

# South End Landmark Historic District Commission

Project Review Hearing

34 East Springfield Street

February 2, 2021



## Brief history of 34 East Springfield Street

- **Ca. 1865**  
Building constructed as a single-family dwelling
- **Ca. 1930**  
Building converted into a multi-family dwelling, remains multi-family throughout the 20<sup>th</sup> century
- **1980**  
Building acquired by BHA and converted into 4 affordable housing units. Windows and doors were replaced and other modifications made, later garden level unit converted to mechanical space
- **2009**  
Units vacated and has remain vacant since, deferred maintenance continues



1972 photo of facade



Current facade

# Proposed Project

- State and Federal Historic Tax Credit rehabilitation of the building into 5 affordable housing units with one unit being handicap accessible
- Reconstruction of the façade due to continued water infiltration of the façade causing bricks to bow outward creating a safety hazard and deteriorated lintels. Modest masonry repairs and repointing at the rear elevation and the installation of 6 small vents for ductwork
- Replacement of modern windows matching historic muntins patterns. Replacement of modern entrances with historically sensitive entrances with historic front entrance retained and repaired with new entry hood
- Replacement of the rear dormer with mechanical equipment on top

# Deterioration and issues at 34 East Springfield Street



View of third-floor unit, cavity between inner and outer wythes due to water damage bowing out outer brickwork



Proposed project would disassemble and reconstruct the façade with existing and matching brick

# Deterioration and issues at 34 East Springfield Street



View of skimcoated and damaged lintels to be replaced with matching lintels



Granite steps to be retained and reset with new metal handrails, doors will be retained and repaired with new entry surround. New windows will be installed with 2/2 pattern



# Deterioration and issues at 34 East Springfield Street



View of garden level entrance to be replaced with arched metal gate and new entry door. Steps and fence/railing to be retained

Masonry at rear elevation is in much better condition will be repointed and repaired. Entry door will be replaced and dormer will be replaced



# Precedent images for 34 East Springfield Street



View of 32 East Springfield Street used as a precedent for the proposed entry surround

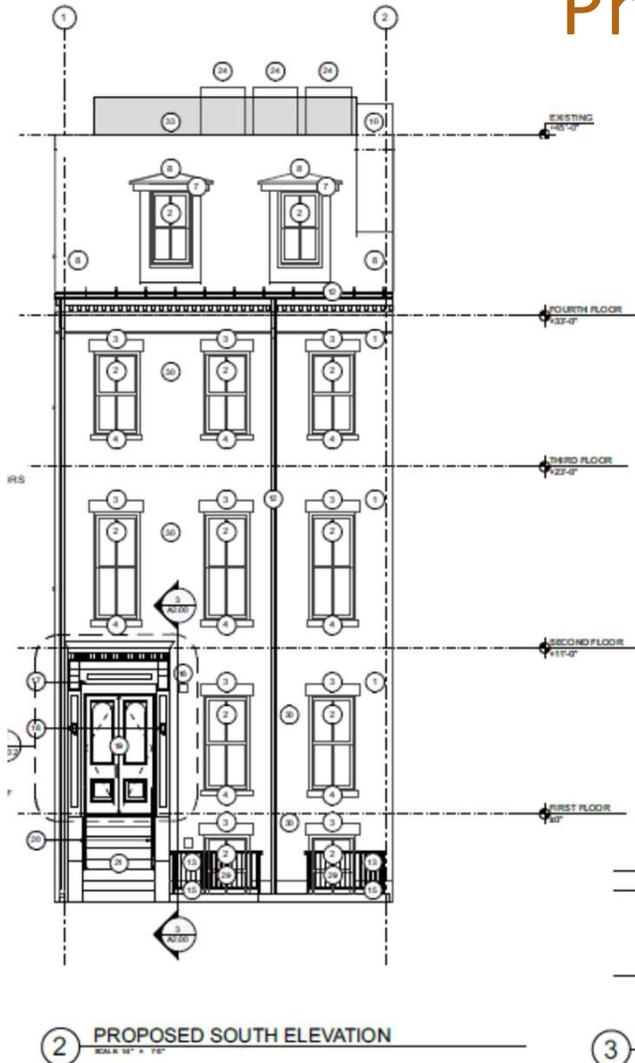
View of garden level entry at 30 East Springfield Street used as precedent for garden level gate.



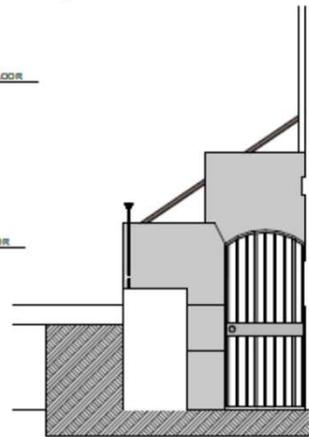
5 NEIGHBORING REAR DORMER  
SCALE 1/2" = 1'-0"

Precedent for proposed dormer

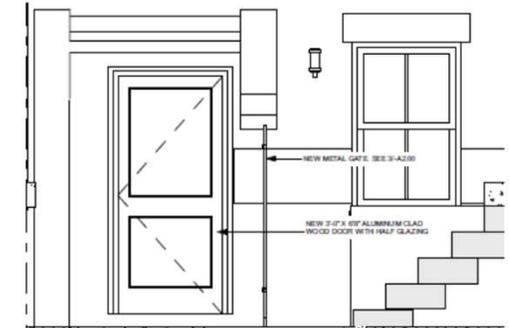
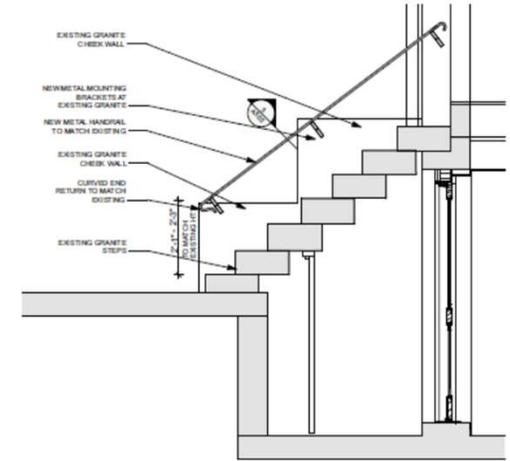
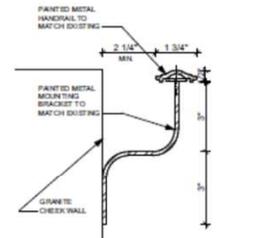
# Proposed Plans Facade



**4 32 E. SPRINGFIELD ENTRY**  
SCALE: 1/4" = 1'-0"



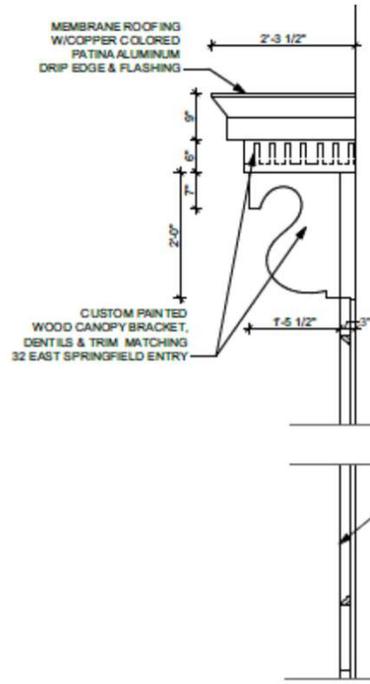
**4 EXISTING HANDRAIL**  
SCALE: 1/4" = 1'-0"



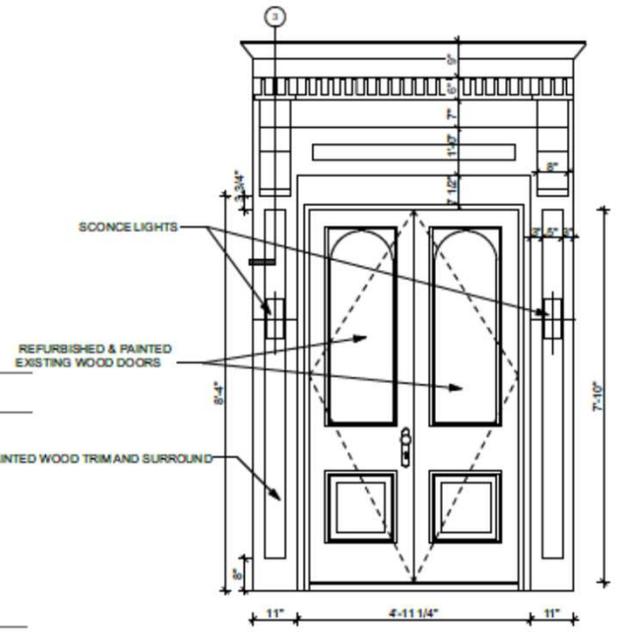
# Proposed Plans Facade



1 32 EAST SPRINGFIELD CANOPY  
SCALE: 3/4" = 1'-0"



3 CANOPY AND SIDE PANEL SECTION  
SCALE: 1/4" = 1'-0"



1 PROPOSED ENTRY DOOR & SURROUND  
SCALE: 3/4" = 1'-0"

# Proposed Plans Rear Elevation

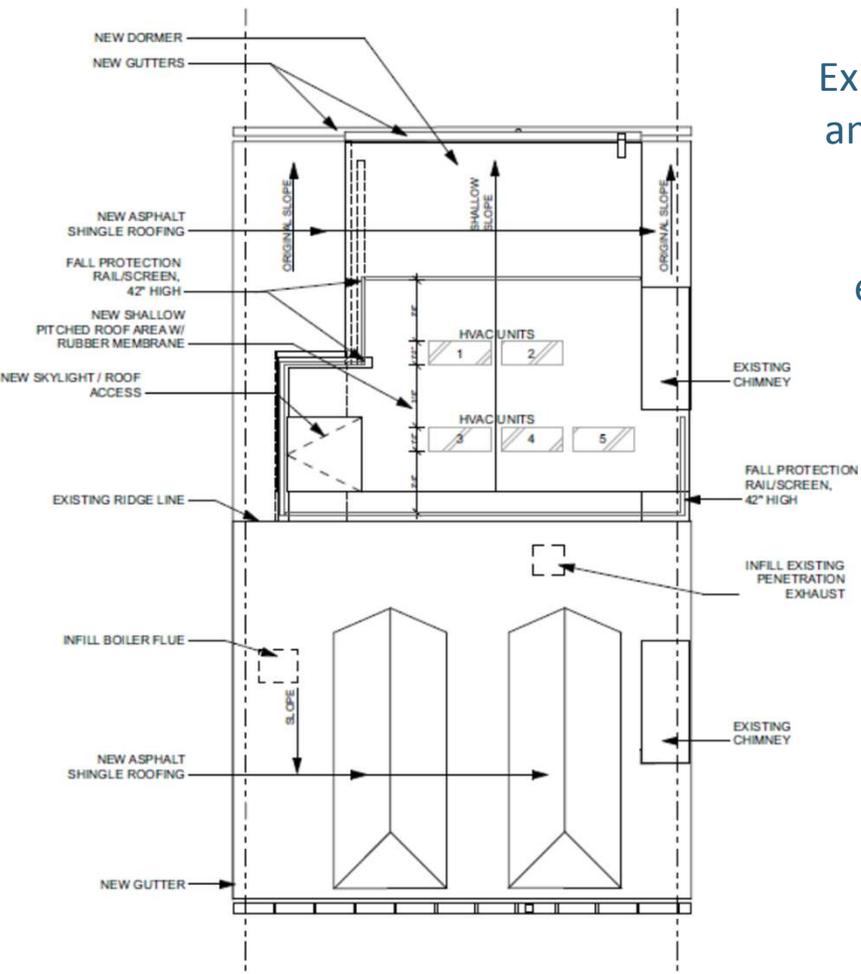


Dormer will be replaced with a larger dormer similar to a neighboring building with equipment on top



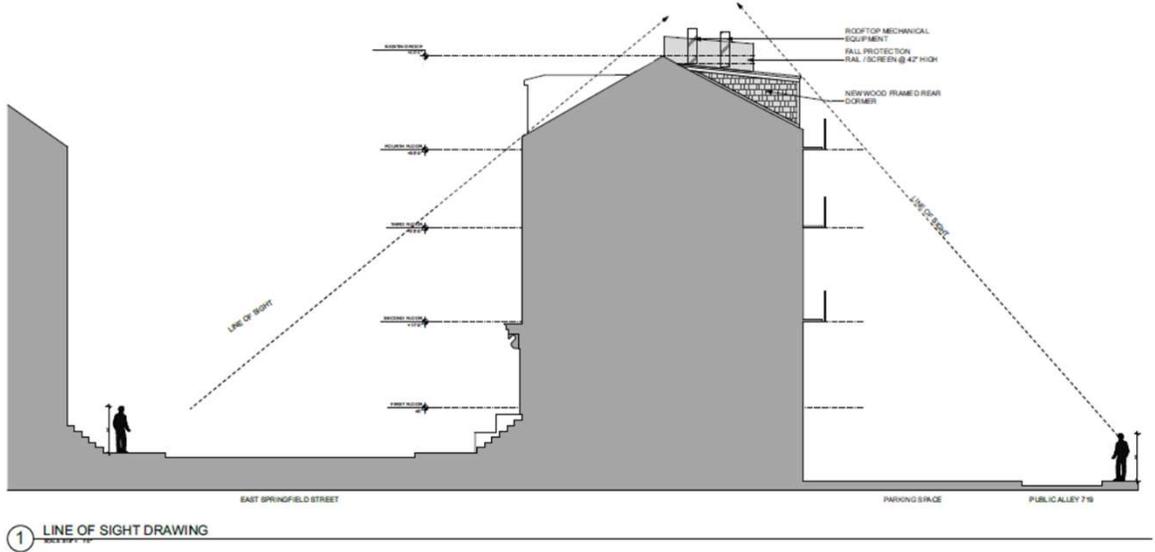
5 NEIGHBORING REAR DORMER  
SCALE: 1/2" = 1'-0"

# Proposed Plans Roof



Existing front dormers and chimneys remain with rear dormer replaced and equipment on top

Line of sight measurements show equipment should not be visible. A rooftop mockup will be done to confirm



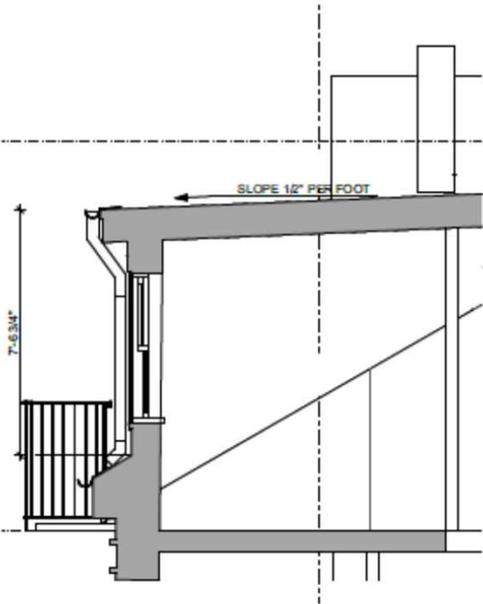
1 LINE OF SIGHT DRAWING

# Proposed Plans Roof

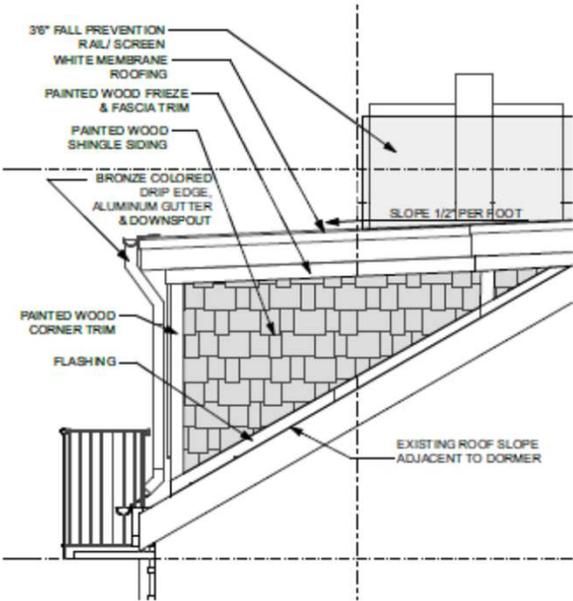
Dormer will be clad in wood shingles and trim with paired aluminum windows similar to neighboring property



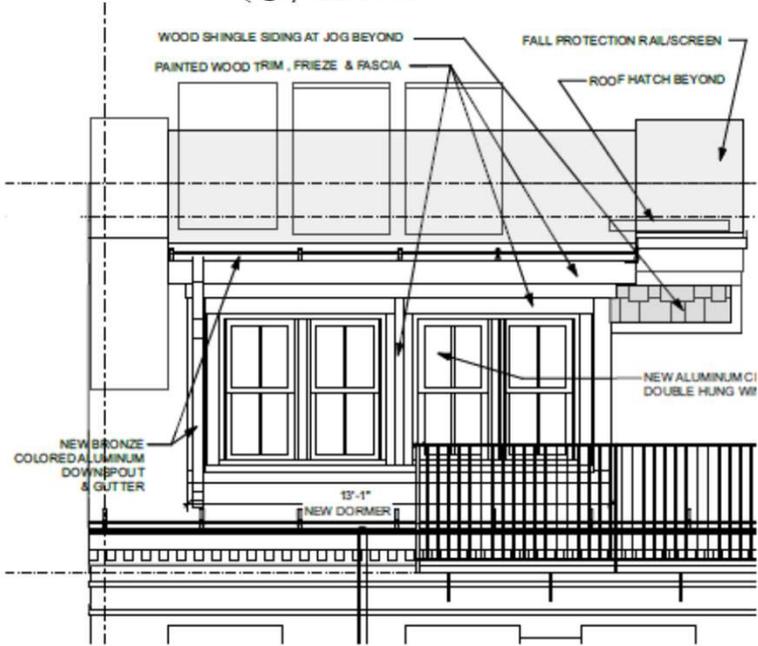
5 NEIGHBORING REAR DORMER  
SCALE 1/2" = 1'-0"



5 DORMER SECTION  
SCALE 1/2" = 1'-0"

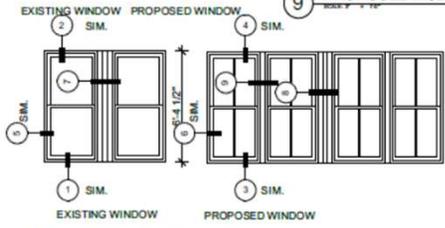
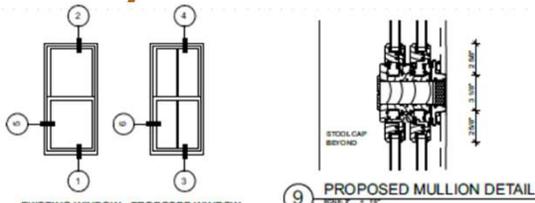


4 WEST ELEVATION AT DORMER  
SCALE 1/2" = 1'-0"

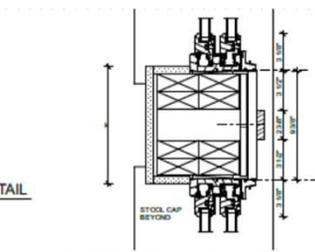


2 NORTH ELEVATION NEW DORMER  
SCALE 1/2" = 1'-0"

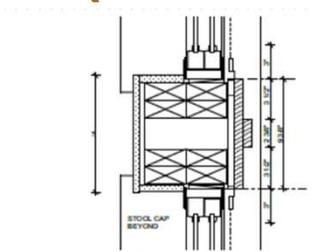
# Proposed Plans Window Shop Drawings



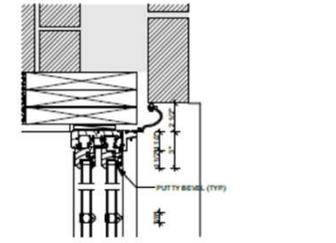
10 WINDOW ELEVATIONS KEY



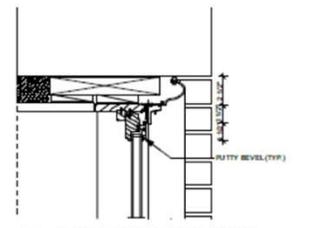
8 PROPOSED DETAIL BETWEEN DORMER WINDOWS



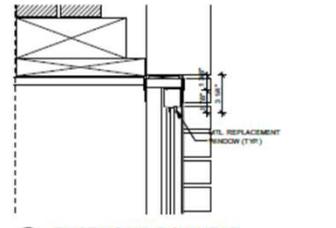
7 EXISTING DETAIL BETWEEN DORMER WINDOWS



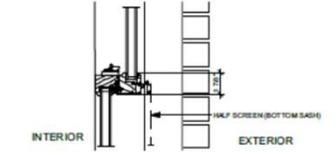
6 PROPOSED WINDOW JAMB



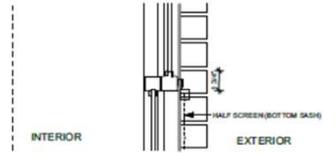
4 PROPOSED WINDOW HEAD



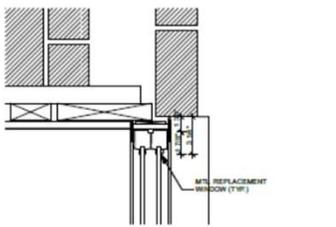
2 EXISTING WINDOW HEAD



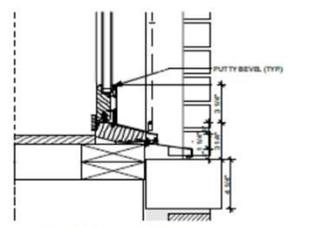
3 PROPOSED WINDOW HEAD



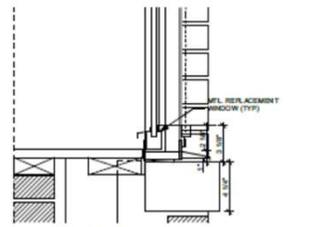
1 EXISTING WINDOW HEAD



5 EXISTING WINDOW JAMB

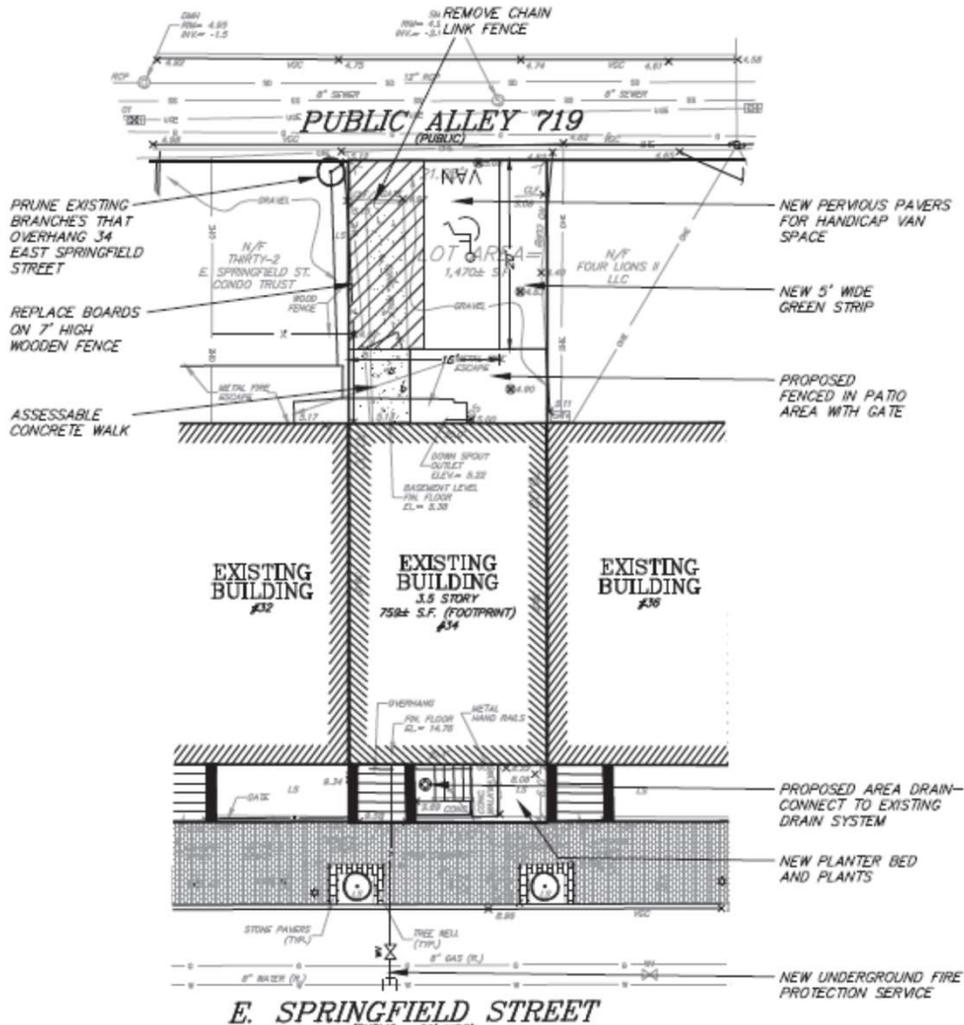


3 PROPOSED WINDOW SILL



1 EXISTING WINDOW SILL

# Proposed Plans Site Plan



At the rear along the alleyway an accessible entrance for the garden level unit will be created with a handicap parking spot with pervious pavers and a concrete accessible walkway. The boards on the wood fence will be replaced and the existing chain-link fence removed.