



**BOSTON HOUSING AUTHORITY (BHA)**  
**70 ST. BOTOLPH STREET SENIOR APARTMENTS**  
**RENTAL ASSISTANCE DEMONSTRATION (RAD) CONVERSION**

**PRESENTATION TO THE**  
**ST. BOTOLPH ARCHITECTURAL CONSERVATION DISTRICT**

September 16,  
2020 SUBMITTED

BY:



TISE DESIGN ASSOCIATES  
1075 Washington Street  
2nd FL  
Newton, MA 02465  
[www.tisedesign.com](http://www.tisedesign.com)  
617-581-6601

# EXISTING CONDITION PHOTOS



70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018







70 ST. BOTOLPH STREET  
TAKEN 10/12/2018



70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





St. Botolph Street  
**YARD SALE**  
Saturday - October 13<sup>th</sup> 8:00 AM  
in the Community Room, 70 St. Botolph Street  
70 St. Botolph Street  
Please Note: No Cash for Goods  
Please Note: No Cash for Goods  
Please Note: No Cash for Goods

  
**FAIR FOODS**  
\$2 BAG  
FRUIT & VEGGIES  
**THURSDAY**  
1-9

70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





St. Botolph Street  
YARD SALE

70 ST. BOTOLPH STREET  
TAKEN 10/12/2018



70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





**NO PARKING**  
UNAUTHORIZED VEHICLES  
WILL BE TOWED AT  
VEHICLE OWNERS EXPENSE

70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018





70 ST. BOTOLPH STREET  
TAKEN 10/12/2018



70 ST. BOTOLPH STREET  
TAKEN 07/08/2020





70 ST. BOTOLPH STREET  
TAKEN 05/15/2018







70 ST. BOTOLPH STREET  
TAKEN 05/15/2018



# PROPOSED CONSTRUCTION DOCUMENTS



# RAD BHA #1559-01 70 ST. BOTOLPH STREET

OWNER/SPONSOR: **BOSTON HOUSING AUTHORITY**

52 CHAUNCY STREET, BOSTON, MA 02111 P: 617.988.4000

EXECUTIVE DIRECTOR & CONTRACTING OFFICER:  
EXECUTIVE DIRECTOR: WILLIAM MCGONAGLE PROJECT MANAGER: RICHARD JEGOROW

ARCHITECT: **TISE DESIGN ASSOCIATES, INC.**  
246 WALNUT STREET #303, NEWTON, MA 02460 P: 617.581.6601

CIVIL & LANDSCAPE ENGINEER:  
**ALLEN & MAJOR ASSOCIATES**  
100 COMMERCE WAY WOBURN, MA 01801 P: 781.935.6889

STRUCTURAL ENGINEER:  
**ROGER HOBEIKA ASSOCIATES**  
39 IRVING STREET CAMBRIDGE, MA 02138 P: 617.924.5257

MECHANICAL/ ELECTRICAL/ PLUMBING & FIRE PROTECTION ENGINEER:  
**NORIAN SIANI ENGINEERING, INC.**  
43 BRADFORD STREET, 3RD FLOOR CONCORD, MA 01742 P: 781.398.2250

SPECIFICATIONS CONSULTANT:  
**ARCHITX, LLC**  
5 TOPSY DRIVE STAFFORD SPRINGS, CT 06076 P: 860.872.9627



LOCATION MAP  
ADDRESS:  
70 ST. BOTOLPH STREET, BOSTON, MA 02116

**HAZMAT NOTICE**

1. WALLBOARD JOINT COMPOUND ON WALLS & CEILINGS AT 70 ST. BOTOLPH STREET ARE ASBESTOS-CONTAINING MATERIALS (ACM), EXCEPT IN LOCATIONS AS INDICATED OR AS REQUIRED FOR NEW CONSTRUCTION, THE WALLS AND CEILINGS WILL NOT BE REMOVED OR ABATED IN PREPARATION FOR RENOVATIONS.
2. SOME INTERIOR DEMOLITION, CORING, AND DRILLING WORK SHOWN ON THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OR PLUMBING DRAWINGS MAY ONLY BE PERFORMED BY THE HAZMAT CONTRACTOR, REFER TO HAZMAT DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATION AND PROPER EXECUTION OF THIS WORK BY ALL THE TRADES.
3. THE ASBESTOS ABATEMENT CONTRACTOR SHALL MAKE PRE-MARKED LARGER (>1/2" DIA) OPENINGS IN WALLS & CEILINGS DURING ABATEMENT. INDIVIDUAL TRADE CONTRACTORS ARE RESPONSIBLE FOR MAKING SMALLER (<1/2" DIA) HOLES AND INSTALLING SCREWS & FASTENERS INTO ACM ON WALLS, FLOORS, AND CEILINGS.
4. THE DRILLING & FASTENING TO ACM IS AN OSHA CONSTRUCTION ASBESTOS STANDARD CLASS III ABATEMENT ACTIVITY AND TRADE CONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH 29 CFR 1926.1101. DRILLING THROUGH ACM SHALL BE CONDUCTED USING COWLED HEPA VACUUM EQUIPPED DRILLS OR, WITH OWNER REVIEW & ACCEPTANCE, UTILIZING ANOTHER OSHA COMPLIANT METHOD THAT DOES NOT RELEASE DUST.
5. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL PROVIDE ASBESTOS AWARENESS TRAINING FOR ON-SITE TRADE CONTRACTOR EMPLOYEES PERFORMING DRILLING IN OR FASTENING TO ACM. ALL TRADE CONTRACTORS SHALL CONSULT THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER FOR COORDINATION & GUIDANCE.
6. REFER TO HAZMAT ABATEMENT SPECIFICATIONS & DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**COVER SHEET**

**SURVEY**  
EXISTING CONDITIONS PLAN

**CIVIL**  
C-001 ABBREVIATIONS & NOTES  
C-101 SITE PREPARATION & EROSION CONTROL PLAN  
C-102 LAYOUT & MATERIALS PLAN  
C-103 GRADING & DRAINAGE PLAN  
C-501 DETAILS  
C-502 DETAILS  
C-503 DETAILS

**ARCHITECTURAL**  
A0.1 LEGEND, SYMBOLS & NOTES  
AD1.1 1ST FLOOR AND CRAWLSPACE DEMOLITION PLANS  
AD1.2 2ND & 3RD FLOOR AND 4TH THROUGH 7TH FLOOR DEMOLITION PLANS  
AD1.3 8TH FLOOR & ROOF DEMOLITION PLANS  
AD2.1 DEMO BUILDING ELEVATIONS  
AD2.2 DEMO BUILDING ELEVATIONS & BUILDING SECTIONS  
AD3.1 ENLARGED UNIT DEMOLITION PLANS  
A1.1 CRAWL SPACE & FIRST FLOOR PLANS  
A1.2 2ND & 3RD FLOOR AND 4TH THROUGH 7TH FLOOR PLANS  
A1.3 8TH FLOOR PLAN  
A1.4 ROOF PLAN & ROOF DETAILS  
A1.5 CRAWLSPACE & 1ST FLOOR AND 2ND & 3RD FLOOR REFLECTED CEILING PLANS & DETAILS  
A1.6 4TH THROUGH 7TH, 8TH FLOOR & PENTHOUSE REFLECTED CEILING PLANS  
A2.1 ST. BOTOLPH STREET & STUDIO PLACE ELEVATIONS  
A2.2 BUILDING ELEVATIONS, BUILDING SECTIONS, PARTIAL BUILDING SECTIONS & DUNNAGE DETAILS  
A3.1 ENLARGED UNIT PLANS  
A3.2 TYP. ELEVATOR LOBBY, 8TH FLR COMMON BALCONY, & PARTIAL 1ST FLR ENLARGED PLANS  
A3.3 PARTIAL FIRST FLOOR ENLARGED PLAN  
A3.4 PARTITION TYPES & FLOOR CEILING ASSEMBLIES  
A4.1 UNIT KITCHEN & BATHROOM ELEVATIONS & DETAILS  
A4.2 COMMUNITY KITCHEN ELEVATIONS & DETAILS  
A4.3 COMMON LAVATORY ELEVATIONS & DETAILS  
A4.4 COMMON LAUNDRY ELEVATIONS & DETAILS  
A4.5 COMMON AREA ELEVATIONS  
A4.6 RECEPTION DESK DETAILS  
A4.7 COMMON AREA ELEVATIONS  
A5.1 WALL SECTIONS  
A5.2 WALL SECTIONS  
A5.3 WALL SECTIONS  
A6.1 STAIR SECTIONS & DETAILS  
A7.1 ROOM FINISH SCHEDULE & TILE SCHEDULE  
A7.2 DOOR AND HOLLOW METAL SCHEDULE & DETAILS  
A8.1 WINDOW SCHEDULE & DETAILS  
A8.2 PARTIAL ELEVATIONS & STOREFRONT SCHEDULE  
A8.3 STOREFRONT DETAILS  
A8.4 STOREFRONT DETAILS  
A8.5 STOREFRONT DETAILS  
A8.6 STOREFRONT DETAILS  
A8.7 STOREFRONT DETAILS

**STRUCTURAL**  
S0.1 GENERAL NOTES & TYPICAL DETAILS  
S1.1 DEMOLITION AND PARTIAL FRAMING PLANS  
S1.2 DUNNAGE FRAMING PART PLAN  
S2.1 SECTIONS AND DETAILS

**PLUMBING**  
P0.1 PLUMBING LEGEND, NOTES & SCHEDULES  
PD1.1 CRAWLSPACE & FIRST FLOOR PLUMBING DEMOLITION PLAN  
PD1.2 TYPICAL SECOND & SEVENTH FLOOR PLUMBING DEMOLITION PLANS  
PD1.3 EIGHTH FLOOR & ROOF PLUMBING DEMOLITION PLAN  
P1.0 CRAWL SPACE & FIRST FLOOR PLUMBING PLAN  
P1.1 FIRST FLOOR PLUMBING PLAN  
P1.2 TYPICAL SECOND & THIRD FLOOR PLUMBING PLANS  
P1.3 TYPICAL FOURTH FLOOR PLUMBING PLANS  
P1.4 EIGHTH FLOOR & ROOF PLUMBING PLAN

**PLUMBING (CONTINUES)**  
P2.1 RISER DIAGRAMS  
P2.2 GAS DETAILS & PIPING SCHEMATIC  
P2.3 PLUMBING DETAILS  
P2.4 PLUMBING DETAILS

**MECHANICAL**  
M0.1 MECHANICAL LEGEND & NOTES  
M0.2 MECHANICAL SCHEDULES  
M0.3 MECHANICAL PIPING AND SCHEMATICS  
MD1.1 FIRST FLOOR MECHANICAL DEMOLITION PLAN  
MD1.2 TYPICAL SECOND & THIRD FLOOR MECHANICAL DEMOLITION PLAN  
M1.0 CRAWL SPACE MECHANICAL PLAN  
M1.1 FIRST FLOOR MECHANICAL PLAN  
M1.2 TYPICAL SECOND & THIRD FLOOR MECHANICAL PLANS  
M1.3 TYPICAL FOURTH THROUGH SEVENTH FLR MECHANICAL PLANS  
M1.4 EIGHTH FLOOR MECHANICAL PLAN  
M1.5 ROOF & PENTHOUSE MECHANICAL PLANS  
M2.1 MECHANICAL UNIT PLANS  
M2.2 MECHANICAL UNIT PLANS  
M4.1 MECHANICAL DETAILS  
M4.2 MECHANICAL DETAILS  
M4.3 MECHANICAL DETAILS  
M4.4 MECHANICAL DETAILS

**ELECTRICAL**  
E0.1 ELECTRICAL LEGEND & NOTES  
E0.2 ELECTRICAL DETAILS  
E0.3 ELECTRICAL PANEL SCHEDULES  
ED1.1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN  
ED1.2 TYPICAL 4TH THROUGH 7TH FLR ELECTRICAL DEMOLITION PLANS  
ED1.3 ROOF ELECTRICAL DEMOLITION PLAN  
E1.0 CRAWL SPACE ELECTRICAL PLAN  
E1.1 FIRST FLOOR ELECTRICAL PLAN  
E1.2 TYPICAL SECOND & THIRD FLOOR ELECTRICAL PLANS  
E1.3 ROOF ELECTRICAL PLAN  
E2.1 FIRST FLOOR LIGHTING PLANS  
E2.2 TYPICAL SECOND & THIRD FLOOR LIGHTING PLANS  
E2.3 ROOF LIGHTING PLANS  
E3.1 ELECTRICAL UNIT PLANS  
E3.2 ELECTRICAL UNIT PLANS  
E4.1 FIRST FLOOR ELECTRICAL PLAN

**FIRE ALARM**  
FA0.1 FIRE ALARM LEGEND, NOTE & DETAILS  
FA0.2 FIRE ALARM ONE-LINE DIAGRAM  
FA1.1 FIRST FLOOR FIRE ALARM PLAN  
FA1.2 TYPICAL SECOND & THIRD FLOOR FIRE ALARM PLANS  
FA2.1 FIRE ALARM UNIT PLANS  
FA2.2 FIRE ALARM UNIT PLANS

**FIRE SUPPRESSION**  
FS0.1 FIRE SUPPRESSION LEGEND, NOTES & DETAILS  
FSD1.1 FIRST FLOOR FIRE SUPPRESSION DEMOLITION PLAN  
FS1.1 FIRST FLOOR FIRE SUPPRESSION PLAN  
FS1.2 TYPICAL SECOND & THIRD FLOOR FIRE SUPPRESSION PLANS  
FS1.3 TYPICAL 4TH THROUGH 7TH FLOOR FIRE SUPPRESSION PLANS  
FS1.4 EIGHTH FLOOR FIRE SUPPRESSION PLAN  
FS1.5 ROOF FIRE SUPPRESSION PLAN  
FS2.1 FIRE SUPPRESSION DETAILS  
FS2.2 FIRE SUPPRESSION RISER DIAGRAM AND PIPING SCHEMATIC

**APPLICABLE REGULATION SUMMARY:**

**FEDERAL**  
FEDERAL FAIR HOUSING AMENDMENTS ACT \*  
THE PROJECT IS EXEMPT FROM THE FAIR HOUSING DESIGN REQUIREMENTS WHICH APPLY TO BUILDINGS BUILT FOR FIRST OCCUPANCY AFTER MARCH 13, 1991, WHICH FALL UNDER THE DEFINITION OF "COVERED MULTIFAMILY DWELLINGS."  
SECTION 504 OF THE FEDERAL REHABILITATION ACT  
UNIFORM FEDERAL ACCESSIBILITY STANDARDS  
AMERICANS WITH DISABILITIES ACT 2010 STANDARDS  
U.S. DEPARTMENT OF ENERGY  
FEDERAL HUD SECTION 8 HOUSING QUALITY STANDARDS & REHABILITATION GUIDELINES  
FEDERAL ENVIRONMENTAL PROTECTION AGENCY REGULATIONS

**MASSACHUSETTS**  
MA STATE BUILDING CODE 9TH EDITION (INTERNATIONAL BUILDING CODE 2015 WITH MA AMENDMENTS) CMR 780  
INTERNATIONAL EXISTING BUILDING CODE 2015 IN ACCORDANCE WITH CHAPTER 34 OF CMR 780  
FUEL GAS AND PLUMBING CODE CMR 248  
MA ELECTRICAL CODE 527 CMR 12  
MA FIRE REGULATIONS CMR 527 /NATIONAL FIRE PROTECTION AGENCY  
MA ARCHITECTURAL ACCESS BOARD REGULATIONS CMR 521\*  
AS ST. BOTOLPH STREET WAS CONSTRUCTED PRIOR TO SEPTEMBER 1, 1996 THE PROJECT IS EXEMPT FROM GROUP 1 UNIT REQUIREMENTS.  
MA STRETCH ENERGY CODE  
MA STATE SANITARY CODE 105 CMR 410  
MA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
MA DEPARTMENT OF PUBLIC HEALTH/ STATE SANITARY CODE  
STATE HOME, HSF, FCF, AND LIHTC PROGRAMS

**BOSTON**  
BOSTON HOUSING AUTHORITY DESIGN STANDARDS  
BOSTON PLANNING AND DEVELOPMENT AUTHORITY ARTICLE 37 CLIMATE RESILIENCY, SEA LEVEL RISE BASE FLOOD ELEVATION 18'  
BOSTON ZONING ARTICLE 41  
BOSTON PARKING FREEZE ZONE, BOSTON PROPER  
BOSTON WATER & SEWER COMMISSION GROUNDWATER CONSERVATION OVERLAY DISTRICT  
BOSTON ENVIRONMENT DEPARTMENT ST. BOTOLPH STREET PROTECTION AREA

**BUILDING SUMMARY**  
BUILDING CLASSIFICATION  
HIGH-RISE RESIDENTIAL R-2  
TYPE OF CONSTRUCTION & FIRE RESISTANCE RATINGS  
TYPE: 2A NON-COMBUSTIBLE PROTECTED CONSTRUCTION  
FIRE PROTECTION SYSTEM  
NFPA-13 (1991)

DWELLING UNIT DISTRIBUTION				BUILDING HEIGHT & AREA	
FLOOR	EFFICIENCY	1 BED	2 BED	BUILDING HEIGHT	GROSS FLOOR AREA
1	0	0	1	8 STORIES, #80'-6"	90,944 SF
2	11	6*	1**		
3	11	6*	1**		
4	12	7*	0		
5	12	7*	0		
6	12	7*	0		
7	12	7*	0		
8	12	7*	0		
TOTAL	82	47*	3**	*INCLUDES AN ACCESSIBLE 1 BED UNIT (7 TOTAL) **INCLUDES AN ACCESSIBLE 2 BED UNIT (2 TOTAL)	

**780 CMR TABLE 601**

BUILDING ELEMENT	TYPE IIA
PRIMARY STRUCTURAL FRAME	1 HOUR
BEARING WALLS (INTERIOR & EXTERIOR)	1 HOUR
NONBEARING WALLS & PARTITIONS (INTERIOR)*	0 HOUR**
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS**	1 HOUR**
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1 HOUR

\*1HR SEPARATION WALLS BETWEEN DWELLING UNITS PER 420.2 IN ACCORDANCE WITH SECTION 708.  
\*\*1HR HORIZONTAL SEPARATION REQUIRED BETWEEN DWELLING UNITS PER 420.3 IN ACCORDANCE WITH SECTION 711.

95% CONSTRUCTION DOCUMENTS SUBMISSION  
JULY 17, 2020

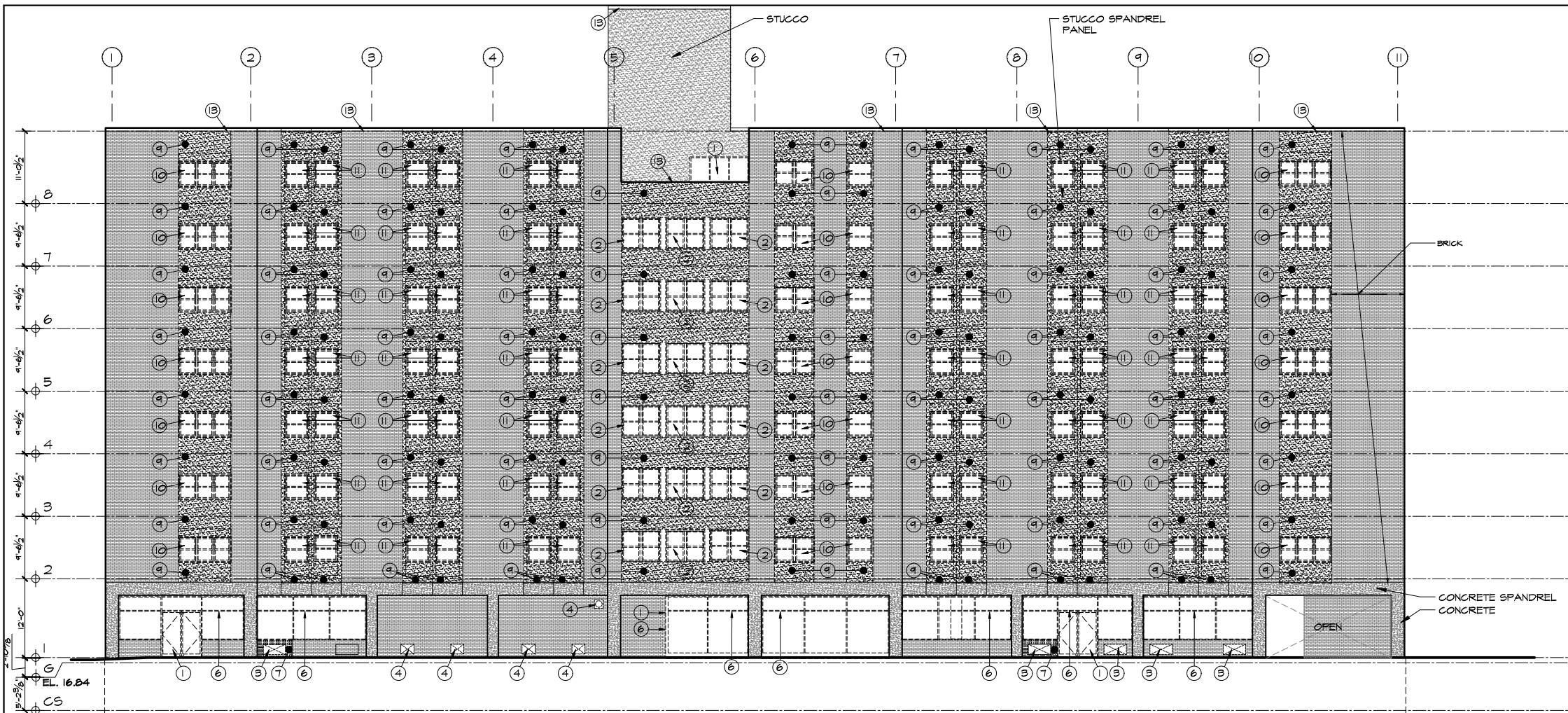




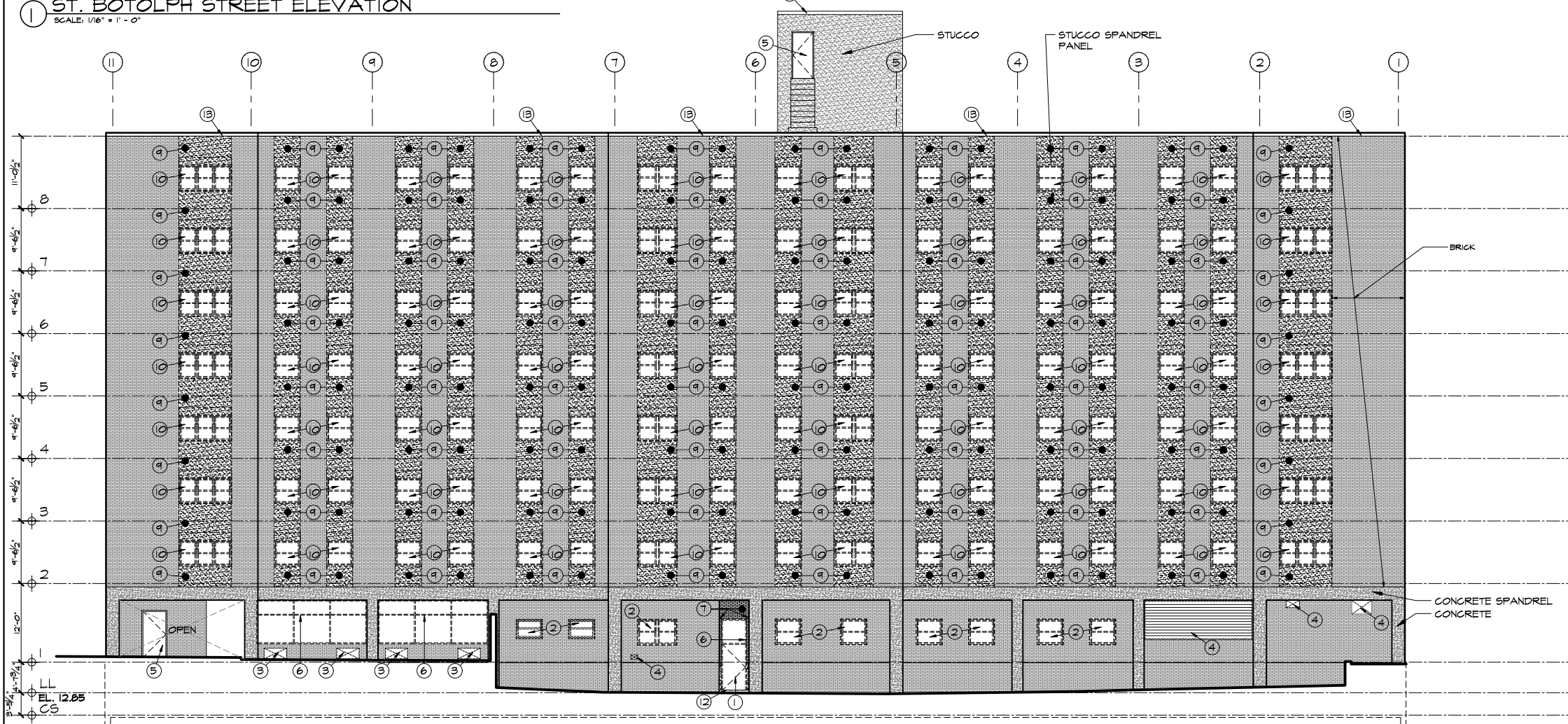








1 ST. BOTOLPH STREET ELEVATION  
SCALE: 1/16" = 1' - 0"



2 STUDIO PLACE ELEVATION  
SCALE: 1/16" = 1' - 0"

**HAZMAT NOTICE**  
ALL TRADES BE ADVISED WALLBOARD JOINT COMPOUND ON WALLS & CEILING ARE AEROSOLS CONTAINING MATERIALS (ACM) EXCEPT IN LOCATIONS INDICATED OR AS NOTED IN THE DEMOLITION DRAWINGS. THE WALLS AND CEILING SHALL BE REMOVED OR ABATED IN THE DEMOLITION WORK.  
SEE HAZMAT NOTICE ON COVER SHEET FOR ADDITIONAL INFORMATION REQUIREMENTS

**GENERAL NOTES FOR DEMOLITION**

- A. THESE DEMOLITION ELEVATION DRAWINGS WERE CREATED FROM THE ORIGINAL WORKING DRAWINGS AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH MAY BE EXPECTED TO OCCUR. VARIATIONS FROM THESE CONDITIONS ARE ASSUMED TO OCCUR AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE ACTUAL CONDITIONS OF THE WORK. NO REPRESENTATIONS ARE MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION GIVEN.
- B. SEE HAZMAT DRAWINGS AND SPECIFICATIONS FOR THE SCOPE OF WORK TO BE PERFORMED BY THE HAZMAT ABATEMENT SUBCONTRACTOR. ABATEMENT WORK SHALL INCLUDE, BUT IS NOT EXPRESSLY LIMITED TO: REMOVAL OF ACM GYPSUM/STUCCO WALL & CEILING ASSEMBLIES TO STUD FACE, CONTAMINATED/ACM INSULATION, ACM FLOORING, ACM MASTICS/ADHESIVES & CONTAMINATED UNDERLAYMENT, CABINETS & COUNTERTOPS & ACCESSORIES FASTENED TO ACM ASSEMBLIES, ACM CONTAINING CERAMIC TILE ASSEMBLIES INCLUDING MUD SET & WATERPROOFING, ACM CAULKING & SLAZING COMPANED AT WINDOWS & DOORS, REMOVAL OF PCB/MERCURY CONTAINING BALLASTS, LIGHTING FIXTURES, AND ELECTRICAL EQUIPMENT.
- C. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETS, FINISHES, PARTITIONS OR ANY OTHER NON-STRUCTURAL ITEMS MAY PROCEED AS INDICATED, WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREAS.
- D. WHERE ITEMS ARE REMOVED FROM WALLS, FLOORS, OR CEILING, ALL REMNANTS OF THEM SHALL BE REMOVED COMPLETELY, UNLESS SPECIALLY IDENTIFIED AS ITEMS TO BE ABANDONED. WALLS SHALL BE LEFT IN A CONDITION FREE FROM PROTRUSIONS, WHERE A PARTITION OR WALL DEMOLITION IS SHOWN TO A CORNER OR AN INTERSECTING WALL, NO MATERIAL SHALL PROTRUDE FROM THE ADJOINING MATERIAL.
- E. THE INTENT OF THE DEMOLITION ELEVATIONS ARE TO SHOW THE GENERAL SHAPE AND LOCATION OF THE SELECTIVE DEMOLITION WORK. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL SPECIFICALLY REQUIRED DEMOLITION FOR THE REMOVAL AND/OR INSTALLATION OF ANY WORK SHOWN FOR ALL TRADES INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING TRADES. REFER TO CIVIL, MECHANICAL, ELECTRICAL PLUMBING, FIRE PROTECTION, AND FIRE ALARM DRAWINGS FOR ADDITIONAL REQUIREMENTS & DEMOLITION WORK. REMOVE ITEMS SHOWN DASHED, HATCHED OR NOTED ON PLANS AND/OR REQUIRING REMOVAL TO INSTANT NEW CONSTRUCTION AND FINISHES AS SHOWN AND/OR SPECIFIED.
- F. ALL REMOVED ITEMS ARE TO BE PROPERLY AND LAWFULLY DISPOSED OF UNLESS SPECIFIED TO BE REINSTALLED. ALL WORK, INCLUDING DEMOLITION, REMOVAL, ABANDONMENT, OR REPAIR SHALL BE CARRIED IN ACCORDANCE WITH GOOD PROFESSIONAL PRACTICE AND CONFORM TO ALL RELEVANT LAWS AND REGULATIONS.

**DEMOLITION LEGEND**

- EXISTING ITEMS TO REMAIN
- ITEMS TO BE DEMOLISHED

**DEMOLITION ELEVATION KEY NOTES**

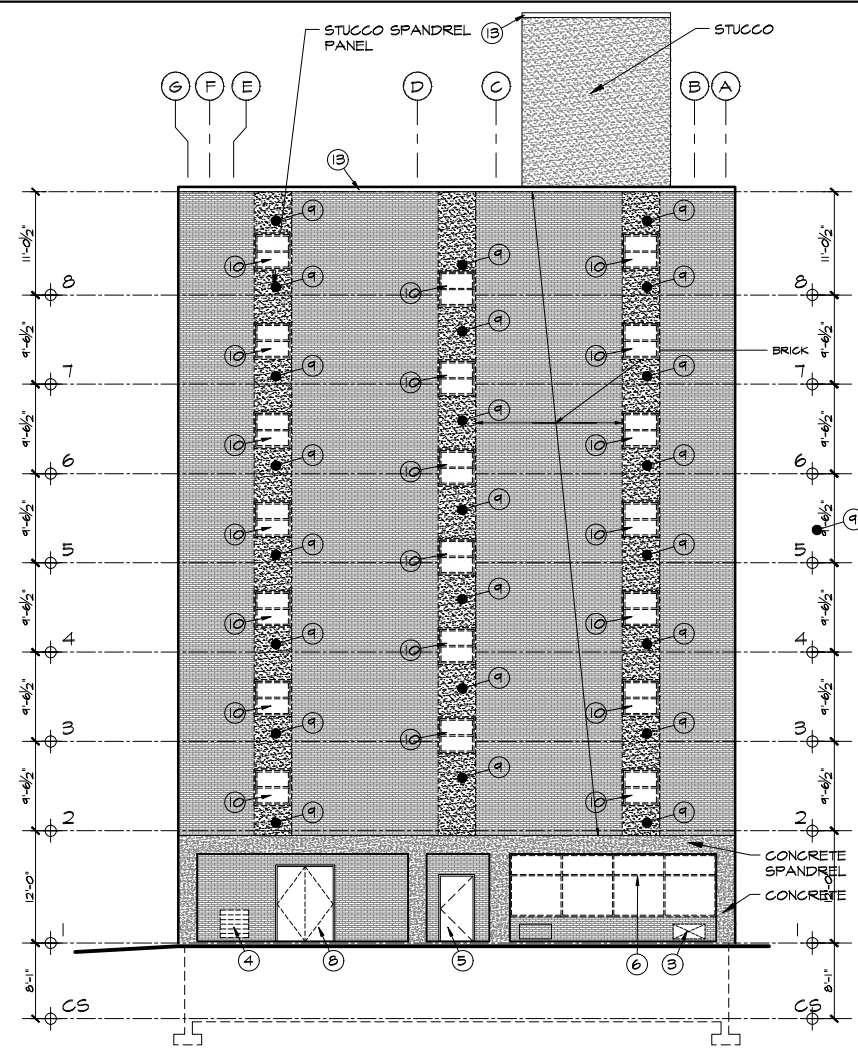
- 1 REMOVE DOOR & DOOR FRAME ASSEMBLY, INCLUDING TRIM, CASING, DOOR SIDELITES, HARDWARE, & OTHER ITEMS ATTACHED TO THE FRAME OR ADJACENT WALL
- 2 REMOVE WINDOW ASSEMBLY AND TRIM, SEE WINDOW SCHEDULE & DETAILS
- 3 REMOVE THROUGH WALL AIR CONDITIONERS AND SLEEVES, -SEE MECHANICAL DRAWINGS
- 4 REMOVE FANS, WALL CAPS, & LOUVERS, -SEE MECHANICAL DRAWINGS
- 5 EXISTING DOOR/FRAME TO REMAIN, REMOVE HANDSET HARDWARE
- 6 REMOVE STOREFRONT SYSTEM INCLUDING TRIM, CASING, HARDWARE AND OTHER ITEMS THAT MAY BE ATTACHED TO THE FRAME OR ADJACENT WALL
- 7 REMOVE MASONRY WALL, -SEE WALL SECTIONS & STOREFRONT DETAILS FOR ADDITIONAL INFORMATION
- 8 REMOVE DOOR & THRESHOLD, EXISTING FRAME TO REMAIN
- 9 REMOVE STUCCO CLADDING ASSEMBLY AT WINDOW BANDS (INCLUDING BUT NOT LIMITED TO STUCCO, SHEATHING, WEATHERPROOFING, FASTENERS, BATT INSULATION) TO FACE OF STUDS
- 10 REMOVE WINDOW ASSEMBLY, TRIM, & HEAD FRAMING TO ENLARGE WINDOW OPENING, SEE WINDOW DETAILS FOR ADDITIONAL DEMOLITION SCOPE
- 11 REMOVE WINDOW ASSEMBLY, TRIM AND HEAD & SILL FRAMING TO ENLARGE WINDOW OPENING, SEE WINDOW DETAILS FOR ADDITIONAL DEMOLITION SCOPE
- 12 REMOVE CONCRETE SLAB, -SEE STRUCTURAL AND ARCHITECTURAL DRAWINGS
- 13 REMOVE COPINGS AND ROOF MEMBRANE ASSEMBLY, -SEE DEMO PLANS

**TISE DESIGN ASSOCIATES**  
Project Management  
Site Planning  
Architecture

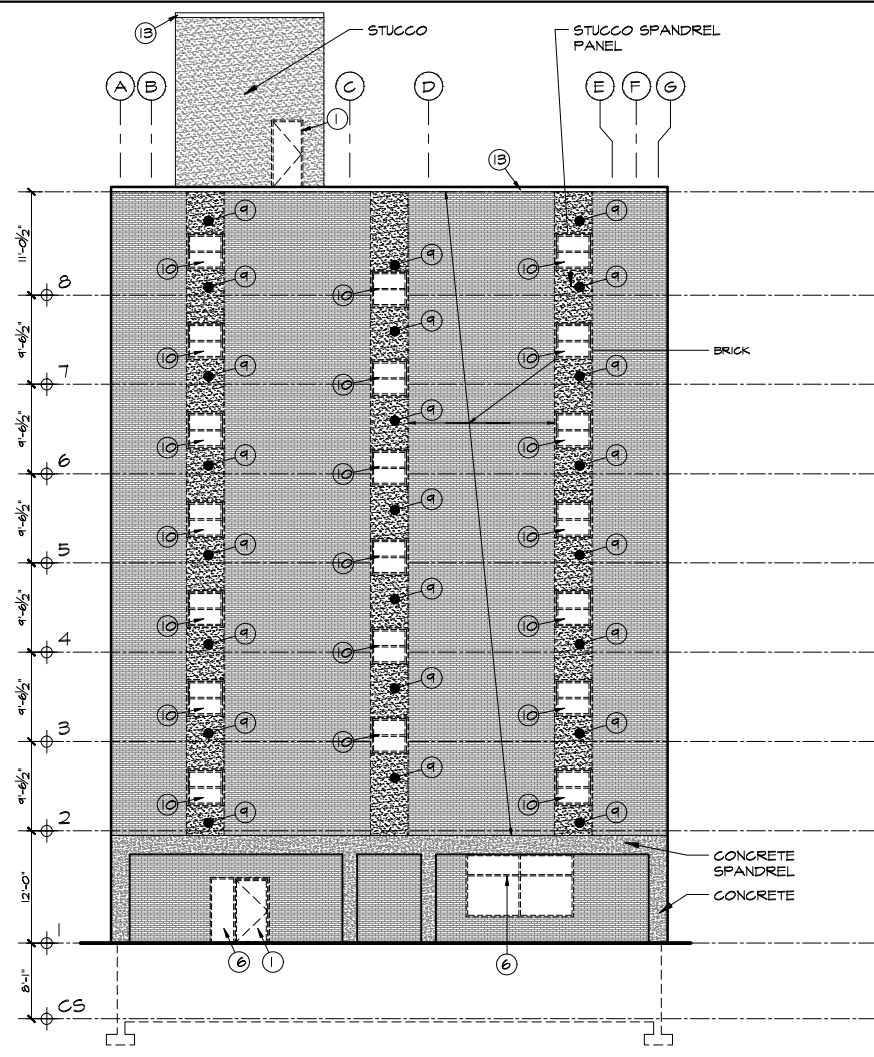
2nd Floor  
1075 Washington Street  
West Newton, Massachusetts 02465  
617.581.6601

<p>DATE(S) ISSUED <b>OCTOBER 25, 2018</b> DESIGN SCHEMATIC DESIGN <b>MARCH 7, 2019</b> DESIGN DEVELOPMENT SUBMISSION <b>JULY 17, 2020</b> FOR CONSTRUCTION DOCUMENTS SUBMISSION</p>	<p>REVISIONS</p> <p>SCALE: AS NOTED</p> <p>PROJECT#: 1559-01</p> <p>BOSTON HOUSING AUTHORITY <b>70 ST. BOTOLPH STREET</b> RENTAL ASSISTANCE DEMONSTRATION PROJECT BOSTON, MA 02216 DRAWING TITLE: <b>DEMO BUILDING ELEVATIONS</b></p> <p>REGISTRATION</p> <p>DRAWING #: <b>AD2.1</b></p>
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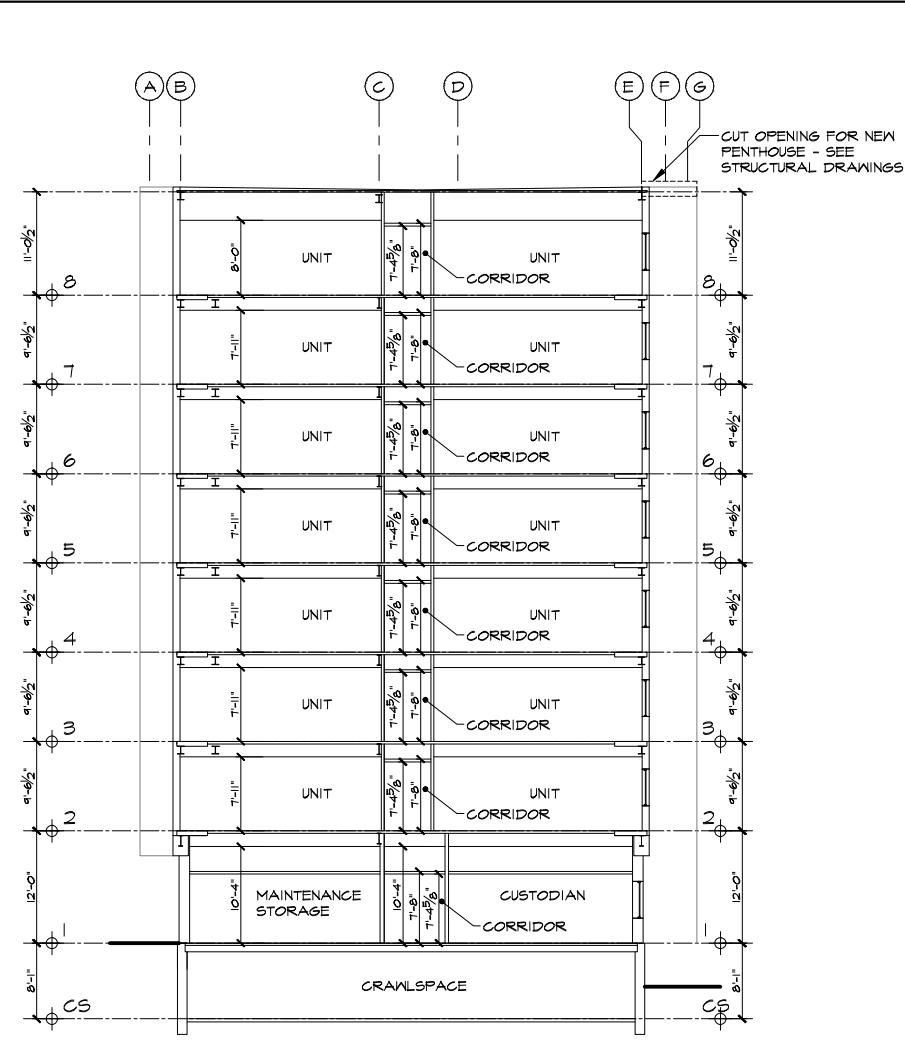




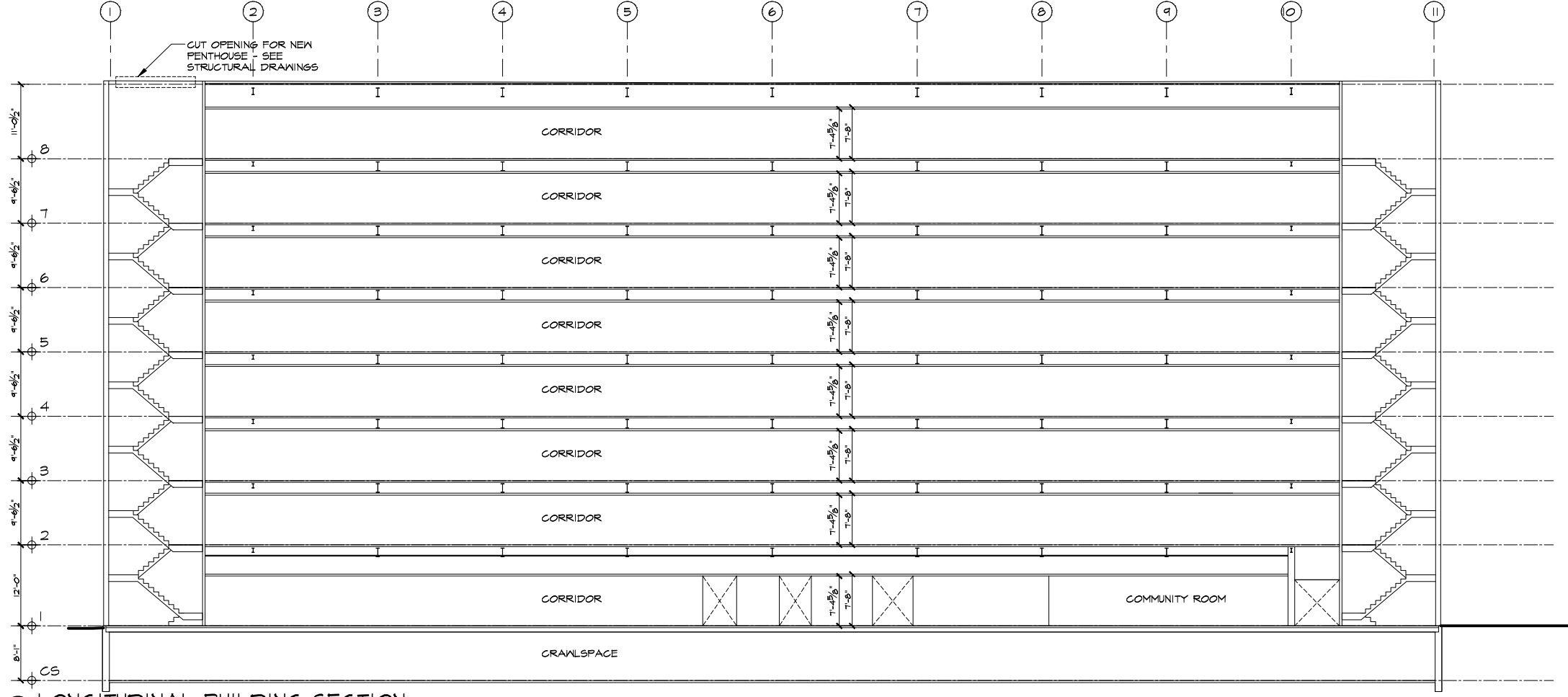
**3 GARRISON STREET ELEVATION**  
SCALE: 1/16" = 1' - 0"



**4 FOLLEN STREET ELEVATION**  
SCALE: 1/16" = 1' - 0"



**6 BUILDING SECTION**  
SCALE: 1/16" = 1' - 0"



**5 LONGITUDINAL BUILDING SECTION**  
SCALE: 1/16" = 1' - 0"

**HAZMAT NOTICE**  
ALL TRACES OF LEAD-BASED PAINT, ASBESTOS, AND OTHER HAZARDOUS MATERIALS ARE TO BE REMOVED OR ABATED IN PREPARATION FOR REDEMPTION. SEE HAZMAT NOTICE ON COVER SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**GENERAL NOTES FOR DEMOLITION**  
SEE ADD.1 FOR GENERAL NOTES FOR DEMOLITION

**DEMOLITION LEGEND**  
EXISTING ITEMS TO REMAIN [Solid Line]  
ITEMS TO BE DEMOLISHED [Dashed Line]

**DEMOLITION ELEVATION KEY NOTES**

- 1 REMOVE DOOR & DOOR FRAME ASSEMBLY, INCLUDING TRIM, CASING, DOOR SIDELITES, HARDWARE, & OTHER ITEMS ATTACHED TO THE FRAME OR ADJACENT WALL
- 2 REMOVE WINDOW ASSEMBLY AND TRIM, SEE WINDOW SCHEDULE & DETAILS
- 3 REMOVE THROUGH WALL AIR CONDITIONERS AND SLEEVES, -SEE MECHANICAL DRAWINGS
- 4 REMOVE FANS, WALL CAPS, & LOUVERS, -SEE MECHANICAL DRAWINGS
- 5 EXISTING DOOR/FRAME TO REMAIN, REMOVE HANDSET HARDWARE
- 6 REMOVE STOREFRONT SYSTEM INCLUDING TRIM, CASING, HARDWARE AND OTHER ITEMS THAT MAY BE ATTACHED TO THE FRAME OR ADJACENT WALL
- 7 REMOVE MASONRY WALL, -SEE WALL SECTIONS & STOREFRONT DETAILS FOR ADDITIONAL INFORMATION
- 8 REMOVE DOOR & THRESHOLD, EXISTING FRAME TO REMAIN
- 9 REMOVE STUCCO CLADDING ASSEMBLY AT WINDOW BANDS (INCLUDING BUT NOT LIMITED TO STUCCO, SHEATHING, WEATHERPROOFING, FASTENERS, BATT INSULATION) TO FACE OF STUDS
- 10 REMOVE WINDOW ASSEMBLY, TRIM, & HEAD FRAMING TO ENLARGE WINDOW OPENING, SEE WINDOW DETAILS FOR ADDITIONAL DEMOLITION SCOPE
- 11 REMOVE WINDOW ASSEMBLY, TRIM, AND HEAD & SILL FRAMING TO ENLARGE WINDOW OPENING, SEE WINDOW DETAILS FOR ADDITIONAL DEMOLITION SCOPE
- 12 REMOVE CONCRETE SLAB, -SEE STRUCTURAL AND ARCHITECTURAL DRAWINGS
- 13 REMOVE COPINGS AND ROOF MEMBRANE ASSEMBLY, -SEE DEMO PLANS

REVISIONS	DATE	DESCRIPTION

SCALE: AS NOTED

PROJECT#: 1559-01

BOSTON HOUSING AUTHORITY  
**70 ST. BOTOLPH STREET**  
RENTAL ASSISTANCE DEMONSTRATION PROJECT  
BOSTON, MA 02216  
DRAWING TITLE:  
**DEMO BUILDING ELEVATIONS & BUILDING SECTIONS**

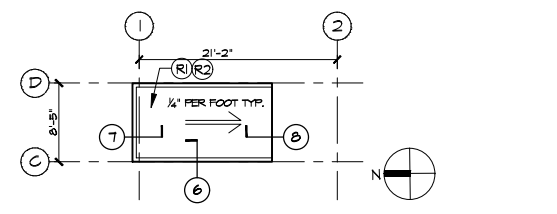
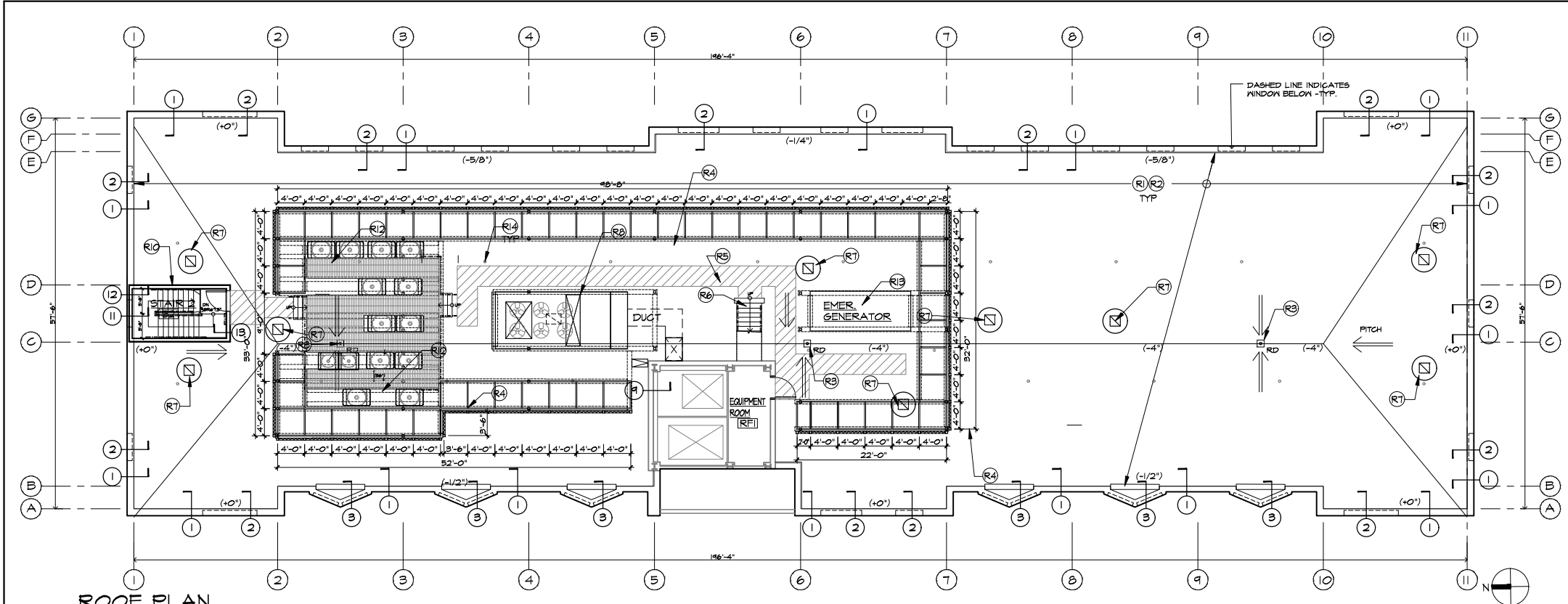
REGISTRATION

DRAWING #:  
**AD2.2**

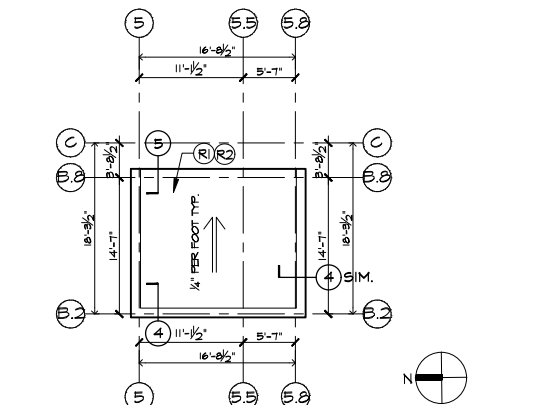






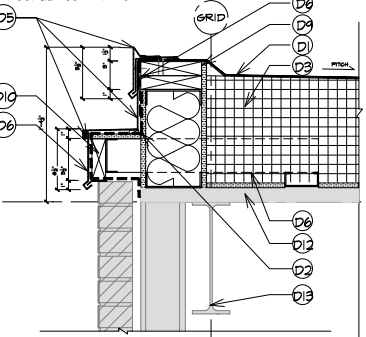


**STAIR PENTHOUSE ROOF PLANS**  
SCALE: 1/8" = 1'-0"

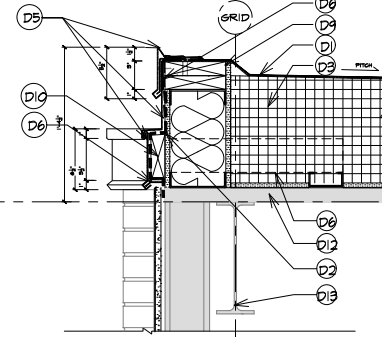


**PENTHOUSE ROOF PLANS**  
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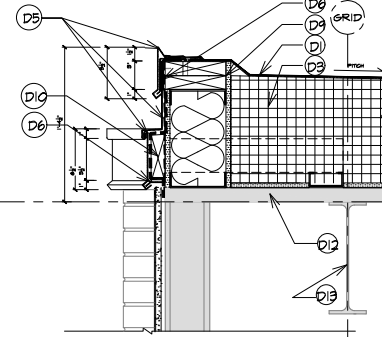
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



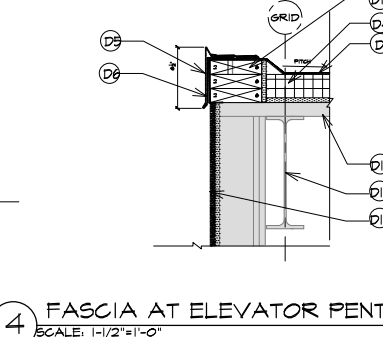
**1 FASCIA AT BRICK DTL**  
SCALE: 1-1/2" = 1'-0"



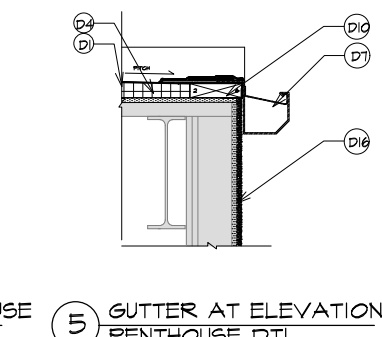
**2 FASCIA AT NICHHA WALL DTL**  
SCALE: 1-1/2" = 1'-0"



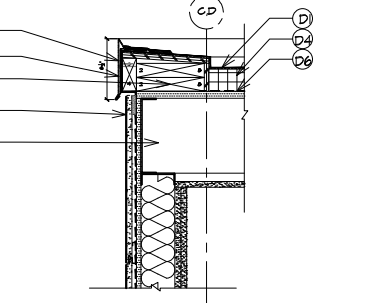
**3 FASCIA BAY WINDOW**  
SCALE: 1-1/2" = 1'-0"



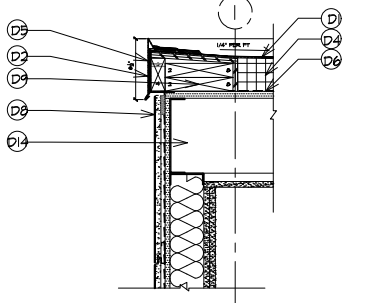
**4 FASCIA AT ELEVATOR PENTHOUSE**  
SCALE: 1-1/2" = 1'-0"



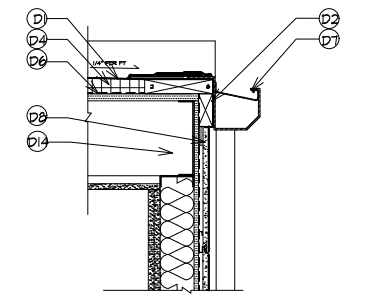
**5 GUTTER AT ELEVATION PENTHOUSE DTL**  
SCALE: 1-1/2" = 1'-0"



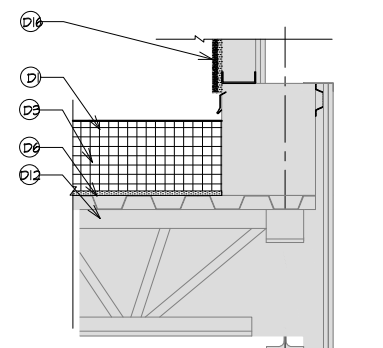
**6 FASCIA AT STAIR DTL**  
SCALE: 1-1/2" = 1'-0"



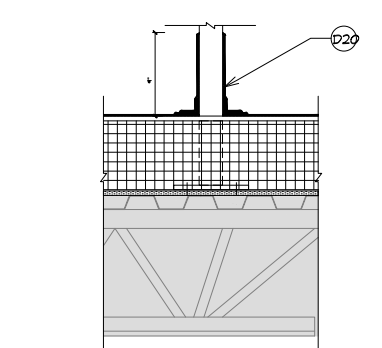
**7 FASCIA @ STAIR ABOVE BRICK WALL DTL**  
SCALE: 1-1/2" = 1'-0"



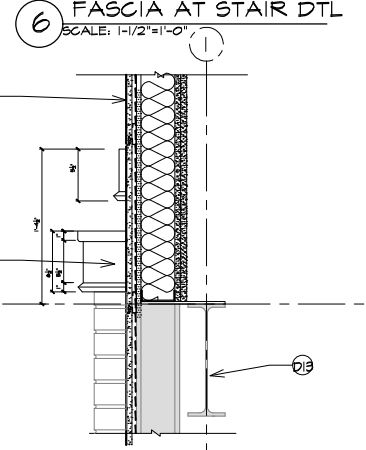
**8 GUTTER AT STAIR DTL**  
SCALE: 1-1/2" = 1'-0"



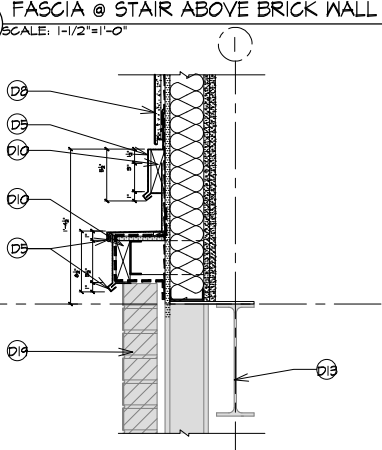
**9 DTL @ WALL TERMINATION**  
SCALE: 1-1/2" = 1'-0"



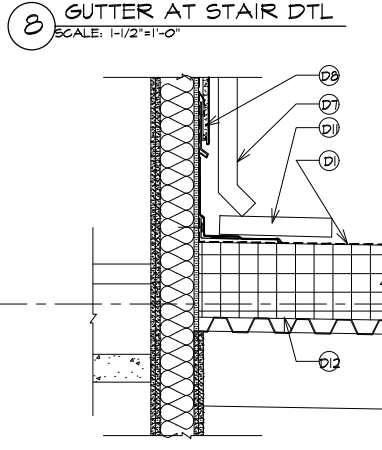
**10 DUNNAGE PENETRATION DTL**  
SCALE: 1-1/2" = 1'-0"



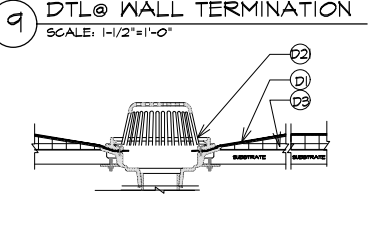
**11 STAIR AT WALL INTERSECTION DTL**  
SCALE: 1-1/2" = 1'-0"



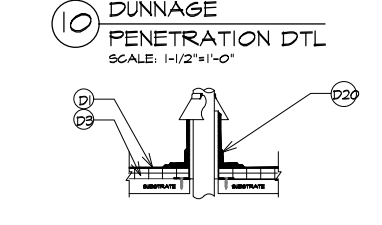
**12 STAIR AT BRICK WALL INTERSECTION DTL**  
SCALE: 1-1/2" = 1'-0"



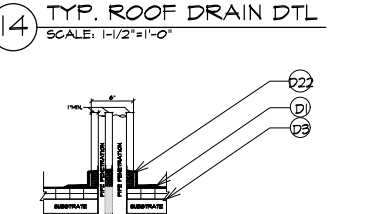
**13 BASE AT STAIR WALL DTL**  
SCALE: 1-1/2" = 1'-0"



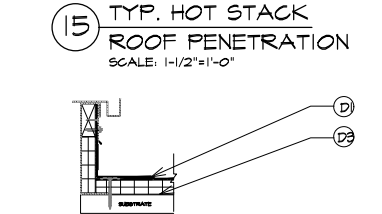
**14 TYP. ROOF DRAIN DTL**  
SCALE: 1-1/2" = 1'-0"



**15 TYP. HOT STACK ROOF PENETRATION**  
SCALE: 1-1/2" = 1'-0"



**16 PITCH POCKET DTL**  
SCALE: 1-1/2" = 1'-0"



**17 CURB DTL**  
SCALE: 1-1/2" = 1'-0"

- ROOF PLAN KEY NOTES**
- (R) NEW SINGLE PLY REINFORCED 60 MIL TPO ADHERED ROOFING SYSTEM - SEE SPECIFICATIONS
  - (R2) NEW R-20 RIGID INSULATION MECHANICALLY FASTEN TO EXISTING STEEL DECK
  - (R3) NEW ROOF DRAIN & SUMP
  - (R4) ROOF SCREEN OVER STEEL DUNNAGE - SEE DTL J/A2.2
  - (R5) NEW 3" TPO WALKWAY PAD
  - (R6) PREP, PRIME & PAINT EXISTING STEEL STAIR TO REMAIN
  - (R7) NEW KITCHEN EXHAUST CAP OVER EXISTING CURB
  - (R8) NEW ERV UNIT ON STEEL DUNNAGE PROVIDE 4" FORM FLASHING AT EACH LEG OF POST - SEE DTL H/A2.2
  - (R9) NEW Z.C.C. GUTTER & DOWNSPOUT TO SPLASH PAD
  - (R10) NEW STAIR PENTHOUSE
  - (R11) NEW TAPERED RIGID INSULATION AVG R-20
  - (R12) NEW CONDENSER UNIT W/ NEW EQUIPMENT STAND
  - (R13) NEW EMERGENCY GENERATOR ON STEEL DUNNAGE PROVIDE 4" FORM FLASHING AT EACH LEG OF POST - SEE DTL H/A2.2
  - (R14) PLUMBING VENT & BOOT

- ROOFING DETAIL KEY NOTES**
- (D) (N) 60 MIL FULLY ADHERED TPO MEMBRANE ROOFING SYSTEM
  - (D2) (N) FULLY ADHERED TPO MEMBRANE ROOFING UNDER FLASHING
  - (D3) (N) R20 RIGID INSULATION
  - (D4) (N) R20 TAPER INSULATION PITCH TO GUTTER
  - (D5) (N) 16 OZ ZINC COATED COPPER FASCIA WITH DRIP EDGE
  - (D6) (N) 3/4" TYPE X DENSGLASS SHEATHING OVER EXISTING METAL DECK
  - (D7) (N) 6"x6" ZINC COATED COPPER GUTTER W/ 4" DIAMETER DOWNSPOUT
  - (D8) (N) NICHHA WALL PANEL SIDING SYSTEM
  - (D9) (N) 2-2X8 P.T. WOOD BLOCKING FASTEN TO FRAMING
  - (D10) (N) 2X6 P.T. WOOD BLOCKING FASTEN TO DECKING OR FRAMING
  - (D11) (N) CONCRETE SPLASH BLOCK
  - (D12) (E) STEEL DECK
  - (D13) (E) STEEL BEAM
  - (D14) (N) COLD FORMED FRAMING - SEE STRUCTURAL DRAWING
  - (D15) (E) STEEL BAR JOIST
  - (D16) (N) COATING OVER EXISTING PLASTER
  - (D17) (E) BRICK WALL BEYOND
  - (D18) (N) METAL FASCIA BEYOND - SEE DTL 12
  - (D19) (E) BRICK WALL WITH METAL STUDS
  - (D20) (N) TPO FORM FLASHING
  - (D21) (N) ROOF DRAIN W/ WATER DAM COMPRESSION RING
  - (D22) (N) FIELD FABRICATED METAL HOOD WITH POURABLE SEALER

**TDA**  
TISE DESIGN ASSOCIATES, INC. 2020

TISE DESIGN ASSOCIATES  
Project Management  
Site Planning  
Architecture  
2nd Floor  
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DATE(S) ISSUED  
**OCTOBER 25, 2018**  
REVISION SCHEDULE DESIGN  
**MARCH 7, 2019**  
DESIGN DEVELOPMENT SUBMISSION  
**JULY 17, 2020**  
FOR CONSTRUCTION DOCUMENTS SUBMISSION

REVISIONS

SCALE: AS NOTED  
PROJECT#: 1559-01

BOSTON HOUSING AUTHORITY  
**70 ST. BOTOLPH STREET**  
RENTAL ASSISTANCE DEMONSTRATION PROJECT  
BOSTON, MA 02216  
DRAWING TITLE:  
**ROOF PLAN & ROOF DETAILS**

REGISTRATION

DRAWING #:  
**A1.4**











**DOOR KEYNOTES**

- ① PARTITION TYPE PER PLAN
- ② HOLLOW METAL FRAME
- ③ DOOR - SEE DOOR SCHEDULE
- ④ BI-FOLD DOOR
- ⑤ BI-FOLD DOOR HARDWARE
- ⑥ EXISTING MALL ASSEMBLY
- ⑦ 5/8" CEMENTIOUS TILE BACKER BOARD
- ⑧ WALL TILE, SEE TILE SCHEDULE
- ⑨ R-25 BATT INSULATION
- ⑩ SMART VAPOR BARRIER
- ⑪ FLASHINGS
- ⑫ CEMENTIOUS RAIN SCREEN PANEL SYSTEM
- ⑬ SUSPENDED CEILING SYSTEM - SEE RCP
- ⑭ HOLLOW METAL WINDOW - SEE FRAME ELEVATIONS
- ⑮ 3-5/8" METAL STUDS (6" O.C. TYP)
- ⑯ RESILIENT CHANNEL
- ⑰ MINERAL WOOL INSULATION
- ⑱ 5/8" TYPE X GYPSUM
- ⑲ J-BEAD
- ⑳ WEATHER BARRIER
- ㉑ DENSGLASS SHEATHING

**DOOR SCHEDULE**

AREA	DOOR OPENING	LOCATION	DOOR OPENING		FRAME			DOOR		GENERAL			
			TO-INSIDE	TO-OUTSIDE	QUANTITY (LEAVES)	WIDTH	HEIGHT	THICKNESS OF DOOR	MATERIAL		MTL. GAUGE	ELEVATION TYPE	U.L. LABEL
GROUND FLOOR	101	EXTERIOR VESTIBULE	1	3'-6" T-0"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	102	VESTIBULE LOBBY/RECEPTION	1	3'-6" T-0"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	103	CORRIDOR CHA PLANT	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	104	CORRIDOR HANDWASH	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	105	CORRIDOR SWITCHGEAR	2	6'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	106	CORRIDOR MULTIPURPOSE ROOM	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	107	EXTERIOR CORRIDOR	1	3'-6" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	108	CORRIDOR RECEPTION	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	109	CORRIDOR COMPUTER LAB	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	110	CORRIDOR HANDWASH	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2					
	111	EXTERIOR STAIR 1	1	3'-0" 6'-8"	1-3/4"	EXT	EXISTING DOOR WITH NEW HARDWARE						
	112	EXTERIOR SERVICE CORRIDOR	2	6'-0" 8'-0"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	113	SERVICE CORRIDOR RECEPTION	1	3'-0" T-10"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T2	HM	18	F		①②③④
	114	HANDWASH SERVICE CORRIDOR	2	6'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	115	SERVICE CORRIDOR FIRE PUMP	2	6'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	116	SERVICE CORRIDOR TRASH ROOM	2	6'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	117	CORRIDOR TRASH ROOM	2	6'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	118	TRASH ROOM SERVICE BLDG	1	3'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	119	CORRIDOR LAUNDRY	1	3'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
	120	CORRIDOR STORAGE	1	3'-0" T-10"	1-3/4"	EXT	NEW DOORS THRESHOLD, HARDWARE & FRAME	T1	HM	18	V		①②③④
121	MAIL AREA RECEPTION	1	3'-0" 8'-0"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
122	EXTERIOR REAR VESTIBULE	1	3'-6" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
123	MAIL AREA RECEPTION	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
124	MAIL AREA RECEPTION	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
125	MAIL AREA RECEPTION	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
126	CORRIDOR MEN'S LAVATORY	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
127	CORRIDOR MEN'S LAVATORY	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
128	COURTYARD STAIR 2	1	3'-0" 6'-8"	1-3/4"	EXT	EXISTING DOOR WITH NEW HARDWARE							
129	EXTERIOR COURTYARD	1	3'-6" 6'-0"	1-3/4"	EXT	FABRICATED STEEL GATE SEE ELEVATION & DETAILS							
130	COURTYARD COMMUNITY ROOM	1	3'-6" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
131	EXTERIOR COMMUNITY ROOM	1	3'-6" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
132	COMMUNITY ROOM COMMUNITY KITCHEN	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
133	COMMUNITY ROOM COMMUNITY KITCHEN	1	3'-0" T-10"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						
134	COMMUNITY ROOM PANTRY	2	2'-8" T-10"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T5	SCMD	-	F		④	
135	CORRIDOR ELECTRIC LAB	1	3'-0" T-10"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T4	HM	18	F		⑤	
136	CORRIDOR JANITOR CLOSET	1	3'-0" T-10"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T4	HM	18	F		⑤	
137	COMMUNITY ROOM CLOSET	1	3'-0" T-10"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T5	SCMD	-	F		④	
T01	CORRIDOR STAIR 1	1	3'-0" 6'-8"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T2	HM	18	F		⑤	
T02	ELEVATOR LOBBY CORRIDOR	2	1'-0" 6'-8"	1-3/4"	EXT	EXISTING DOOR WITH NEW THRESHOLD & HARDWARE	T3	HM	18	F		⑤	
T03	ELEVATOR LOBBY COMMON BALCONY	1	3'-6" 6'-8"	1-3/4"	EXT	ALUMINUM STOREFRONT SYSTEM	SEE SHEETS B.1 & A8.2						

**GENERAL NOTE FOR DOOR SCHEDULE**

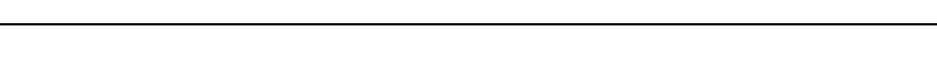
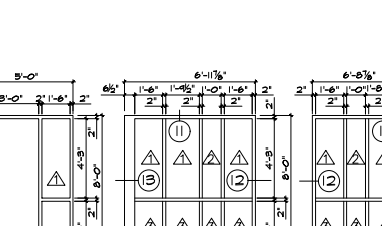
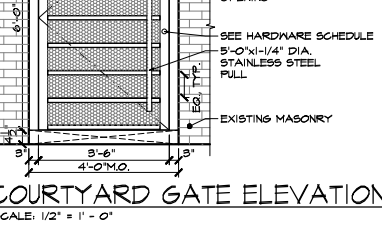
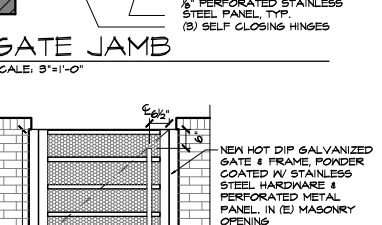
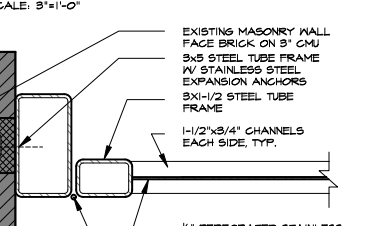
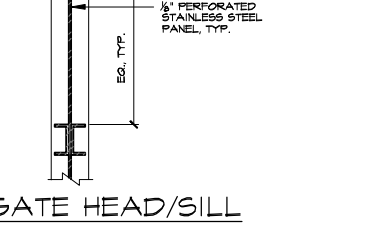
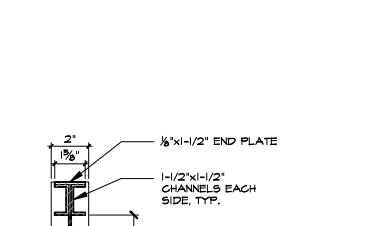
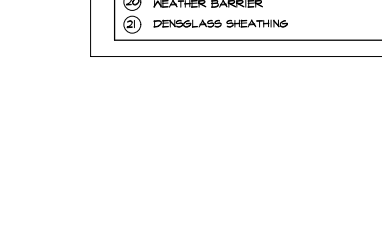
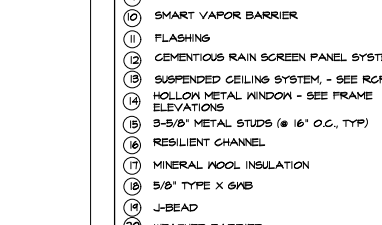
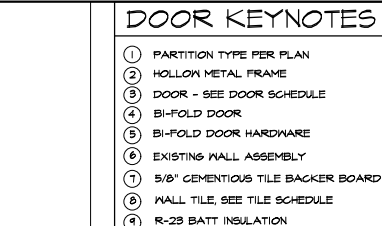
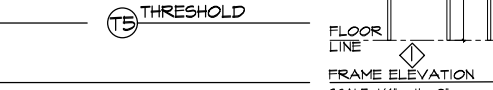
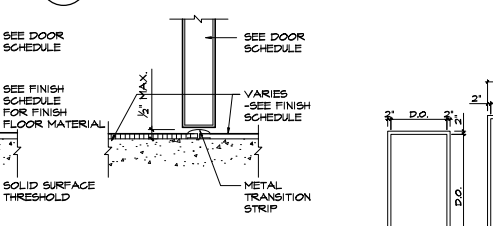
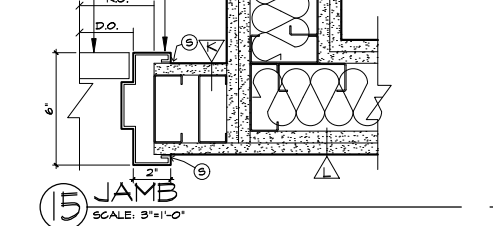
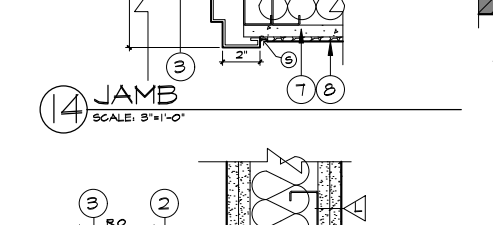
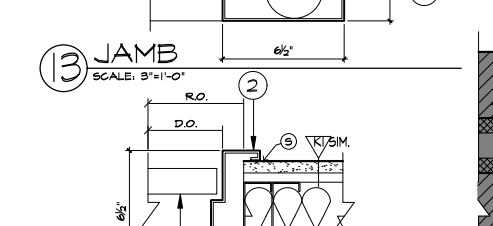
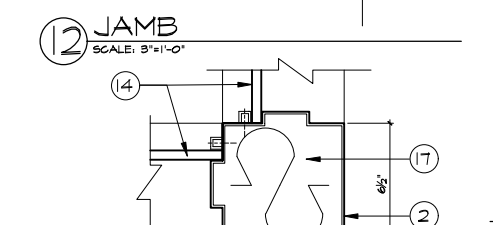
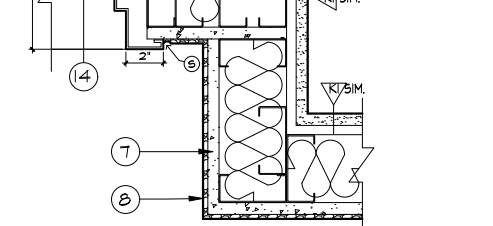
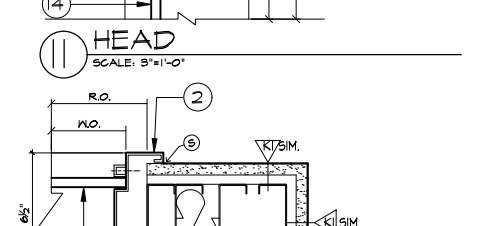
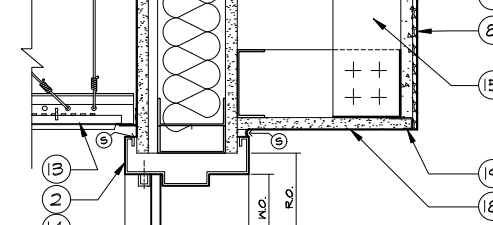
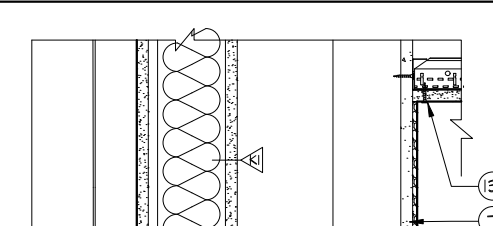
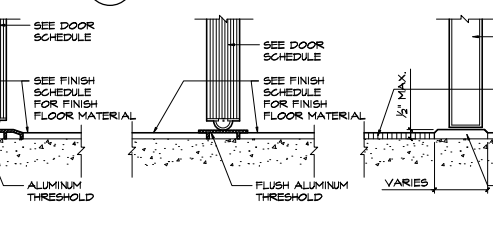
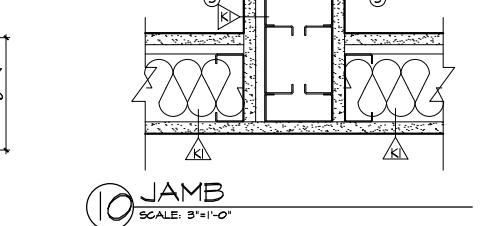
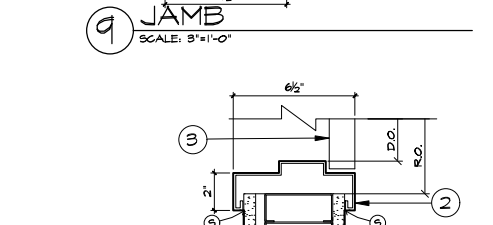
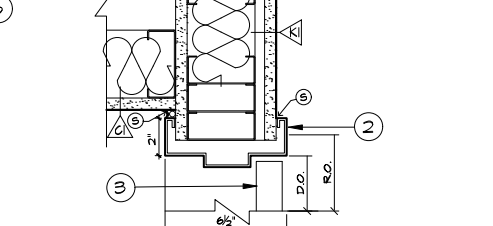
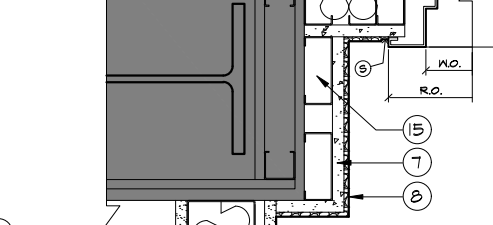
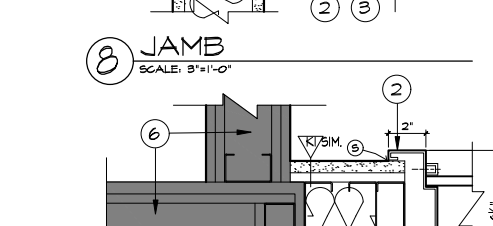
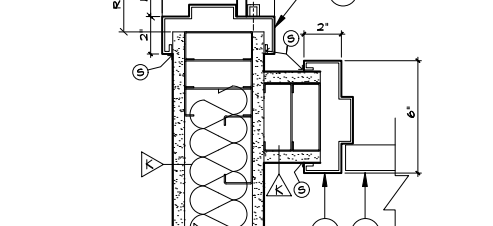
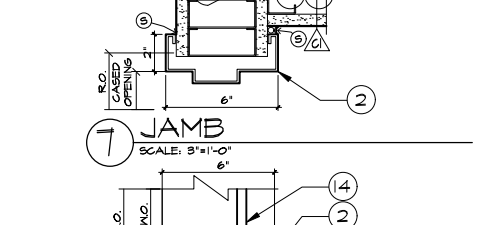
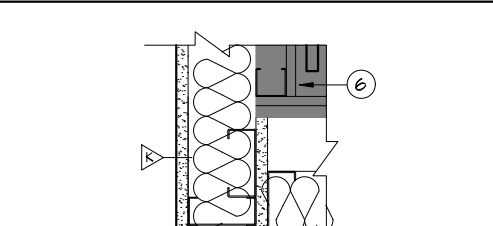
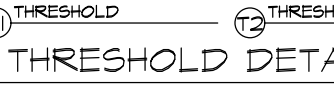
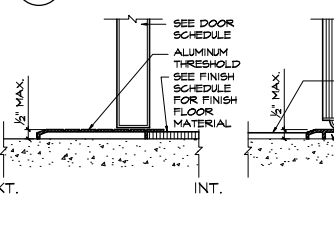
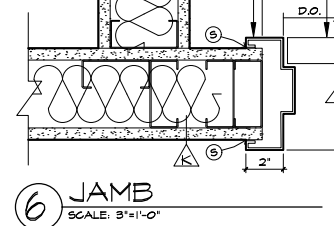
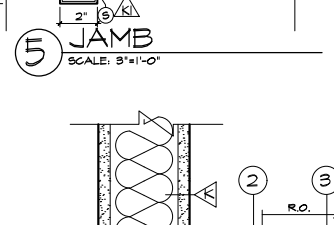
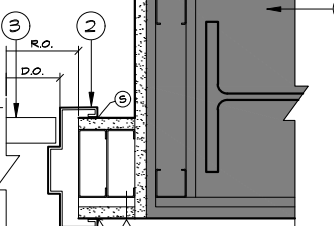
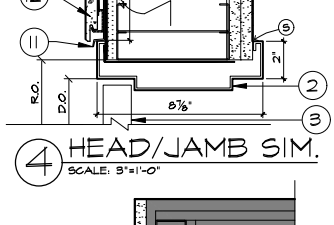
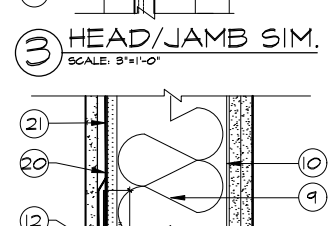
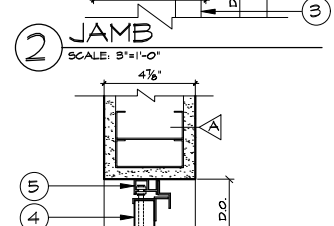
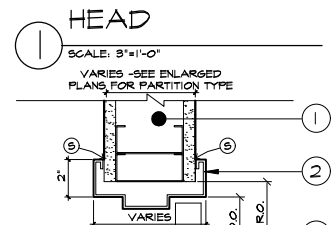
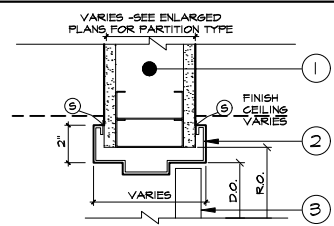
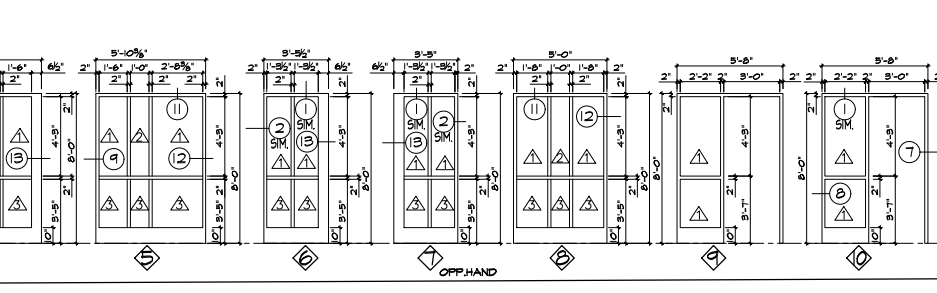
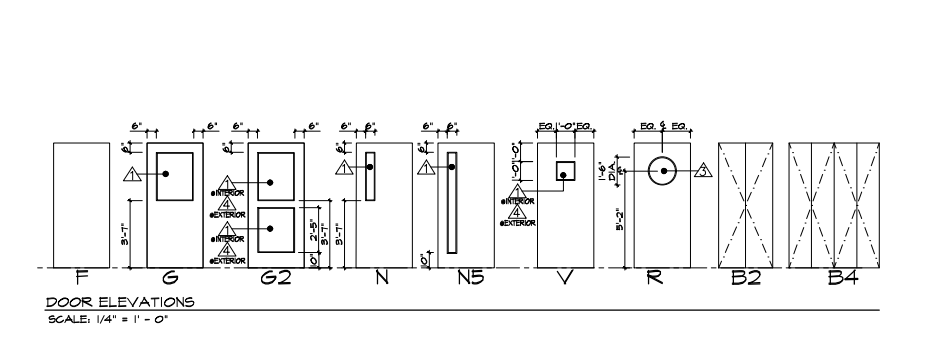
- SEE SHEET A8.1 FOR STOREFRONT SCHEDULE DETAILS
- REFER TO ARCHITECTURAL FLOOR PLANS FOR PLACEMENT OF DOORS
- DETAILS NOT SHOWN SHALL BE DEVELOPED IN SHOP DRAWINGS

**DOOR REMARKS**

- ① GALVANIZED METAL DOOR & FRAME
- ② INSULATED HOLLOW METAL DOOR
- ③ FULLY WEATHER STRIPPED
- ④ ASYMMETRICAL LEAVES, SEE COMMUNITY KITCHEN ELEVATIONS
- ⑤ PROVIDE 3/4" UNDERCUT AT DOOR
- ⑥ NEW DOOR & FRAME IN EXISTING OPENING
- ⑦ NEW DOOR IN EXISTING FRAME

**ABBREVIATION**

HM: HOLLOW METAL WELDED FRAME  
 KD: HOLLOW METAL KNOCK DOWN FRAME  
 SCMD: SOLID CORE WOOD VENEER DOOR  
 WD: WOOD FRAME









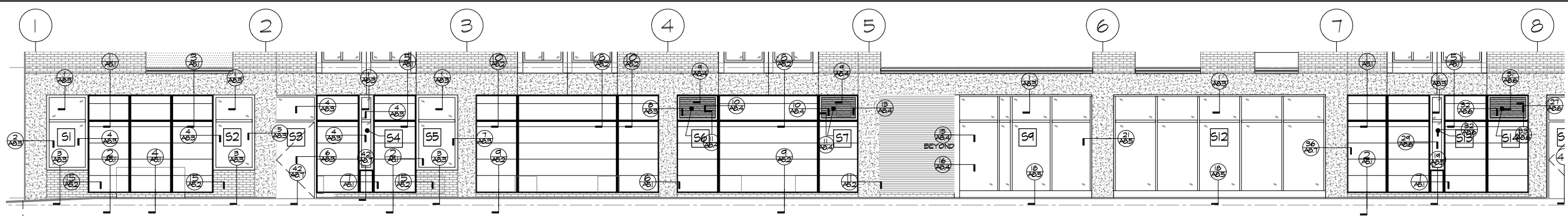
NO.	DESCRIPTION

SCALE NOTED  
 PROJECT#: 1559-01

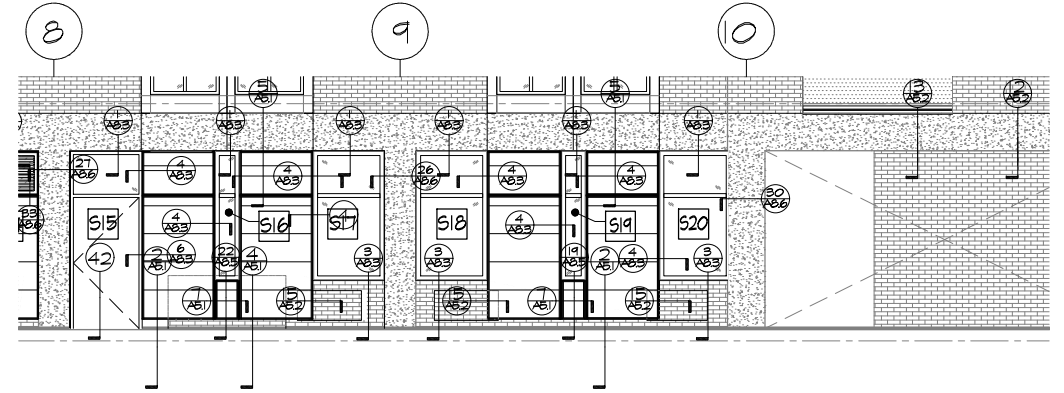
BOSTON HOUSING AUTHORITY  
**70 ST. BOTOLPH STREET**  
 RENTAL ASSISTANCE DEMONSTRATION PROJECT  
 BOSTON, MA 02216  
 DRAWING TITLE:  
**PARTIAL ELEVATIONS & STOREFRONT SCHEDULE**

REGISTRATION

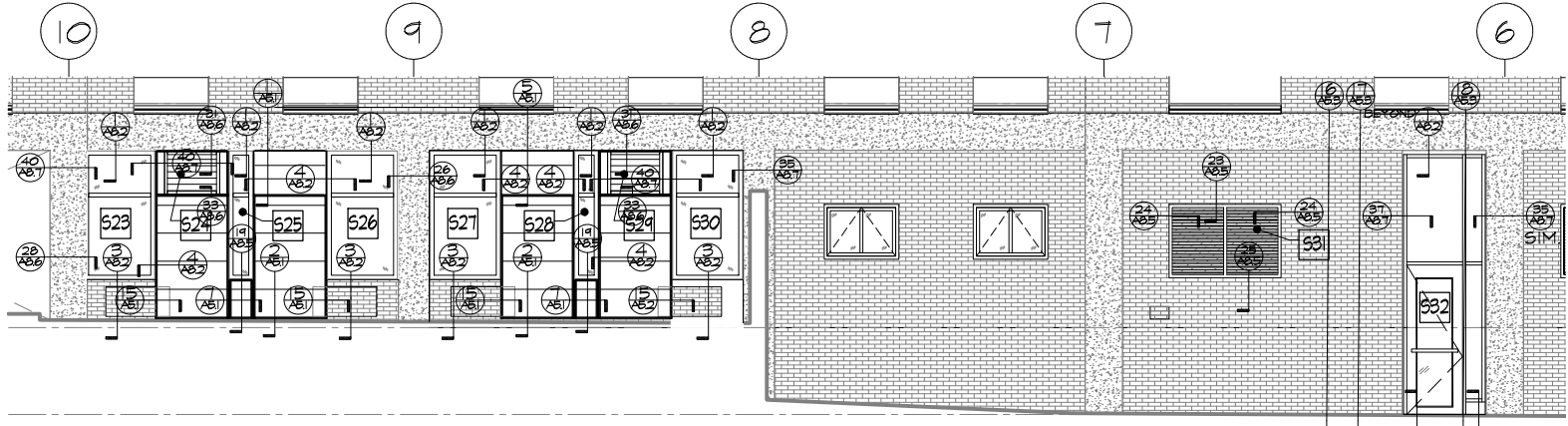
DRAWING #:  
**A8.2**



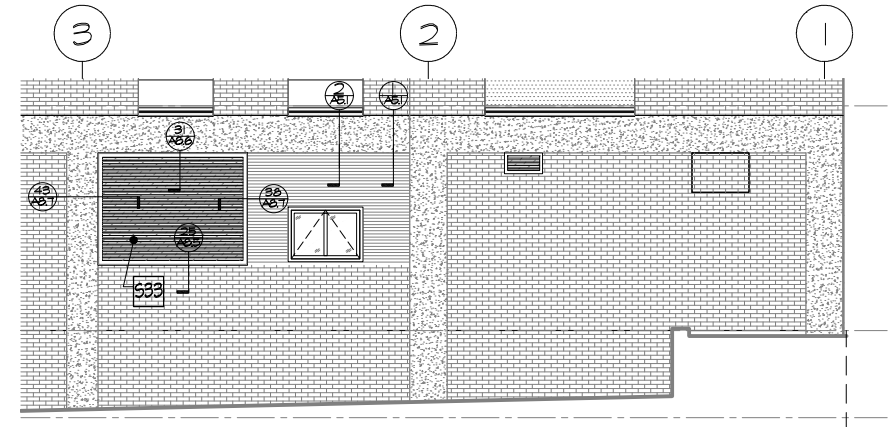
1 ST. BOTOLPH STREET PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



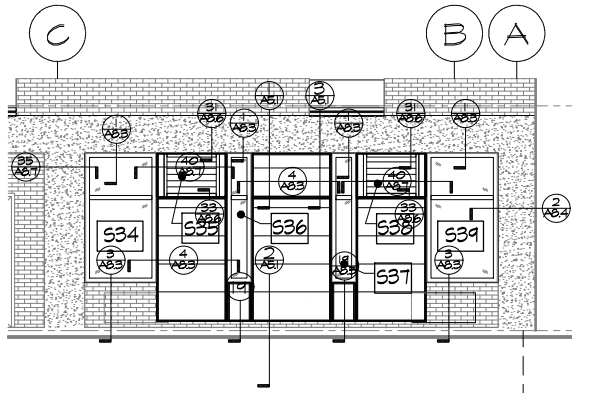
2 ST. BOTOLPH STREET PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



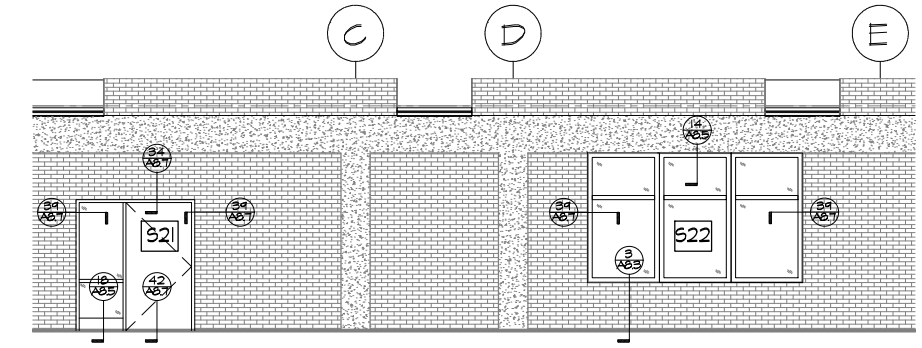
3 STUDIO PLACE PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



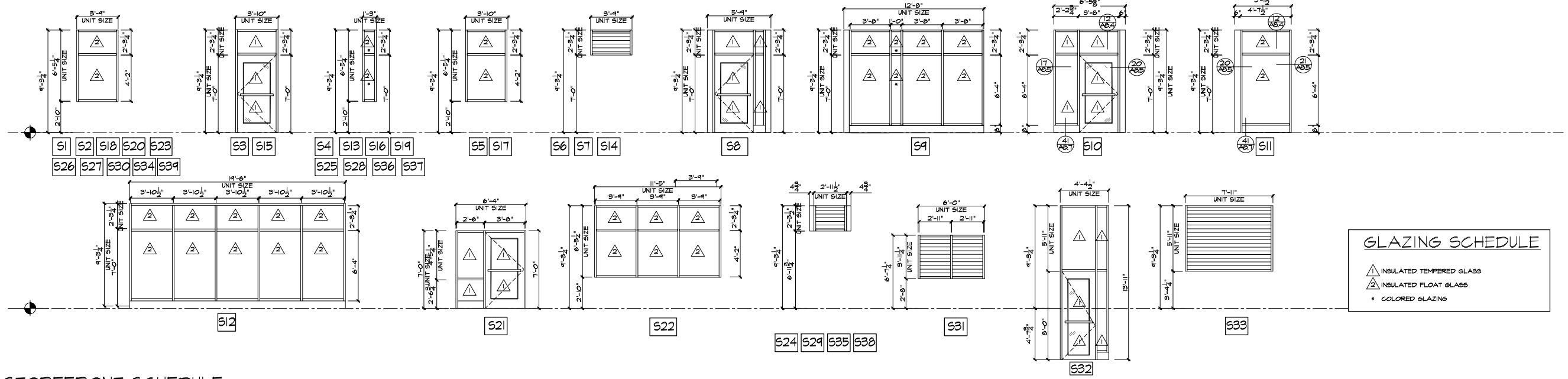
4 STUDIO PLACE PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



5 GARRISON STREET PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



6 FOLLEN STREET PARTIAL ELEVATION @ 1ST FLOOR  
 SCALE: 1/4" = 1' - 0"



STOREFRONT SCHEDULE  
 SCALE: 1/4" = 1' - 0"



















