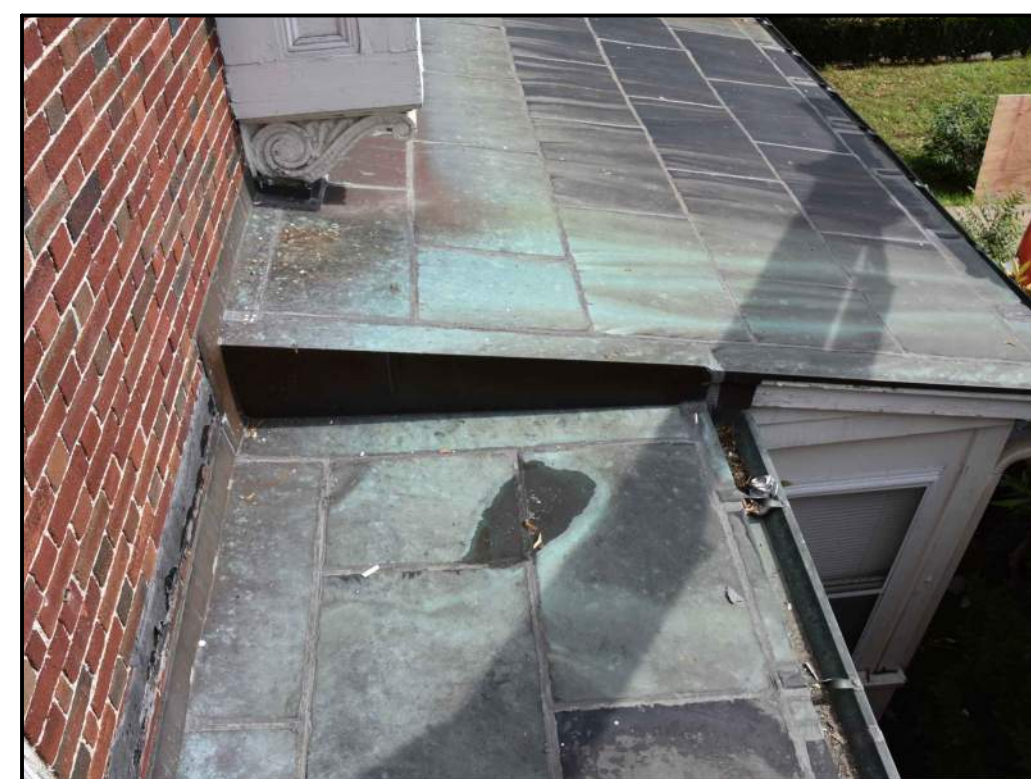
8 FAILED SEALANT AT FLASHING



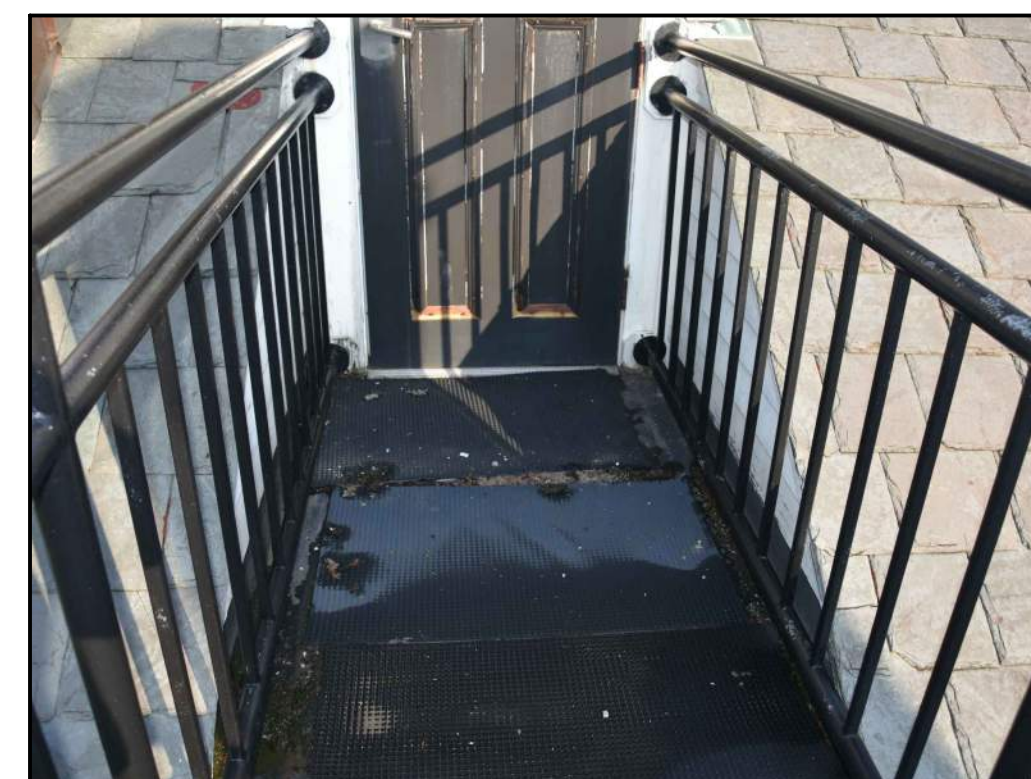
4 DAMAGE AT ROOF DORMER



19 TYPICAL GUTTER CONDITION



15 EXISTING FLAT SEAM COPPER ROOFS



11 MEMBRANE ROOF AT FIRE ESCAPE



7 COPPER ROOF FLASHING



3 STEEP SLOPE SLATE ROOF



18 SUNROOM ROOF - GUTTER



14 MUDROOM ROOF



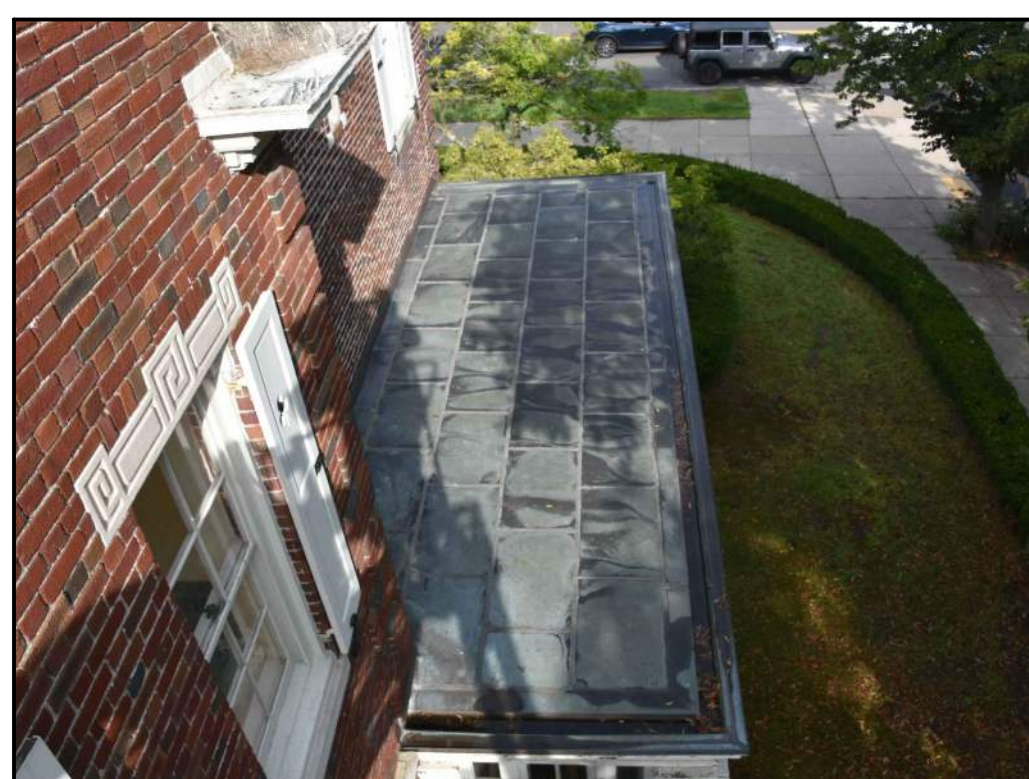
10 FIRE ESCAPE AND TYPICAL ROOF



6 ROOF DORMER - EAST



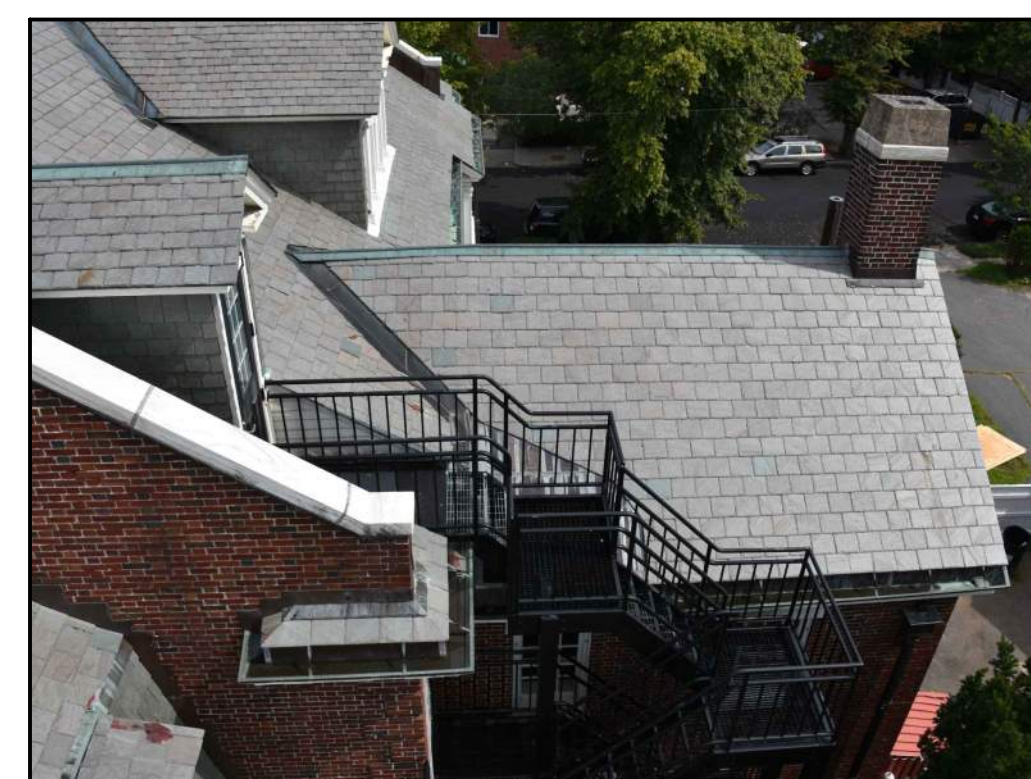
2 DAMAGE AT ROOF DORMER - WEST



17 SUNROOM ROOF



13 MUDROOM ROOF



9 FIRE ESCAPE AND TYPICAL ROOF



5 ROOF DORMERS - EAST



1 ROOF DORMERS - WEST

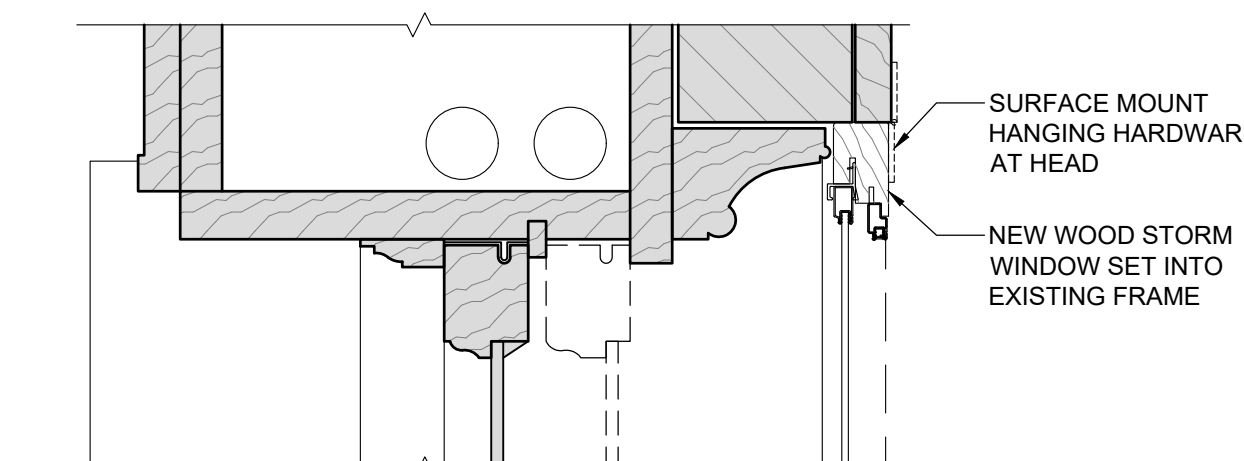


2 WEST ELEVATION (JAMAICAWAY) - PROPOSED
1/4"=1'-0"

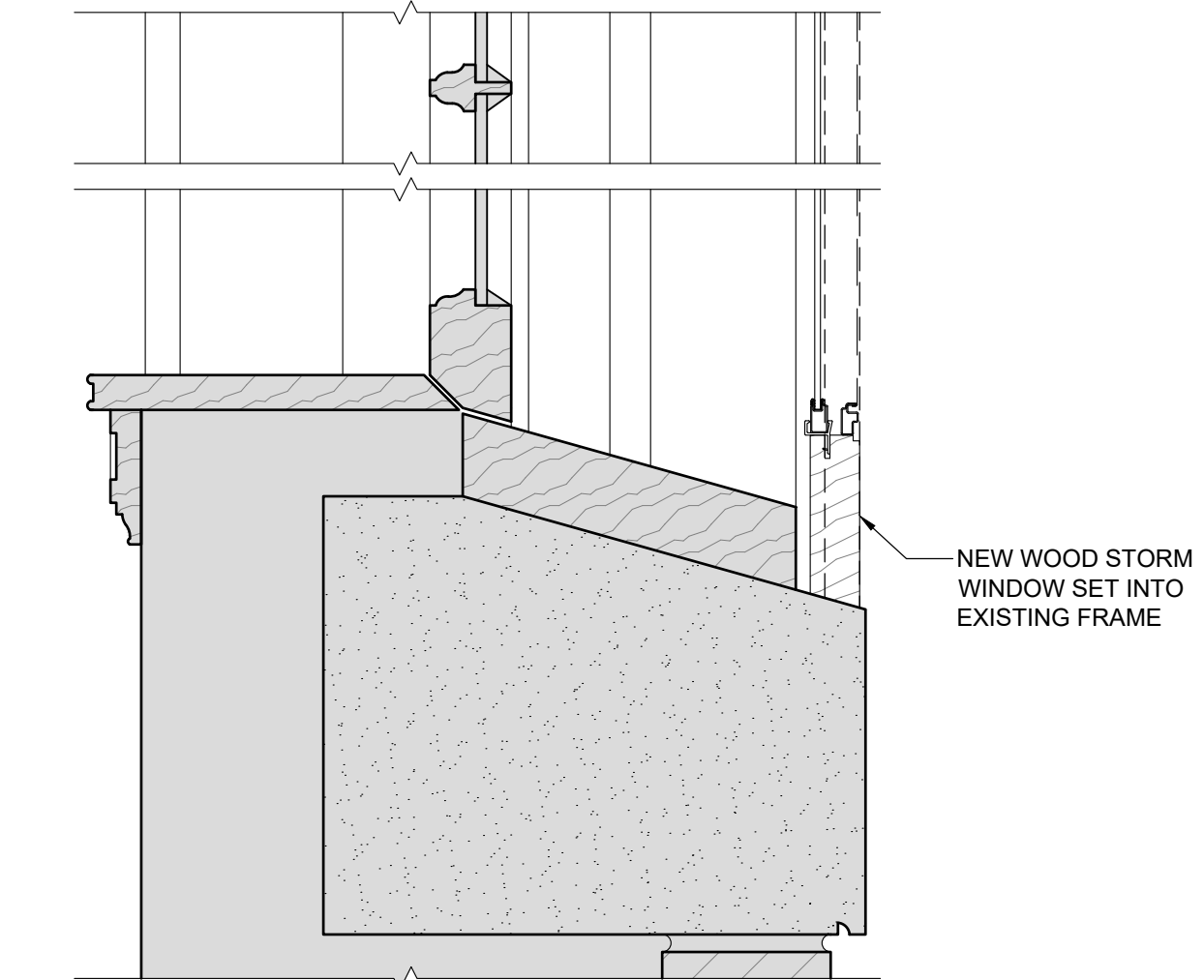


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GENERAL RESTORATION NOTES	
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2.	WOOD REPAIRS TO BE PERFORMED WITH WOOD DUTCHMAN OR WOOD COMPONENT REPLACEMENT WITH THE SAME WOOD SPECIES WHEN POSSIBLE. REPAIRS TO BE PERFORMED TO MINIMIZE THE AMOUNT OF ORIGINAL MATERIAL BEING REMOVED.
3.	PREPARE AND REPAINT ALL WOOD WALLS, TRIM, FASCIA, SOFFITS ETC. NEW PAINT TO MATCH EXISTING PAINT COLOR AND SHEEN.
4.	TYPICAL WINDOW SCOPE: SELECTIVELY REPAIR DAMAGED WOOD WINDOW FRAME, SILL, AND SASH ELEMENTS WITH NEW WOOD. REMOVE EXISTING PAINT AND REPAINT ALL WOOD ELEMENTS. INSTALL NEW WEATHERSTRIPPING.
5.	ALL EXTERIOR DOORS TO BE PREPARED AND PAINTED.
6.	INSTALL HISTORICALLY APPROPRIATE REMOVABLE STORM WINDOWS (MARVIN STORM SCREENS) TO IMPROVE THERMAL PERFORMANCE OF WINDOWS AND EXTEND THE SERVICE LIFE OF WINDOW GLAZING AND PAINT.
KEY NOTES	
1	OPEN MORTAR JOINTS. REPOINT OPEN DETERIORATING JOINTS DEEPER THAN 1/4" AT APPROXIMATELY 5% OF THE MASONRY WALLS.
2	REPOINTED JOINTS WITH NEWER MISMATCHED MORTAR. APPLY A STAIN TO THE NEW MORTAR TO HELP BLEND IT IN WITH THE OLDER MORTAR.
3	REPLACE EXISTING ALUMINUM WINDOWS AT EAST ELEVATION WITH NEW WOOD REPLICA SASH IN THE EXISTING WOOD FRAME.
4	REPAIR DAMAGED DECORATIVE COPPER AT THE WEST FACING DORMERS.
5	REPAINT IRON BALCONIES ON THE WEST ELEVATION.
6	REMOVE PLYWOOD PANELS TO EXPOSE ORIGINAL WOOD PILASTERS AND WALL PANELING BEHIND. REPAIR DAMAGED WOOD AND REPAINT.
7	ROTTED WOOD CLADDING, TRIM, AND SILLS AT ENCLOSED PORCH ON EAST ELEVATION. REMOVE AND CONSTRUCT NEW MUDROOM ACCESSIBLE ENTRANCE WITH MORE HISTORICALLY APPROPRIATE DESIGN. REFER TO THE PROPOSED ELEVATIONS FOR MORE INFORMATION.
8	REMOVE EXISTING METAL FRAMED CANOPY ROOFS AND REPLACE WITH WOOD FRAMED ROOFS WITH WOOD TRIM AND COPPER ROOFS SIMILAR TO EXISTING.
9	REPAIR ROTTED WOOD TRIM AND SILL, TYPICAL.
10	REBUILD DISPLACED MASONRY WITH EXISTING BRICK OR NEW TO MATCH EXISTING.
11	REPAIR HOLES IN MASONRY WITH NEW COLOR MATCHED MORTAR.
12	EXISTING FIRE ESCAPE - NOT SHOWN FOR CLARITY.
13	REPAIR CONCRETE AND APPLY TRAFFIC WATERPROOFING SYSTEM TO TOP SURFACE.
14	INSTALL NEW ENGINEERED SNOW GUARD SYSTEM TO PREVENT FUTURE SLIDING ICE AND SNOW DAMAGE.
15	REPAIR, REPAINT, AND REINSTALL MISSING SHUTTER FOUND ON SITE.
16	NEW FOUR PANEL WOOD DOOR IN EXISTING WOOD FRAME.
17	REPAIR DAMAGED COLUMN BASES.
18	REBUILD BALUSTRADE WITH BRICK COLUMNS AND PRECAST CONCRETE CAPS.
19	NEW SQUARE WOOD COLUMNS.
20	REPLACE MISSING MUNTINS IN WINDOW SASH.
21	RELOCATE EXISTING FENCE POST TO OPPOSITE CORNER.
22	REPAIR BROKEN STAINED GLASS PIECES AND INSTALL NEW VENTED EXTERIOR STORM WINDOW.



1B WINDOW JAMB DETAIL - HEAD SIMILAR
3"=1'-0"



1A WINDOW SILL AND MUNTIN DETAIL
3"=1'-0"



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DRAWING SCALE: AS NOTED

SHEET TITLE:
WEST ELEVATIONS

SHEET:
A-201
DO NOT SCALE DRAWING

1. 10/02/2020 10:00 Curley House Exterior Restoration - 02-01-21 - 11/20/20
 2. 10/02/2020 10:00 Curley House Exterior Restoration - 02-01-21 - 11/20/20
 3. 10/02/2020 10:00 Curley House Exterior Restoration - 02-01-21 - 11/20/20
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2 NORTH ELEVATION (MORaine STREET) - PROPOSED
1/4"=1'-0"



1 NORTH ELEVATION (MORaine STREET) - EXISTING
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6	REMOVE PLYWOOD PANELS TO EXPOSE ORIGINAL WOOD PILASTERS AND WALL PANELING BEHIND. REPAIR DAMAGED WOOD AND REPAINT.
7	ROTTED WOOD CLADDING, TRIM, AND SILLS AT ENCLOSED PORCH ON EAST ELEVATION. REMOVE AND CONSTRUCT NEW MUDROOM/ ACCESSIBLE ENTRANCE WITH MORE HISTORICALLY APPROPRIATE DESIGN. REFER TO THE PROPOSED ELEVATIONS FOR MORE INFORMATION.
8	REMOVE EXISTING METAL FRAMED CANOPY ROOFS AND REPLACE WITH WOOD FRAMED ROOFS WITH WOOD TRIM AND COPPER ROOFS SIMILAR TO EXISTING.
9	REPAIR ROTTED WOOD TRIM AND SILL, TYPICAL.
10	REBUILD DISPLACED MASONRY WITH EXISTING BRICK OR NEW TO MATCH EXISTING.
11	REPAIR HOLES IN MASONRY WITH NEW COLOR MATCHED MORTAR.
12	EXISTING FIRE ESCAPE - NOT SHOWN FOR CLARITY.
13	REPAIR CONCRETE AND APPLY TRAFFIC WATERPROOFING SYSTEM TO TOP SURFACE.
14	INSTALL NEW ENGINEERED SNOW GUARD SYSTEM TO PREVENT FUTURE SLIDING ICE AND SNOW DAMAGE.
15	REPAIR, REPAINT, AND REINSTALL MISSING SHUTTER FOUND ON SITE.
16	NEW FOUR PANEL WOOD DOOR IN EXISTING WOOD FRAME.
17	REPAIR DAMAGED COLUMN BASES.
18	REBUILD BALUSTRADE WITH BRICK COLUMNS AND PRECAST CONCRETE CAPS.
19	NEW SQUARE WOOD COLUMNS.
20	REPLACE MISSING MUNTINS IN WINDOW SASH.
21	RELOCATE EXISTING FENCE POST TO OPPOSITE CORNER.
22	REPAIR BROKEN STAINED GLASS PIECES AND INSTALL NEW VENTED EXTERIOR STORM WINDOW.

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PROJECT:
CURLEY HOUSE EXTERIOR RESTORATION

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CLIENT:
CITY OF BOSTON

1 CITY HALL SQUARE
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	02-01-21	BLC SUBMISSION

PROJECT NO.:	20130
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DRAWING SCALE:	AS NOTED

SHEET TITLE:
NORTH ELEVATIONS

SHEET:
A-202

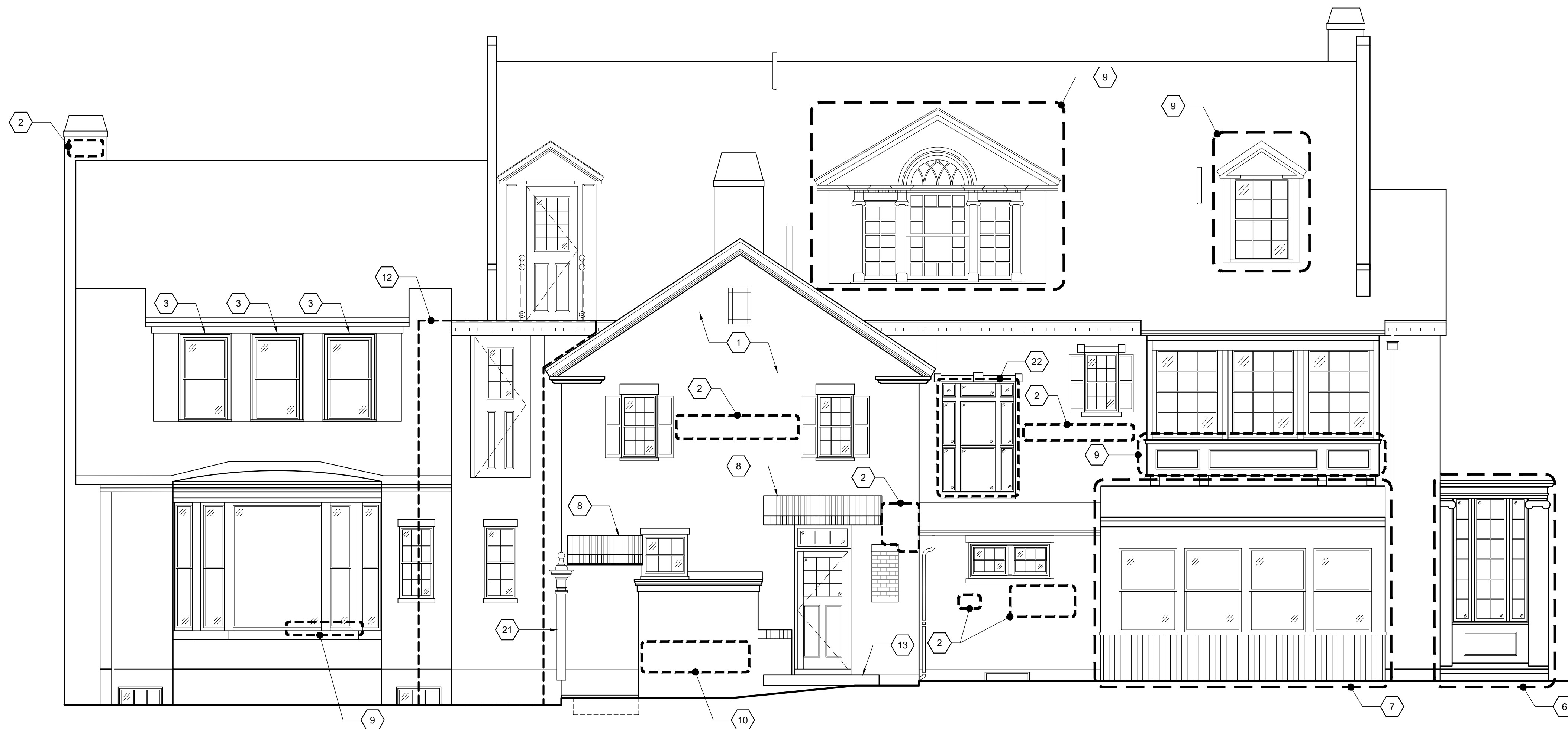
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2 EAST ELEVATION - PROPOSED
1/4"=1'-0"



1 EAST ELEVATION - EXISTING
1/4"=1'-0"

GENERAL RESTORATION NOTES	
1.	NEW MORTAR TO MATCH EXISTING ORIGINAL MORTAR IN COLOR, TEXTURE, STRENGTH, AND TOOLING. PROVIDE MOCK-UP FOR ARCHITECT AND BOSTON LANDMARKS COMMISSION REVIEW AND APPROVAL.
2.	WOOD REPAIRS TO BE PERFORMED WITH WOOD DUTCHMAN OR WOOD COMPONENT REPLACEMENT WITH THE SAME WOOD SPECIES WHEN POSSIBLE. REPAIRS TO BE PERFORMED TO MINIMIZE THE AMOUNT OF ORIGINAL MATERIAL BEING REMOVED.
3.	PREPARE AND REPAINT ALL WOOD WALLS, TRIM, FASCIA, SOFFITS ETC. NEW PAINT TO MATCH EXISTING PAINT COLOR AND SHEEN.
4.	TYPICAL WINDOW SCOPE: SELECTIVELY REPAIR DAMAGED WOOD WINDOW FRAME, SILL, AND SASH ELEMENTS WITH NEW WOOD. REMOVE EXISTING PAINT AND REPAINT ALL WOOD ELEMENTS. INSTALL NEW WEATHERSTRIPPING.
5.	ALL EXTERIOR DOORS TO BE PREPARED AND PAINTED.
6.	INSTALL HISTORICALLY APPROPRIATE REMOVABLE STORM WINDOWS (MARVIN STORM SCREENS) TO IMPROVE THERMAL PERFORMANCE OF WINDOWS AND EXTEND THE SERVICE LIFE OF WINDOW GLAZING AND PAINT.
KEY NOTES	
1	OPEN MORTAR JOINTS. REPOINT OPEN DETERIORATING JOINTS DEEPER THAN 1/4" AT APPROXIMATELY 5% OF THE MASONRY WALLS.
2	REPOINTED JOINTS WITH NEWER MISMATCHED MORTAR. APPLY A STAIN TO THE NEW MORTAR TO HELP BLEND IT IN WITH THE OLDER MORTAR.
3	REPLACE EXISTING ALUMINUM WINDOWS AT EAST ELEVATION WITH NEW WOOD REPLICA SASH IN THE EXISTING WOOD FRAME.
4	REPAIR DAMAGED DECORATIVE COPPER AT THE WEST FACING DORMERS.
5	REPAINT IRON BALCONIES ON THE WEST ELEVATION.
6	REMOVE PLYWOOD PANELS TO EXPOSE ORIGINAL WOOD PILASTERS AND WALL PANELING BEHIND. REPAIR DAMAGED WOOD AND REPAINT.
7	ROTTED WOOD CLADDING, TRIM, AND SILLS AT ENCLOSED PORCH ON EAST ELEVATION. REMOVE AND CONSTRUCT NEW MUDROOM ACCESSIBLE ENTRANCE WITH MORE HISTORICALLY APPROPRIATE DESIGN. REFER TO THE PROPOSED ELEVATIONS FOR MORE INFORMATION.
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20	REPLACE MISSING MUNTINS IN WINDOW SASH.
21	RELOCATE EXISTING FENCE POST TO OPPOSITE CORNER.
22	REPAIR BROKEN STAINED GLASS PIECES AND INSTALL NEW VENTED EXTERIOR STORM WINDOW.
23	LOWER EXISTING LANDING AND CREATE NEW STEPS TO GRADE.

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PROJECT NO.: 20130
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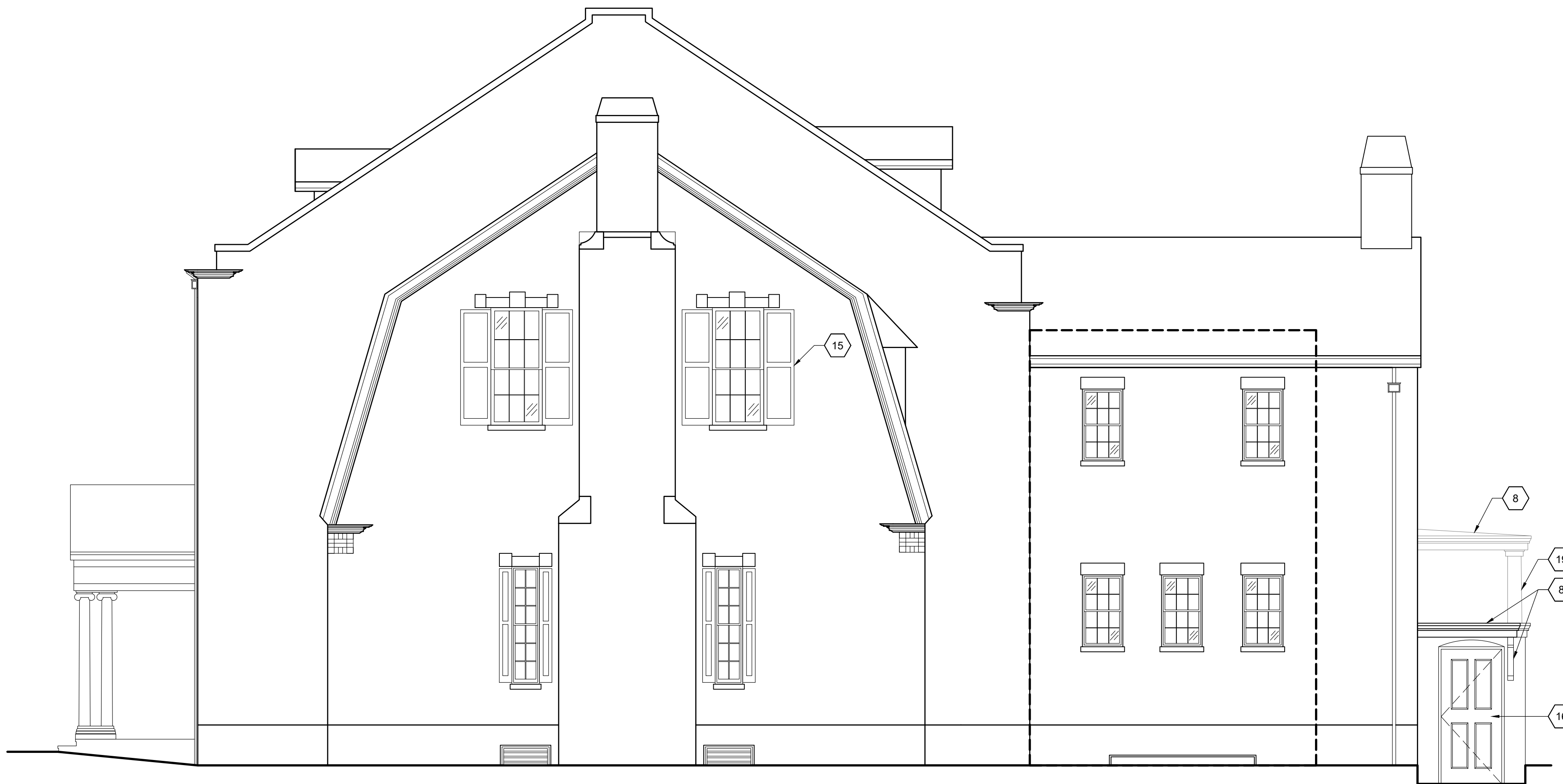
SHEET TITLE:
EAST ELEVATIONS

SHEET:
A-203

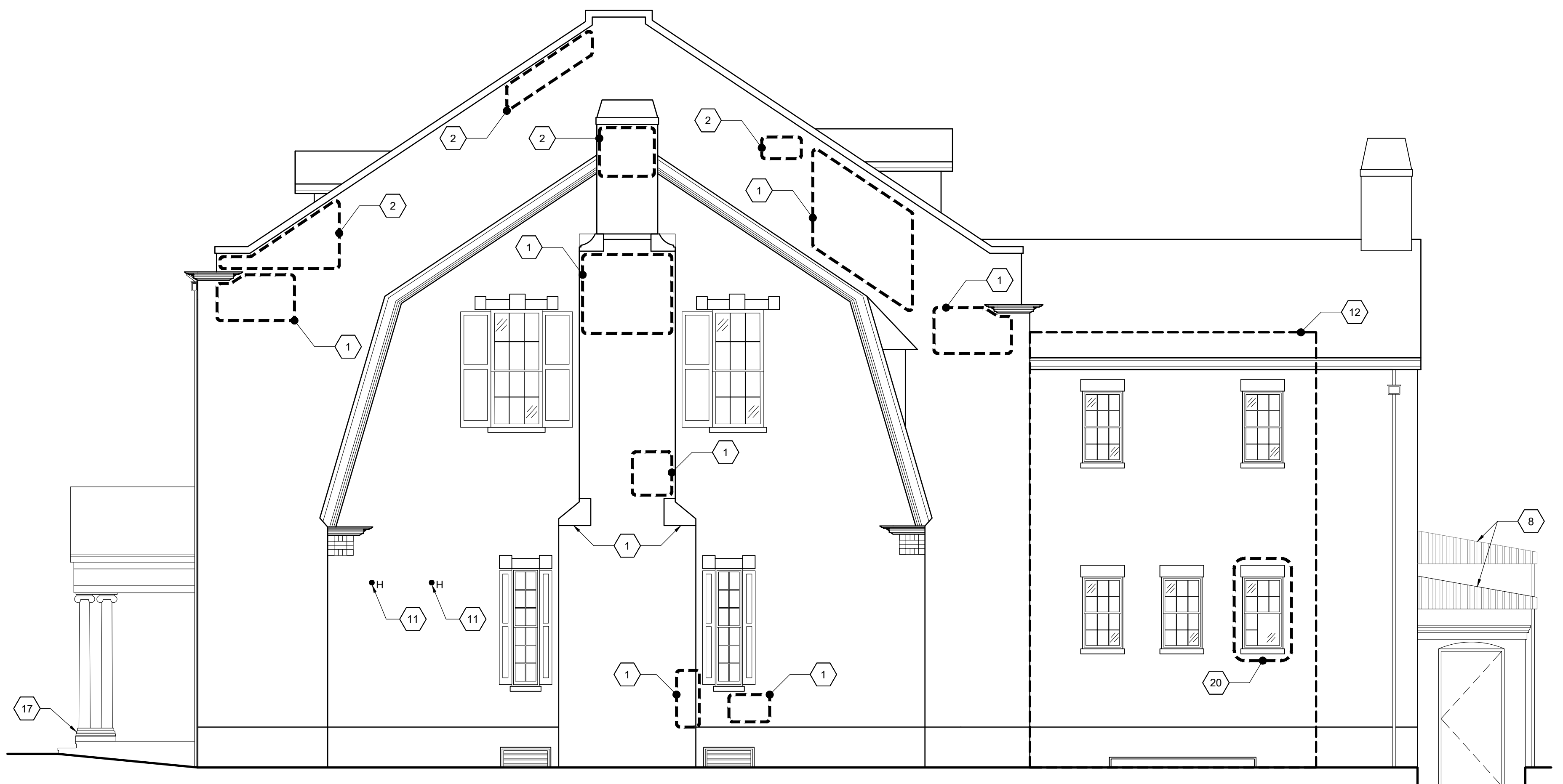
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2 SOUTH ELEVATION - PROPOSED
1/4"=1'-0"



1 SOUTH ELEVATION - EXISTING
1/4"=1'-0"

GENERAL RESTORATION NOTES	
1.	NEW MORTAR TO MATCH EXISTING ORIGINAL MORTAR IN COLOR, TEXTURE, STRENGTH, AND TOOLING. PROVIDE MOCK-UP FOR ARCHITECT AND BOSTON LANDMARKS COMMISSION REVIEW AND APPROVAL.
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PROJECT NO.:	20130
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SHEET TITLE:
SOUTH ELEVATIONS

SHEET:
A-204

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EXTERIOR
RESTORATION**

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SHEET TITLE:
**ELEVATION
PHOTOGRAPHS**

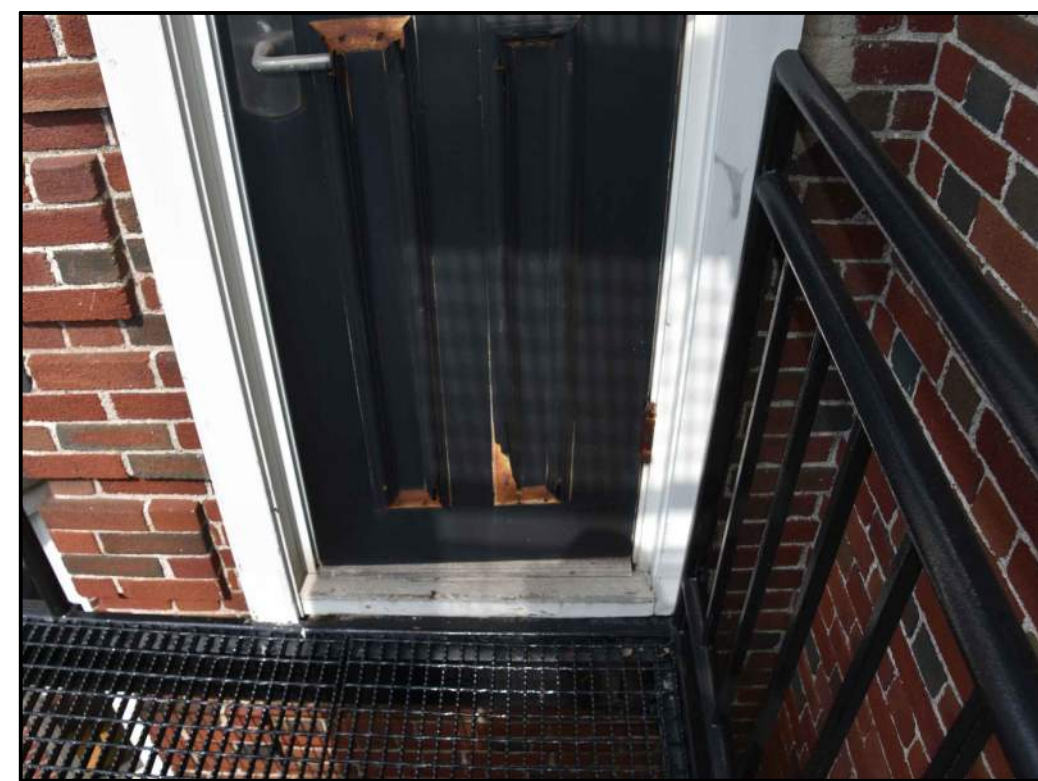
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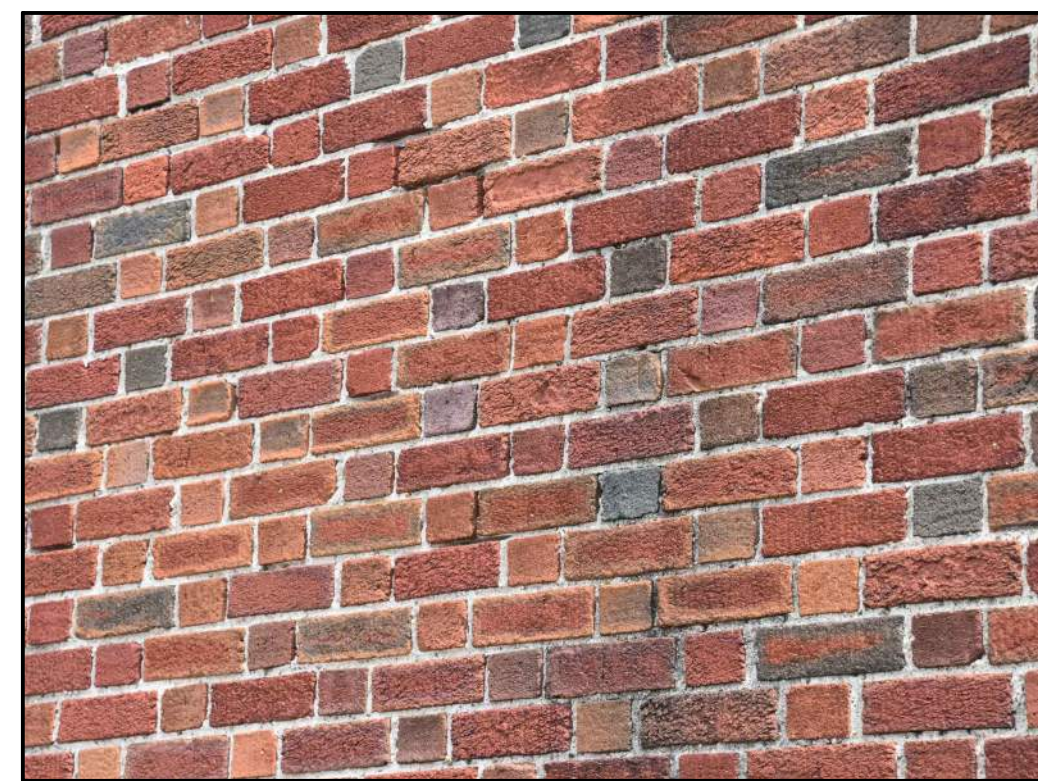
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20 REMAINS OF EXISTING BALUSTRADE



16 DAMAGE AT DOOR



12 MASONRY JOINTS TO BE REPOINTED



8 DAMAGED CAPITAL AT DORMER



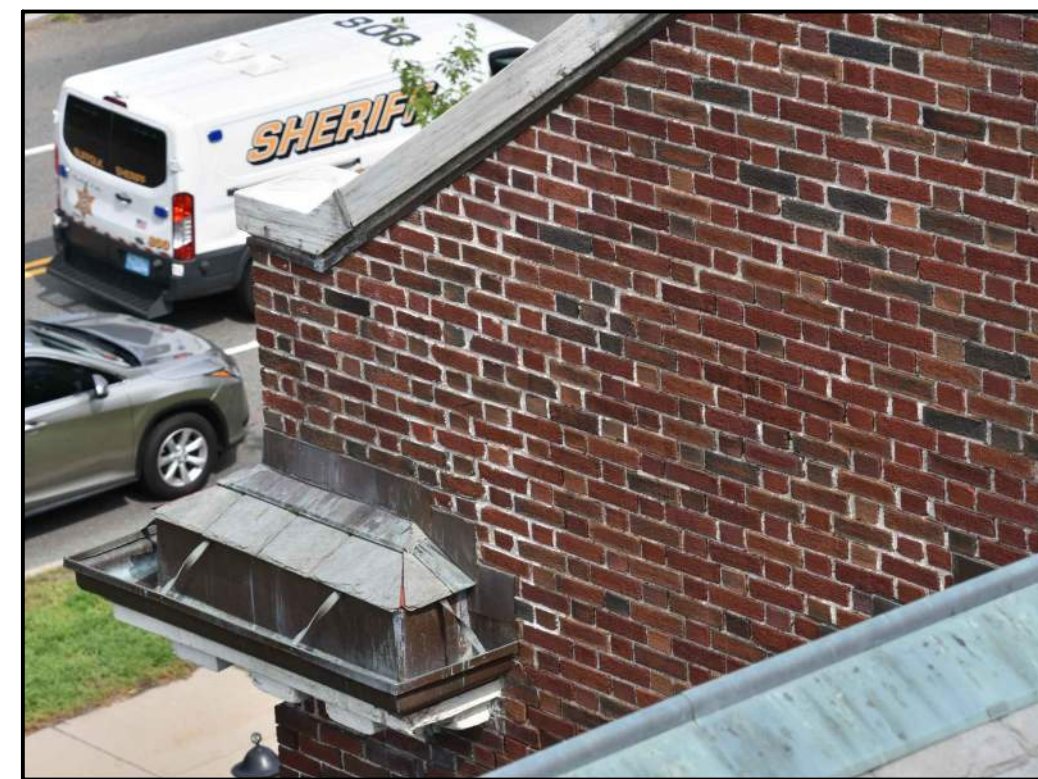
4 EAST AND SOUTH ELEVATIONS



19 EAST WING ELEVATION



15 PAINTED WOOD TRIM AT SUNROOM



11 JOINTS TO BE STAINED & REPOINTED



7 WINDOW TRIM AND PAINTED METAL



3 EAST ELEVATION



18 MUDROOM - EAST ELEVATION



14 SUNROOM



10 MASONRY JOINTS TO BE STAINED



6 TYPICAL WINDOW CONDITION



2 NORTH ELEVATION



17 MUDROOM - NORTH ELEVATION



13 DETERIORATING COLUMN BASES



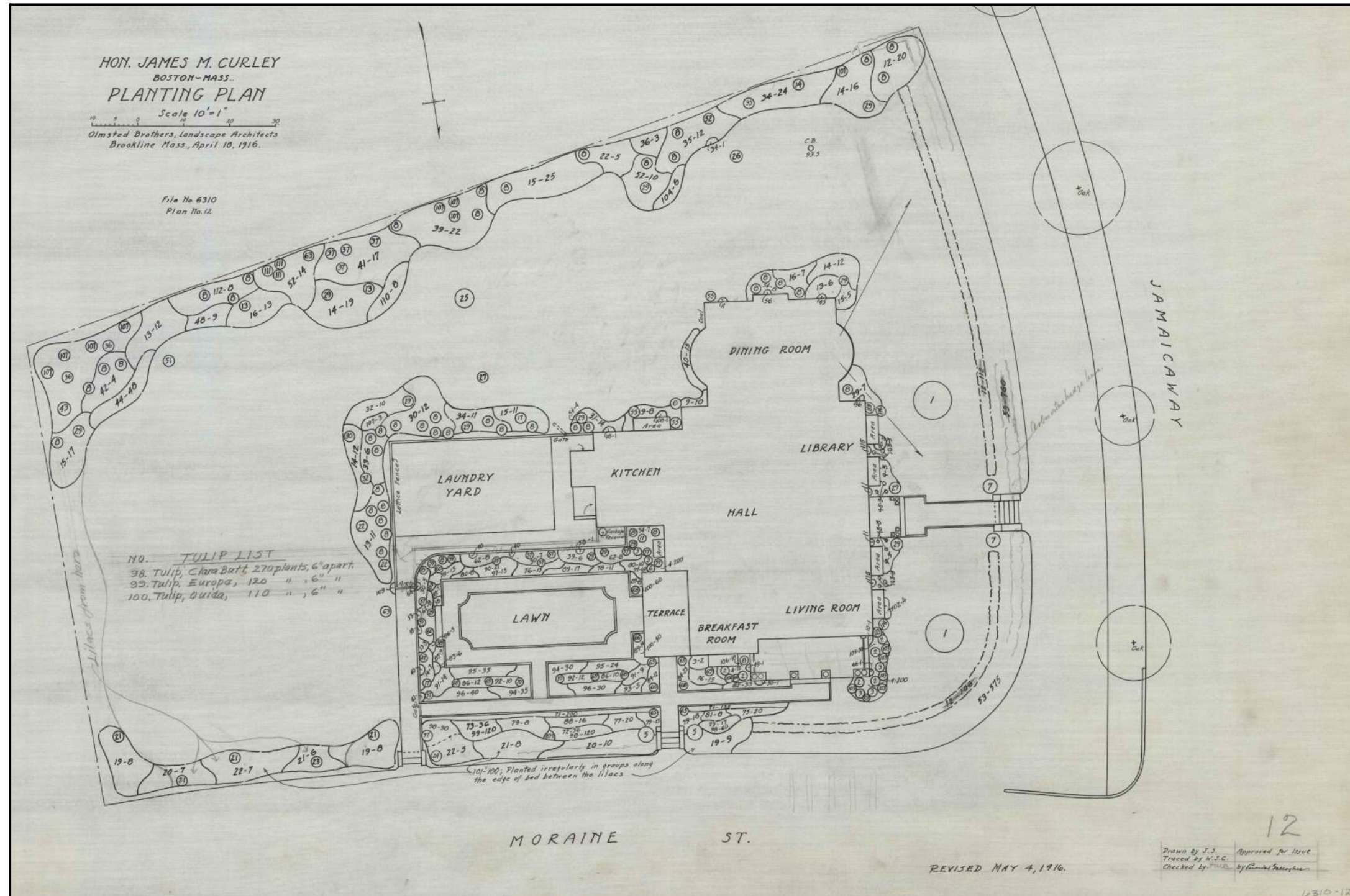
9 WINDOWS TO BE REPLACED



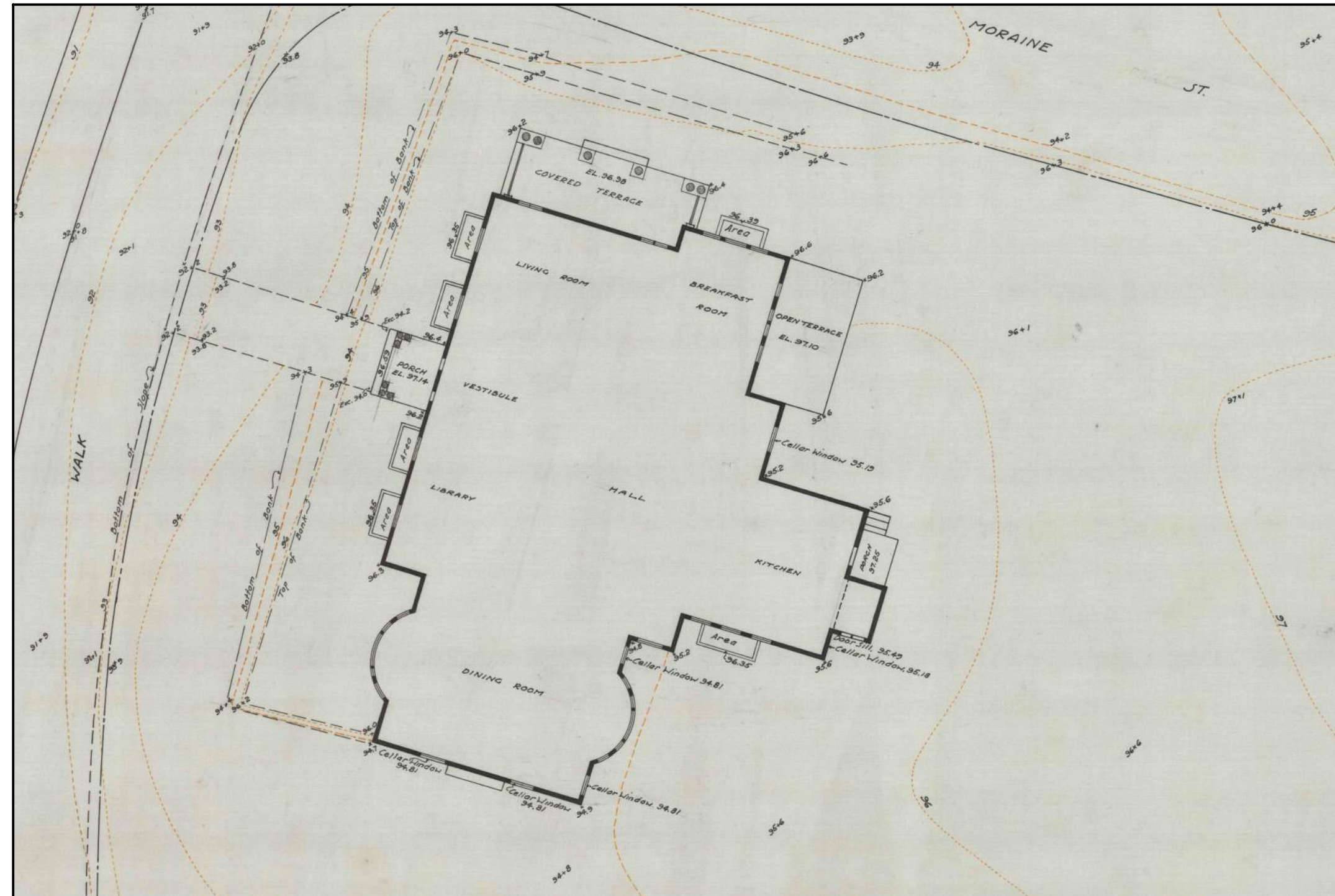
5 SOUTH ELEVATION



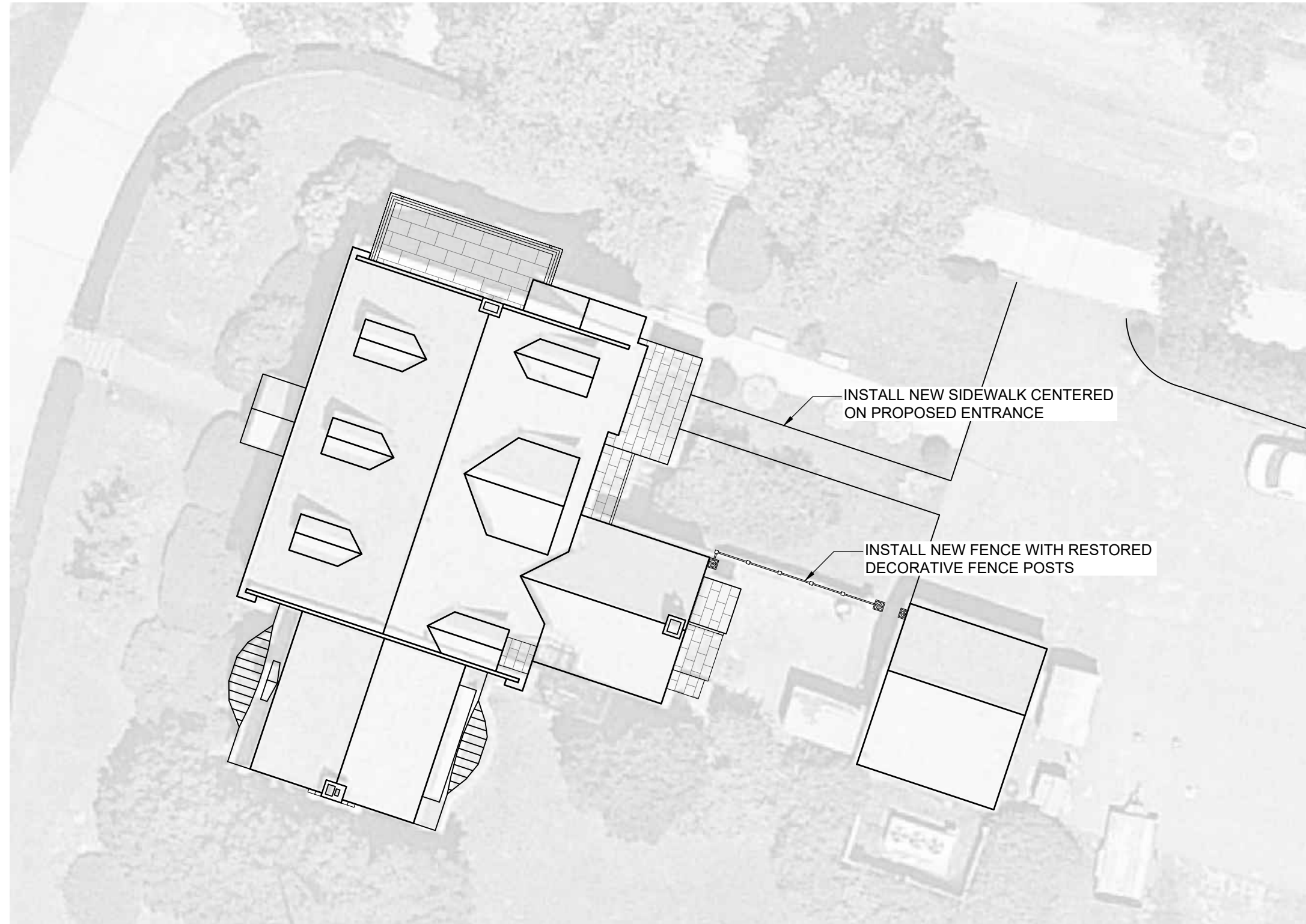
1 WEST ELEVATION



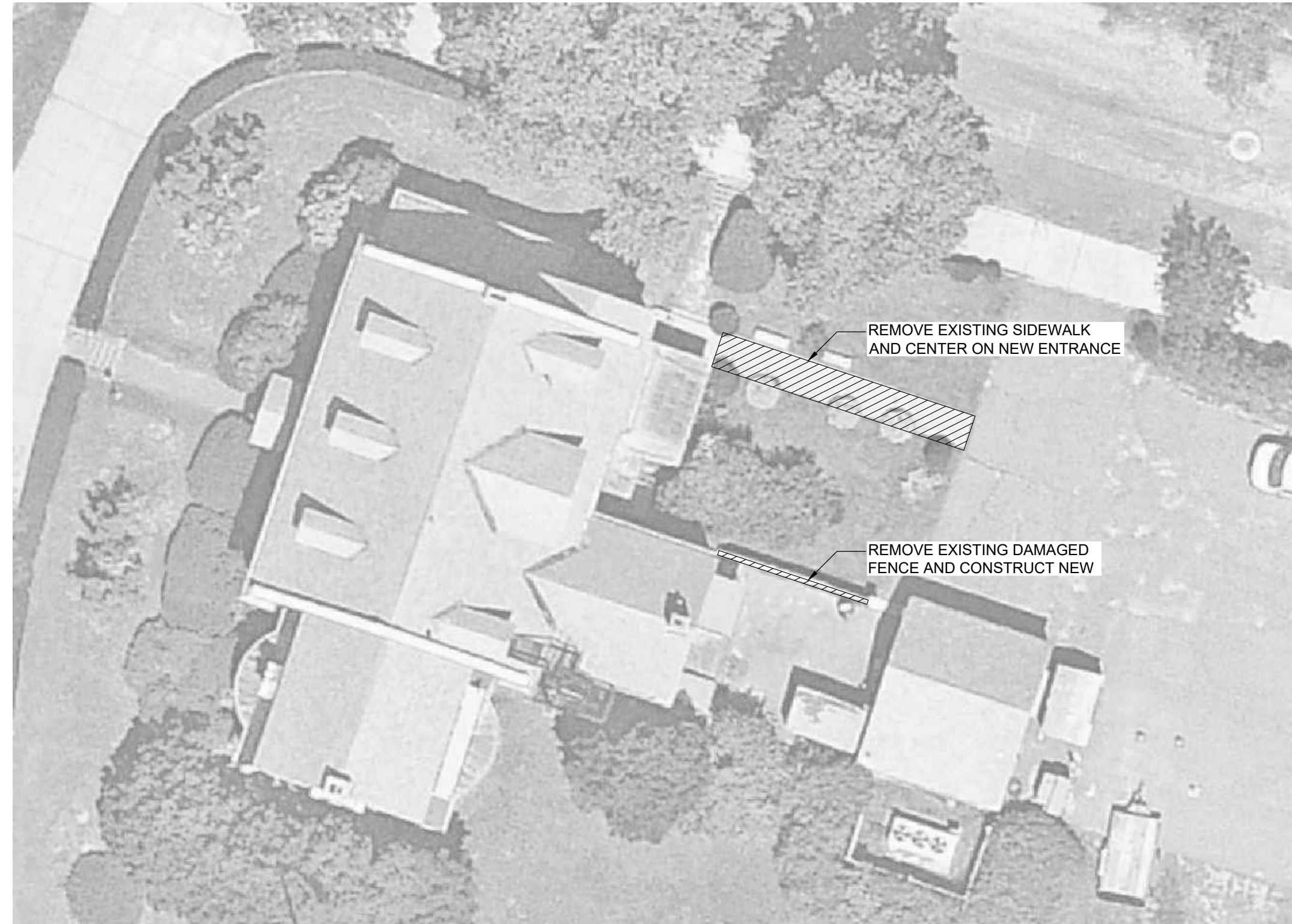
8 REFERENCE DRAWING - PLANTING PLAN 1916
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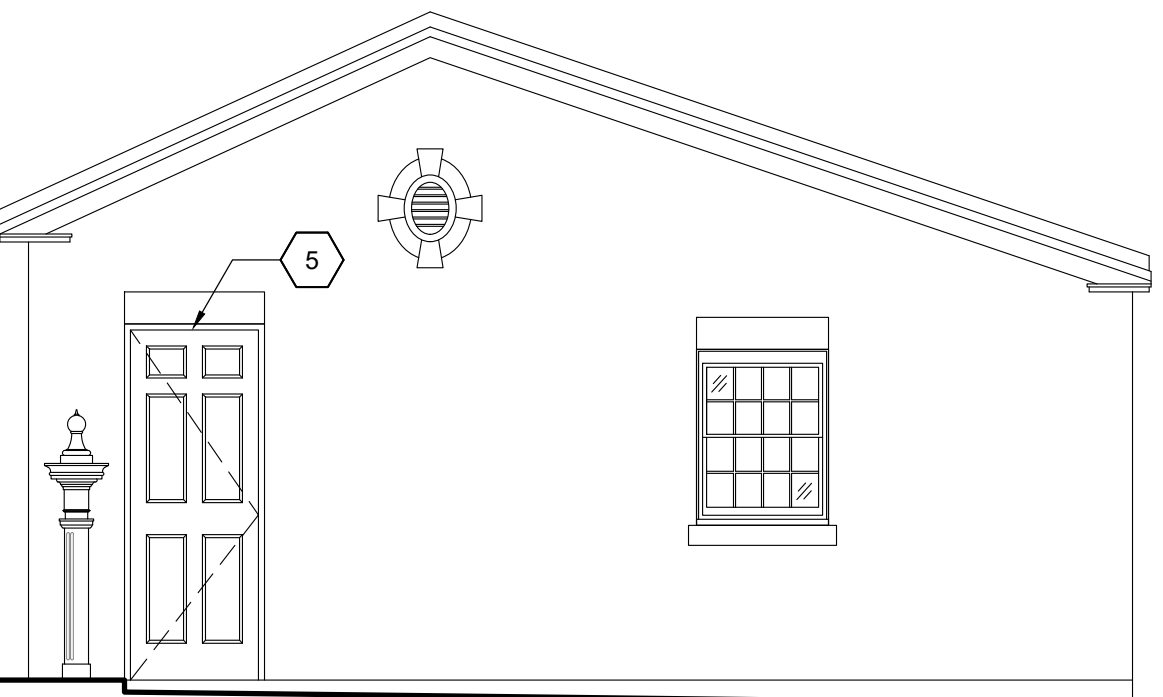
7 REFERENCE DRAWING - TOPOGRAPHICAL MAP 1915
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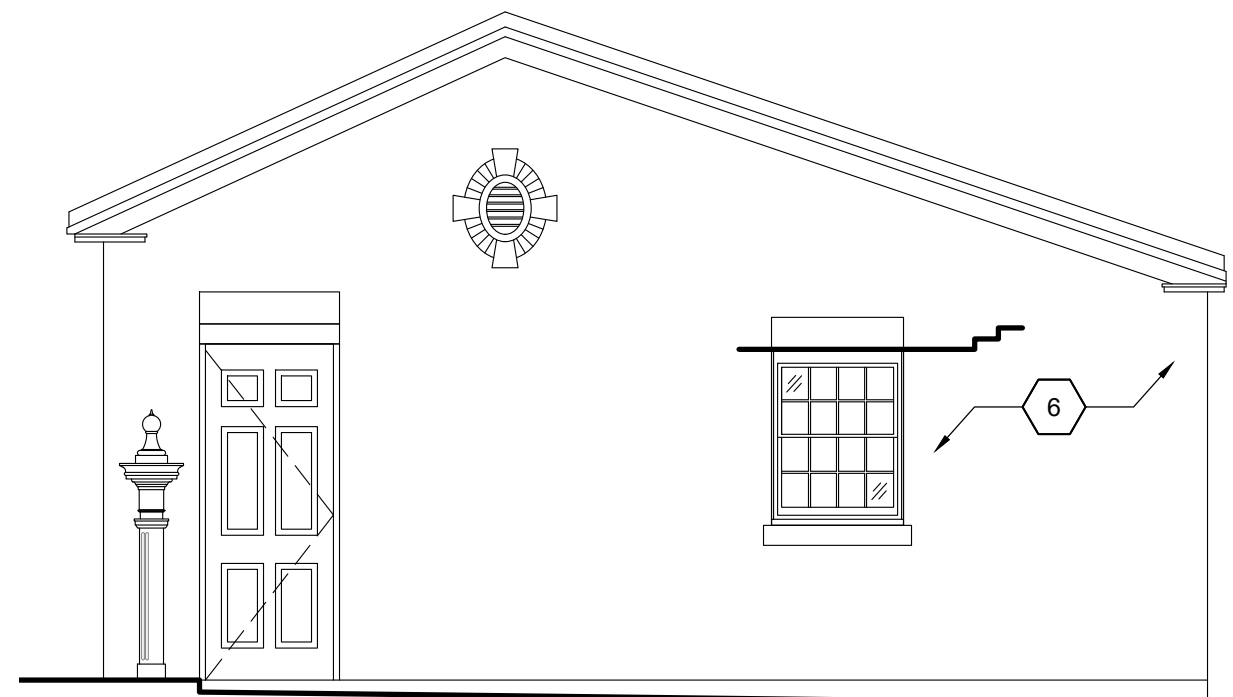
6 PROPOSED SITE PLAN
1/16"=1'-0"



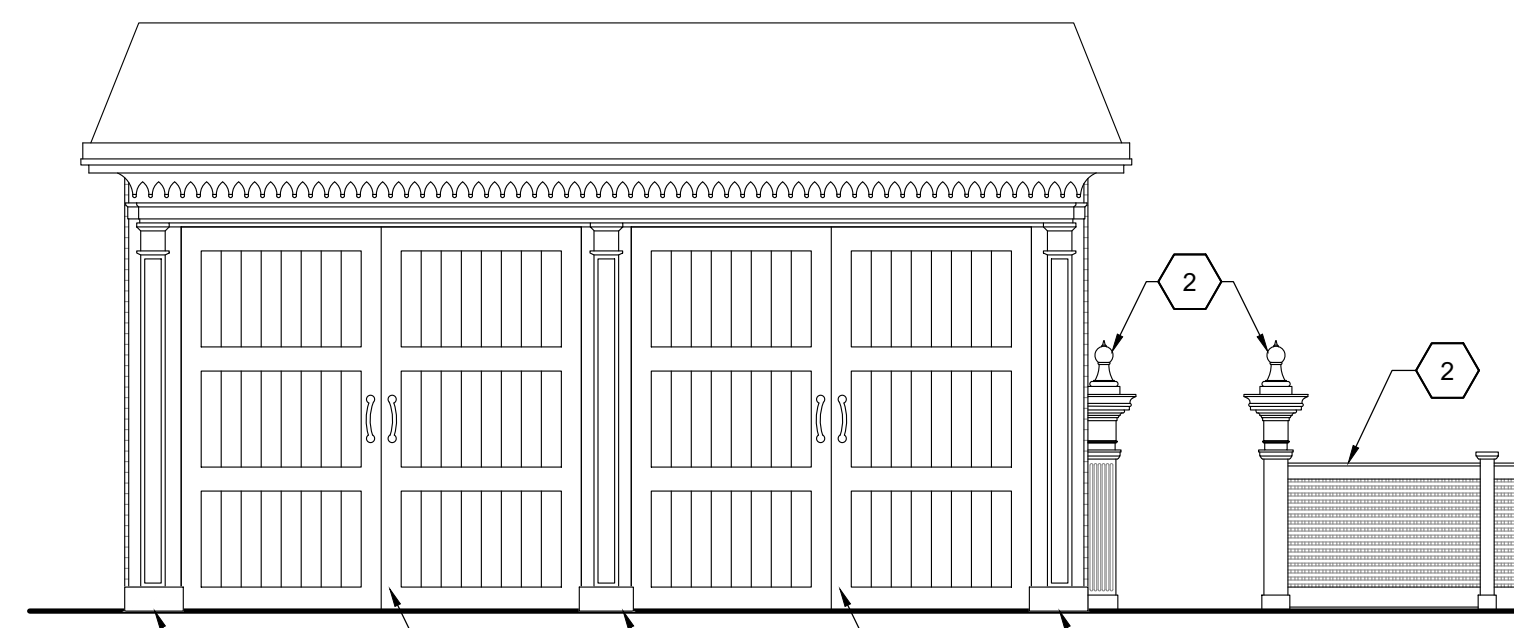
5 EXISTING SITE PLAN
1/16"=1'-0"



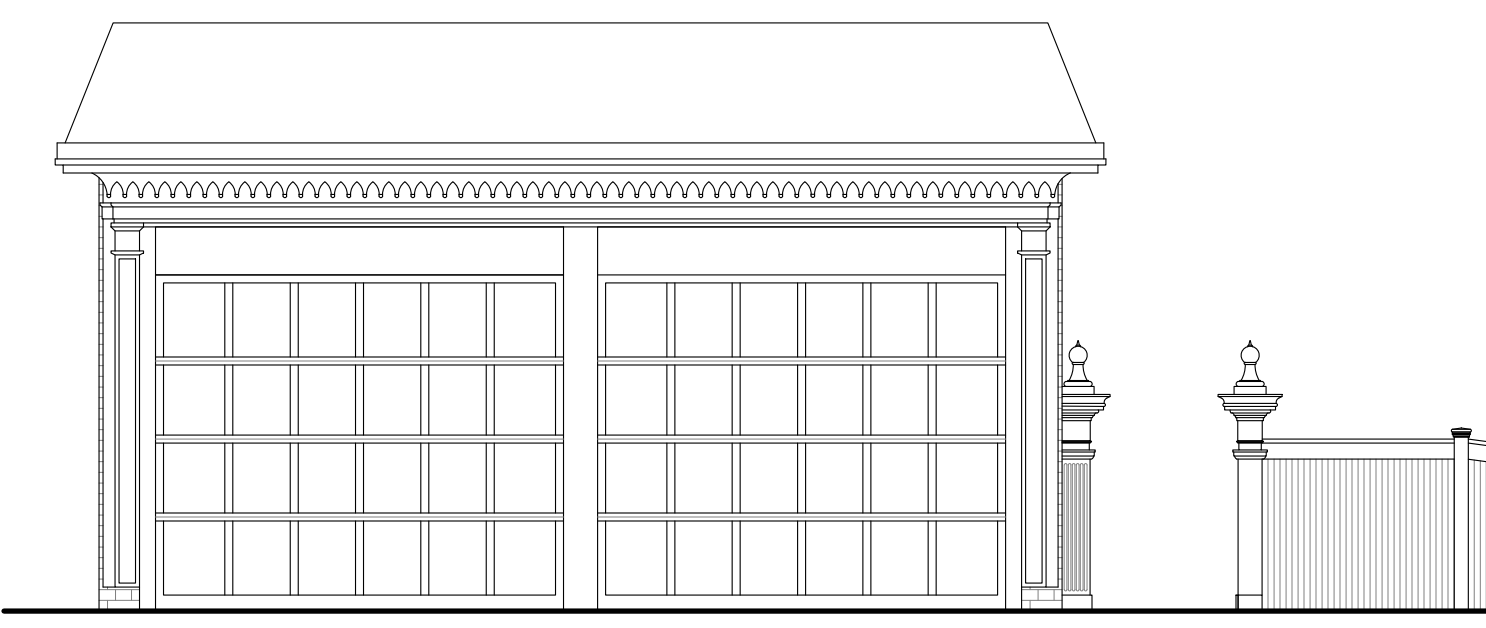
4 GARAGE - PROPOSED WEST ELEVATION
1/4"=1'-0"



3 GARAGE - EXISTING WEST ELEVATION
1/4"=1'-0"



2 GARAGE - PROPOSED NORTH ELEVATION
1/4"=1'-0"



1 GARAGE - EXISTING NORTH ELEVATION
1/4"=1'-0"



3 DAMAGED FENCE



2 GARAGE - WEST ELEVATION



1 GARAGE - NORTH ELEVATION

KEY NOTES

- 1 INSTALL NEW ROLL-UP CARRIAGE HOUSE DOOR.
- 2 RESTORE EXISTING DECORATIVE WOOD FENCE POSTS. INSTALL NEW SQUARE LATTICE FENCE.
- 3 INSTALL NEW WOOD BASES AT PILASTERS.
- 4 BUILD NEW PLASTER AT CENTER POST.
- 5 NEW SIX PANEL WOOD DOOR IN EXISTING WOOD FRAME.
- 6 REPAIR DAMAGED MASONRY AROUND RUSTED LINTELS.

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SHEET TITLE:
SITE PLANS AND GARAGE ELEVATIONS

SHEET:
A-206
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