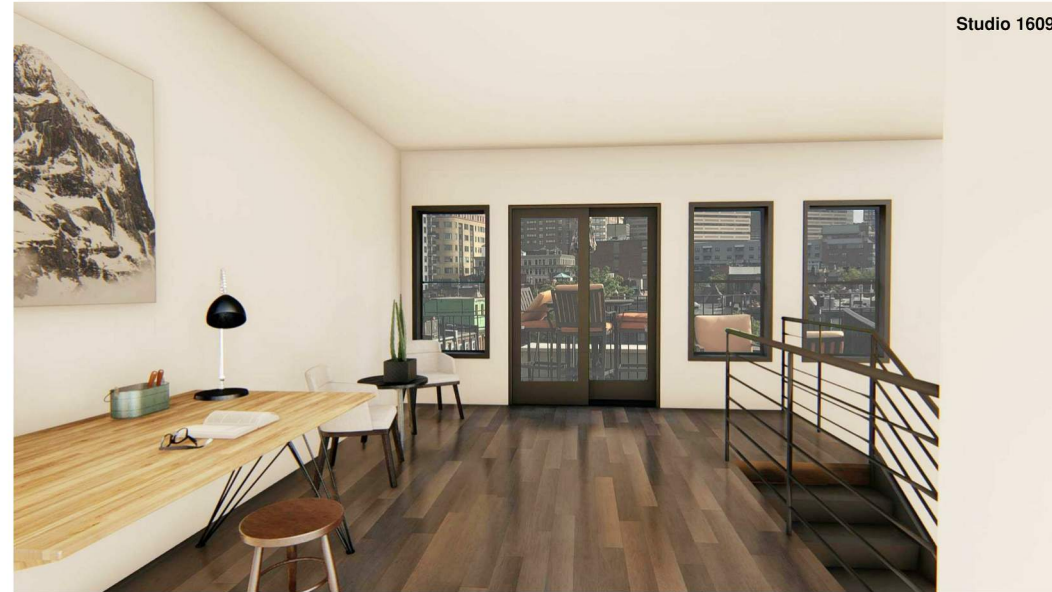
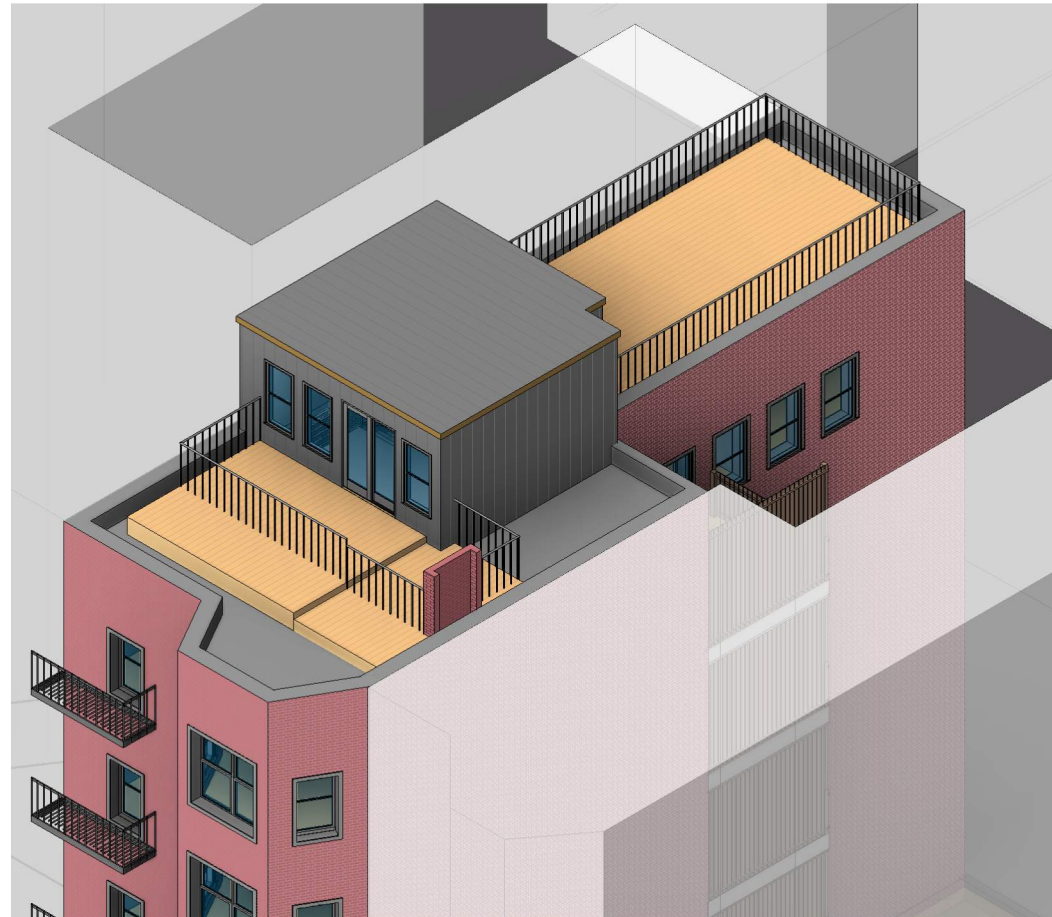


# 5 DURHAM STREET ROOF DECK ALTERATIONS & STAIR EXTENSION BOSTON, MA 02115



Studio 1609



## DRAWING LIST

SHEET LIST	
SHEET NUMBER	SHEET NAME
GENERAL	
G000	PROJECT COVER SHEET
ARCHITECTURAL	
A101	ARCHITECTURAL SITE PLAN - OVERALL
A102	BLOCK PLAN
AR201	EXISTING ROOF DECK PLAN
AR202	EXISTING EXTERIOR BUILDING ELEVATIONS
A201	NEW HEAD HOUSE FLOOR PLAN
A401	NEW EXTERIOR BUILDING ELEVATIONS
REFERENCE	
R.01	REFERENCE - PROJECT 3D VIEWS
R.02	REFERENCE - INTERIOR 3D VIEW
R.03	EXISTING SITE DOCUMENTATION
R.04	SIGHTLINES SECTION DIAGRAM
R.05	EXISTING SITE DOCUMENTATION

## GENERAL NOTES

1. CONTRACTOR SHALL DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF ALL ITEMS SHOWN DASHED IN THIS DRAWING SET.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO ANY WORK OR ORDERING OF ANY MATERIALS.
3. THE CONTRACTOR SHALL PROVIDE SOUND AND DUST PROTECTION TO THE EXISTING HOUSE DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF CONDITIONS UNCOVERED DURING DEMOLITION OR CONSTRUCTION ARE UNANTICIPATED OR APPEAR TO PRESENT A DANGEROUS CONDITION.
5. CONTRACTOR SHALL CAREFULLY PROTECT ALL MATERIALS AND SURFACES ADJACENT TO AREAS IN WHICH WORK IS BEING DONE AND AREAS BEING USED FOR ACCESS.
6. CONTRACTOR TO PROVIDE AND DISPLAY "NO TRESPASSING" SIGNS IN APPROPRIATE LOCATIONS DURING CONSTRUCTION.
7. FURNISH AND PLACE TEMPORARY AND PERMANENT SUPPORTS TO PREVENT HORIZONTAL AND/OR VERTICAL SETTLEMENT.
8. PRESSURE TREATED WOOD TO BE SOUTHERN PINE #1.
9. BUILT-UP BEAMS SHALL BE CONSTRUCTED OF MICRO-LAM MAINTAINED VENEER LUMBER (LVL).
10. FRAMING, POSTS, AND BEAMS SHOWN FOR DESIGN INTENT. CONTRACTOR TO VERIFY ALL SIZES.
11. CONNECTORS AND TIES SHALL BE BY SIMPSON STRONG-TIE OR EQUAL.
12. LUMBER SHALL BE SPRUCE PINE FIR (S-P-F) #1 OR EQUAL WITH A MAXIMUM MOISTURE CONTENT OF 19%.
13. ALL NEW WINDOWS TO BE ANDERSEN SERIES OR MARVIN WINDOWS AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
14. ALL EXTERIOR TRIM TO BE AZEK PVC TRIM BOARDS OR EQUAL AND TO RECEIVE ONE COAT BEN MOORE PRIMER AND 2 COATS BEN MOORE EXTERIOR PAINT.
15. EXTEND EXISTING ELECTRICAL AND PLUMBING SYSTEMS AS REQUIRED. ADD NEW SERVICE AS REQUIRED.
16. TIE INTO EXISTING AC / HEATING SYSTEM.
17. INTERIOR WALLS TO BE 2x4 STUDS AT 16" OC WITH ONE LAYER OF 1/2" BLUE BOARD EACH SIDE. BASE BOARD AS SELECTED BY THE OWNER.
18. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" OC WITH ONE LAYER OF BLUE BOARD EACH SIDE EXCEPT WHERE ALIGNMENTS WITH EXISTING EXTERIOR 2x4 WALLS ARE REQUIRED.

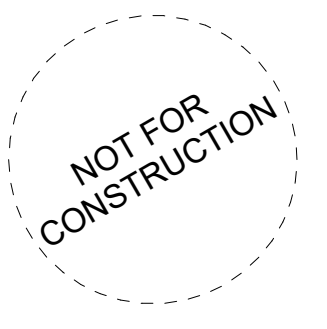
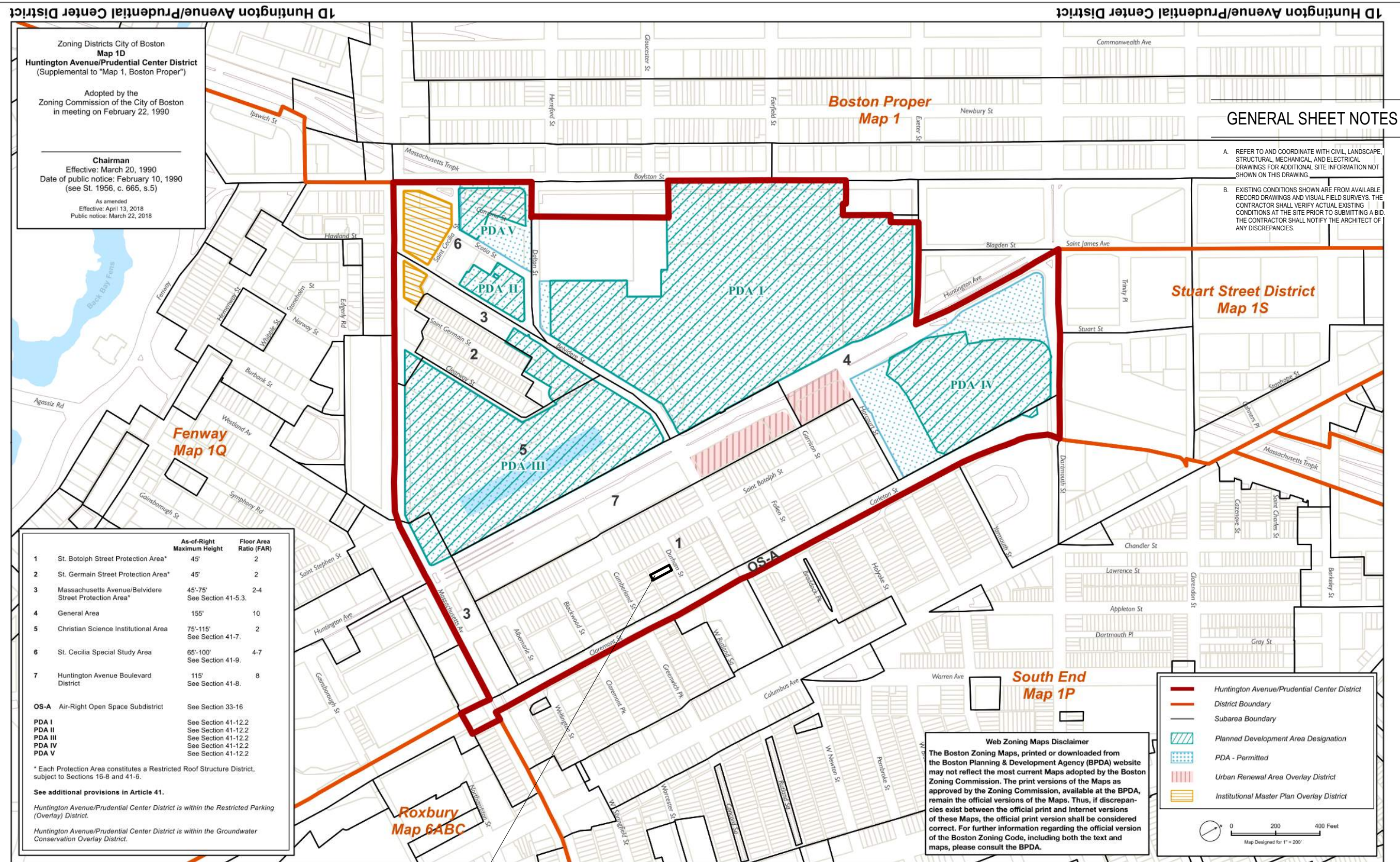
# ROOF DECK ALTERATIONS & STAIR EXTENSION

Studio 1609

350 Harrison Avenue, Apt 612  
Boston, MA 02118

ST. BOTOLPH LANDMARK'S COMMISSION - DESIGN REVIEW

11/20/2020



No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020
2	LANDMARKS COMMISSION	11/20/2020

**5 DURHAM STREET**  
**ROOF DECK ALTERATIONS & STAIR EXTENSION**

**ARCHITECTURAL SITE PLAN - OVERALL**

Project number: 025  
Date: 11/20/2020

**A101**

Scale: 12" = 1'-0"

1D Huntington Avenue/Prudential Center District

1D Huntington Avenue/Prudential Center District

**PROJECT LOCATION:**  
5 DURHAM STREET

GRAPHIC LEGEND

**Studio 1609**

350 Harrison Avenue, Apt 612  
Boston, MA 02118



1 LEVEL 1 - OVERALL SITE PLAN  
SCALE: 1" = 40'-0"

NOT FOR  
CONSTRUCTION

No.	Description	Date

5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

BLOCK PLAN

Project number	025
Date	11/20/2020

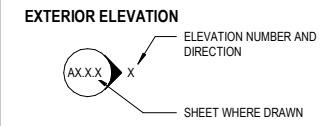
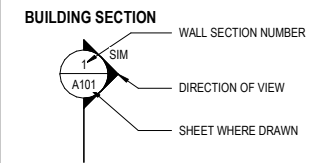
A102

Scale	1" = 40'-0"
-------	-------------

# Studio 1609

350 Harrison Avenue, Apt 612  
Boston, MA 02118

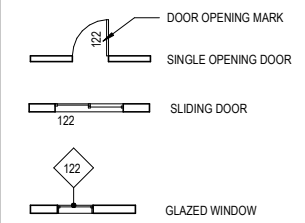
## GRAPHIC LEGEND



**ROOM NAME AND SQUARE FOOT**

Room Name  
101 SF

**DOOR AND INTERIOR OPENINGS**



**SCOPE**



## GENERAL SHEET NOTES

- A. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.
- B. EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND VISUAL FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

NOT FOR  
CONSTRUCTION

No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020
2	LANDMARKS COMMISSION	11/20/2020

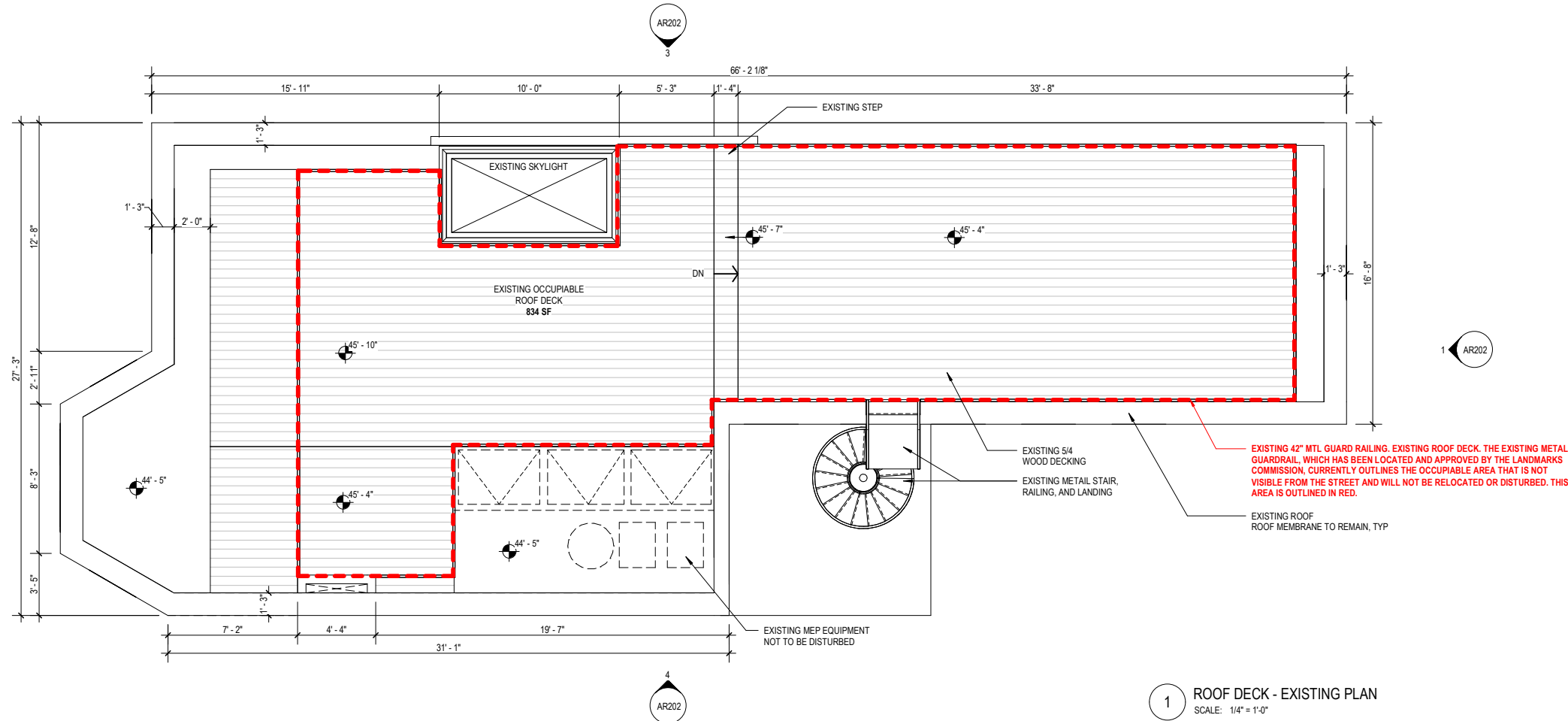
5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

EXISTING ROOF DECK  
PLAN

Project number	025
Date	11/20/2020

AR201

Scale As indicated



1 ROOF DECK - EXISTING PLAN  
SCALE: 1/4" = 1'-0"

**GRAPHIC LEGEND**

**GENERAL SHEET NOTES**

- A. THE TERM "REFERENCE" ELEVATION OR DIMENSIONS REFERS TO A NOMINAL WORK POINT. THE ACTUAL ELEVATION MAY VARY FROM THE REFERENCE POINT. REFER TO APPLICABLE DETAIL TO DETERMINE THE RELATIONSHIP BETWEEN THE ACTUAL ELEVATION OR DIMENSION AND THE STATED REFERENCE POINT.
- B. THE DESIGN REFERENCE ELEVATION +0'-0" SHOWN ON THE ARCHITECTURAL DRAWINGS CORRESPONDS TO THE FINISH FLOOR ELEVATION OF THE GROUND FLOOR. ESTABLISH THE ACTUAL ELEVATION WITH RESPECT TO SITE-SPECIFIC BENCHMARKS AND CONTROL POINTS AS DEFINED IN THE CIVIL DRAWINGS.
- C. "FINISH FLOOR" ELEVATIONS ARE MEASURED AT THE TOP OF THE CONCRETE FLOOR SLAB UNLESS OTHERWISE NOTED. APPLIED FINISHES SUCH AS RESILIENT FLOORING OR CARPET MAY RAISE THE ACTUAL FINISH SURFACE ABOVE THE REFERENCE ELEVATION PROVIDED FOR THE FINISH FLOOR.
- D. WHERE CONCRETE FLOOR SLAB IS DEPRESSED TO ACCOMMODATE MORTAR BEDS, SETTING BEDS, RAISED ACCESS FLOORS, AND OTHER SIMILAR FLOOR ASSEMBLIES, "FINISHED FLOOR" ELEVATIONS ARE MEASURED AS IF CONCRETE DEPRESSION DOES NOT OCCUR.
- E. CEILING HEIGHT ELEVATIONS ARE MEASURED TO BOTTOM OF FINISH SURFACES AND STATED IN RELATION TO DISTANCE ABOVE THE REFERENCE ELEVATION FOR THE FINISH FLOOR UNLESS OTHERWISE NOTED.
- F. ROOF ELEVATIONS ARE MEASURED TO TOP OF SURFACES AND STATED IN RELATION TO DISTANCE ABOVE THE REFERENCE ELEVATION PROVIDED FOR THE UPPERMOST FINISH FLOOR UNLESS OTHERWISE NOTED. ELEVATIONS GIVEN ARE TO TOP OF STEEL (TOS), TOP OF DECK (TOD), OR TOP OF TAPERED INSULATION (TOT) UNLESS OTHERWISE NOTED.
- G. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.

NOT FOR  
CONSTRUCTION

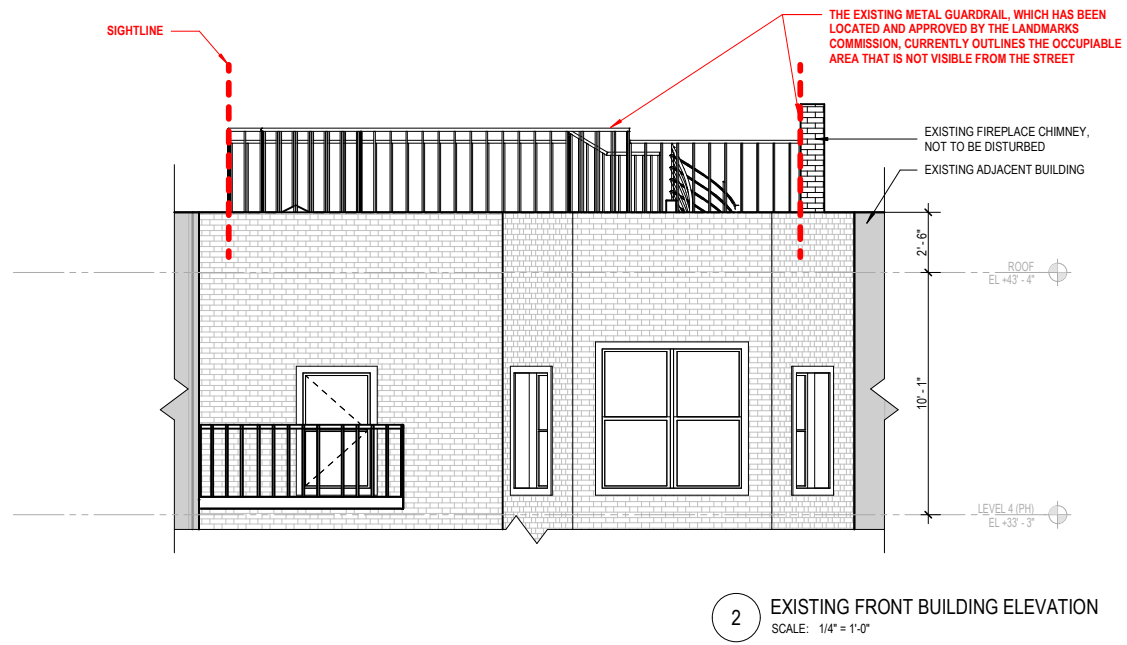
No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020
2	LANDMARKS COMMISSION	11/20/2020

**5 DURHAM STREET**  
**ROOF DECK**  
**ALTERATIONS &**  
**STAIR EXTENSION**

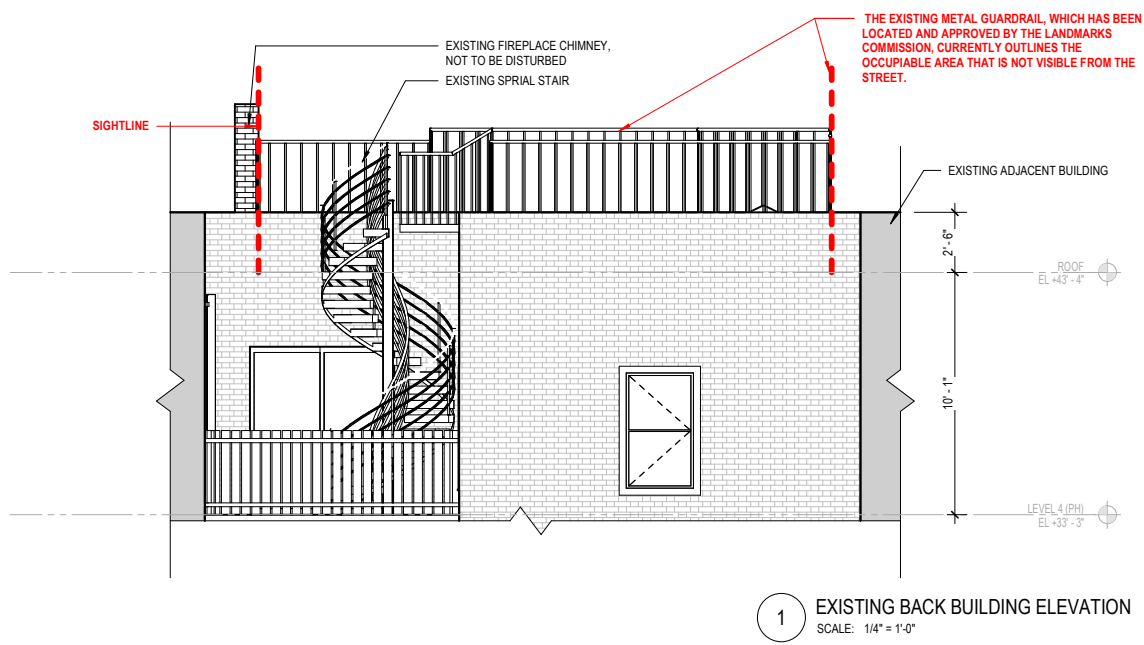
**EXISTING EXTERIOR**  
**BUILDING ELEVATIONS**

Project number 025  
Date 11/20/2020

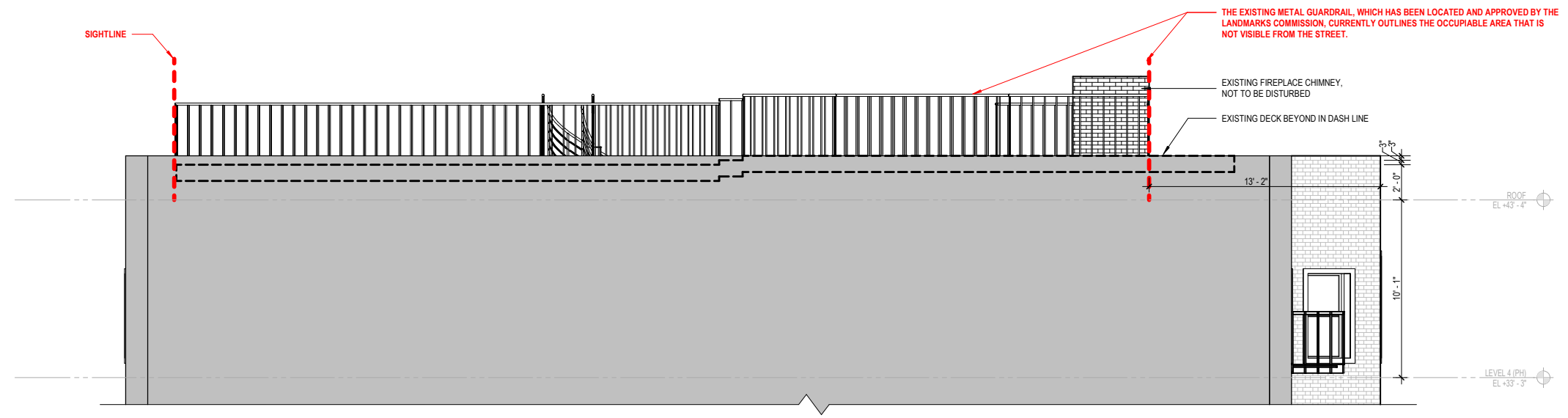
**AR202**  
Scale As indicated



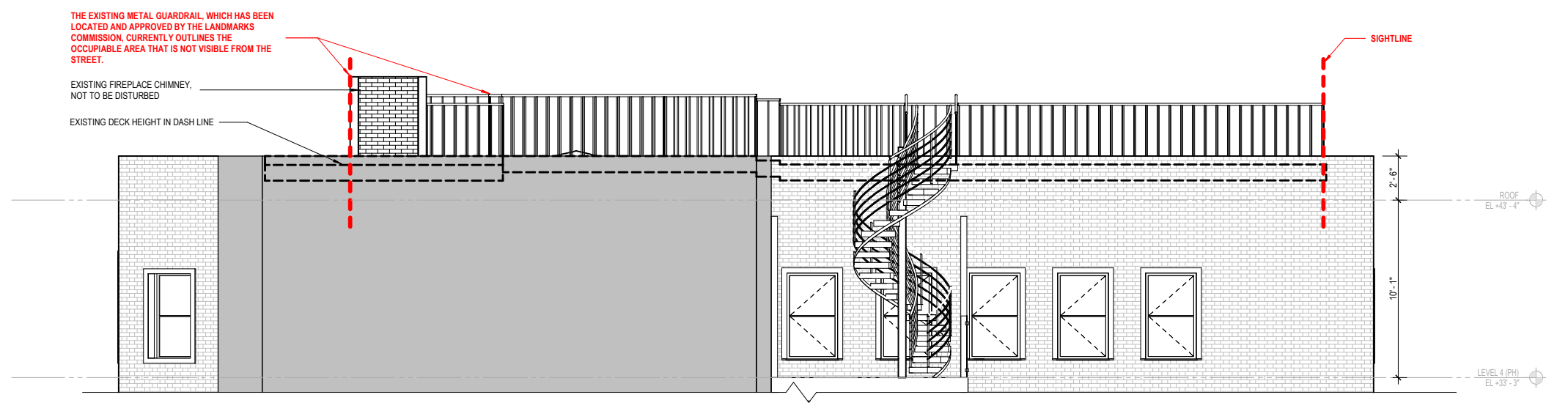
**2 EXISTING FRONT BUILDING ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXISTING BACK BUILDING ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EXISTING EAST BUILDING ELEVATION**  
SCALE: 1/4" = 1'-0"

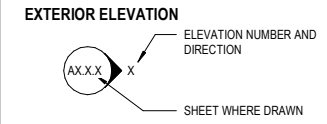
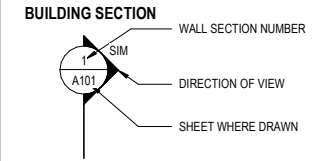


**4 EXISTING WEST BUILDING ELEVATION**  
SCALE: 1/4" = 1'-0"

# Studio 1609

350 Harrison Avenue, Apt 612  
Boston, MA 02118

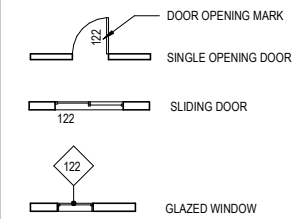
## GRAPHIC LEGEND



**ROOM NAME AND SQUARE FOOT**

Room Name  
101 SF

**DOOR AND INTERIOR OPENINGS**



**SCOPE**



## GENERAL SHEET NOTES

- REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.
- EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND VISUAL FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

NOT FOR CONSTRUCTION

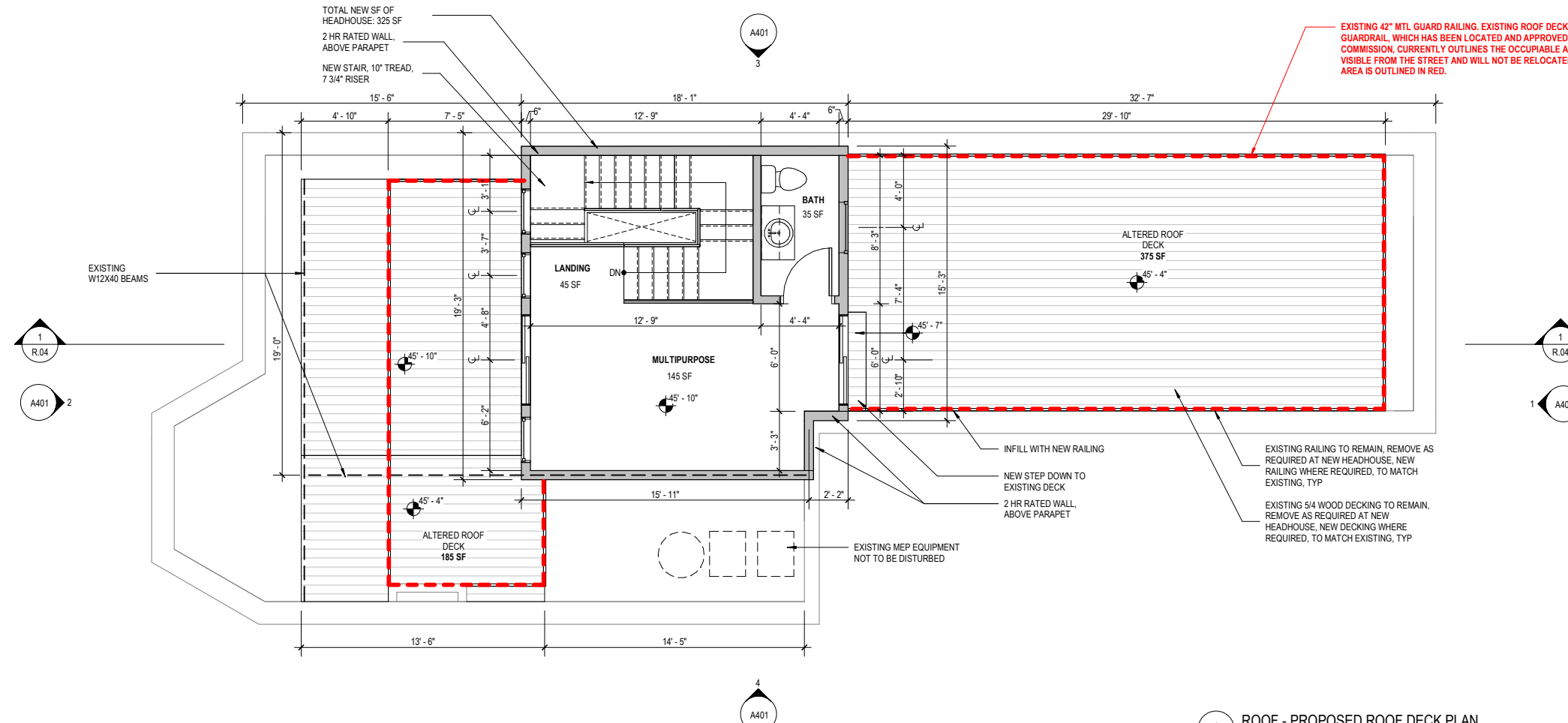
No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020
2	LANDMARKS COMMISSION	11/20/2020

5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

NEW HEAD HOUSE FLOOR  
PLAN

Project number 025  
Date 11/20/2020

Scale A201 As indicated



1 ROOF - PROPOSED ROOF DECK PLAN  
SCALE: 1/4" = 1'-0"

## GRAPHIC LEGEND

## GENERAL SHEET NOTES

- THE TERM "REFERENCE" ELEVATION OR DIMENSIONS REFERS TO A NOMINAL WORK POINT. THE ACTUAL ELEVATION MAY VARY FROM THE REFERENCE POINT. REFER TO APPLICABLE DETAIL TO DETERMINE THE RELATIONSHIP BETWEEN THE ACTUAL ELEVATION OR DIMENSION AND THE STATED REFERENCE POINT.
- THE DESIGN REFERENCE ELEVATION +0'-0" SHOWN ON THE ARCHITECTURAL DRAWINGS CORRESPONDS TO THE FINISH FLOOR ELEVATION OF THE GROUND FLOOR. ESTABLISH THE ACTUAL ELEVATION WITH RESPECT TO SITE-SPECIFIC BENCHMARKS AND CONTROL POINTS AS DEFINED IN THE CIVIL DRAWINGS.
- "FINISH FLOOR" ELEVATIONS ARE MEASURED AT THE TOP OF THE CONCRETE FLOOR SLAB UNLESS OTHERWISE NOTED. APPLIED FINISHES SUCH AS RESILIENT FLOORING OR CARPET MAY RAISE THE ACTUAL FINISH SURFACE ABOVE THE REFERENCE ELEVATION PROVIDED FOR THE FINISH FLOOR.
- WHERE CONCRETE FLOOR SLAB IS DEPRESSED TO ACCOMMODATE MORTAR BEDS, SETTING BEDS, RAISED ACCESS FLOORS, AND OTHER SIMILAR FLOOR ASSEMBLIES, "FINISHED FLOOR" ELEVATIONS ARE MEASURED AS IF CONCRETE DEPRESSION DOES NOT OCCUR.
- CEILING HEIGHT ELEVATIONS ARE MEASURED TO BOTTOM OF FINISH SURFACES AND STATED IN RELATION TO DISTANCE ABOVE THE REFERENCE ELEVATION FOR THE FINISH FLOOR UNLESS OTHERWISE NOTED.
- ROOF ELEVATIONS ARE MEASURED TO TOP OF SURFACES AND STATED IN RELATION TO DISTANCE ABOVE THE REFERENCE ELEVATION PROVIDED FOR THE UPPERMOST FINISH FLOOR UNLESS OTHERWISE NOTED. ELEVATIONS GIVEN ARE TO TOP OF STEEL (TOS), TOP OF DECK (TOD), OR TOP OF TAPERED INSULATION (TOT) UNLESS OTHERWISE NOTED.
- REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.

NOT FOR  
CONSTRUCTION

No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020

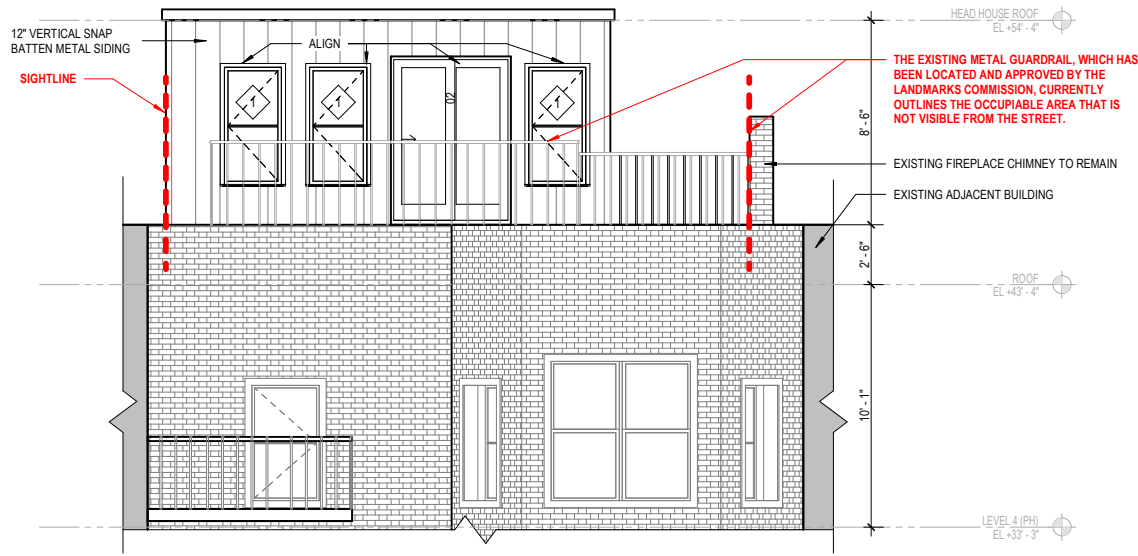
### 5 DURHAM STREET ROOF DECK ALTERATIONS & STAIR EXTENSION

### NEW EXTERIOR BUILDING ELEVATIONS

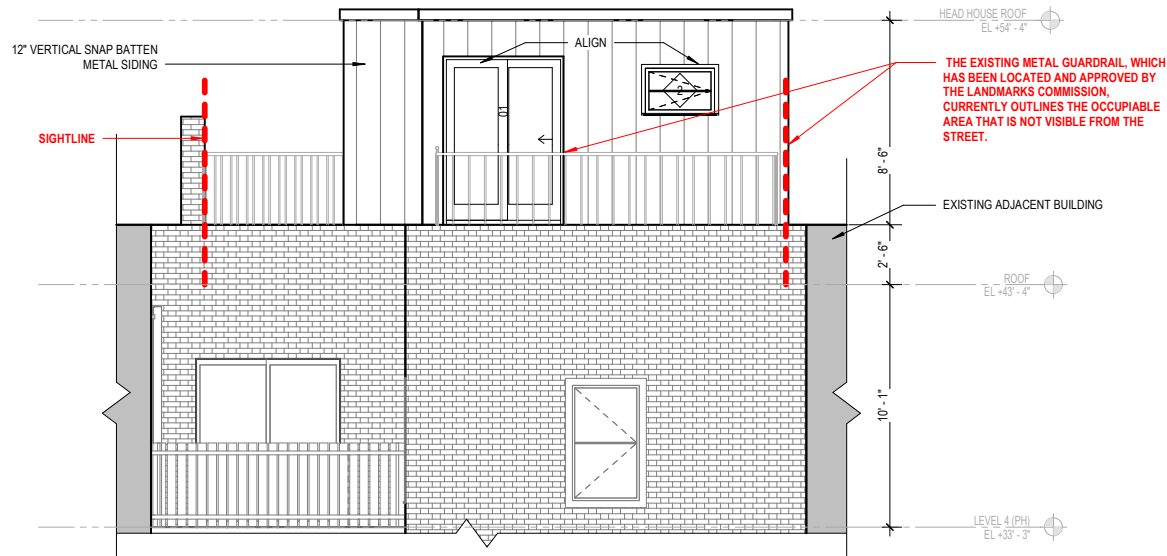
Project number	025
Date	11/20/2020

# A401

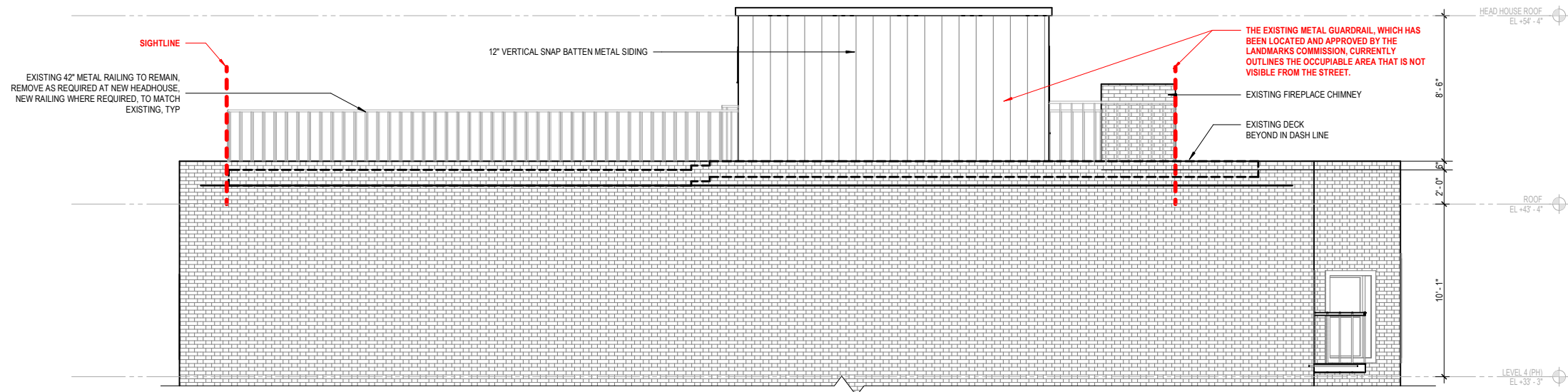
Scale: As indicated



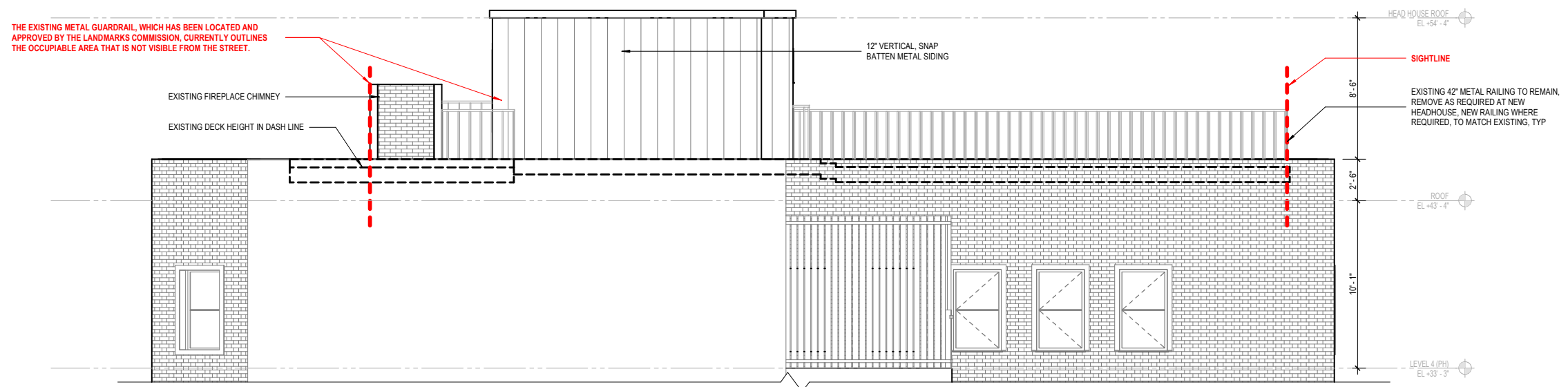
**2** NEW FRONT BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"



**1** NEW BACK BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"

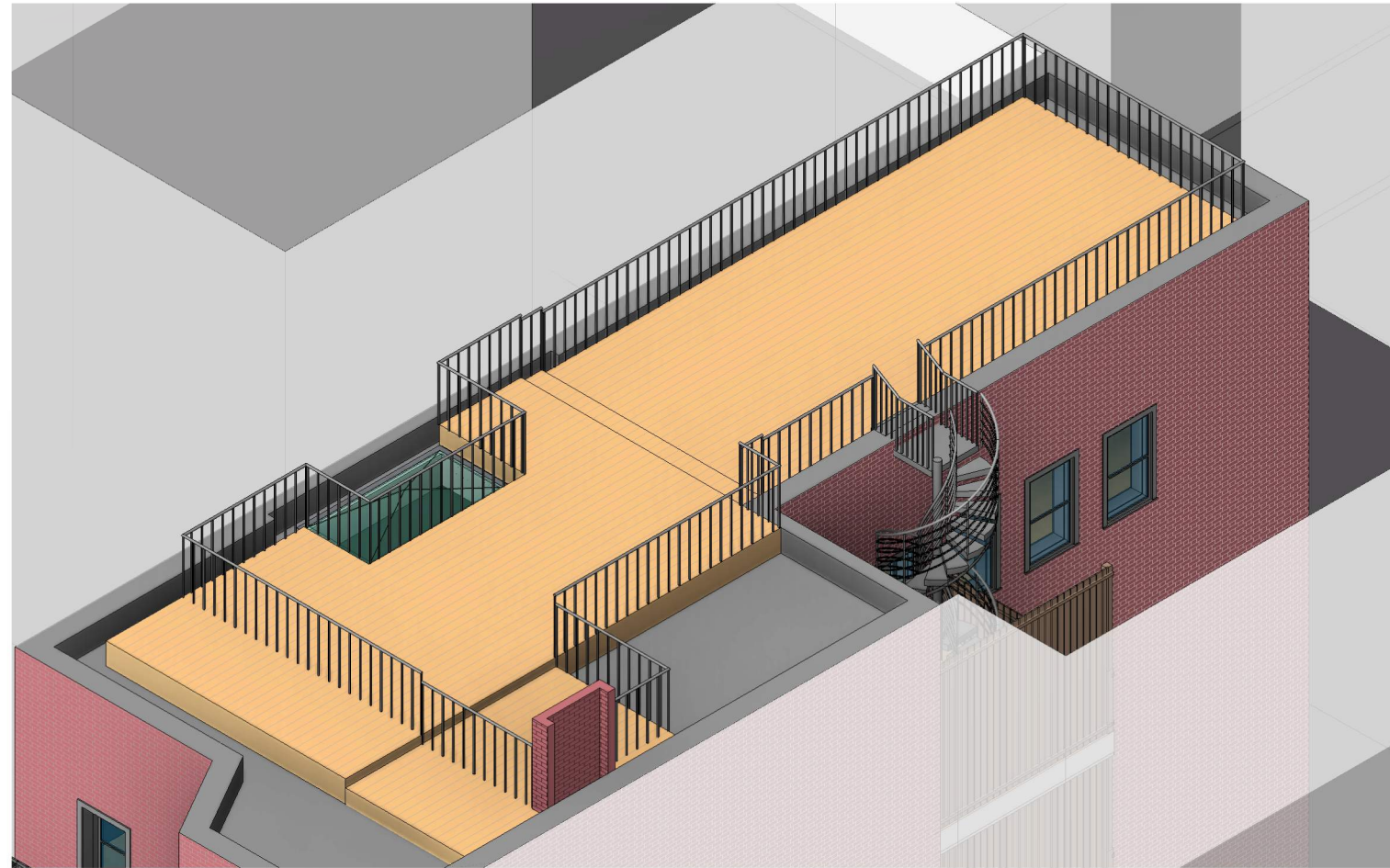


**3** NEW EAST BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"



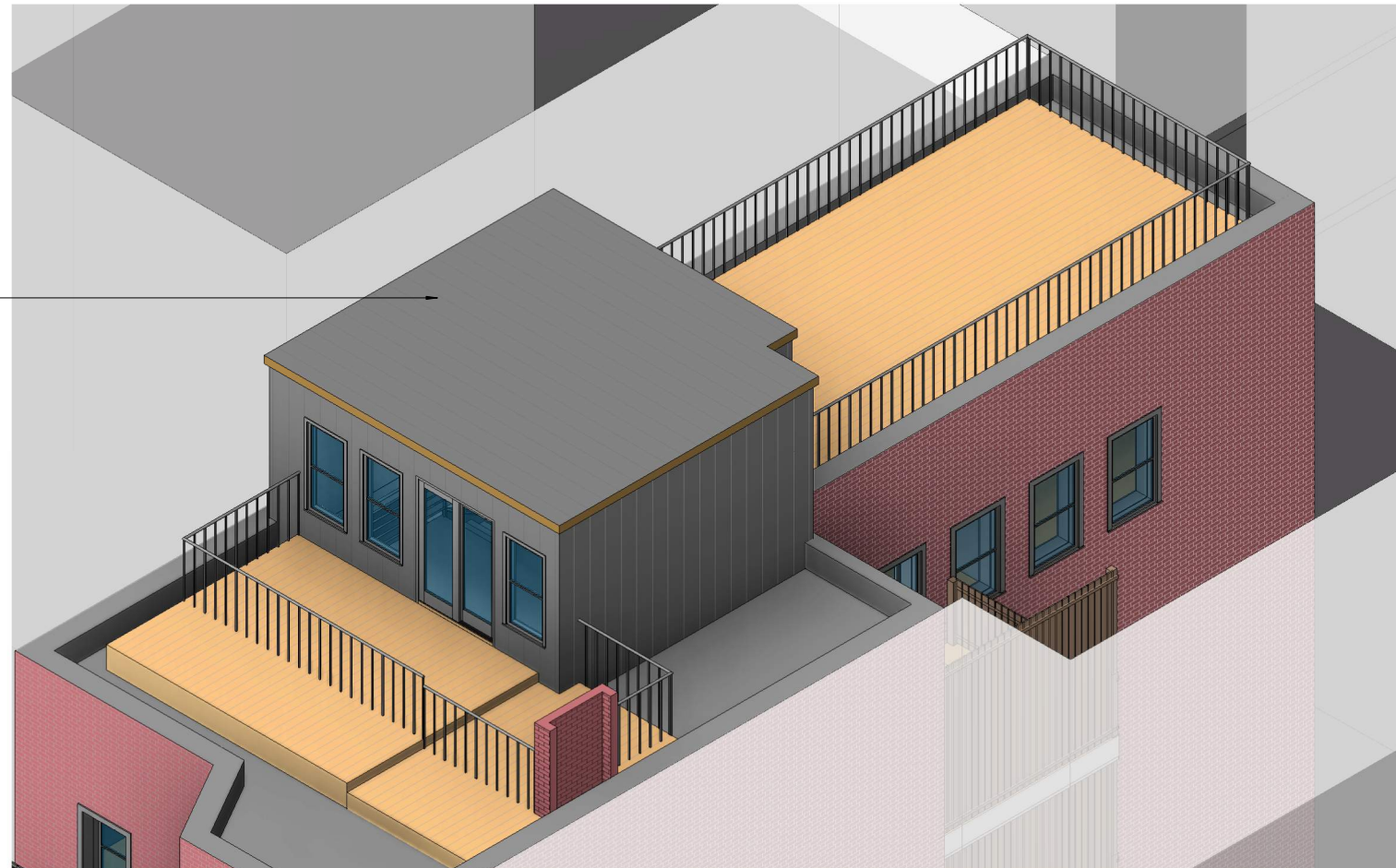
**4** NEW WEST BUILDING ELEVATION  
SCALE: 1/4" = 1'-0"

EXISTING 3D VIEW



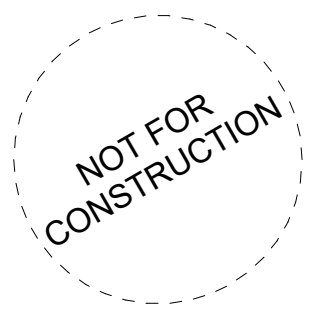
NEW CONSTRUCTION 3D VIEW

325 SF HEADHOUSE & STAIR EXTENSION



# Studio 1609

350 Harrison Avenue, Apt 612  
Boston, MA 02118



No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020

5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

REFERENCE - PROJECT 3D  
VIEWS

Project number	025
Date	11/20/2020

R.01



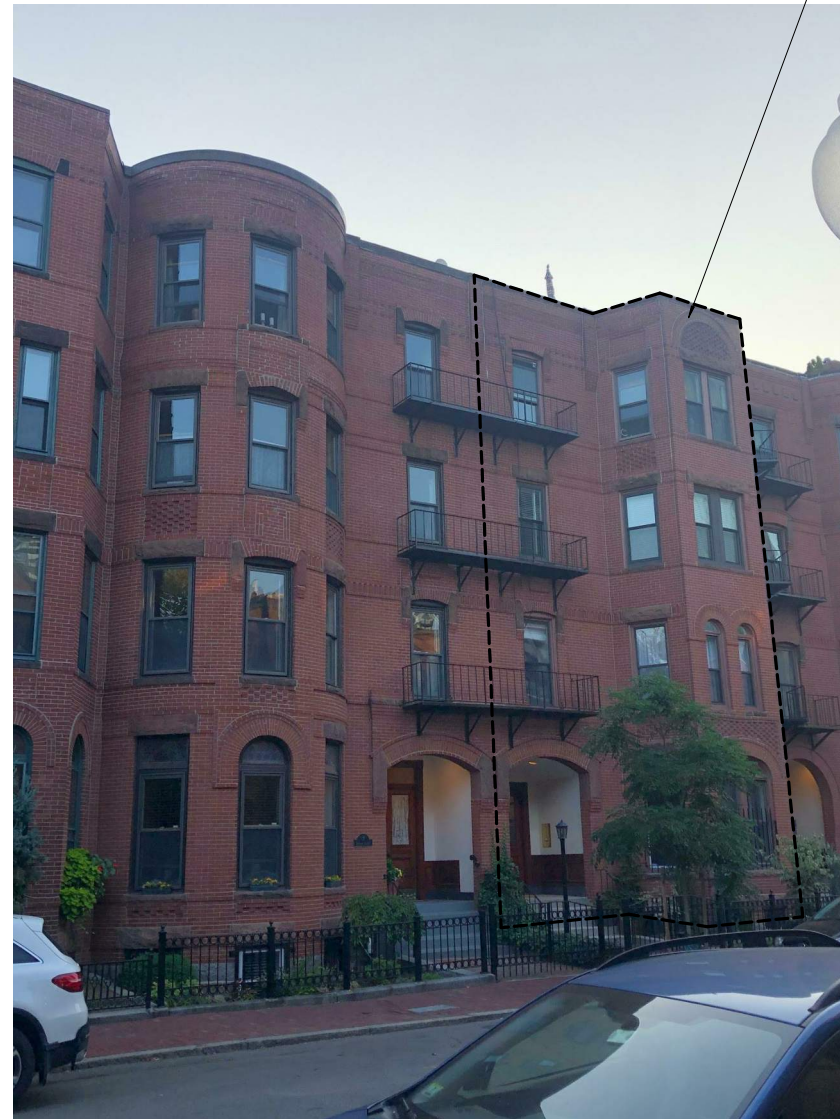
Scale



**PROJECT LOCATION:**  
HEADHOUSE TO BE SET BACK 15'-6" FROM FRONT FACING EXTERIOR FACADE, IN A  
PRE-APPROVED LANDMARK'S COMMISSION AREA OUTSIDE OF EXISTING SITE LINES



FRONT EXTERIOR PHOTO 1



FRONT EXTERIOR PHOTO 2



FRONT EXTERIOR PHOTO 3

NOT FOR  
CONSTRUCTION

No.	Description	Date
1	SCHEMATIC DESIGN SET	10/25/2020
2	LANDMARKS COMMISSION	11/20/2020

5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

EXISTING SITE  
DOCUMENTATION

Project number	025
Date	11/20/2020

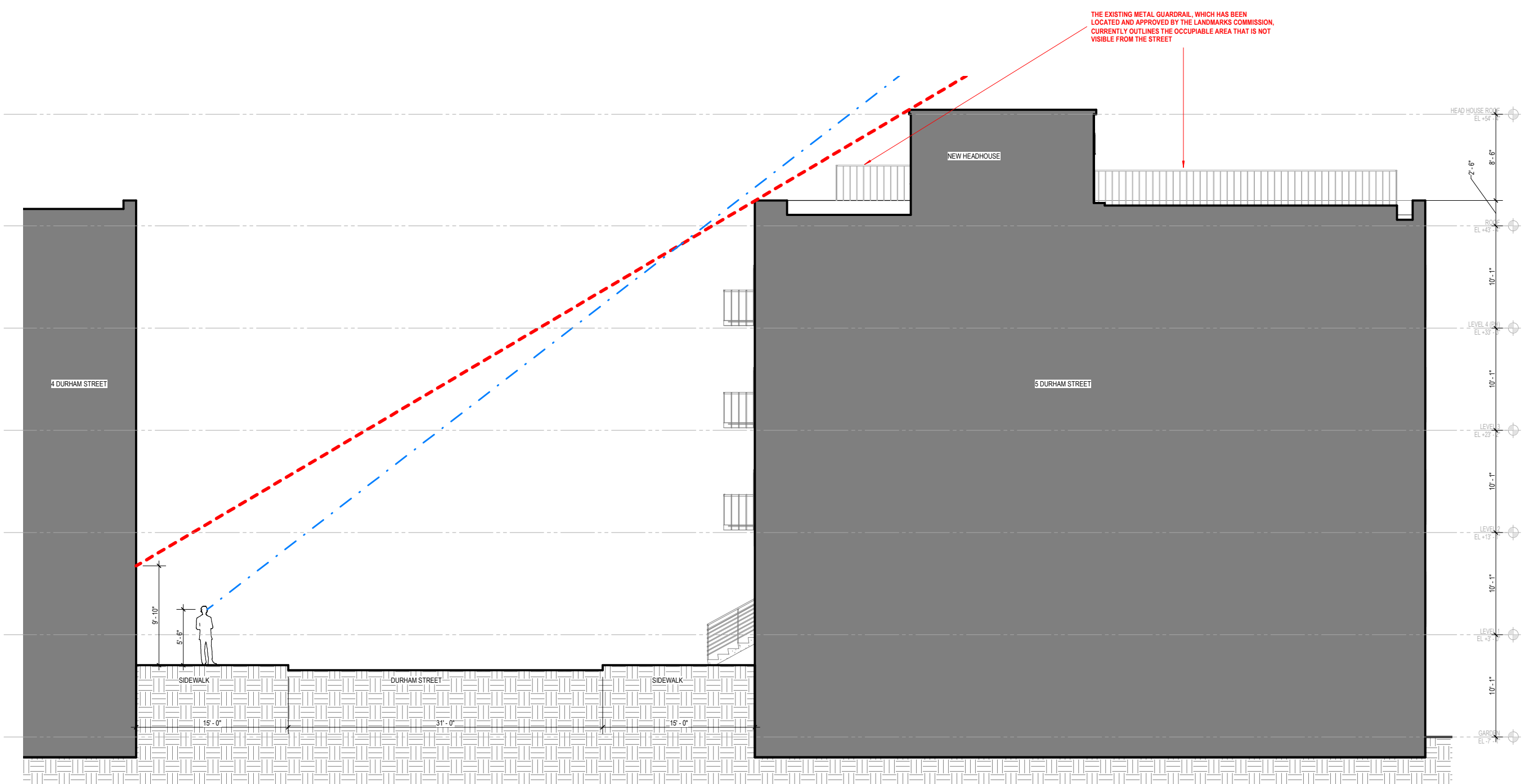
R.02



Scale

# Studio 1609

350 Harrison Avenue, Apt 612  
Boston, MA 02118



THE EXISTING METAL GUARDRAIL, WHICH HAS BEEN LOCATED AND APPROVED BY THE LANDMARKS COMMISSION, CURRENTLY OUTLINES THE OCCUPIABLE AREA THAT IS NOT VISIBLE FROM THE STREET

NOT FOR CONSTRUCTION

No.	Description	Date

## 5 DURHAM STREET ROOF DECK ALTERATIONS & STAIR EXTENSION

### SIGHTLINES SECTION DIAGRAM

Project number	025
Date	11/20/2020

R.03



Scale	3/16" = 1'-0"
-------	---------------

1 SIGHTLINE VISIBILITY - FULL SITE SECTION  
SCALE: 3/16" = 1'-0"

EXISTING ROOF DECK. THE EXISTING METAL GUARDRAIL, WHICH HAS BEEN LOCATED AND APPROVED BY THE LANDMARKS COMMISSION, CURRENTLY OUTLINES THE OCCUPIABLE AREA THAT IS NOT VISIBLE FROM THE STREET AND WILL NOT BE RELOCATED OR DISTURBED.



EXISTING ROOF DECK PHOTO 1

EXISTING ADJACENT HEAD HOUSES



EXISTING ROOF DECK PHOTO 2



EXISTING ROOF DECK PHOTO 3

NOT FOR CONSTRUCTION

No.	Description	Date
1	LANDMARKS COMMISSION	11/20/2020

5 DURHAM STREET  
ROOF DECK  
ALTERATIONS &  
STAIR EXTENSION

EXISTING SITE  
DOCUMENTATION

Project number	025
Date	11/20/2020

R.04



Scale