

Checklist for Filing a Notice of Intent with Boston Conservation Commission

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission Staff: 617-635-3850 (cc@boston.gov).

Please Submit the Following to the Conservation Commission:

- Two copies (a signed original and 1 copy) of a completed Notice of Intent (WPA Form 3)
- Two copies (a signed original and 1 copy) of a completed Boston Notice of Intent (Local Form)
- Two copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, grading and spot elevations and all wetland resource areas and associated buffer zones. Some projects may require both an aerial view of the plans along with a profile view of plans depending on the scope of work.
- Two copies of an 8 ½" x 11" section of the [USGS quadrangle map](#) of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- (If applicable) Two copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- Two copies of the determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the [Natural Heritage & Endangered Species Program](#) have the maps necessary to make this determination.
- (If applicable) Two hard copies of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events.
- (If applicable) A narrative detailing best management practices for stormwater management as set forth in the Stormwater Management Standards of the Massachusetts Department of Environmental Protection and any separate standards and guidelines prepared by the City and the Boston Water and Sewer Commission.
- (If applicable) Two hard copies of the Checklist for Stormwater Report
- Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.
- Any photographs related to the project representing the wetland resource areas.
- Two copies of a detailed project narrative describing the following: an overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met (listing out each performance standard); a consideration of the effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on the resource areas and proposed activities; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts. The applicant shall also include narrative on how they plan to integrate climate change and adaptation planning considerations into their project to promote climate resilience to protect and promote Resource Area Values and functions into the future.
- Two copies of an Abutters List, Affidavit of Service and [Abutter Notification](#), filed concurrently with the Notice of Intent. Abutter notices shall be sent in both English and the second most commonly spoken language(s) in the neighborhood(s) where the project is proposed. Notices shall also include Babel notice cards for additional translation and language access services. [All abutters within 300' of the project](#)

Checklist for Filing a Notice of Intent with Boston Conservation Commission

[property line](#) must be notified including those in a neighboring municipality. In such an instance, a copy of the filing must also be sent to the local Conservation Commission of the neighboring municipality.
EXCEPTION: When work is in land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the "project site."



Two copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonplans.org/planning/planning-initiatives/article-37-green-building-guidelines>. Please print the pdf that you will receive via email after completion and include it in your submission.



Electronic copies. Documents may be submitted via email, or via an email link to downloadable documents.



To minimize the use of non-recyclable materials ***please do not include vinyl or plastic binders, bindings, folders or covers with the filing.*** Staples and binder clips are good choices.

Notice of Intent



INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, "state-listed" vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581-3336
508.792.7270



A. GENERAL INFORMATION

1. Project Location

401 Wm T Marrison BLVD Dorchester 02125
 a. Street Address b. City/Town c. Zip Code

1302317000 1302317000
 f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant

JAMES ROSSMANA
 a. First Name b. Last Name c. Company

401 Wm T Marrison BLVD
 d. Mailing Address

Dorchester MA 02125
 e. City/Town f. State g. Zip Code

617 828 4324 — Jg rossmana @ RISE. Boston
 h. Phone Number i. Fax Number j. Email address

3. Property Owner

JAMES GROSSMANA 401 MARRISON BLVD LLC
 a. First Name b. Last Name c. Company

401 MARRISON BLVD
 d. Mailing Address

Dorchester MA 02125
 e. City/Town f. State g. Zip Code

617 828 4324 — Jg ROSSMANA @ RISE. Boston
 h. Phone Number i. Fax Number j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

 a. First Name b. Last Name c. Company

 d. Mailing Address

 e. City/Town f. State g. Zip Code

 h. Phone Number i. Fax Number j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Renovation and Addition to Single Family Home

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture - cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

So Ffolk 123
a. County b. Page Number

10677 _____
c. Book d. Certificate # (if registered land)

9. Total Fee Paid

\$285- \$110- \$175-
a. Total Fee Paid b. State Fee Paid c. City Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

Yes No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhesp/nhregmap.htm>.

- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area _____ percentage/acreage
- (2) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
- Applying for a Low Impact Development (LID) site design credits
 - A portion of the site constitutes redevelopment
 - Proprietary BMPs are included in the Stormwater Management System
- No. Check below & include a narrative as to why the project is exempt
- Single-family house
 - Emergency road repair
 - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

12.15.2020

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

Date

JAMES GROSSMANN JR
11 TAFT ST
DORCHESTER, MA 02125

135

11-8166/3210
76

12.15.2020
DATE

PAY TO THE
ORDER OF

City of Boston

\$ 175

— One Hundred and Seventy Five — DOLLARS



FIRST REPUBLIC BANK

160 Federal Street
Boston, MA 02110
Ph 888-408-0288 Customer Care

FOR

No 1 Con Comm

MP

⑆321081669⑆ 80008210751⑆ 00135

JAMES GROSSMANN JR
11 TAFT ST
DORCHESTER, MA 02125

136

11-8166/3210
76

12-15-2020
DATE

PAY TO THE
ORDER OF

MASS. DEP

\$ 110

— One Hundred and Ten —

DOLLARS



FIRST REPUBLIC BANK

160 Federal Street
Boston, MA 02110
Ph 888-408-0288 Customer Care

FOR

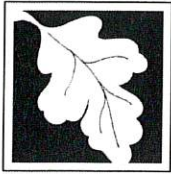
MOEP No 1

MP

⑆321081669⑆ 80008210751⑆ 00136

MASS DEP

WPA Form 3



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

City/Town _____

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

401 Wm T Morrissey Blvd
 a. Street Address

Dorchester
 b. City/Town

MA
 c. Zip Code

Latitude and Longitude:
 43.309080
 d. Latitude

-71.045940
 e. Longitude

1302317000
 f. Assessors Map/Plat Number

1302317000
 g. Parcel /Lot Number

2. Applicant:

James
 a. First Name

Grossmann
 b. Last Name

c. Organization

401 Wm T Morrissey Blvd
 d. Street Address

Dorchester
 e. City/Town

MA
 f. State

02125
 g. Zip Code

6178284324
 h. Phone Number

i. Fax Number

jgrossmann@rise.boston
 j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

James
 a. First Name

Grossmann
 b. Last Name

401 Morrissey Blvd LLC
 c. Organization

401 Wm T Morrissey Blvd
 d. Street Address

Dorchester
 e. City/Town

MA
 f. State

02125
 g. Zip Code

6178284324
 h. Phone Number

i. Fax Number

jgrossmann@rise.boston
 j. Email address

4. Representative (if any):

a. First Name _____ b. Last Name _____

c. Company _____

d. Street Address _____

e. City/Town _____ f. State _____ g. Zip Code _____

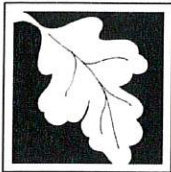
h. Phone Number _____ i. Fax Number _____ j. Email address _____

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$185
 a. Total Fee Paid

\$110
 b. State Fee Paid

\$75
 c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

City/Town

A. General Information (continued)

6. General Project Description:

Renovation and Addition to a single family home.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

10677

c. Book

b. Certificate # (if registered land)

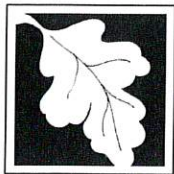
123

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced

f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland**

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

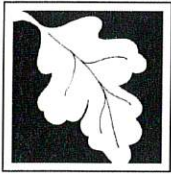
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number _____

Document Transaction Number _____

City/Town _____

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	400 _____	
	1. square feet _____	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

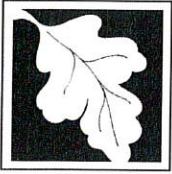
_____ a. square feet of BVW

_____ b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____ a. number of new stream crossings

_____ b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

b. Date of map _____

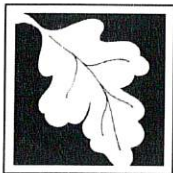
If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*
1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
 2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

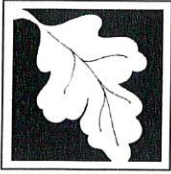
Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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City/Town

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC _____
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

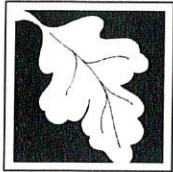
- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

City/Town

D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

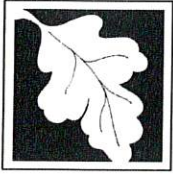
3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

12/15/2020

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

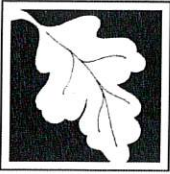
For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

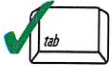
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

401 Wm T Morrissey Blvd
 a. Street Address
 00132
 c. Check number
 Dorchester
 b. City/Town
 110
 d. Fee amount

2. Applicant Mailing Address:

James
 a. First Name
 Grossmann
 b. Last Name
 c. Organization
 11 Taft Street
 d. Mailing Address
 Dorchester
 e. City/Town
 MA
 f. State
 02125
 g. Zip Code
 6178284324
 h. Phone Number
 i. Fax Number
 jgrossmann@rise.boston
 j. Email Address

3. Property Owner (if different):

a. First Name
 b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town
 f. State
 g. Zip Code
 h. Phone Number
 i. Fax Number
 j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

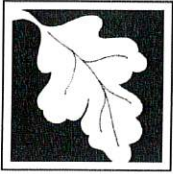
Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Catergory 1	1	110	110
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	110
	a. Total Fee from Step 5
State share of filing Fee:	110
	b. 1/2 Total Fee less \$12.50
City/Town share of filling Fee:	110

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

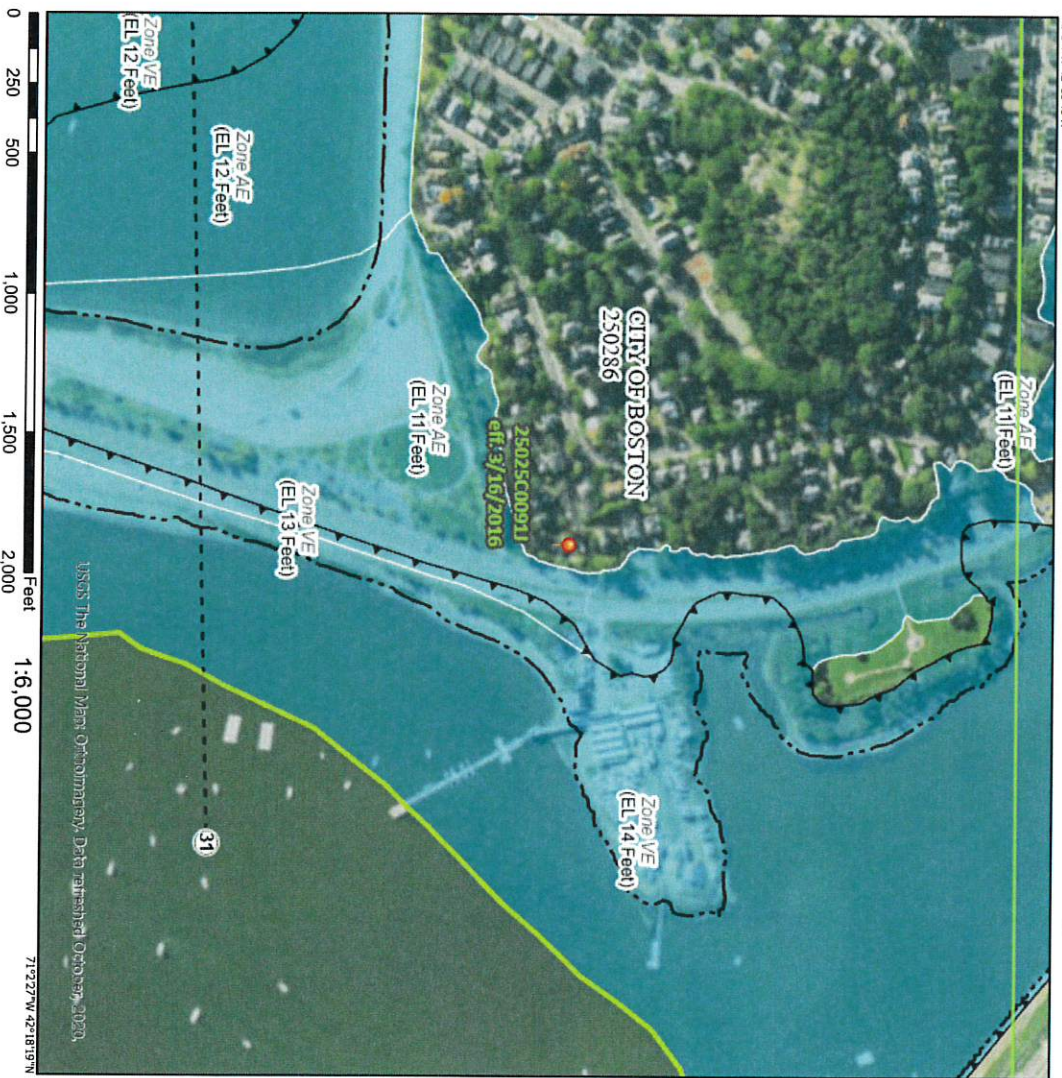
- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

FEMA FIRM

National Flood Hazard Layer FIRMette

71°3'4"W, 42°18'45"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth Zone AE, AO, AH, VE, AP
- Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levee, See Notes, Zone A

Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

- NO SPERM Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

OTHER AREAS GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance Water Surface Elevation

- 20.2
- 17.5
- Coastal Transsect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transsect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS

- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps. It is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/16/2020 at 4:24 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: Basemap imagery, flood zone labels, NFHL, and the map creation date, community identifiers, FIRN, and labels, and RHN effective date. Map images for unmapped and un-delineated areas cannot be used for regulatory purposes.

Project Plans

401 Morrissey Blvd
Project Plan Guide

Helpful Drawings

1. Existing Conditions – Feldman Surveyors Drawing
Page 3
2. Landscape Plan – MDLA Drawing L3, Page 4
3. Proposed Project Overview – EMBARC Drawing
A011, Page 16

401 MORRISSEY BLVD BOSTON, MA

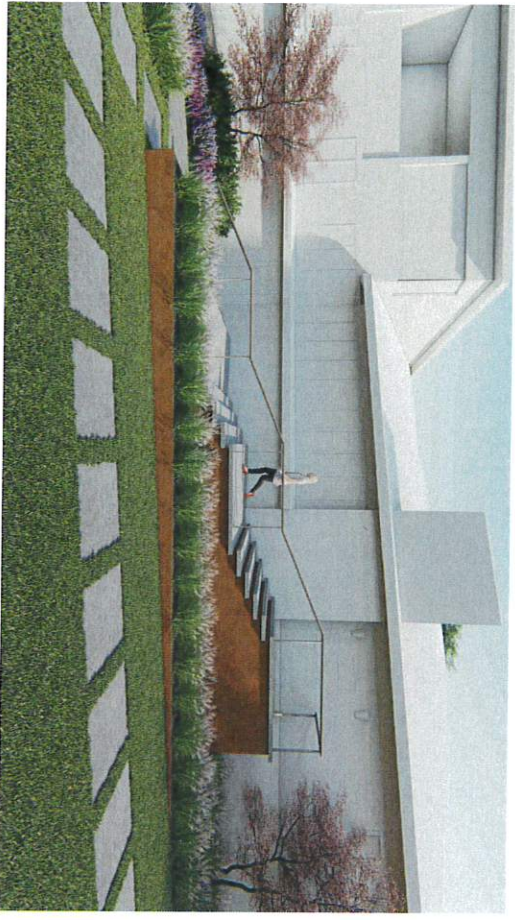
LANDSCAPE IMPROVEMENTS

BID DOCUMENTS 0/00/2020

TEAM:
LANDSCAPE ARCHITECT:
 JACOBI + FONGIO LANDSCAPE ARCHITECTURE LLC
 12 GERRARD ST. W. 2ND FLOOR
 BOSTON, MASS 02117
 T: 617.452.1100
 F: 617.452.1101
 E: JACOBI@JFAC.COM

OWNER:
 MIT CROSSMAN & LISA CHENG CHINA
 101 CROSSMAN RD. SUITE 100
 BOSTON, MA 02114
 T: 617.552.1100
 F: 617.552.1101
 E: INFO@MITCROSSMAN.COM

SHEET LIST:
 10 NOTES & SPECIFICATIONS
 11-12 GENERAL NOTES
 13 PLANTING AND IRRIGATION
 14-15 LANDSCAPE DETAILS
 16-17 LANDSCAPE DETAILS



NOTES

- INSTALLATION:**
1. CONTRACTOR TO PROVIDE SHIELDING FOR ALL 30" WATER MAINS
 2. CONTRACTOR TO PROVIDE SHIELDING FOR ALL 18" WATER MAINS
 3. PROVIDE ONE SHEET FOR ALL PRODUCTS TO BE APPROVED
 4. PROVIDE ONE SHEET FOR ALL PRODUCTS TO BE APPROVED
 5. VERIFY CONTRACTOR LOCATION WITH OWNER AND GC
 6. CONTRACTOR TO PROVIDE PROTECTIVE STRIPS AT RECORDS
- LANDSCAPE:**
1. ALL PLANTS AND MATERIALS SPECIFIED THROUGHOUT THESE DOCUMENTS ARE TO BE PROVIDED BY THE CONTRACTOR
 2. CONTRACTOR TO VERIFY ALL PLANTS AND MATERIALS ARE AVAILABLE AT THE TIME OF INSTALLATION
 3. CONTRACTOR TO VERIFY ALL PLANTS AND MATERIALS ARE AVAILABLE AT THE TIME OF INSTALLATION
 4. CONTRACTOR TO VERIFY ALL PLANTS AND MATERIALS ARE AVAILABLE AT THE TIME OF INSTALLATION
 5. ALL PLANTS AND MATERIALS TO BE PROVIDED BY THE CONTRACTOR
 6. CONTRACTOR TO VERIFY ALL PLANTS AND MATERIALS ARE AVAILABLE AT THE TIME OF INSTALLATION
- ROCKS/STONE/GRIT:**
1. ALL ROCKS/STONE/GRIT TO BE PROVIDED BY THE CONTRACTOR
 2. CONTRACTOR TO VERIFY ALL ROCKS/STONE/GRIT ARE AVAILABLE AT THE TIME OF INSTALLATION
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- PAVING:**
1. ALL PAVING TO BE PROVIDED BY THE CONTRACTOR
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- IRRIGATION:**
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- CONCRETE:**
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- WOOD:**
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- FINISHES:**
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COVER & NOTES

10

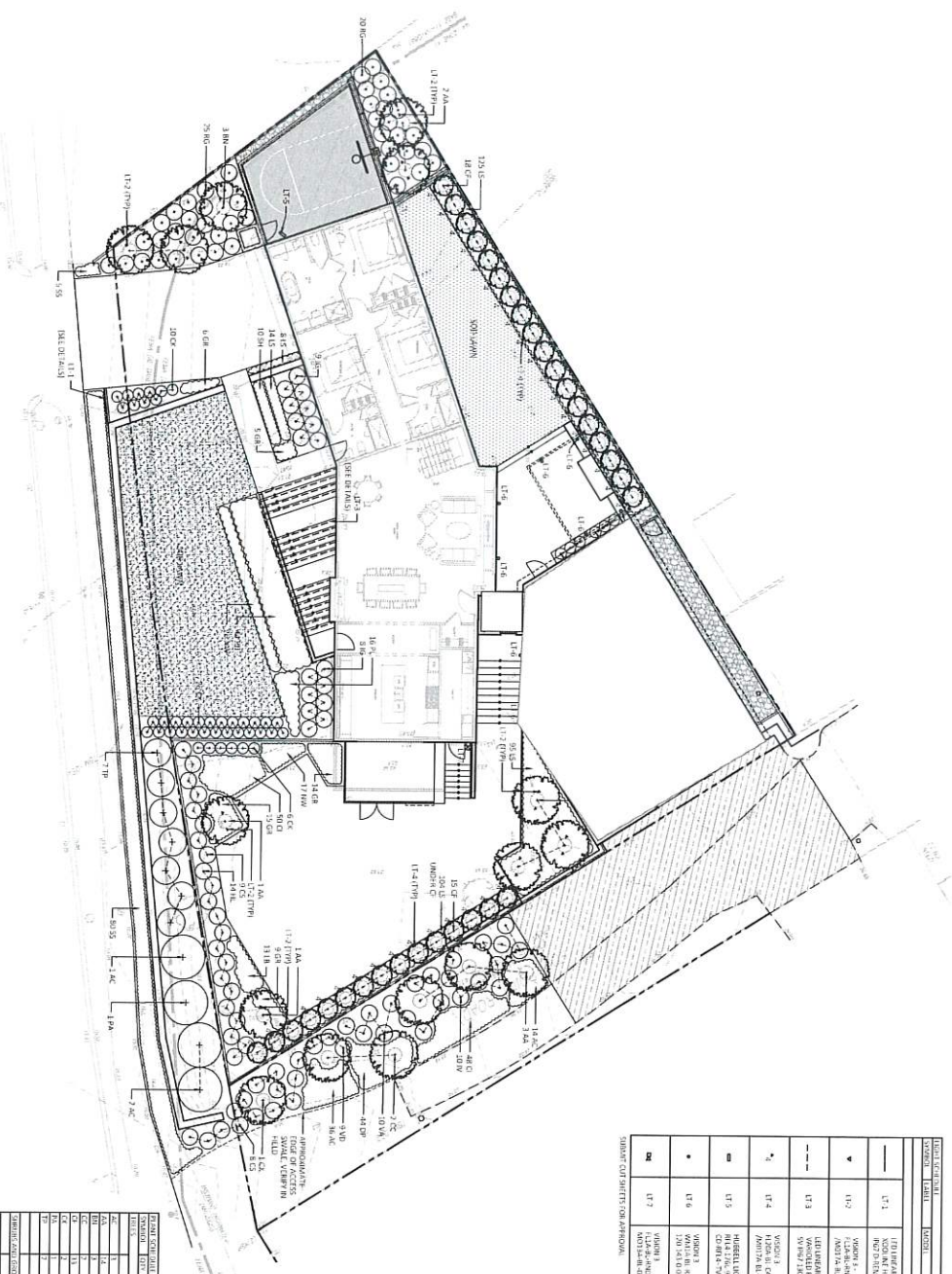
SHEET 1 OF 8

401 MORRISSEY BLVD
BOSTON, MA 02125

MDLA
 MICHIGAN DESIGN LANDSCAPE ARCHITECTS
 1000 WESTLAND AVENUE, SUITE 100
 WESTLAND, MI 48090
 TEL: 313.487.1100
 FAX: 313.487.1101
 WWW.MDLA.COM

1 LANDSCAPE PLANTING AND LIGHTING PLAN

SCALE: 1" = 10'-0"



NO.	SYMBOL	DESCRIPTION	NOTES	DATE
1	L1-1	WALKWAY LIGHT	10' ON CENTER	10/15/18
2	L1-2	WALKWAY LIGHT	10' ON CENTER	10/15/18
3	L1-3	WALKWAY LIGHT	10' ON CENTER	10/15/18
4	L1-4	WALKWAY LIGHT	10' ON CENTER	10/15/18
5	L1-5	WALKWAY LIGHT	10' ON CENTER	10/15/18
6	L1-6	WALKWAY LIGHT	10' ON CENTER	10/15/18
7	L1-7	WALKWAY LIGHT	10' ON CENTER	10/15/18
8	L1-8	WALKWAY LIGHT	10' ON CENTER	10/15/18
9	L1-9	WALKWAY LIGHT	10' ON CENTER	10/15/18
10	L1-10	WALKWAY LIGHT	10' ON CENTER	10/15/18
11	L1-11	WALKWAY LIGHT	10' ON CENTER	10/15/18
12	L1-12	WALKWAY LIGHT	10' ON CENTER	10/15/18
13	L1-13	WALKWAY LIGHT	10' ON CENTER	10/15/18
14	L1-14	WALKWAY LIGHT	10' ON CENTER	10/15/18
15	L1-15	WALKWAY LIGHT	10' ON CENTER	10/15/18
16	L1-16	WALKWAY LIGHT	10' ON CENTER	10/15/18
17	L1-17	WALKWAY LIGHT	10' ON CENTER	10/15/18

PLANTING

1. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
2. PLANTS SHALL BE THE SPECIES AND VARIETY PROVIDED AND BE REVEGETATED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
3. THE PROJECT SUBMITTALS SHALL BE REVEGETATED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
4. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
5. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
6. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
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11. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.
12. PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BOSTON PLANTING SPECIFICATIONS.

SYMBOL	PLANT NAME	PLANT SIZE	QUANTITY	DATE
L1-1	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-2	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-3	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-4	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-5	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-6	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-7	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-8	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-9	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-10	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-11	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-12	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-13	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-14	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-15	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-16	WALKWAY LIGHT	10' ON CENTER	17	10/15/18
L1-17	WALKWAY LIGHT	10' ON CENTER	17	10/15/18

401 MORRISSEY BLVD
BOSTON, MA 02125

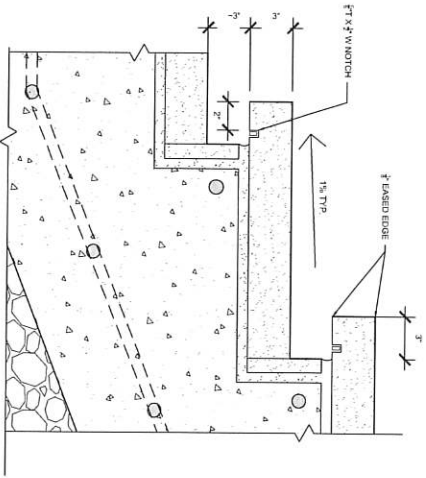


L3

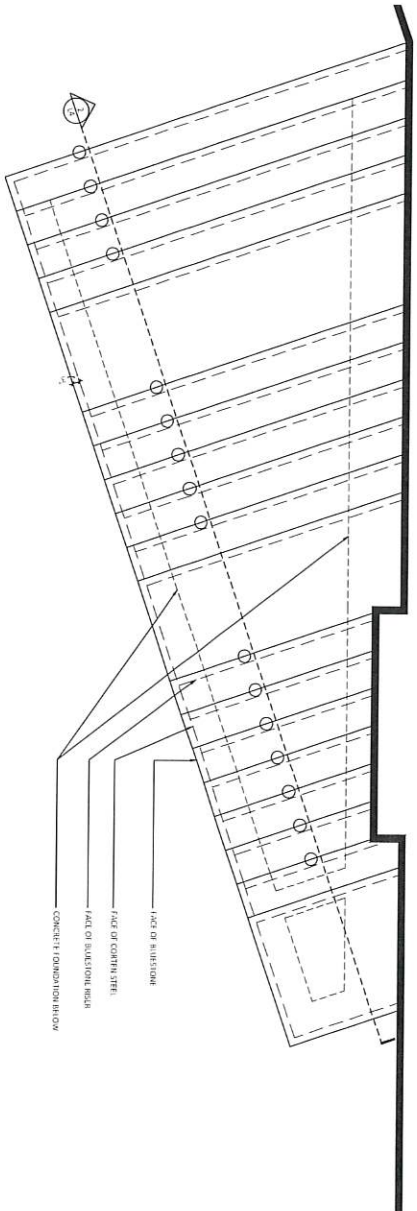
PLANTING AND LIGHTING PLAN

PLANT SCHEDULE

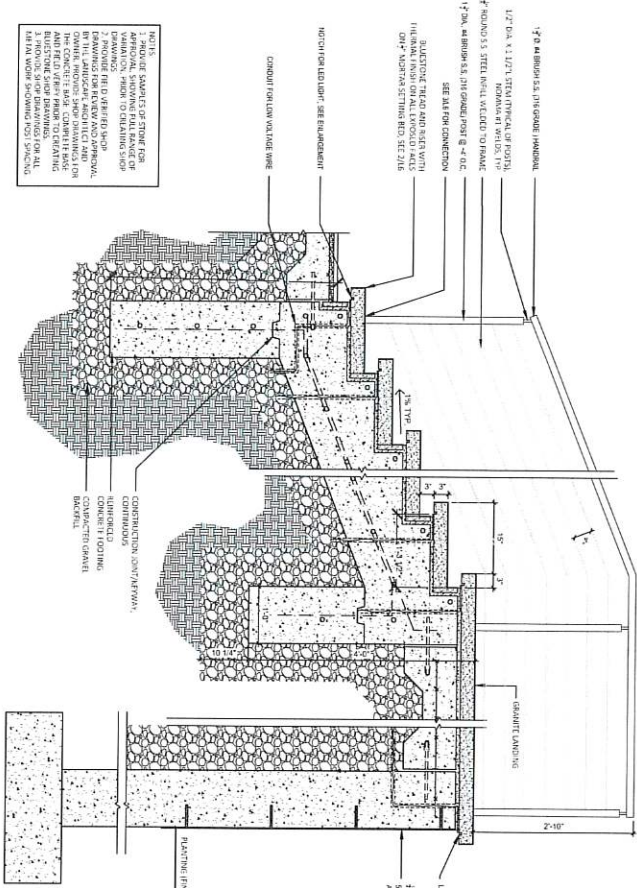
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AC	3	ABIES CONCOLOR	WHITE FIR	10' TALL	B&B, MATCHED
AA	14	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY	7' HT	MULTI-STEM
BN	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVERBIRCH	12' HT	MULTI-STEM
CC	2	CERCIS CANADENSIS	EASTERN RED BUD	7' HT	MULTI-STEM
CF	33	CARPINUS 'FRANS FONTAINE'	FONTAINE HORNBEAM	12' TALL	B&B, MATCHED
CX	2	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS	6' TALL	B&B, MATCHED
PA	1	PICEA ABIES	NORWAY SPRUCE	10' TALL	B&B, MATCHED
TP	7	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	10' TALL	B&B, MATCHED
SHRUBS AND GROUNDCOVER					
IG	16	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3'-3.5' TALL	36" O.C. B&B
TH	4	TAXUS X 'HICKSII'	HICKS YEW	3'-3.5' TALL	24" O.C. B&B
RG	25	RHUS 'GRO LOW'	GROW LOW SUMAC	3 GAL	36" O.C. B&B
CS	9	CORNUS SERICEA 'ARCTIC FIRE'	DWARF RED TWIG	5 GAL	36" O.C. B&B
HL	14	HYDRANGEA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	5 GAL	36" O.C. B&B
MP	0	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	5 GAL	48" O.C. B&B
IV	0	ILEX VERTICILLATA	WINTERBERRY	5 GAL	36" O.C. B&B
VD	0	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	5 GAL	36" O.C. B&B
VA	0	VACCINIUM ANGSTIFOLIUM	LOWBUSH BLUEBERRY	5 GAL	36" O.C. B&B
PERENNIALS AND ORNAMENTAL GRASSES					
AC	0	ASTILBE CHINENSIS 'PURPURKERZE'	ASTILBE	2 GAL	18" O.C. CONTAINER
CK	31	CALAMAGROSTIS X A. 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL	24" O.C. CONTAINER
RF	0	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYE SUSAN	1 GAL	18" O.C. CONTAINER
PL	16	PEROVSKIA A. 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL	18" O.C. CONTAINER
DP	0	DENNSTADTIA PUNCTILOBULA	HAYSCENTED FERN	1 GAL	18" O.C. CONTAINER
LB	13	LEUCANTHEMUM 'BECKY'	BECKY DAISY	1 GAL	18" O.C. CONTAINER
PH	61	PENNISETUM A. 'HAMELN'	HAMELN FOUNTAIN GRASS	2 GAL	24" O.C. CONTAINER
NW	39	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	18" O.C. CONTAINER
GR	20	GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	1 GAL	18" O.C. CONTAINER
LS	242	LIRIOPE SPICATA	CREeping LIRIOPE	1 GAL	15" O.C. CONTAINER
CI	50	CAREX MORROW 'ICE DANCE'	ICE DANCE SEDGE	1 GAL	18" O.C. CONTAINER
SH	10	SALVIA S. 'SNOW HILL'	SNOW HILL SALVIA	1 GAL	18" O.C. CONTAINER
SS	XX	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL	30" O.C. CONTAINER



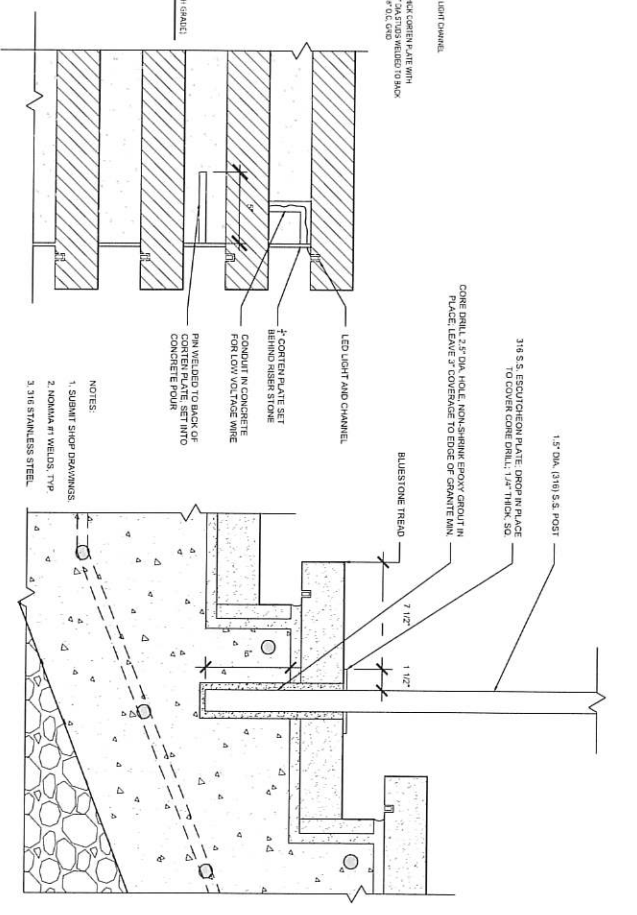
1 TREAD ENLARGEMENT
SCALE: 3/4"=1'-0"



3 FLOATING BLUESTONE STAIRS - PLAN ENLARGEMENT
SCALE: 1/4"=1'-0"



2 FLOATING BLUESTONE STAIRS - CROSS-SECTION
SCALE: 1/4"=1'-0"

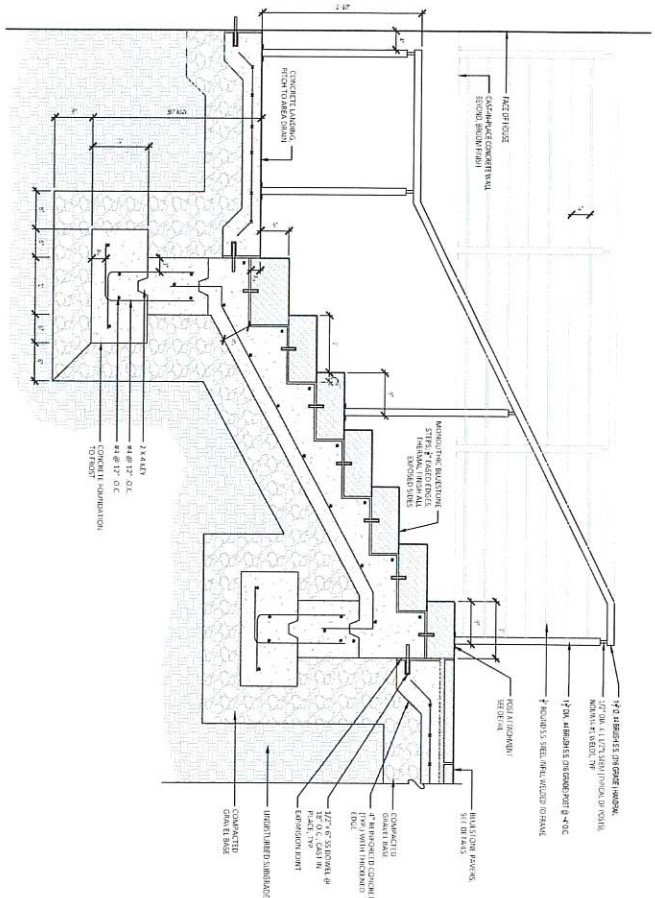


4 TREAD / CORTINA SECTION-ELEVATION
SCALE: 3/4"=1'-0"

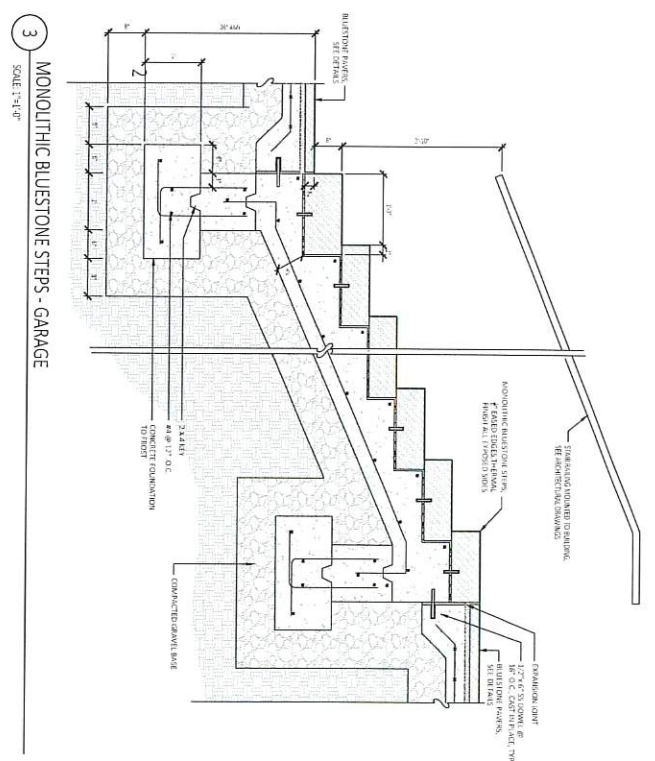
5 POST BASE ENLARGEMENT
SCALE: 3/4"=1'-0"

NOTES:
1. THE GRANITE STAIRS FOR APPROVAL, SHOWING THE BAND OF GRANITE AND THE BAND OF GRANITE ON THE INSIDE OF THE STAIRS. PROVIDE THE GRANITE STAIRS IN THE LANDSCAPE, AND IN CONTACT WITH THE CONCRETE AND GRANITE RISER. PROVIDE THE GRANITE STAIRS IN CONTACT WITH THE CONCRETE AND GRANITE RISER. PROVIDE THE GRANITE STAIRS IN CONTACT WITH THE CONCRETE AND GRANITE RISER.

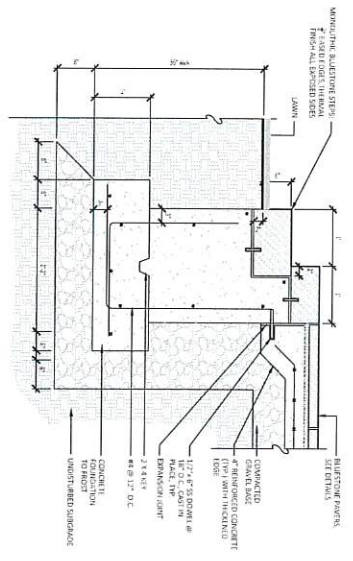
NOTES:
1. SUBMIT SHOP DRAWINGS
2. NOMINA #1 WELD, TYP
3. 3/16 STAINLESS STEEL



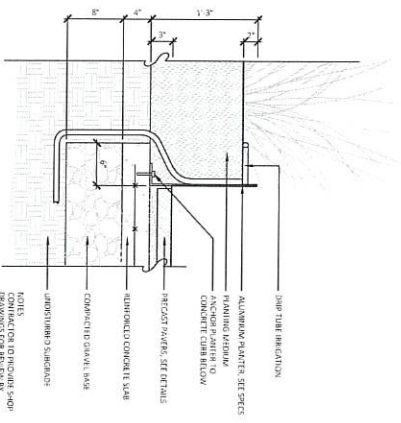
1 MONOLITHIC BLUESTONE STEPS - BASEMENT
SCALE: 1/4"=1'-0"



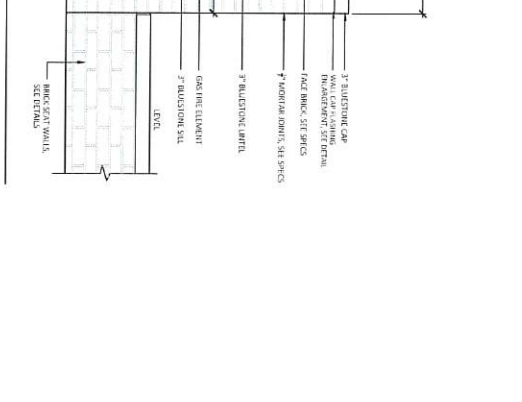
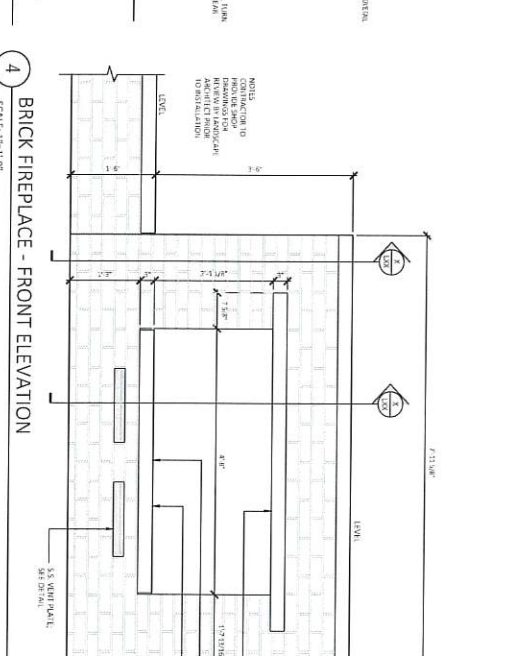
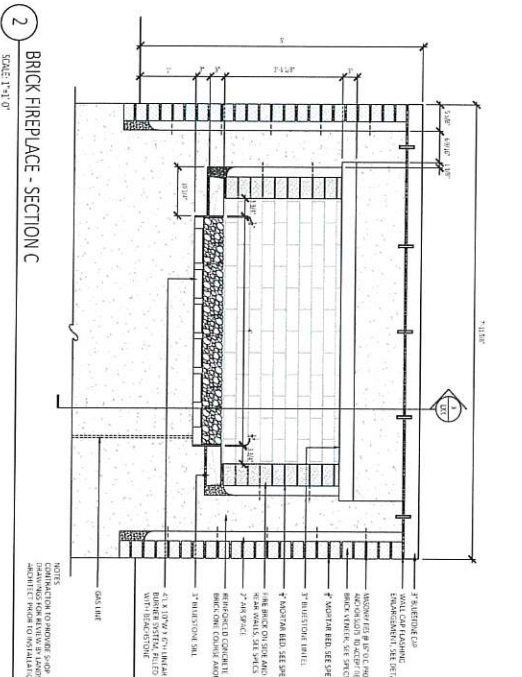
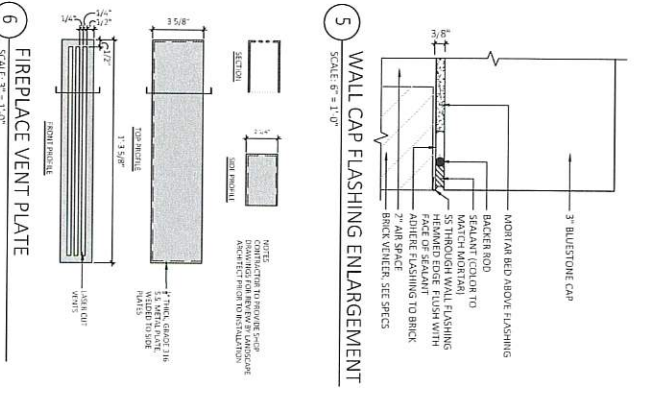
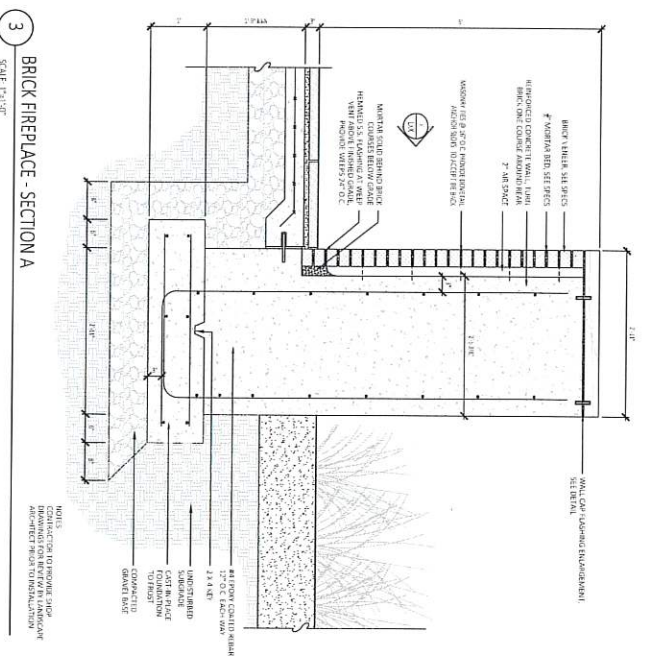
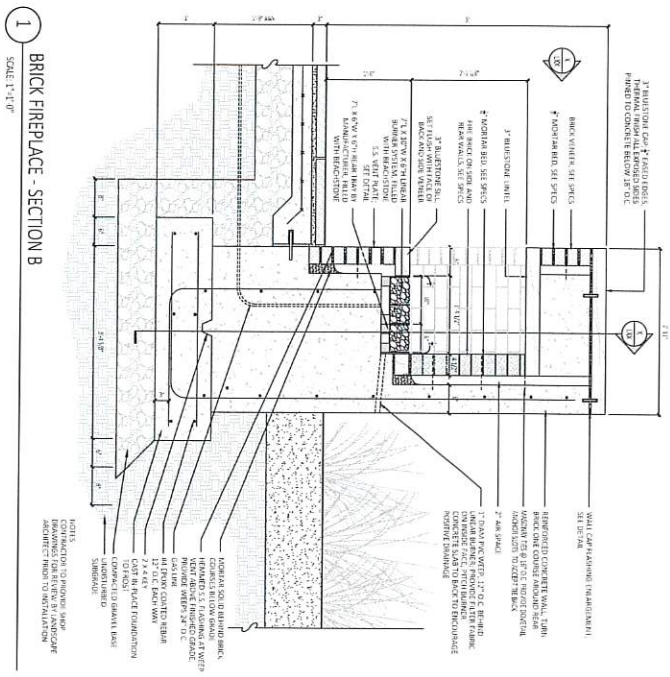
3 MONOLITHIC BLUESTONE STEPS - GARAGE
SCALE: 1/4"=1'-0"



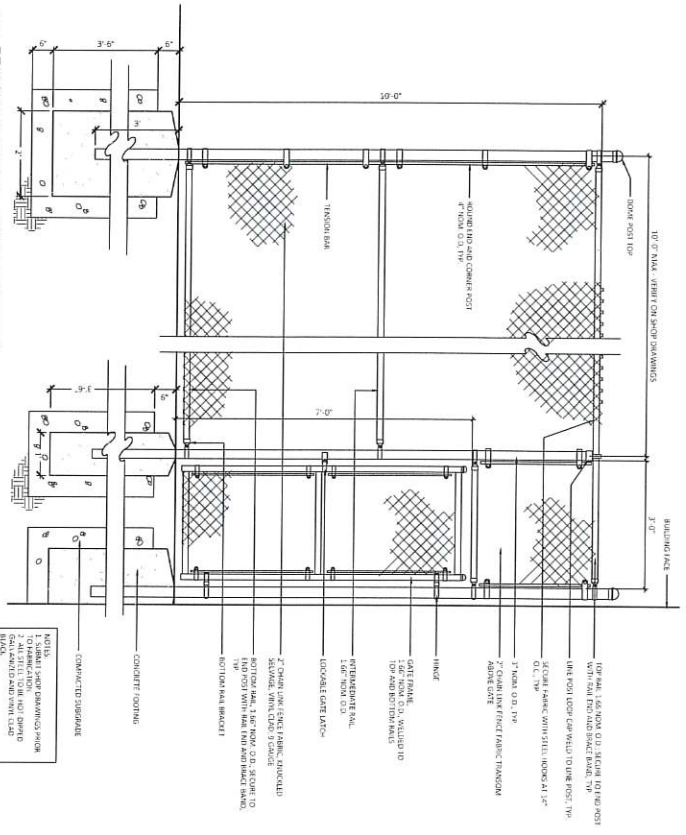
2 MONOLITHIC BLUESTONE STEPS - REAR TERRACE
SCALE: 1/4"=1'-0"



4 ALUMINUM PLANTER
SCALE: 1/2"=1'-0"

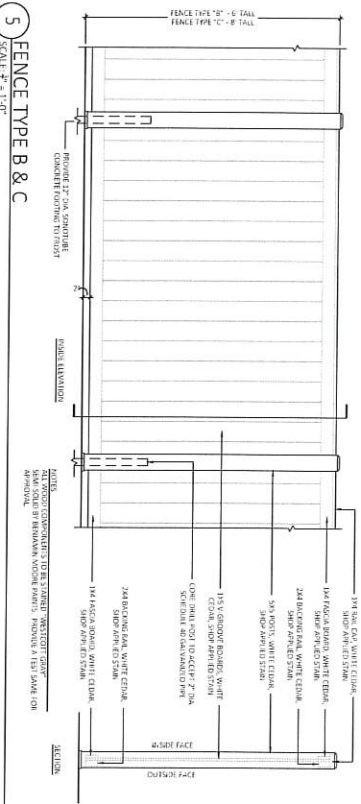


2 FENCING TYPE D - 10' CHAIN LINK
SCALE: 3/8" = 1'-0"



- NOTES:
1. SUBMIT SPEC DRAWINGS WITH
2. ALL STEEL TO BE HOT DIP
GALVANIZED AND PAINTED
BLACK.

5 FENCE TYPE B & C
SCALE: 3/8" = 1'-0"



PROJECT	DATE	SCALE	SHEET
L9		3/8" = 1'-0"	5 OF 8

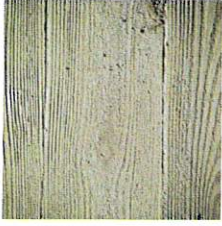
NO.	DATE	DESCRIPTION

401 MORRISSEY BLVD
BOSTON, MA 02125

MDLA
MORRISSEY DESIGN & LANDSCAPE ARCHITECTS
100 STATE STREET, SUITE 200
BOSTON, MA 02109
TEL: 617.552.1234
WWW.MDLA.COM

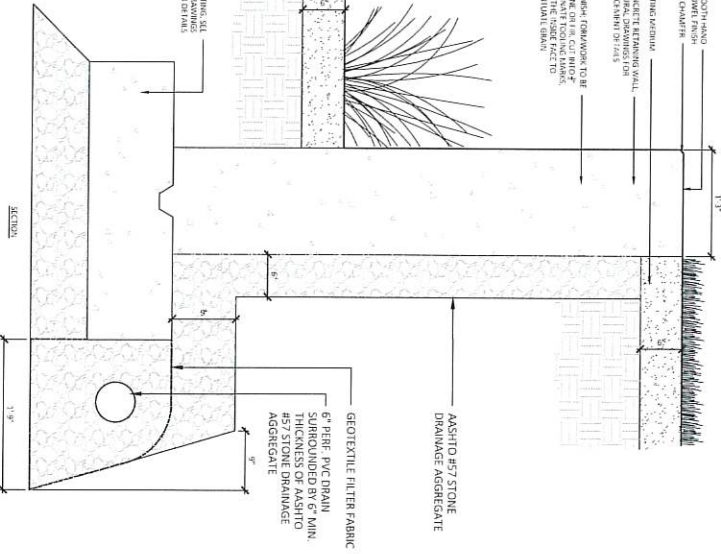
BOARD FORM CONCRETE WALLS
SCALE: 1/2" = 1'-0"

BOARD FORM DETAIL REFERENCE



NOTE:
CONTRACTOR TO PROVIDE
SUPPORT TO FORMWORK
AND PREVENT
DEFLECTION.

CONCRETE FORMING, SEE
SCHEDULE FOR DETAILS



ASHTO #57 STONE
DRAINAGE AGGREGATE

GEOTEXTILE FILTER FABRIC
6" PERC. PVC DRAIN
SURROUNDED BY 5" MIN.
THICKNESS OF ASHTO
#57 STONE DRAINAGE
AGGREGATE

2x8 SPURCE PINE GIRTH CUT WITH
2x8 SANDWICH THE TOE FACE TO
ACT AS A DRAIN.

BLUENI FORMWORK TO BE
USED TO FORM CONCRETE

FINISHED CONCRETE RETAINING WALL

PLANKING FINISH

4" QUARTZ
FINISH

1'-3"

4x6x12 (4x6x12)

1/2" BOARD

DATE	11/11
PROJECT	111
SHEET	5 OF 8

SITE
DETAILS

NO.	DATE	DESCRIPTION

STAMP

401 MORRISSEY BLVD
BOSTON, MA 02125

MDLA
MORRISSEY DESIGN & LANDSCAPE ARCHITECTS, LLC
100 STATE STREET, SUITE 200
BOSTON, MA 02109
TEL: 617.552.1111
WWW.MDLA.COM

ZONING REVIEW

ZONING DISTRICT:	DC (DENSE MEDIUM-DENSITY)		
ZONING SUBDISTRICT:	DC-1 (MEDIUM-DENSITY)		
SUBJECT TYPE:	RECONSTRUCTION		
CREW:	INDIVIDUAL RESIDENT, CASUALTY INSURANCE, RECREATION		
DIMENSIONAL MAXIMIZES:	REQUIRED DEVELOP PROHIBITED		
VEHICLE LOT SIZE	1,200 SF	12,000 SF	10,000 SF
OPERABLE LOT WIDTH	40'	140'-0"	140'-0"
VEHICLE FRONT YARD SETBACK	10'	150'-0"	150'-0"
VEHICLE SIDE YARD SETBACK	5'	5'-0"	5'-0"
VEHICLE REAR YARD SETBACK	5'	5'-0"	5'-0"
VEHICLE FRONT YARD WIDTH	12'	12'-0"	12'-0"
VEHICLE SIDE YARD WIDTH	12'	12'-0"	12'-0"
VEHICLE REAR YARD WIDTH	12'	12'-0"	12'-0"
MAXIMUM NEW WOOD DECKING SETBACK	25%	50%	50%

NOTES:

Section 21-4.1 - Accessory Dwelling Unit (ADU) Requirements:

1. The ADU shall be a single-family detached structure, including any accessory structures, located on the same lot as the principal dwelling.

2. The ADU shall not exceed 1,200 square feet of finished floor area.

3. The ADU shall not exceed 10 feet in height.

4. The ADU shall not be used for any purpose other than as a secondary residence.

5. The ADU shall not be used for any business or commercial purpose.

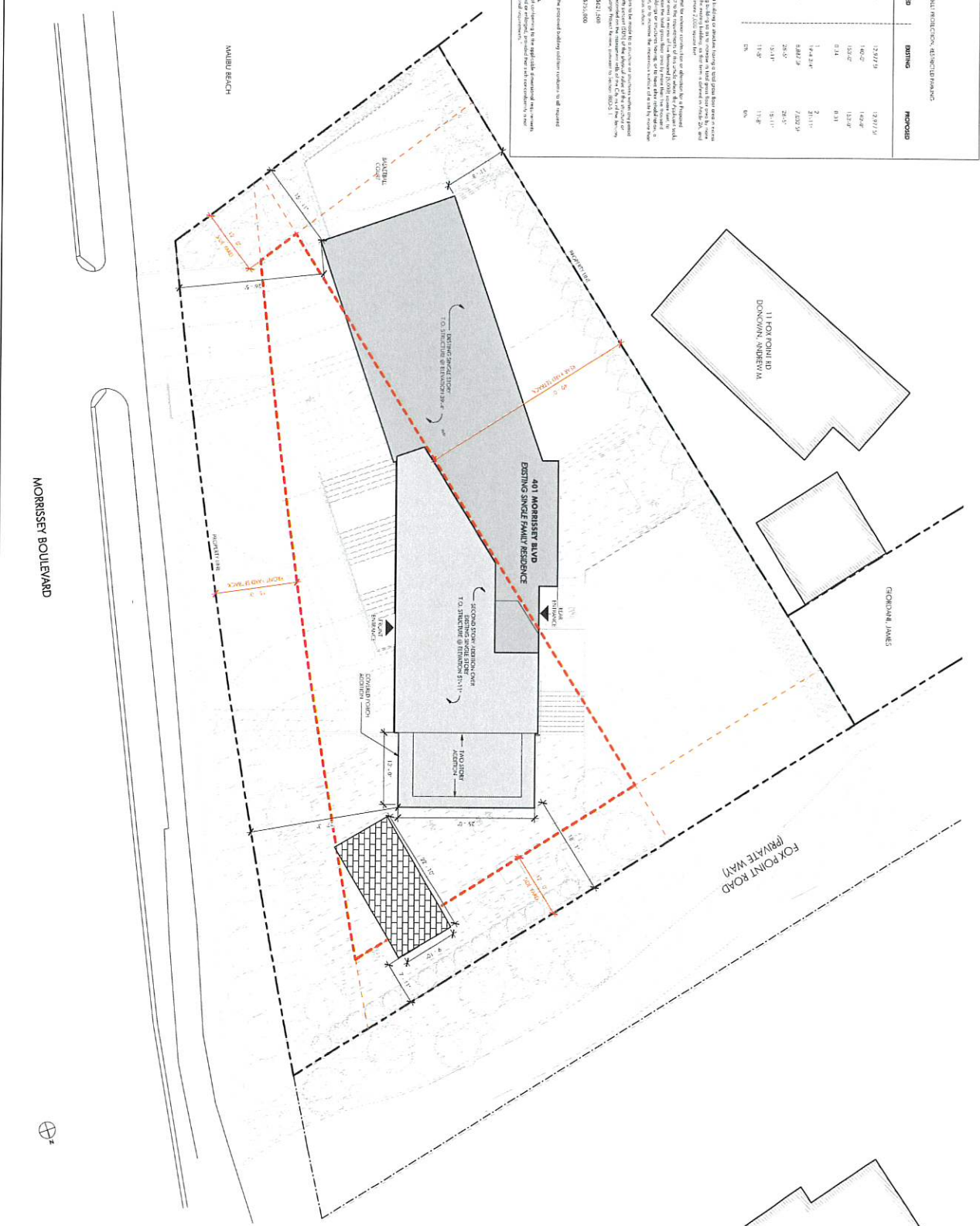
6. The ADU shall not be used for any rental purpose.

7. The ADU shall not be used for any other purpose prohibited by the zoning ordinance.

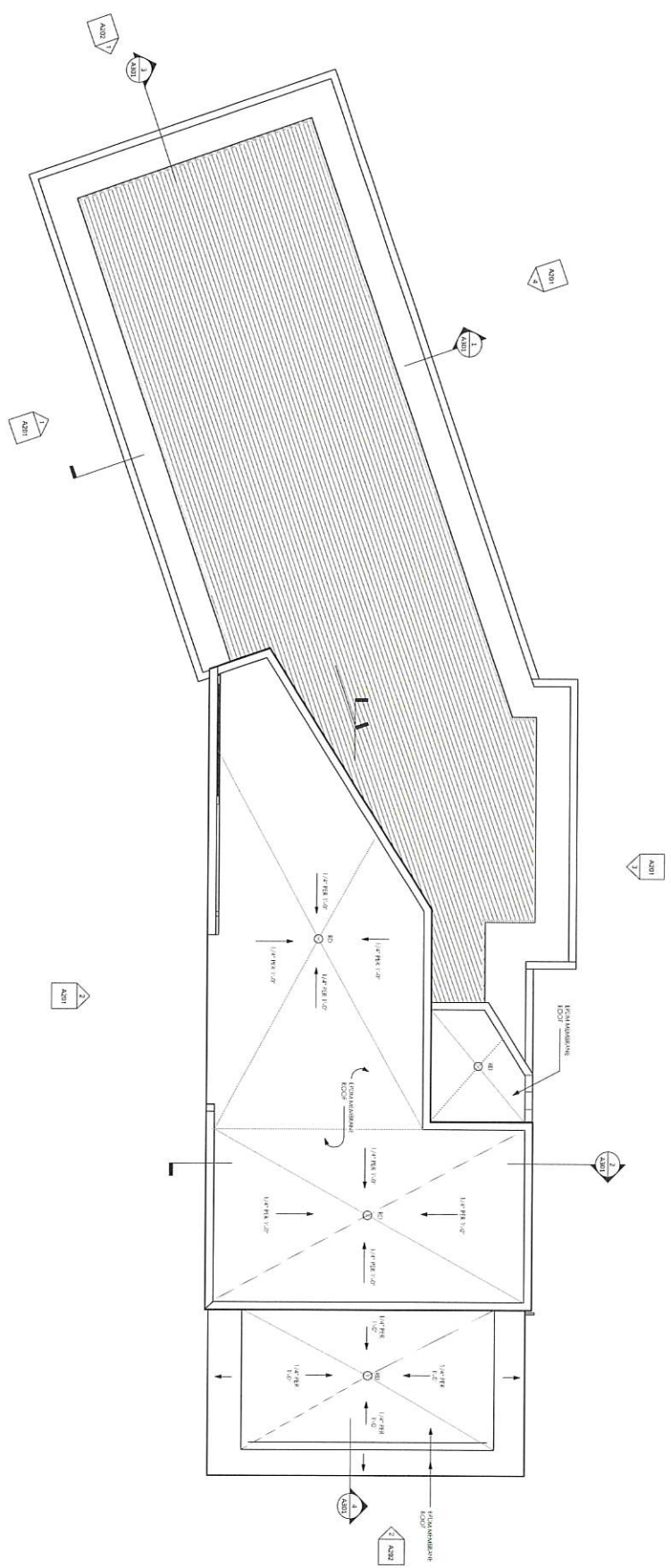
8. The ADU shall not be used for any other purpose prohibited by the zoning ordinance.

9. The ADU shall not be used for any other purpose prohibited by the zoning ordinance.

10. The ADU shall not be used for any other purpose prohibited by the zoning ordinance.



ARCHITECT EMBARC 111 FOX HOUND RD BOSTON, MA 02116 TEL: 617.452.1111 WWW.EMBARC.COM	OWNER JAMES GOSWAMI 40 MORRISSEY BLVD, BOSTON, MA 02115	CONSULTANTS HARRINGTON AND BIRNBOIM 100 STATE ST BOSTON, MA 02109 TEL: 617.452.1111 WWW.HARRINGTONANDBIRNBOIM.COM	LANDSCAPE ARCHITECT JACQUES TOUSSAINT 7211 BOSTON AVE #2 BOSTON, MA 02130 TEL: 617.452.1111	PROJECT ADDRESS 401 MORRISSEY BLVD BOSTON, MA 02125	ISSUED FOR CONSTRUCTION	DATE SEPTEMBER 28, 2022	SCALE AS SHOWN	PROJECT NO. A011	DRAWING NUMBER A011
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DRAWING NUMBER
A103

DRAWING TITLE
ROOF PLAN



REVISIONS

NO.	DATE	DESCRIPTION

401 MORRISSEY BLVD
 BOSTON, MA 02125

ISSUED FOR CONSTRUCTION

ARCHITECT
EMBARC
 100 STATE STREET
 BOSTON, MA 02109
 TEL: 617.452.2000
 WWW.EMBARC.COM

OWNER
 MASSACHUSETTS
 DEPARTMENT OF CONSTRUCTION
 100 STATE STREET
 BOSTON, MA 02109

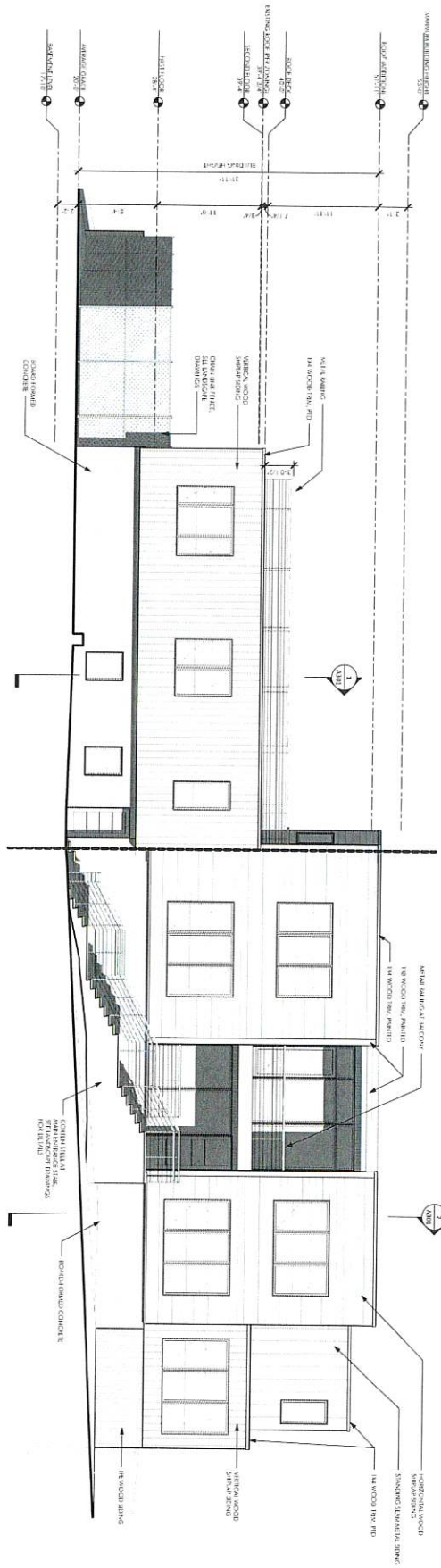
CONSULTANTS
STRUCTURE
 HANSEN PARTNERS
 100 STATE STREET
 BOSTON, MA 02109

LANDSCAPE ARCHITECT
 THE ARCHITECTURAL PARTNERSHIP
 100 STATE STREET
 BOSTON, MA 02109

DATE PREPARED
 09/28/2022

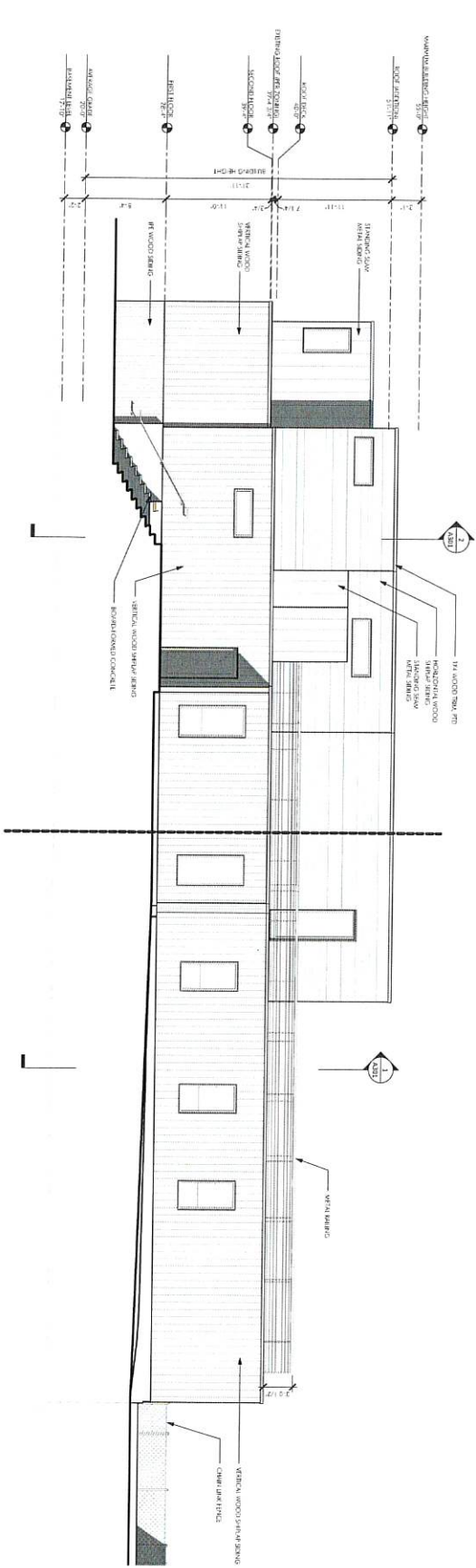
DATE CHECKED
 09/28/2022

DATE PLOTTED
 09/28/2022



1 FRONT EAST ELEVATION
 3/16" = 1'-0"

2 FRONT EAST ELEVATION
 3/16" = 1'-0"



3 REAR WEST ELEVATION
 3/16" = 1'-0"

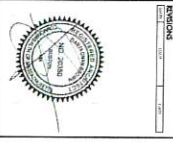
4 REAR WEST ELEVATION
 3/16" = 1'-0"

ARCHITECT
EMBARC
 401 MORRISSEY BLVD
 BOSTON, MA 02125
 TEL: 617.442.8833
 WWW.EMBARCARCHITECTS.COM

OWNER
 JAMES BRIDGES
 401 MORRISSEY BLVD
 BOSTON, MA 02125
 TEL: 617.442.8833
 WWW.EMBARCARCHITECTS.COM

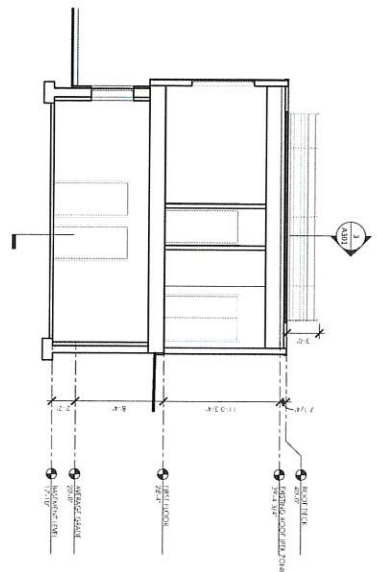
CONSULTANTS
 STRUCTURAL ENGINEERING
 CIVIL ENGINEERING
 MECHANICAL ENGINEERING
 ELECTRICAL ENGINEERING
 LANDSCAPE ARCHITECTURE
 INTERIOR ARCHITECTURE
 HISTORIC PRESERVATION
 401 MORRISSEY BLVD
 BOSTON, MA 02125
 TEL: 617.442.8833
 WWW.EMBARCARCHITECTS.COM

401 MORRISSEY BLVD
 BOSTON, MA 02125
 ISSUED FOR CONSTRUCTION

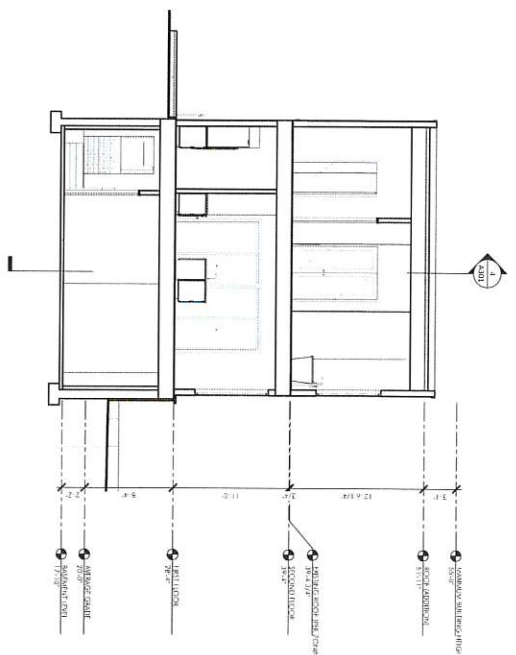


PERMITS
 401 MORRISSEY BLVD
 BOSTON, MA 02125
 TEL: 617.442.8833
 WWW.EMBARCARCHITECTS.COM

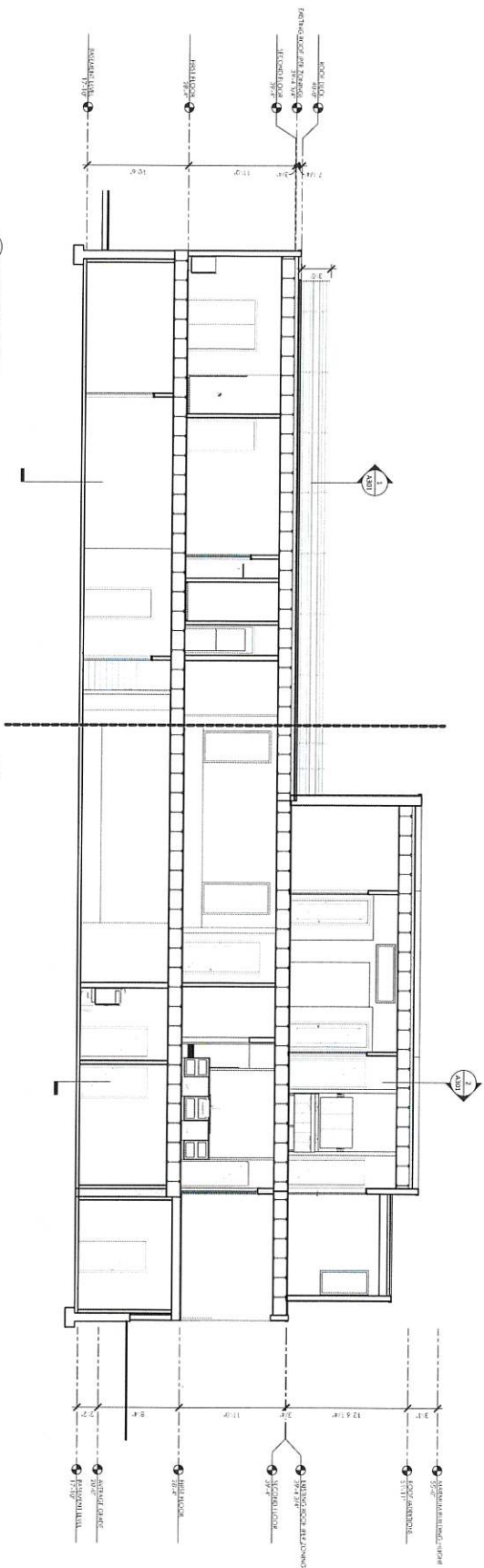
DATE: 10/20/2022
 DRAWING NUMBER: **A201**



1 BUILDING SECTION A
3/16" = 1'-0"



2 BUILDING SECTION B
3/16" = 1'-0"



3 BUILDING SECTION C
3/16" = 1'-0"

4 BUILDING SECTION D
3/16" = 1'-0"

ARCHITECT
EMBARC

401 MORRISSEY BLVD
BOSTON, MA 02122
TEL: 617.552.1234
WWW.EMBARCARCHITECTS.COM

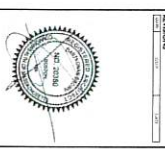
OWNER
JAMES GROSSMAN
401 MORRISSEY BLVD
BOSTON, MA 02122

CONSULTANTS
INTERIOR AND SERVICES
300 HANOVER ST
BOSTON, MA 02114
LANDSCAPE ARCHITECT
JACQUELINE TUNNEY CO LANDSCAPE
200 WASHINGTON ST
BOSTON, MA 02109

REVISIONS

401 MORRISSEY BLVD
BOSTON, MA 02122

ISSUED FOR CONSTRUCTION



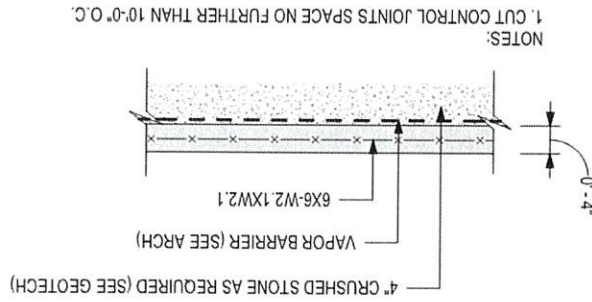
DRAWING TITLE
BUILDING SECTIONS

DRAWING NUMBER
A301



TYPICAL 4" SLAB-ON-GRADE (4" SOG)

SCALE: 3/4" = 1'-0"



The new basement slab shall be a 4" thick slab-on-grade with $f'c=4000$ psi. The detail below shall be used for reinforcing, sawcutting, etc.

BASEMENT SLAB

As requested, H+O Structural Engineering (H+O), has engineered and provided the following specific items for the residence located at 401 Morrissey Blvd. in Boston, MA. The items in the memo are the only items that have been specifically reviewed and/or engineered for the project. Please note, the project is a single-family home and as such, many of the structural elements (i.e. those not in this report) fall under the International Residential Code (IRC) and do not require specific engineering by a registered design professional.

Dear Jim,

**RE: 401 Morrissey Blvd. Boston, MA
Structural Narrative
H+O Project #20-053**

Jim Crossman
Rise Construction

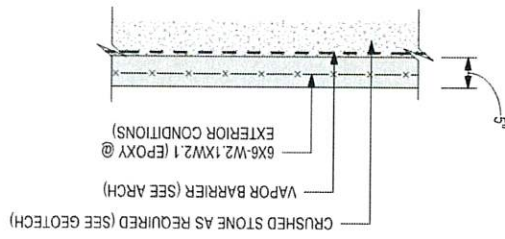
August 20, 2020

MEMORANDUM



GARAGE SLAB

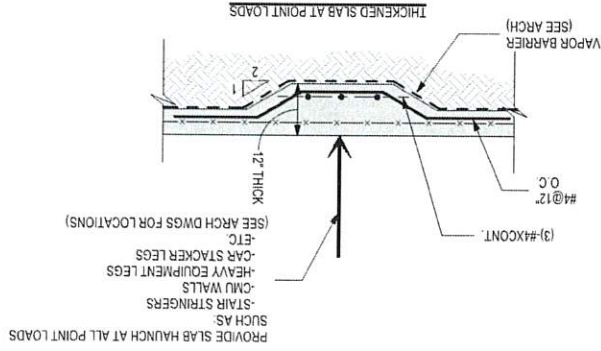
The garage slab shall be a 5" thick slab-on-grade with $f'c=4000$ psi. The detail below shall be used for reinforcing, sawcutting, etc. If the garage slab will experience freeze-thaw cycles the mix shall contain air entrainment of 6%+/-1.5%. If lifts or large point loads are anticipated, the slab shall be thickened to 1'-0" thick (see detail below).



NOTES:
 1. CUT CONTROL JOINTS SPACE NO FURTHER THAN 10'-0" O.C.

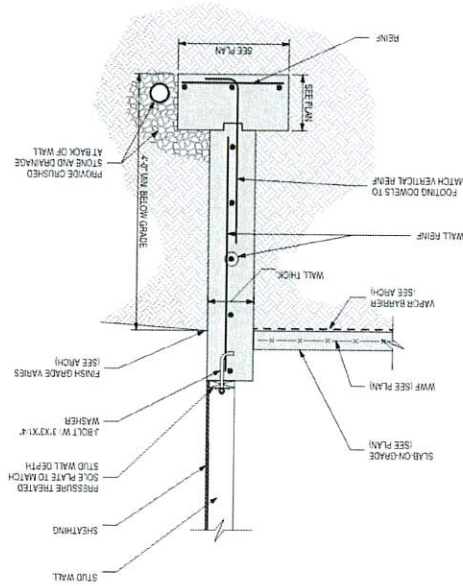
TYPICAL 5" SLAB-ON-GRADE (5" SOG)

SCALE: 3/4" = 1'-0"



FROST WALL DETAIL

The following detail can be used at new frost wall locations supporting wood framed bearing walls. The concrete strength shall be $f'_c=4000$ psi. The stem wall thickness shall be a minimum of 8" thick. The reinforcing shall be #5@18" o.c. each way.



SPREAD FOOTINGS

New lally columns shall be supported by a new spread footings. Footing size shall be 3'x3'x12" thick and reinforced with (4) #5 bottom, each way.

For columns supporting 2 levels (a roof counts as a level), the max beam span supported by a column shall be 13'-0".

For columns supporting 3 levels (a roof counts as a level), the max beam span supported by a column shall be 8'-0".

FLOOR FRAMING

We understand there is a desire to clear span the living space to create a column free span. The clear span is approximately 28ft.

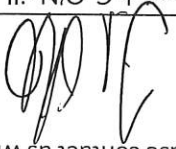
The critical factor when spanning a I-joist this far is the floor performance, and floor performance can be rather subjective. Weyerhaeuser has created a floor performance rating called the T-J-Pro Rating to try and quantify floor performance. The following is a screenshot explaining what the T-J-Pro rating encompasses.

With this in mind, the following are the corresponding T-J-Pro ratings for a couple joist sizes at 28 ft span. This assumes that there will be a drywall ceiling attached to the underside of the floor joists.





Please contact us with any questions.

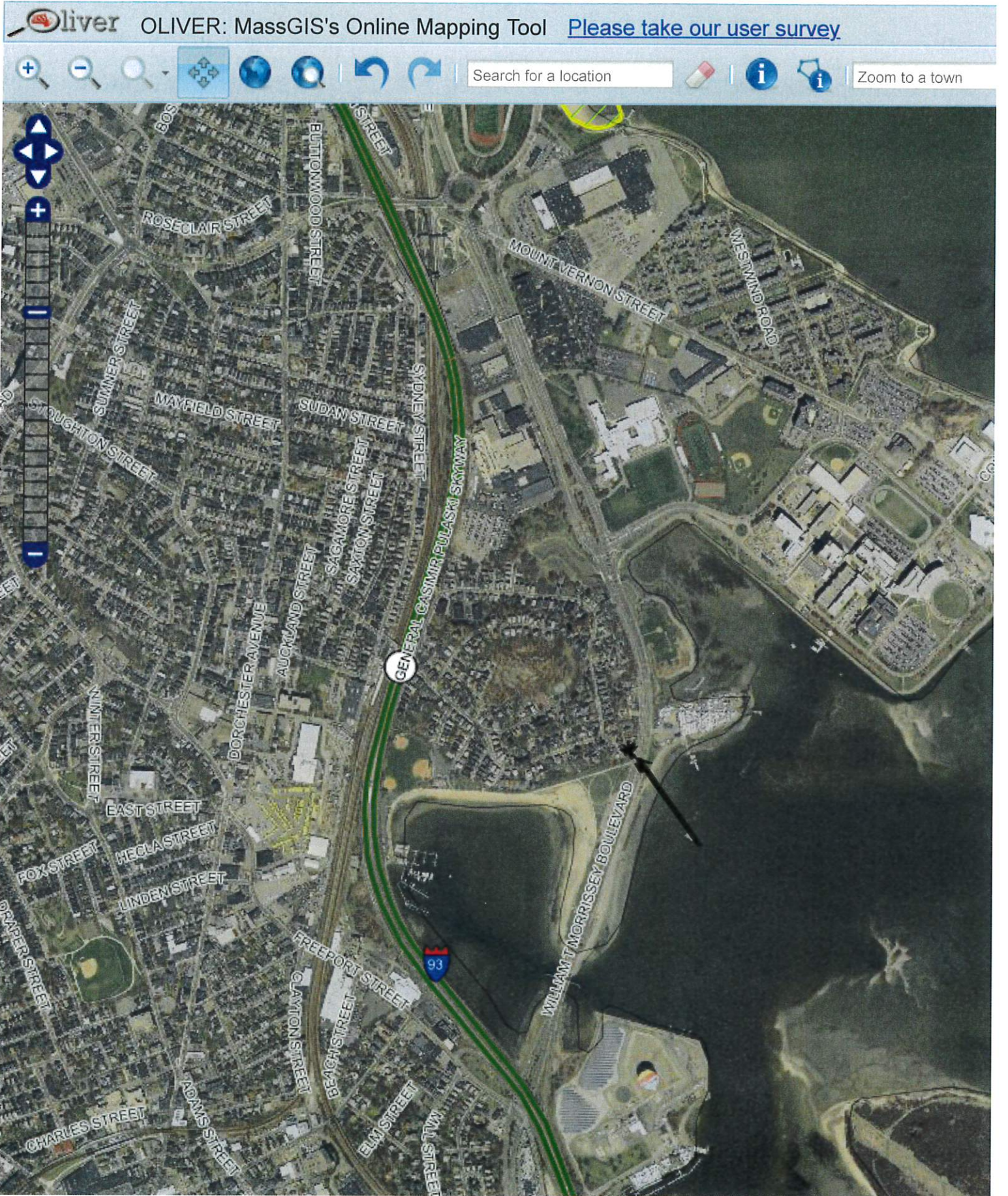


Principal
Jeremiah C. O'Neill, P.E.

Joist size	TJ-Pro Rating
18" TJ1 560 @16" o.c.	39
18" TJ1 560 @12" o.c.	42
20" TJ1 560 @16" o.c.	43
20" TJ1 560 @12" o.c.	47



QUADRANGLE MAP





401 Wm. T. Morrissey Blvd



100%



3D



Camera: 47.7 m 42°18'31"N 71°02'53"W 5 m

Detailed Project Narrative

**Detailed Narrative for the City of Boston Conservation Commission
Home Renovation Project at 401 William T Morrissey Blvd**

Project Location

401 William T Morrissey Blvd

Dorchester, MA

Property Abuts William T Morrissey Blvd, Fox Point Road and Savin Hill Beach

Project Proponent

James Grossmann

Homeowner (The Property is Proponent's Primary Residence)

Project Existing Conditions

The property is a 12,977 square foot lot located in the Savin Hill neighborhood of Dorchester. The property has an existing single-family home that is approximately 135' x 30'. The existing structure is one story with a walk out basement. The property also contains a swimming pool on the north side. Exhibit 1 illustrates the existing structures, grading and lot lines for illustration. The home's existing condition is in disrepair with multiple structural deficiencies in need of repair. The pool is in complete disrepair. The landscaping and plantings are either dead or diseased. The existing pavement is cracking and spalling. There are existing retaining walls along the south and east sides of the site that are in need of repair. The home is sited upon a hill which protects the structure from the high-water flooding. The grade change is approximately 8' from the street elevation to basement entry. The grade change as well as the existing retaining walls protect the structure from any floods.

Proposed Project Scope of Work

Demolition

The existing home will be remodeled down to the structural stud framing. All interior finishes, mechanical systems, plumbing systems and electrical systems will be removed. All exterior siding, windows and roofing will be removed. The existing pool and small shed will be removed. All rotten plantings will be removed.

Remodel

The home will receive new structural framing to repair the existing conditions. All new windows, siding, insulation, roofing and interior finishes will be installed. All new, high efficiency mechanical, plumbing and electrical systems will be installed. The home will remain a single family residence and all entry locations will remain the same.

Vertical Addition

A second-floor addition will be located on the north side of the home and will follow the existing building footprint. The addition will be for an added bedroom and bathroom.

Landscaping and Hardscaping

The proposed plan is to plant 20 new trees, install new grass and ground cover planting throughout the site. All new fencing will be installed. A new driveway will be installed on Morrissey Blvd. New site lighting, a new entry stairway and new paving at the existing pool location will be installed. A new play court will be installed on the south side of the site. All planting will be native and resilient. There will be an irrigation system installed to maintain the plantings.

Work Within the FEMA/Land Subject to Coastal Storm Flowage

The work within the Land Subject to Coast Storm Flowage Zone would include new plantings, new driveway pavement (concrete), new fencing and repairs to existing walls. This work is illustrated in Exhibit 2. To ensure the plantings will survive in this area we will use all native plantings. We have also maintained the existing design which utilizes slope and existing retaining walls to buffer against extremely high tides. Also, the south side of the site will maintain the existing retaining wall as a barrier to the Savin Hill Beach. These protections will prevent high storm water intrusion and flooding from reaching the home.

Protections During Construction

The site will be protected by installing construction fencing as well as utilizing the existing fencing. Erosion control, including silt fence, run off barriers and storm water protections, will be installed at the low side of the site (East Side along Morrissey Blvd). This work is illustrated in Exhibit 3. All protections will be continually maintained. When the driveway is replaced special care will be taken to modify the erosion control to protect run off during demolition and concrete pouring.

Climate Resiliency/Summary of Work on Land Subject to Coastal Storm Flowage

Since the work on the home is within land subject to coastal storm flowage the design should take into consideration that this area performs a function in storm damage prevention and flood control interests. The design has considered the following:

- The home's perimeter has existing retaining walls (built in 1946) which prevent any storm surge from progressing onto the and past the property.
- The home is situation beyond 200' of the waterline to the west and 500' beyond the water line to the south. There has been no encroachment by the design into any area that has functioned historically in protection storm damage and flood control. This allows for the natural and Municipal controls to function as intended.
- The design of the home creates more pervious area with new plantings and grass areas. This consideration would allow an enhanced floor control on the property.

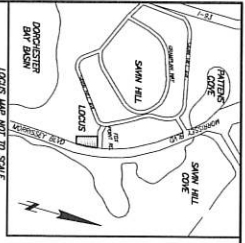
The possibility of rising sea levels due to climate change has been shown to affect this area. The site at 401 Morrissey has a significant grade change from the low area of the roadway. This grade does protect the home from extremely high tides and the potential of rising sea levels. The existing driveway and walkway to the side along Morrissey Blvd would be impacted by the potential sea level change and the property would need to adjust the entry point of the home if this were to occur. In the event this did occur the home would be able to be accessed from the

rear road, Fox Point Road. This allows for the home to be able to survive past an extremely environmental event like sea level rising. Many climate resiliency design features were installed when the home was originally built in 1946 and will be preserved in our renovation. These include a significant site grade change, retaining/barrier walls around the site perimeter and have multiple entry points into the home.

Duration

It is anticipated that the construction will take approximately 12 months to complete.

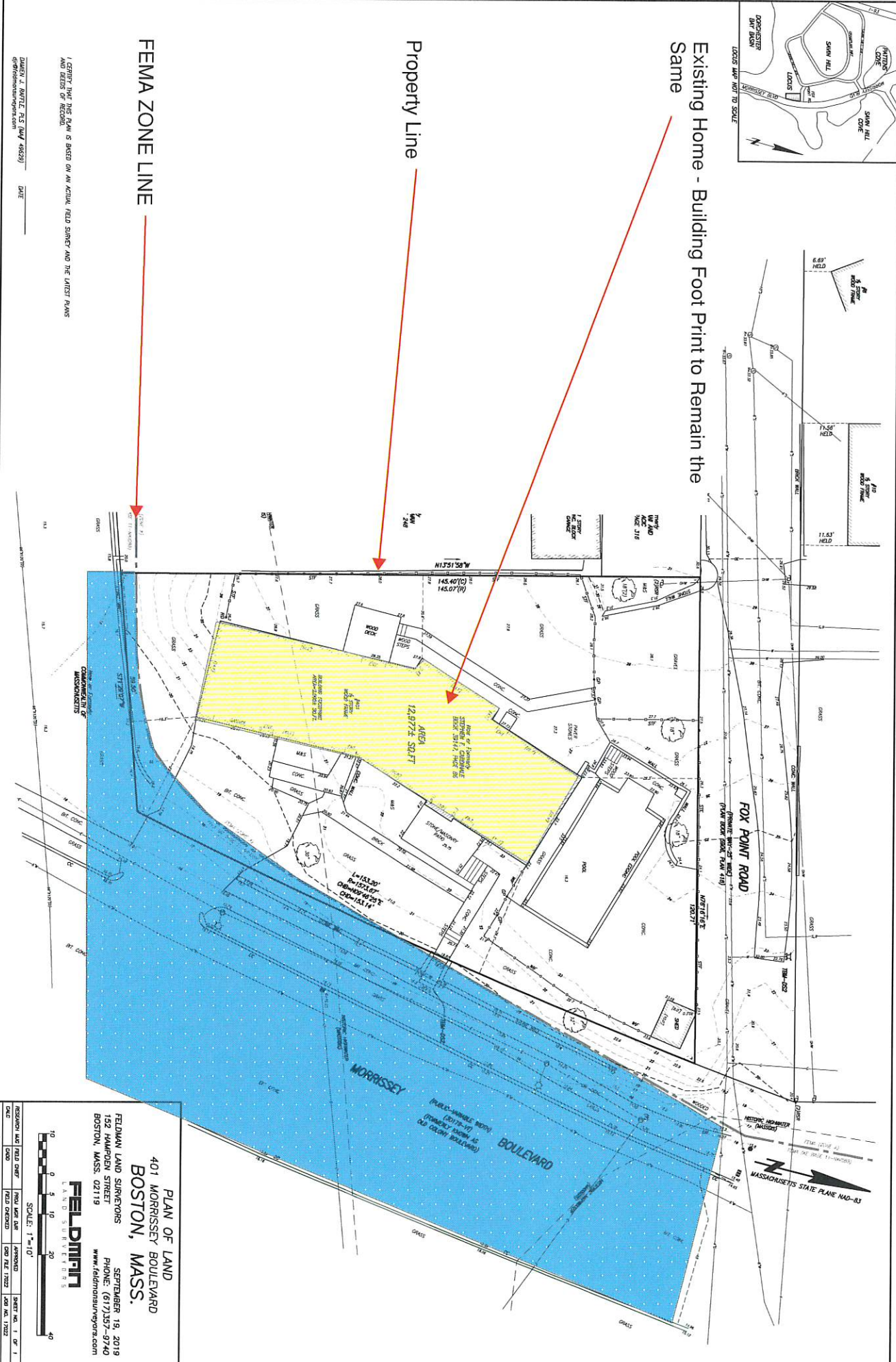
EXHIBIT 1



Existing Home - Building Foot Print to Remain the Same

Property Line

FEMA ZONE LINE



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

DANIEL J. BARTLE, R.S. No. 45833 DATE _____

PLAN OF LAND
401 MORRISSEY BOULEVARD
BOSTON, MASS.

FELDMAN LAND SURVEYORS
132 HAMDEN STREET
BOSTON, MASS. 02119
www.feldmansurveyors.com

SEPTEMBER 19, 2019
PHONE: (617) 557-8740

FELDMAN
LAND SURVEYORS

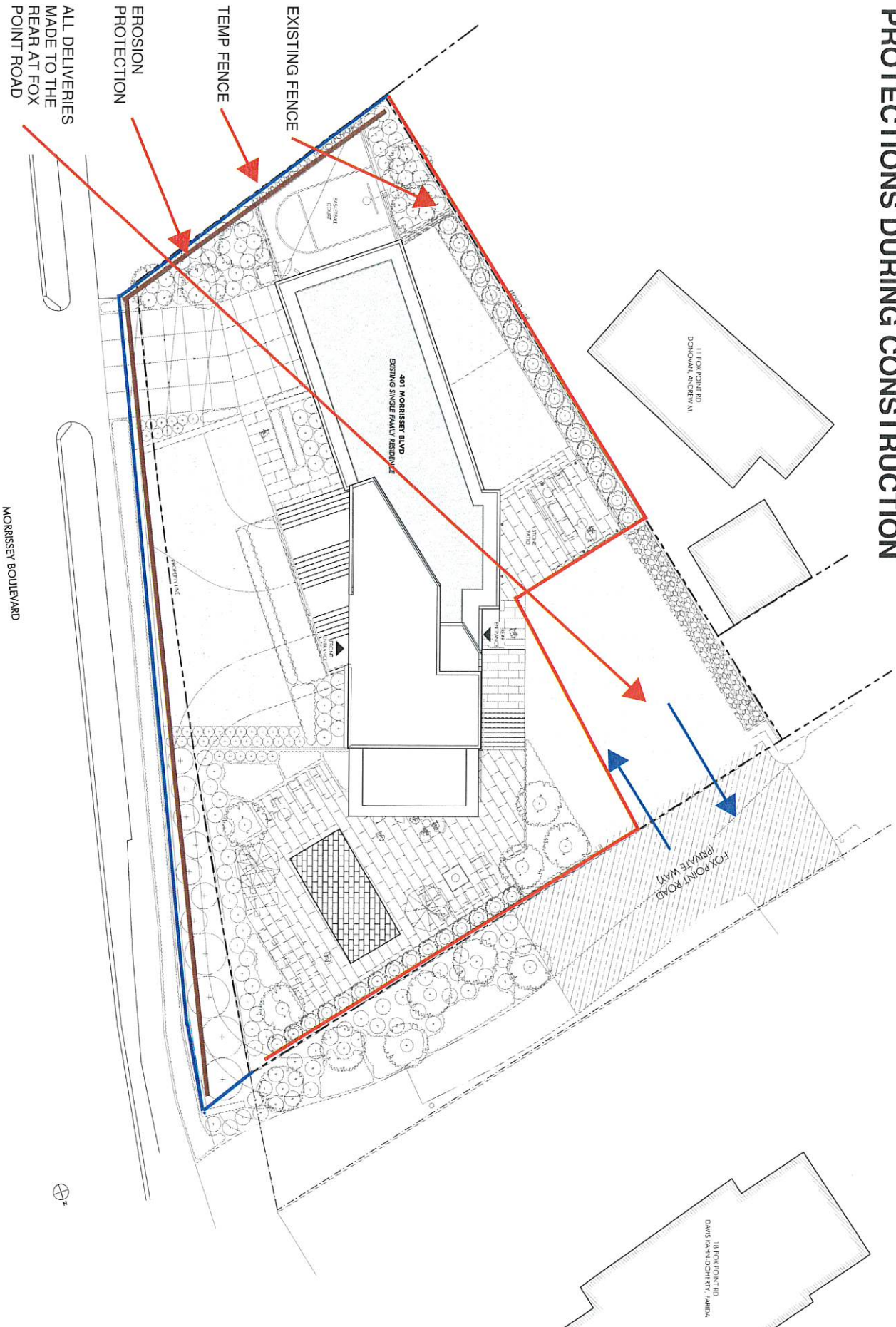
SCALE: 1" = 10'

REVISION	DATE	BY	DESCRIPTION
1	09/19/19	DJB	ISSUED FOR PERMIT

DATE: 09/19/19

EXHIBIT 3

PROTECTIONS DURING CONSTRUCTION



ARCHITECT
EMBARC
 60 E. STATE ST., 7TH FLOOR
 BOSTON, MA 02111
 TEL: 617.552.1200
 WWW.EMBARCARCHITECTS.COM

OWNERS
 JAMES GREGORIS/DAVID
 80 W. MORRISSEY BLVD, SUITE 100
 BOSTON, MA 02122

CONSULTANTS
LANDSCAPE ARCHITECT
 DANIEL D'AMICO LANDSCAPE
 212 W. BRIMFIELD STREET, #3
 BOSTON, MA 02127

401 MORRISSEY BLVD
 BOSTON, MA 02125

ISSUED FOR CONSTRUCTION



DRAWING INFORMATION
 TITLE: CONSTRUCTION PROTECTION
 DATE: 08/2018
 PROJECT: 401 MORRISSEY BLVD
 DRAWING TITLE: ARCHITECTURAL SITE PLAN
 DRAWING NUMBER: A010

A better Notification

mailingList

PID	OWNER	ADDRESSEE	MLG_ADDRESS	MLG_CITYSTATE	MLG_ZIPCODE	LOC_ADDRESS	LOC_CITY	LOC_ZIPCODE
1302309000	MURRAY CYNTHIA A	MURRAY CYNTHIA A	223 SAVIN HILL AV	DORCHESTER MA	2125	223 SAVIN HILL AV	DORCHESTER	2125
1302310000	LATERMAN BARRY J	LATERMAN BARRY J	225 SAVIN HILL AV	DORCHESTER MA	2125	225 SAVIN HILL AV	DORCHESTER	2125
1302311000	227 SAVIN HILL AVENUE REALTY	227 SAVIN HILL AVENUE REALTY	227 SAVIN HILL AVE	DORCHESTER MA	2125	227 SAVIN HILL AV	DORCHESTER	2125
1302312000	CARNEY BERNARD T	CARNEY BERNARD T	231 SAVIN HILL AVE	DORCHESTER MA	2125	231 SAVIN HILL AV	DORCHESTER	2125
1302313000	KAREN R PAVIDIS REVOCABLE	KAREN R PAVIDIS REVOCABLE	233 SAVIN HILL AVE	DORCHESTER MA	2125	233 SAVIN HILL AV	DORCHESTER	2125
1302314000	SNYDER VANN J	SNYDER VANN J	9 FOX POINT RD	DORCHESTER MA	2125	9 FOX POINT RD	DORCHESTER	2125
1302315000	DONOVAN ANDREW M	DONOVAN ANDREW M	11 FOX POINT RD	DORCHESTER MA	2125	11 FOX POINT RD	DORCHESTER	2125
1302316000	GIORDANI JAMES	GIORDANI JAMES	10 FOX POINT RD	DORCHESTER MA	2125	FOX POINT RD	DORCHESTER	2125
1302317000	CARDINALE STEPHEN F	CARDINALE STEPHEN F	401 WM T MORRISSEY VL	DORCHESTER MA	2125	401 WM T MORRISSEY BL	DORCHESTER	2125
1302318000	DAVIS KHAN-DOHERTY FARIDA	DAVIS KHAN-DOHERTY FARIDA	18 FOX POINT RD	DORCHESTER MA	2125	18 FOX POINT RD	DORCHESTER	2125
1302319000	DAVIS KHAN-DOHERTY FARIDA	DAVIS KHAN-DOHERTY FARIDA	18 FOX POINT RD	DORCHESTER MA	2125	FOX POINT RD	DORCHESTER	2125
1302320000	NGUYEN TONY	NGUYEN TONY	399 WM T MORRISSEY BLVD	DORCHESTER MA	2125	399 WM T MORRISSEY BL	DORCHESTER	2125
1302321000	GIORDANI JAMES	GIORDANI JAMES	10 FOX POINT RD	DORCHESTER MA	2125	10 FOX POINT RD	DORCHESTER	2125
1302322000	RUSSELL MATTHEW L	RUSSELL MATTHEW L	8 FOX POINT RD	DORCHESTER MA	2125	8 FOX POINT RD	DORCHESTER	2125
1302323000	CABRAL CARLOS E	CABRAL CARLOS E	235 SAVIN HILL AV	DORCHESTER MA	2125	235 SAVIN HILL AV	DORCHESTER	2125
1302324000	DEABLER KEVIN	DEABLER KEVIN	237 SAVIN HILL AV	DORCHESTER MA	2125	237 SAVIN HILL AV	DORCHESTER	2125
1302324001	NGUYEN ANH	NGUYEN ANH	51 GREENWOOD AV	HYDE PARK MA	2136	397 WM T MORRISSEY BL	DORCHESTER	2125
1302325000	POWERS PATRICIA	POWERS PATRICIA	239 SAVIN HILL AV	DORCHESTER MA	2125	239 SAVIN HILL AV	DORCHESTER	2125
1302326000	LESCINSKAS RONALD	LESCINSKAS RONALD	241 SAVIN HILL AV	DORCHESTER MA	2125	241 SAVIN HILL AV	DORCHESTER	2125
1302327000	MCNALLY MICHAEL D	MCNALLY MICHAEL D	ONE WESTINGHOUSE PLAZA	BOSTON MA	2136	SAVIN HILL AV	DORCHESTER	2125
1302328001	NGO HIEP	NGO HIEP	375 MORRISSEY BL	DORCHESTER MA	2125	SAVIN HILL AV	DORCHESTER	2125
1302364060	COMMONWEALTH OF MASS	COMMONWEALTH OF MASS	WM T MORRISSEY BLVD	DORCHESTER MA	2125	WM T MORRISSEY BL	SOUTH BOSTON	2127
1302468000	CARNEY ROBERT	CARNEY ROBERT	240 SAVIN HILL AV	DORCHESTER MA	2125	240 SAVIN HILL AV	DORCHESTER	2125
1302469000	HUTCHINSON EDWARD T	HUTCHINSON EDWARD T	238 SAVIN HILL AV	DORCHESTER MA	2125	238 SAVIN HILL AV	DORCHESTER	2125
1302470000	O'DONNELL MARTIN G	O'DONNELL MARTIN G	234 SAVIN HILL AV	DORCHESTER MA	2125	234 SAVIN HILL AV	DORCHESTER	2125
1302471000	BAKER JAMES M	BAKER JAMES M	230 SAVIN HILL AV	DORCHESTER MA	2125	230 SAVIN HILL AV	DORCHESTER	2125
1303391000	COMMONWEALTH OF MASS	COMMONWEALTH OF MASS	WM T MORRISSEY BLVD	DORCHESTER MA	2125	WM T MORRISSEY BL	DORCHESTER	2125
1303392000	SAVIN HILL YACHT CLB INC	SAVIN HILL YACHT CLB INC	400 WM T MORRISSEY BL	DORCHESTER MA	2125	400 WM T MORRISSEY BL	DORCHESTER	2125
1303400000	COMMONWEALTH OF MASS	COMMONWEALTH OF MASS	200 WM T MORRISSEY BLVD	DORCHESTER MA	2125	200 WM T MORRISSEY BL	DORCHESTER	2125



**NOTIFICATION TO ABUTTERS
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. **James Grossmann** has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is **401 Wm T Morrissey Blvd, Dorchester**

C. The project involves **Renovation and Addition of Single Family Residence**

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from **James Grossmann, 617.828.4324** or jimmagrossman@icloud.com between the hours of **2pm and 8pm** daily

F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notice and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.



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BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

非常重要！这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联联系我们的邮箱 cc@boston.gov 电话# 617-635-3850.

Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpurtaggi** sobri bu direitus, rasponsabilidadi i/ó benefísius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائده. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على

617-635-3850 أو cc@boston.gov

Russian:

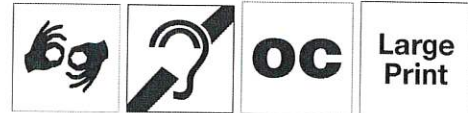
ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.





City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

**NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES
COMISIÓN DE CONSERVACIÓN DE BOSTON**

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **James Grossmann** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **401 Wm T Morrissey Blvd, Dorchester**

C. El proyecto consiste en **renovación y adición de una residencia unifamiliar.**

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en **617.828.4324 James Grossmann** en jimmagrossman@icloud.com entre las **5pm to 7pm.**

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a CC@boston.gov o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes.**

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notices y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

CITY of BOSTON

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV



City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.



LANGUAGE AND COMMUNICATIONS ACCESS

DEMOGRAPHIC DATA REPORT - LANGUAGE

Data Source: 2012-2016 American Community Survey, Public Use Microdata Sample (PUMS), BPDA Research Division Analysis

CITY OF BOSTON

623,355 RESIDENTS

Total number of City residents ages 5 and up

233,159 RESIDENTS (37.4%)

Speak another language at home

LANGUAGE ACCESS ELIGIBLE

108,145 RESIDENTS (17.4%)

Persons who do not speak English as their primary language and who have some language access need in speaking, reading, writing, or understanding English

TOP 10 SPOKEN LANGUAGES

1. Spanish
2. Haitian Creole
3. Mandarin - Chinese
4. Vietnamese
5. Cantonese - Chinese
6. Cape Verdean Creole
7. Russian
8. Arabic
9. Portuguese
10. French

CITY OF BOSTON LANGUAGE STANDARDS

Providing accommodations for interactions citywide (not neighborhood specific)

INTERPRETATION

1. Spanish
2. Haitian Creole
3. Mandarin - Chinese
4. Vietnamese
5. Cantonese - Chinese
6. Cape Verdean Creole

TRANSLATION

1. Spanish
2. Haitian Creole
3. Traditional Chinese
4. Vietnamese
5. Cape Verdean Creole



LANGUAGE AND COMMUNICATIONS ACCESS

CITY OF BOSTON NEIGHBORHOODS: LANGUAGE

Data Source: 2011-2015 American Community Survey, BPDA Research Division Analysis

NEIGHBORHOOD TO CITY RATIO

Below lists each City of Boston neighborhood in order by priority of residents with an identified language access need. (The ratio of residents with language access needs in the identified neighborhood to residents with language access needs in the City of Boston.)

- **DORCHESTER** 23.7%
- **EAST BOSTON** 18.4%
- **ROXBURY** 8.4%
- **BRIGHTON** 5.9%
- **HYDE PARK** 5.1%
- **JAMAICA PLAIN** 4.6%
- **SOUTH END** 4.3%
- **MATTAPAN** 4.1%
- **ROSLINDALE** 4.1%
- **DOWNTOWN** 3.5%
- **MISSION HILL-LONGWOOD** 3.2%
- **FENWAY-KENMORE** 3.0%
- **SOUTH BOSTON** 2.8%
- **WEST ROXBURY** 2.7%
- **ALLSTON** 2.0%
- **CHARLESTOWN** 1.7%
- **BACK BAY** 1.0%
- **WEST END** 0.5%
- **NORTH END** 0.4%
- **BEACON HILL** 0.3%
- **SOUTH BOSTON WATERFRONT/FORT POINT** 0.2%



LANGUAGE AND COMMUNICATIONS ACCESS

CITY OF BOSTON NEIGHBORHOODS: LANGUAGE

Data Source: 2011-2015 American Community Survey, BPDA Research Division Analysis

FURTHER NEIGHBORHOOD ANALYSIS

Below lists each City of Boston neighborhood with the top languages spoken by residents with some language access need. Included are the total number of residents living in the neighborhood and those with language access need. Languages that meet the neighborhood threshold are marked with an asterisk (*). The neighborhood threshold is met with at least 5% or 1,000 persons of the total demographic, whichever is less.

ALLSTON (19,301)

Language Access demographic: (2,091) 11%

1. Spanish
2. Chinese
3. Russian

BACK BAY (17,099)

Language Access demographic: (1,012) 6%

1. Spanish
2. Chinese

BEACON HILL (8,757)

Language Access demographic: (327) 4%

1. Chinese
2. Spanish

BRIGHTON (45,881)

Language Access demographic: (6,167) 13%

1. Chinese *
2. Russian *
3. Spanish *
4. Portuguese/Cape Verdean Creole

CHARLESTOWN (16,463)

Language Access demographic: (1,768) 11%

1. Chinese
2. Spanish

DORCHESTER (116,434)

Language Access demographic: (24,843) 21%

1. Spanish *
2. Vietnamese *
3. Haitian Creole *
4. Portuguese/Cape Verdean Creole *
5. Chinese

DOWNTOWN (16,281)

Language Access demographic: (3,685) 23%

1. Chinese *
2. Spanish

EAST BOSTON (41,839)

Language Access demographic: (19,263) 46%

1. Spanish *
2. Arabic *
3. Portuguese/Cape Verdean Creole
4. Chinese
5. Italian
6. Vietnamese
7. French

FENWAY-KENMORE (31,966)

Language Access demographic: (3,167) 10%

1. Chinese *
2. Spanish
3. Russian
4. Korean
5. Arabic

HYDE PARK (33,621)

Language Access demographic: (5,300) 16%

1. Spanish *
2. Haitian Creole *

JAMAICA PLAIN (36,755)

Language Access demographic: (4,808) 13%

1. Spanish *
2. Chinese

MATTAPAN (23,078)

Language Access demographic: (4,319) 19%

1. Haitian Creole *
2. Spanish *
3. Vietnamese
4. French
5. Portuguese/Cape Verdean Creole

MISSION HILL-LONGWOOD (21,481)

Language Access demographic: (3,305) 15%

1. Spanish *
2. Chinese
3. Russian
4. Korean
5. Haitian Creole
6. Hindi
7. Japanese

NORTH END (8,914)

Language Access demographic: (422) 5%

1. Italian
2. Spanish
3. Portuguese/Cape Verdean Creole

ROSLINDALE (26,658)

Language Access demographic: (4,261) 16%

1. Spanish *
2. Haitian Creole *
3. Chinese
4. Greek
5. Portuguese/Cape Verdean Creole
6. Arabic

ROXBURY (47,642)

Language Access demographic: (8,772) 18%

1. Spanish *
2. Haitian Creole *
3. Portuguese/Cape Verdean Creole
4. Chinese

SOUTH BOSTON (34,179)

Language Access demographic: (2,970) 9%

1. Spanish *
2. Chinese

**SOUTH BOSTON WATERFRONT/
FORT POINT** (2,793)

Language Access demographic: (256) 9%

1. German

SOUTH END (28,890)

Language Access demographic: (4,500) 15%

1. Chinese *
2. Spanish *
3. Portuguese/Cape Verdean Creole

WEST END (5,646)

Language Access demographic: (552) 10%

1. Chinese
2. Spanish
3. Japanese
4. Portuguese/Cape Verdean Creole
5. Russian

WEST ROXBURY (30,331)

Language Access demographic: (2,866) 9%

1. Spanish
2. Chinese
3. Russian
4. Haitian Creole
5. Arabic