



5321/Mobil Meridian/NOI

PRINCIPALS

December 21, 2018

- Theodore A Barten, PE
- Margaret B Briggs
- Dale T Raczynski, PE
- Cindy Schlessinger
- Lester B Smith, Jr
- Robert D O'Neal, CCM, INCE
- Andrew D Magee
- Michael D Howard, PWS
- Douglas J Kelleher
- AJ Jablonowski, PE
- Stephen H Slocomb, PE
- David E Hewett, LEED AP
- Dwight R Dunk, LPD
- David C. Klinch, PWS, PMP
- Maria B. Hartnett

Boston Conservation Commission
 City of Boston Environment Department
 Boston City Hall, 1 City Hall Square, Room 709
 Boston, MA 02201

Subject: Notice of Intent Application, 468-470 Meridian Street, Boston, Massachusetts Supplemental Information

Dear Commissioners and Staff:

On behalf of Global Companies LLC (the "Applicant"), Epsilon Associates, Inc. ("Epsilon") is pleased to submit additional information relative to requests made by the Conservation Agent for clarification regarding the Notice of Intent (NOI) submitted on December 5, 2018.

To clarify, no modifications or temporary impacts will occur to the concrete pathway. Additionally, up to approximately 4,000 s.f. of temporary impact to buffer zone will occur with the underground trench work. This area will be backfilled and repaved or restored to pre-existing conditions. Up to an additional 1,000 s.f. will be utilized for soil stockpile management on paved surfaces.

I've also enclosed a revised WPA Form 3 per request.

This information is being submitted for the Commission's review at the regularly scheduled **January 9, 2019** public hearing. If you have any questions regarding this NOI please do not hesitate to contact me at (978) 461-6271 or ajacobs@epsilonassociates.com.

Sincerely,
 EPSILON ASSOCIATES, INC.

Alyssa Jacobs, PWS

978 897 7100

FAX 978 897 0099

3 Mill & Main Place, Suite 250
 Maynard, MA 01754
www.epsilonassociates.com

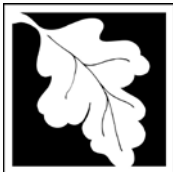
Boston Conservation Commission
December 5, 2018

2

Senior Consultant and Manager, Ecological Sciences

Encl.

CC: MHF – Hüseyin Sevinçgil
Global Companies LLC - Dan Berry
DEP NERO



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

East Boston

City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>468-470 Meridian Street</u>	<u>East Boston, MA</u>	<u>02128</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
	<u>42.382832</u>	<u>-71.0039820</u>
	d. Latitude	e. Longitude
<u>01038680000</u>		
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Dan</u>	<u>Berry</u>	
a. First Name	b. Last Name	
<u>Global Companies, LLC.</u>		
c. Organization		
<u>800 South Street, Suite 500</u>		
d. Street Address		
<u>Waltham</u>	<u>MA</u>	<u>02454</u>
e. City/Town	f. State	g. Zip Code
<u>781-894-8800</u>	<u>dberry@globalp.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

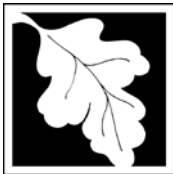
<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Alyssa</u>	<u>Jacobs</u>	
a. First Name	b. Last Name	
<u>Epsilon Associates, Inc.</u>		
c. Company		
<u>3 Mill & Main Place, Suite 250</u>		
d. Street Address		
<u>Maynard</u>	<u>MA</u>	<u>01754</u>
e. City/Town	f. State	g. Zip Code
<u>978-897-6267</u>	<u>ajacobs@epsilonassociates.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$462.50</u>	<u>\$237.50</u>	<u>\$225.00 (*city calculated fee)</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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A. General Information (continued)

6. General Project Description:
See Attachment A, Project Narrative.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk	127737
a. County	b. Certificate # (if registered land)
634	137
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	<u>Chelsea River (coastal)</u>	

1. Name of Waterway (if available) - **specify coastal or inland**

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

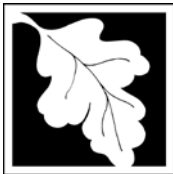
<u>0</u>	<u>0</u>	<u>0</u>
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

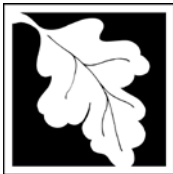
a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

2017 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

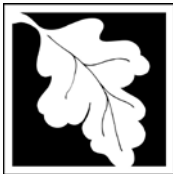
c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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East Boston
City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

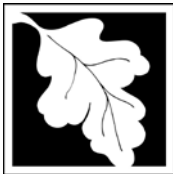
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Improvement Plans

a. Plan Title

MFH Design Consultants, Inc.

Frank C. Monteiro

b. Prepared By

c. Signed and Stamped by

December 3, 2018

1"=10'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

37562

2. Municipal Check Number

12/3/18

3. Check date

37563

4. State Check Number

12/3/18

5. Check date

Epsilon Associates, Inc

6. Payor name on check: First Name

7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

[Handwritten Signature]

1. Signature of Applicant

11/30/18

2. Date

3. Signature of Property Owner (if different)

Alyra Jacobs

4. Date

12/3/18

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Notice of Intent Application
Massachusetts Wetlands Protection Act (M.G.L. c.131 s.40)

Mobil Station
468-470 Meridian Street
East Boston, Massachusetts



Submitted by:
Global Companies, LLC
800 South Street, Suite 500
Waltham, MA 02454

Submitted to:
Boston Conservation Commission
1 City Hall Square
Room 709
Boston, MA 02201

Prepared by:
Epsilon Associates, Inc.
3 Mill & Main Place, Suite 250
Maynard, MA 01754

December 5, 2018

Epsilon
ASSOCIATES INC.



5321/Mobil Meridian/NOI

PRINCIPALS

December 5, 2018

Theodore A Barten, PE
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David C. Klinch, PWS, PMP
Maria B. Hartnett

Boston Conservation Commission
City of Boston Environment Department
Boston City Hall, 1 City Hall Square, Room 709
Boston, MA 02201

Subject: Notice of Intent Application, 468-470 Meridian Street, Boston, Massachusetts

Dear Commissioners and Staff:

On behalf of Global Companies LLC (the "Applicant"), Epsilon Associates, Inc. ("Epsilon") is pleased to submit this Notice of Intent (NOI) to the Boston Conservation Commission (the "Commission"). This NOI has been prepared in accordance with the Massachusetts Wetlands Protection Act (MGL c. 131 §40 (the "Act") and implementing Regulations (310 CMR 10.00) (the "Regulations").

ASSOCIATES

Richard M. Lampeter, INCE
Geoff Starsiak, LEED AP BD+C
Marc Bergeron, PWS, CWS

The work described in the enclosed NOI involves the replacement of product piping between fuel dispensers and the existing underground fuel storage tanks ("USTs") at a Mobil facility located at 468-470 Meridian Street, East Boston, MA (the "Project"). The existing Mobil gas station requires improvements to the existing underground fuel storage tank ("UST") system to comply with the Massachusetts Department of Environmental Protection ("MassDEP") UST Systems Regulations (310 CMR 80.00). No work is proposed within a coastal resource area. A portion of the proposed project involves work within the 100-foot Buffer Zone to Coastal Bank under the Massachusetts Wetlands Protection Act Regulations (310 CMR 10.00). This NOI has been prepared and submitted in accordance with these regulations, and requests approval to construct the Project within locations subject to the jurisdiction of the Boston Conservation Commission.

3 Mill & Main Place, Suite 250
Maynard, MA 01754
www.epsilonassociates.com

Additionally, enclosed with the application package is \$225.00 payable to the City of Boston per Boston Conservation Commission guidelines for the local portion of the NOI filing fee.

978 897 7100

FAX 978 897 0099

This NOI is being submitted for the Commission's review at the regularly scheduled **December 19, 2018** public hearing. If you have any questions regarding this NOI please do not hesitate to contact me at (978) 461-6271 or ajacobs@epsilonassociates.com.

Sincerely,
EPSILON ASSOCIATES, INC.



Alyssa Jacobs, PWS
Senior Consultant and Manager, Ecological Sciences

Encl.

CC: MHF – Hüseyin Sevinçgil
Global Companies LLC - Dan Berry
DEP NERO

Notice of Intent

Massachusetts Wetlands Protection Act (M.G.L. c.131 §.40)

Mobil Station
468-470 Meridian Street
East Boston, MA

Applicant:

Global Companies, LLC
800 South Street, Suite 500
P.O. Box 9161
Waltham, MA
02454-9161

Prepared By:

Epsilon Associates, Inc.
3 Mill & Main Place, Suite 250
Maynard, MA 01754

December 5, 2018



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3.0	Description of Proposed Work	A-3
3.1	Soil Management	A-3
4.0	Proposed Mitigation Measures During Construction	A-3
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	4.1.2 Spill Prevention and Response Plan	A-4
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List of Attachments

ATTACHMENT B	FIGURES
ATTACHMENT C	SITE PHOTOGRAPHS
ATTACHMENT D	SOIL MANAGEMENT PLAN
ATTACHMENT E	ABUTTER INFORMATION
ATTACHMENT F	FILING FEE INFORMATION
ATTACHMENT G	ENGINEERING PLANS (PREPARED BY MHF DESIGN CONSULTANTS INC)
ATTACHMENT H	STORMWATER MANAGEMENT CHECKLIST

List of Figures in Attachment B

Figure 1	USGS Locus Map
Figure 2	Aerial Locus Map
Figure 3	Environmental Constraints
Figure 4	FEMA FIRM Boston, Effective Date: March 16, 2016 (El. 12 feet)

Boston Conservation Commission Submittal Checklist

Checklist for Filing a Notice of Intent with Boston Conservation Commission

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission staff: 617-635-3850 (cc@boston.gov).

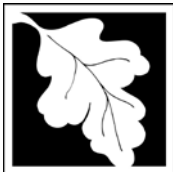
To the Conservation Commission:

- Eight copies (a signed original and 7 copies) of a completed Notice of Intent (WPA Form 3)
- Eight copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed** supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, and all wetland resource areas and associated buffer zones.
- Eight copies of an 8 1/2" x 11" section of** the USGS quadrangle map of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- (If applicable) Eight copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- Determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the Natural Heritage & Endangered Species Program have the maps necessary to make this determination.
- (If applicable) Two hard copies and a digital copy of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events.
- Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.
- Any photographs related to the project representing the wetland resource areas.
- A project narrative describing the following: a brief overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts.
- Electronic copies. Documents may be submitted via email, or via an email link to downloadable documents.**
- Abutter Notification, filed concurrently with the Notice of Intent.
- (If applicable) Eight copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonredevelopmentauthority.org/planning/planning-initiatives/climate-change-preparedness-and-resiliency>. Please print the pdf that you will receive via email after completion and include it in your submission.



To minimize the use of non-recyclable materials ***please do not include vinyl or plastic binders, bindings, folders or covers with the filing.*** Staples and binder clips are good choices.

WPA Form 3 – Notice of Intent



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
East Boston
City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>468-470 Meridian Street</u>	<u>East Boston, MA</u>	<u>02128</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
	<u>42.382832</u>	<u>-71.0039820</u>
	d. Latitude	e. Longitude
<u>01038680000</u>		
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Dan</u>	<u>Berry</u>	
a. First Name	b. Last Name	
<u>Global Companies, LLC.</u>		
c. Organization		
<u>800 South Street, Suite 500</u>		
d. Street Address		
<u>Waltham</u>	<u>MA</u>	<u>02454</u>
e. City/Town	f. State	g. Zip Code
<u>781-894-8800</u>	<u>dberry@globalp.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

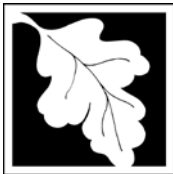
<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Alyssa</u>	<u>Jacobs</u>	
a. First Name	b. Last Name	
<u>Epsilon Associates, Inc.</u>		
c. Company		
<u>3 Mill & Main Place, Suite 250</u>		
d. Street Address		
<u>Maynard</u>	<u>MA</u>	<u>01754</u>
e. City/Town	f. State	g. Zip Code
<u>978-897-6267</u>	<u>ajacobs@epsilonassociates.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$462.50</u>	<u>\$237.50</u>	<u>\$225.00 (*city calculated fee)</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:
See Attachment A, Project Narrative.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

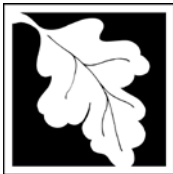
8. Property recorded at the Registry of Deeds for:

Suffolk	127737
a. County	b. Certificate # (if registered land)
634	137
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Chelsea River (coastal)	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

0	0	0
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

2017 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

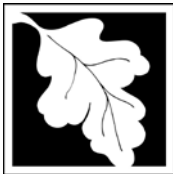
c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

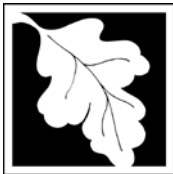
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Improvement Plans

a. Plan Title

MFH Design Consultants, Inc.

Frank C. Monteiro

b. Prepared By

c. Signed and Stamped by

December 3, 2018

1"=10'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

37562

12/3/18

2. Municipal Check Number

3. Check date

37563

12/3/18

4. State Check Number

5. Check date

Epsilon Associates, Inc

6. Payor name on check: First Name

7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

[Handwritten Signature]

1. Signature of Applicant

11/30/18

2. Date

3. Signature of Property Owner (if different)

Alma Jacobs

4. Date

12/3/18

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Attachment A

Project Description and Regulatory Compliance

1.0 Introduction

Epsilon Associates, Inc. (“Epsilon”), on behalf of Global Companies LLC (the “Applicant”), submits this Notice of Intent (“NOI”) application to the Boston Conservation Commission (“BCC”). This NOI has been prepared in accordance with the Massachusetts Wetland Protection Act (MGL c.131 s.40) (the “Act”) and implementing Regulations (310 CMR 10.00) (“Regulations”).

The work described herein involves the replacement of product piping between fuel dispensers and the existing underground fuel storage tanks (“USTs”) at a Mobil facility located at 468-470 Meridian Street, East Boston, MA (the “Project”). The existing Mobil gas station requires improvements to the existing underground fuel storage tank (“UST”) system to comply with the Massachusetts Department of Environmental Protection (“MassDEP”) UST Systems Regulations (310 CMR 80.00). Portions of the work will occur in the 100-foot buffer zone to Coastal Bank. No work is proposed within a coastal resource area.

2.0 Existing Conditions

The Project site is comprised of a 0.85 acre parcel of land located at 470 Meridian Street in East Boston, containing Mobil gas station. The property is bounded by Condor Street to the south, a commercial docking operation to the north, Chelsea River to the west, and Meridian Street to the east (see Figure 1– USGS Locus Map, and Figure 2 - Aerial Locus Map in Attachment B). The Project site is relatively flat and almost entirely paved, with a small building associated with the service station, along with several gasoline dispensers under a covered area. Existing stormwater on the site is managed via curbing and grading directing flow towards trench drains at the driveway entrances and catch basins. Along the eastern and southern perimeter of the site, shrub landscaping is present. A paved sidewalk encompasses the property. There is a grassy patch of lawn approximately 20 ft wide by 70 ft long running along the western side of the property, adjacent to the coastline. There is a patch of trees and tall shrubs in the northwest corner, on the adjoining property. A steep downward slope on the western edge of the property is associated with the transition area to the Chelsea River. This slope is primarily rip rap and with evergreen shrubs.

Jurisdictional coastal resource areas on or adjacent to the Project site include: Coastal Bank, Land Subject to Coastal Storm Flowage (“LSCSF”), and RFA (see Figure 3 in Attachment B).

The Project site is not located within areas mapped as Priority Habitat of Rare Species and/or Estimated Habitat of Rare Wildlife by the Natural Heritage and Endangered Species Program under the Massachusetts Endangered Species Act and the Massachusetts Wetlands Protection Act, respectively (MassGIS, 2017 – see Figure 3 in Attachment B).

There are also no mapped potential vernal pools or certified vernal pools or Areas of Critical Environmental Concern near the Project site.

See below for additional information coastal resource areas present and Attachment C for photos of existing site conditions.

2.1 Coastal Bank

Coastal bank is defined in 310 CMR 10.30(2) as *“the seaward face or side of any elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland.”*

The areas of coastal bank on this property are comprised of riprap, tidal debris and construction refuse. At the top of slope, the limits are vegetated with evergreen trees.

Consistent with DEP Policy 92-1, the top of the Coastal Bank is approximately elevation 14.0 feet NAVD 88 at the change in slope along the western edge of the property (matching Figure 2 in the policy). Please see the provided cross sections on Sheet 3, Attachment G, Engineering Plans. Coastal Bank possesses a 100 foot buffer zone under the Act.

No work is proposed on the Coastal Bank.

2.2 Land Subject to Coastal Storm Flowage

310 CMR 10.04 defines Land Subject to Coastal Storm Flowage (“LSCSF”) as *“... land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater”*.

LSCSF on the Project Site is associated with the floodplain of the tidally influenced Chelsea River. According to the applicable Federal Emergency Management Agency—Flood Insurance Rate Map (see Figure 4 – “FEMA-Firmette”), for the City of Boston, the Project area is bordered to the west by a coastal flood zone AE at elevation 12 feet NAVD88 – Community Panel No. 25025C0018J, dated March 16, 2016 (see Figure 4 in Attachment B).

No work is proposed in LSCSF.

2.3 Riverfront Area

Riverfront Area (RFA) is defined by the Act in 310 CMR 10.58(2) as *“the area between a river’s mean annual high water line and a parallel line measured horizontally...”*

The perennial Chelsea River exists to the north and west of the project site. Chelsea River has a 25-foot Riverfront Area (“RFA”) that extends from the mean annual high-water line (“MAHW”) as defined under the Wetlands Protection Act (“WPA”) regulations. Elevation 4.33 feet NAVD 88 of the tidally influenced Chelsea River serves as the MAHW line for the purposes of delineating RFA on the Project site. RFA is 25-feet wide within the boundaries of densely developed communities including Boston. The RFA may overlap with other resource areas and there is no buffer zone associated with RFA. No work is proposed in RFA.

3.0 Description of Proposed Work

As noted above, the existing Mobil gas station requires improvements to the existing UST" system to comply with the Massachusetts DEP Underground Storage Tanks Systems Regulations (310 CMR 80.00). The site currently contains four existing double wall fiberglass USTs and associated single wall fiber reinforced plastic ("FRP") product piping. The proposed work consists of maintaining the existing USTs and performing a tank top upgrade which would involve the installation of new submersible turbine pumps with line leak detectors, new sump risers with electronic sump sensors and new vapor and fill risers with spill containment manholes. Additionally, the existing single wall product piping is to be removed or abandoned in place and replaced with new double wall product piping. The new product piping will run from the six existing fuel dispenser containment sumps to new containment sumps at the tanks. Each containment sump is equipped with an electronic liquid sensor located at the bottom of the sump. All underground piping is sloped to the containment sumps at the tanks, so any release of product flows to the containment sump for detection. Work will commence at the dispensers (the high point in the piping system) for existing pipe removal, which as noted above, is sloped towards the tanks and will be empty at the time of removal. Activation of a sump sensor creates an audible/visual alarm at the central console unit in the building.

Site disturbance will be limited to excavation around the existing underground fuel storage tanks and the trenching required within paved areas to remove existing product piping and install new product piping. There will be no gas dispensed for sale during the construction project. The store may remain open.

Work will be done within the 100-foot Buffer Zone to Coastal Bank, on both paved and flat grassy portions of the property. The current topography will remain the same after construction with those areas being restored to their preexisting conditions. No additional impervious surfaces will be added. The vegetation along the coastal bank will remain intact throughout construction. The curbing will be removed during construction and reset in the same location. Areas that are disturbed will be re-seeded with grass after construction.

Construction activities are expected to last approximately 4-6 weeks.

The locations and plans for these replacement activities can be found in the Engineering Plans in Attachment G.

3.1 Soil Management

Excavation activities will be managed under the direction of a Licensed Site Professional ("LSP") in accordance with applicable state and federal requirements under a site-specific Soil Management and/or Groundwater Management Plan, and Health & Safety Plan. Excavated soil will be staged in haybale-surrounded stockpiles, stored on and covered by 6-mil polyethylene sheeting in the northern portion of the site. These stockpiles will be secured at the end of each work day. Stockpile soil that is not suitable for backfill, according to the

results of field screening, will be removed and deposited off-site. Soils destined for off-site disposal will be shipped using a waste manifest or Bill-of-Lading depending on the destination.

Construction debris, such as asphalt, concrete, tank pipes, and other removed equipment will be transported to a proper disposal facility. Work proposed under this NOI will be performed in currently paved areas. Upon completion of the work, areas where pavement was removed will be restored to previous conditions.

For a full summary of soil management procedures, see Attachment D.

4.0 Proposed Mitigation Measures During Construction

4.1 Erosion Control

Erosion and sediment control measures will be taken during construction which will include the installation of silt fence at the top of bank along the western edge of the site along with wattles or compost filter tubes installed along the edge of the paved areas surrounding all areas of disturbance. Inlet protection (silt sacks) will be installed within all catch basin structures adjacent to any construction activities. Once construction is complete, the site will be stabilized by restoring all trench excavations back to their original paved state; disturbed grassed areas will be re-seeded with a native seed mix. Please see Attachment H for details on construction period best management practices.

4.1 Spill Prevention and Response Plan

During construction, a spill containment kit will be kept on site at all times. Personnel will be available to respond quickly in the case of a leak or spill. Equipment will be kept in a condition that prevents leakage or discharge of pollutants. Fuel, oil, hydraulic fluids, petroleum products and/or other chemicals will be stored in water-tight containers to minimize their exposure to precipitation and storm water. In the event that there is an accidental release of petroleum product during construction, the Boston Conservation Commission will be notified after the appropriate emergency response agencies. The site does have an existing spill prevention and response plan for daily operations.

5.0 Conclusion

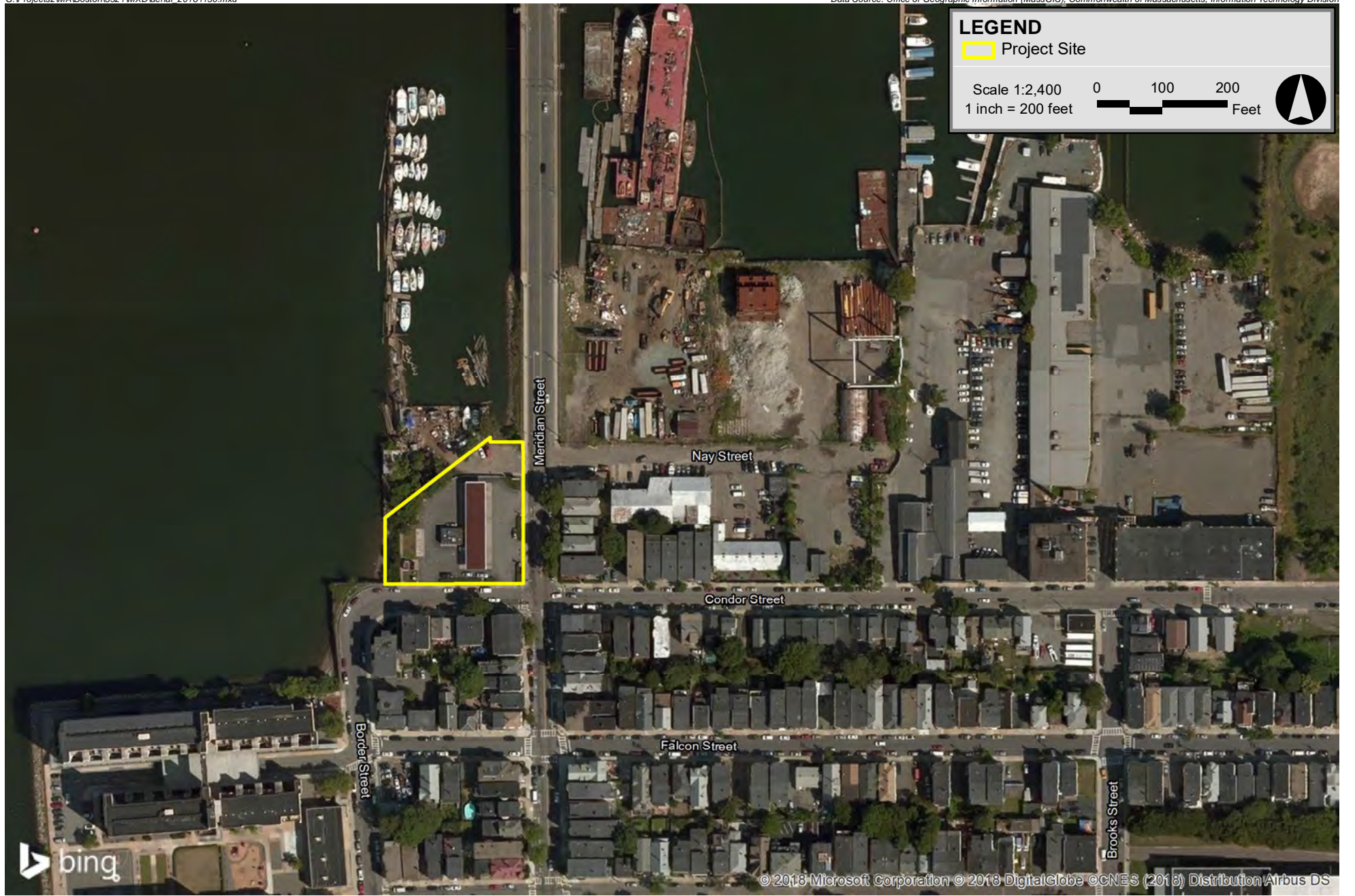
The information contained in this NOI and the accompanying site plans describes the site, proposed work and the effect of said work on the interests identified in the Act and Regulations. No work is proposed within a jurisdictional wetland resource area. The Applicant therefore respectfully requests that the Boston Conservation Commission issue an Order of Conditions approving the Project with appropriate conditions to protect those interests identified in M.G.L. c. 131 §40.

Attachment B

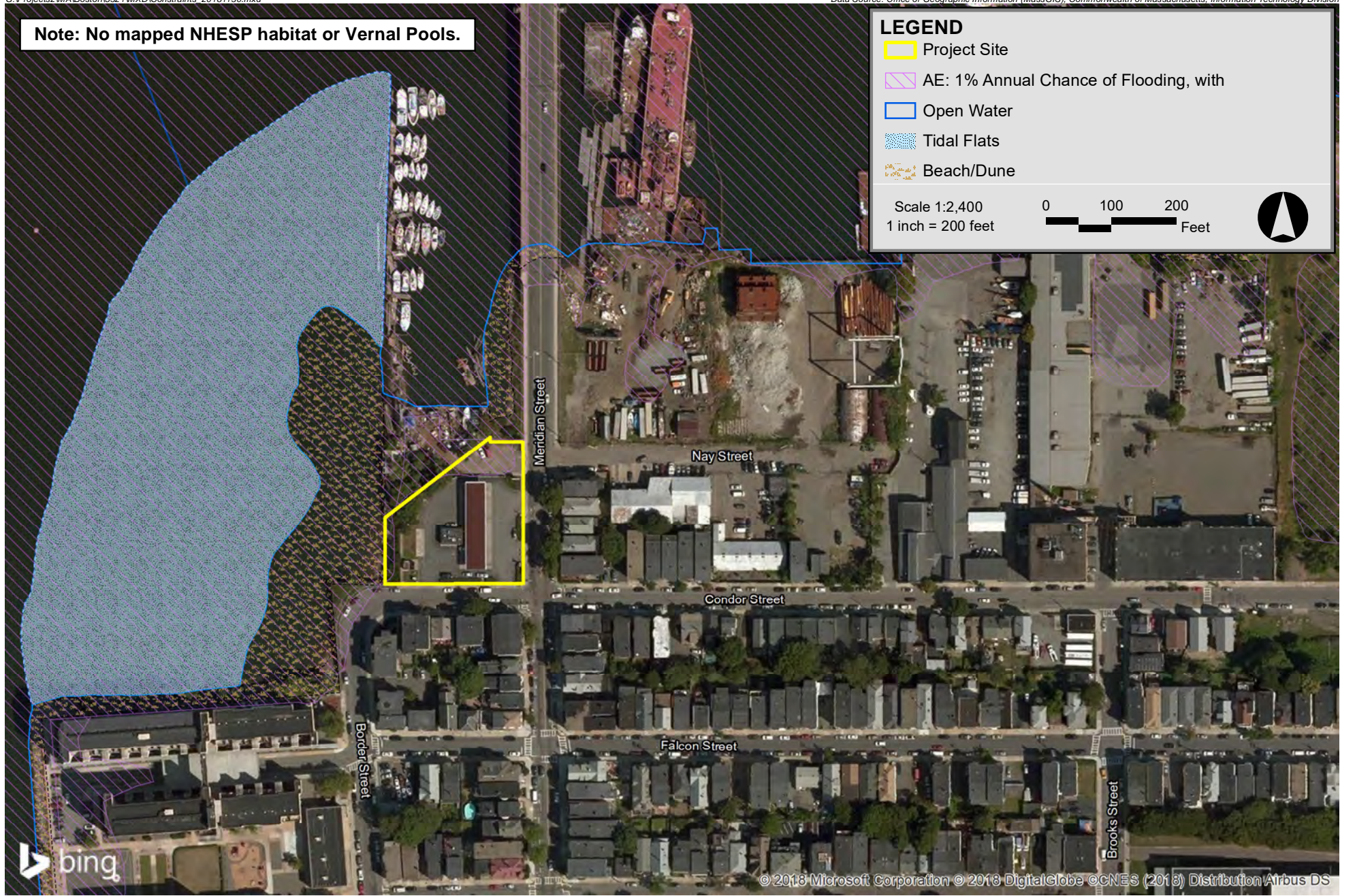
Figures



468-470 Meridian Street East Boston, Massachusetts



468-470 Meridian Street East Boston, Massachusetts



468-470 Meridian Street East Boston, Massachusetts

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, Y, AD</i>
		With BFE or Depth <i>Zone AE, AD, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone X</i>
OTHER AREAS		Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/13/2018 at 1:10:50 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

468-470 Meridian Street East Boston, Massachusetts



Figure 4
FEMA FIRMette

Attachment C

Site Photographs



Photo 1: Representative photo of Mobil station, looking northeast.



Photo 2: View of eastern paved portion of the property, looking south with Meridian St on the left.

Mobil 468-470 Meridian Street East Boston, MA



Photo 3: Shoreline on western edge of the property, looking north.



Photo 4: View of walking path along the western boundary of the property, looking north. The western shoreline is located on the other side of the hedges.



Photo 5: View of western corner of the property, looking southwest.



Photo 6: View of unpaved parking lot on the northern edge of the parcel, looking northeast towards Meridian St.

Mobil 468-470 Meridian Street East Boston, MA

Attachment D

Soil Management Plan

Soil Management

Excavation activities at the entire subject property are subject to an Activity and Use limitation (AUL) registered at the Suffolk County Registry of Deeds on August 19, 2004, which indicates:

- Soil from paved and unpaved portions of the AUL area, if excavated at a future date and proposed for removal from the property, must be managed under the direction of a Licensed Site Professional (LSP) in accordance with applicable state and federal requirements under a site-specific Soil Management and/or Groundwater Management Plan, and Health & Safety Plan.
- Soil excavated from the unpaved right-of-way, or soil excavated from depths greater than one foot below grade in landscaped areas, must be managed under the direction of an LSP in accordance with applicable state and federal requirements under a site-specific Soil Management and/or Groundwater Management Plan, and Health & Safety Plan.
- Soil excavated from paved portions of the AUL area, and which are designated for re-use on site, must be covered with pavement following re-use, unless determined by an LSP to be suitable for unrestricted commercial use.

The Soil Management Plan to be prepared for the excavation activities will provide for periodic soil sampling from the sides and along the bottom of the excavation and field-screening by Global's consultant. Field screening results, and visual and olfactory evidence of petroleum or other impacts, will be used for segregating soil and stockpiling soil. The AUL provides for on-site re-use of impacted soil, if encountered. However, regardless of whether soil is impacted, some soil may not be suitable for backfill or may represent excess volume and will need to be removed and disposed off-site.

Whether non-impacted or affected by residual gasoline or constituents in historic fill, excavated soil will be staged in one or more stockpiles, and stored on and covered by 6-mil polyethylene sheeting until it is either re-used on-site or transported from the site. Depending on the location of the work area, stockpiles may need to be temporarily located within the 100 foot buffer zone because the buffer zone encompasses a portion of the subject property. Hay bales will be placed around the perimeter of the soil stockpile(s) and stockpile(s) will be secured at the end of each work day.

Soil stockpiles destined for disposal will remain on site pending acceptance by a suitable disposal facility. The approval will be based upon soil characterization sampling using laboratory analyses required by the disposal facility and MassDEP. Disposal arrangements will be made as soon as practicable from the soil generation and its acceptance at a disposal facility. Soils destined for off-site disposal will be shipped using a waste manifest or Bill-of-Lading depending on the destination.

Construction debris, such as asphalt, concrete, tank pipes, and other removed equipment will be transported to a proper disposal facility. Since work proposed under this NOI will be performed in currently paved areas, upon completion of the work, areas where pavement was removed will be restored to previous conditions.

Attachment E

Abutter Information

**NOTIFICATION TO ABUTTERS
UNDER THE MASSACHUSETTS WETLAND PROTECTION ACT**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is **Global Companies LLC**.
- B. The applicant has filed a Notice of Intent application with the Boston Conservation Commission seeking an Order of Conditions which authorizes **Global Companies LLC to perform construction on existing underground fuel storage tank systems**. A portion of these activities are subject to jurisdiction under the Massachusetts Wetlands Protection Act (General Laws Chapter 131, Section 40). Project activities will occur within the 100-foot Buffer Zone to Coastal Bank.
- C. The address of the lot where the activity is proposed is **468-470 Meridian Street, East Boston, MA**
- D. Copies of the NOI and site plans may be examined or obtained for a fee from either the:
 - Copies of the Notice of Intent may be examined at the Copies of the NOI and site plans may be examined at the **Boston Conservation Commission office located at City Hall, Room 709 Monday through Friday 8:30 am to 5:30 pm. Please call for an appointment (617-635-3850). Please leave a message on the voice mail if no one is available to answer the phone.** Copy fees may be applicable.
 - Copies of the NOI and site plans may be obtained from the applicant's representative, **Epsilon Associates, Inc, by calling 978-897-7100 between the hours of 9:00 a.m. and 5:00 p.m., Monday through Friday.**
- E. Information regarding the time, date and place of the public hearing may also be obtained from the **Boston Conservation Commission by calling 617-635-3850 Monday through Friday 8:30 am to 5:30 pm. It is anticipated that a public hearing will be held on December 19, 2018 but please contact the Conservation Commission to confirm the meeting date, time and location.**

NOTE: Notice of the public hearing, including its date, time and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time and place, will be posted in City Hall at least forty-eight (48) hours in advance.

NOTE: You also may contact the Conservation Commission or the Northeast Regional Department of Environmental Protection for more information about this application or the Wetlands Protection Act. To contact the Northeast Regional Department of Environmental Protection Office, call (978) 694-3200.

PID	OWNER	ADDRESSEE	MLG_ADDRESS	MLG_CITYSTATE	MLG_ZIPCODE	LOC_ADDRESS	LOC_CITY	LOC_ZIPCODE
103586000	BRIDGEWAY CONDOMINIUM ASSN		464 MERIDIAN	EAST BOSTON MA	02128	464 MERIDIAN ST	EAST BOSTON	02128
103554000	PEREZ JERONIMO	C/O JERONIMO PEREZ	463 MERIDIAN ST	EAST BOSTON MA	02128	463 MERIDIAN ST	EAST BOSTON	02128
103555000	AJA REALTY LIMITED	C/O AJA REALTY LIMITED PARTNERSHIP	29 2ND ST	MEDFORD MA	02155	467 MERIDIAN ST	EAST BOSTON	02128
103580012	MOTA GLORIBELL	C/O GLORIBELL MOTA	8 FALCON ST #1	EAST BOSTON MA	02128	8 FALCON ST Apt 1	EAST BOSTON	02128
103580014	ZARCENO FRANCISCA NUNEZ	C/O FRANCISCA NUNEZ ZARCENO	10 FALCON ST # 2	EAST BOSTON MA	02128	10 FALCON ST Apt 2	EAST BOSTON	02128
103580016	BORJAS CARLOS B	C/O CARLOS B BORJAS	427 BORDER ST #1	EAST BOSTON MA	02128	427 BORDER ST Apt 1	EAST BOSTON	02128
103580022	LAO ZHONG RI	C/O ZHONE RI LAO	427 BORDER ST #4	EAST BOSTON MA	02128	427 BORDER ST Apt 4	EAST BOSTON	02128
103580024	SULLIVAN JESSICA	C/O JESSICA SULLIVAN	427 BORDER ST #5	EAST BOSTON MA	02128	427 BORDER ST Apt 5	EAST BOSTON	02128
103580026	MITCHELL SCARLETT	C/O SCARLETT MITCHELL	429 BORDER ST #1	EAST BOSTON MA	02128	429 BORDER ST Apt 1	EAST BOSTON	02128
103580032	OCHOA OSCAR R ALVAREZ	C/O OSCAR R ALVAREZ OCHOA	429 BORDER ST #4	EAST BOSTON MA	02128	429 BORDER ST Apt 4	EAST BOSTON	02128
103580038	KELLEY JENET	C/O JENET KELLEY	429 BORDER ST #7	EAST BOSTON MA	02128	429 BORDER ST Apt 7	EAST BOSTON	02128
103582014	SIERRA CLAUDIA P	C/O CLAUDIA P SIERRA	5 CONDOR ST # 2	EAST BOSTON MA	02128	5 CONDOR ST Apt 2	EAST BOSTON	02128
103582016	VELASQUEZ JUAN	C/O JUAN VELASQUEZ	5 CONDOR ST # 3	EAST BOSTON MA	02128	5 CONDOR ST Apt 3	EAST BOSTON	02128
103586006	JAMES & JUNE REALTY 1 LLC	C/O JAMES & JUNE REALTY 1 LLC	10 OAK HILL RD	NATICK MA	01760	460 MERIDIAN ST Apt 460-C	EAST BOSTON	02128
103586014	ESCOBAR PAUL		464 MERIDIAN ST # 464A	E BOSTON MA	02128	464 MERIDIAN ST Apt 464-A	EAST BOSTON	02128
103586018	ESCOBAR PAUL		464 MERIDIAN ST #464C	EAST BOSTON MA	02128	464 MERIDIAN ST Apt 464-C	EAST BOSTON	02128
103584000	ALZATE GABRIEL M	C/O GABRIEL ALZATE	13 CONDOR ST #1	EAST BOSTON MA	02128	13 CONDOR ST	EAST BOSTON	02128
103580010	GONZALEZ JOSE	C/O JOSE M GONZALEZ	427 BORDER ST	EAST BOSTON MA	02128	427 BORDER ST	EAST BOSTON	02128
103580018	ALGILANI KRISTEEN	C/O KRISTEEN ALGILANI	427 BORDER ST #2	EAST BOSTON MA	02128	427 BORDER ST Apt 2	EAST BOSTON	02128
103580020	DEL RIO TANIA	C/O TANIA DEL RIO	427 BORDER ST #3	EAST BOSTON MA	02128	427 BORDER ST Apt 3	EAST BOSTON	02128
103580028	DREESZEN ANDREA	C/O ANDREA DREESZEN	429 BORDER ST UNIT 2	EAST BOSTON MA	02128	429 BORDER ST Apt 2	EAST BOSTON	02128
103580030	ULICH CHRISTOPHER R	C/O CHRISTOPHER R ULICH	429 BORDER ST #3	EAST BOSTON MA	02128	429 BORDER ST Apt 3	EAST BOSTON	02128
103580034	PHAM THANH	C/O THANH PHAM	429 BORDER ST #5	EAST BOSTON MA	02128	429 BORDER ST Apt 5	EAST BOSTON	02128
103580036	BENISATTO ASHLEY M	C/O ASHLEY M BENISATTO	429 BORDER ST #6	EAST BOSTON MA	02128	429 BORDER ST Apt 6	EAST BOSTON	02128
103585010	CARDONA LORENA		15 CONDOR ST	EAST BOSTON MA	02128	15 CONDOR ST	EAST BOSTON	02128
103586002	RICHARDS PAUL	C/O PAUL RICHARDS	58 APPLETON ST	BOSTON MA	02116	460 MERIDIAN ST Apt 460A	EAST BOSTON	02128
103586004	HUANG GUANG T		229 EVERETT ST #7 4	E BOSTON MA	02128	460 MERIDIAN ST Apt 460-B	EAST BOSTON	02128
103582010	FIVE CONDOR STREET CONDO	C/O JUAN VELASQUEZ TS	5 CONDOR ST	EAST BOSTON MA	02128	5 CONDOR ST	EAST BOSTON	02128
103586008	MOUAOUJA LAILA		1742 NORTH SHORE RD	REVERE MA	02151	462 MERIDIAN ST Apt 462-A	EAST BOSTON	02128
103582012	STERGIOPOULOS STELLA	C/O STELLA STERGIOPOULOS	5 CONDOR ST #1	E BOSTON MA	02128	5 CONDOR ST Apt 1	EAST BOSTON	02128
103582020	PARISH HAN TAN	C/O HAN TAN PARISH	7 CONDOR ST	EAST BOSTON MA	02128	7 CONDOR ST	EAST BOSTON	02128
103583000	GRIFONE DOROTHY A		9 CONDOR ST	E BOSTON MA	02128	9 CONDOR ST	EAST BOSTON	02128
103586010	BERMEJO MANUEL	C/O MANUEL BERMEJO	462 MERIDIAN ST #462B	EAST BOSTON MA	02128	462 MERIDIAN ST Apt 462-B	EAST BOSTON	02128
103586012	SALCEDO SONIA E	C/O SONIA ELIZABETH SALCEDO	462 MERIDIAN ST #462C	EAST BOSTON MA	02128	462 MERIDIAN ST Apt 462-C	EAST BOSTON	02128
103586016	ESCOBAR PAUL		464 MERIDIAN ST #B	EAST BOSTON MA	02128	464 MERIDIAN ST Apt 464-B	EAST BOSTON	02128
103678000	EBSP ASSOCIATES LLC	C/O WESTON ASSOCIATES INC	170 NEWBURY ST	BOSTON MA	02116	408 BORDER ST	EAST BOSTON	02128
103680000	GLOBAL COMPANIES LLC	C/O GLOBAL COMPANIES LLC	800 SOUTH ST STE 200	WALTHAM MA	02453	468 MERIDIAN ST	EAST BOSTON	02128
103679000	CITY OF BOSTON		BORDER	EAST BOSTON MA	02128	BORDER ST	EAST BOSTON	02128
103681000	BANG PETER V ETAL		480 MERIDIAN	EAST BOSTON MA	02128	MERIDIAN ST	EAST BOSTON	02128
103680001	CITY OF BOSTON		MERIDIAN	EAST BOSTON MA	02128	MERIDIAN ST	EAST BOSTON	02128
103682000	CHELSEA CREEK MARINE	C/O CHELSEA CREEK MARINE INDUSTIRES INC	2711 CENTERVILLE RD STE 400	WILMINGTON DE	19808	479 MERIDIAN ST	EAST BOSTON	02128
103689000	GARCIA OLGA		475 MERIDIAN ST	EAST BOSTON MA	02128	475 MERIDIAN ST	EAST BOSTON	02128
103688000	477 MERIDIAN STREET REALTY	C/O ROCCO TROIANO	477 MERIDIAN ST	EAST BOSTON MA	02128	477 MERIDIAN ST	EAST BOSTON	02128
103692000	MARADUAGA JUAN F	C/O JUAN F MARADIAGA	469 MERIDIAN ST	EAST BOSTON MA	02128	469 MERIDIAN ST	EAST BOSTON	02128
103691000	HERRERA JERONIMO		471 MERIDIAN ST	EAST BOSTON MA	02128	471 MERIDIAN ST	EAST BOSTON	02128
103690000	DARCANGELO JOSEPH		473 MERIDIAN ST	E BOSTON MA	02128	473 MERIDIAN ST	EAST BOSTON	02128

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0302615000
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[Click Here to Select a Parcel](#)

Buffer Parameters:
Distance: 100 Feet
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Click [here](#) for an instruction to convert a CSV file to Mailing Labels using MS Word.

Note: Use newer versions of browser to view this site such as IE 11+ or Chrome 47+ etc.

Meridian St, East Boston, MA

Andrew P. McArdle BRG

Navy St

Condor St

Falcon St

White St

Merimouth St

Trouton St

South Shore Plaza Courts

South Shore Plaza Park

Condor Street Overpass

White Street PLL

White Street

White Square

Measurement Result

Press CTRL to enable snapping.

Satellite

esri

468-470 Meridian Street East Boston, Massachusetts

Attachment F

Filing Fee Information



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

470 Meridian Street East Boston, MA
 a. Street Address b. City/Town
 37562 \$237.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Dan Berry
 a. First Name b. Last Name
 Global Companies, LLC.
 c. Organization
 800 South Street, Suite 500
 d. Mailing Address
 Waltham MA 02454
 e. City/Town f. State g. Zip Code
 781-894-8800 dberry@globalp.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

 a. First Name b. Last Name

 c. Organization

 d. Mailing Address

 e. City/Town f. State g. Zip Code

 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
2j - Replacement of underground storage tanks and piping	1	\$500	\$500
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Step 5/Total Project Fee:			\$500
Step 6/Fee Payments:			
Total Project Fee:			\$500
State share of filing Fee:			a. Total Fee from Step 5 \$237.50
City/Town share of filing Fee:			b. 1/2 Total Fee less \$12.50 \$225* city calculated fee

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

EPSILON ASSOCIATES, INC.
3 MILL & MAIN PLACE
STE 250
MAYNARD, MA 01754

Middlesex Savings Bank
CONCORD, MA 01742
53-7122/2113

37562

12/3/2018

PAY TO THE ORDER OF Commonwealth of Massachusetts

\$ **237.50

Two Hundred Thirty-Seven and 50/100***** DOLLARS

PROTECTED AGAINST FRAUD



Commonwealth of Massachusetts



MEMO

Filing Fee

Robert O'Neal

⑈037562⑈ ⑆211371227⑆ 800205855⑈

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

EPSILON ASSOCIATES, INC.
3 MILL & MAIN PLACE
STE 250
MAYNARD, MA 01754

Middlesex Savings Bank
CONCORD, MA 01742
53-7122/2113

37563

12/3/2018

PAY TO THE ORDER OF City of Boston

\$ **225.00

Two Hundred Twenty-Five and 00/100***** DOLLARS

PROTECTED AGAINST FRAUD



City of Boston



MEMO

Filing Fee

Robert O'Neal

⑈037563⑈ ⑆211371227⑆ 800205855⑈

Attachment G

Engineering Plans (Prepared by MHF Design Consultants INC)

SITE IMPROVEMENT PLANS

for

BOSTON TAX MAP PARCEL 0103680000

470 MERIDIAN STREET

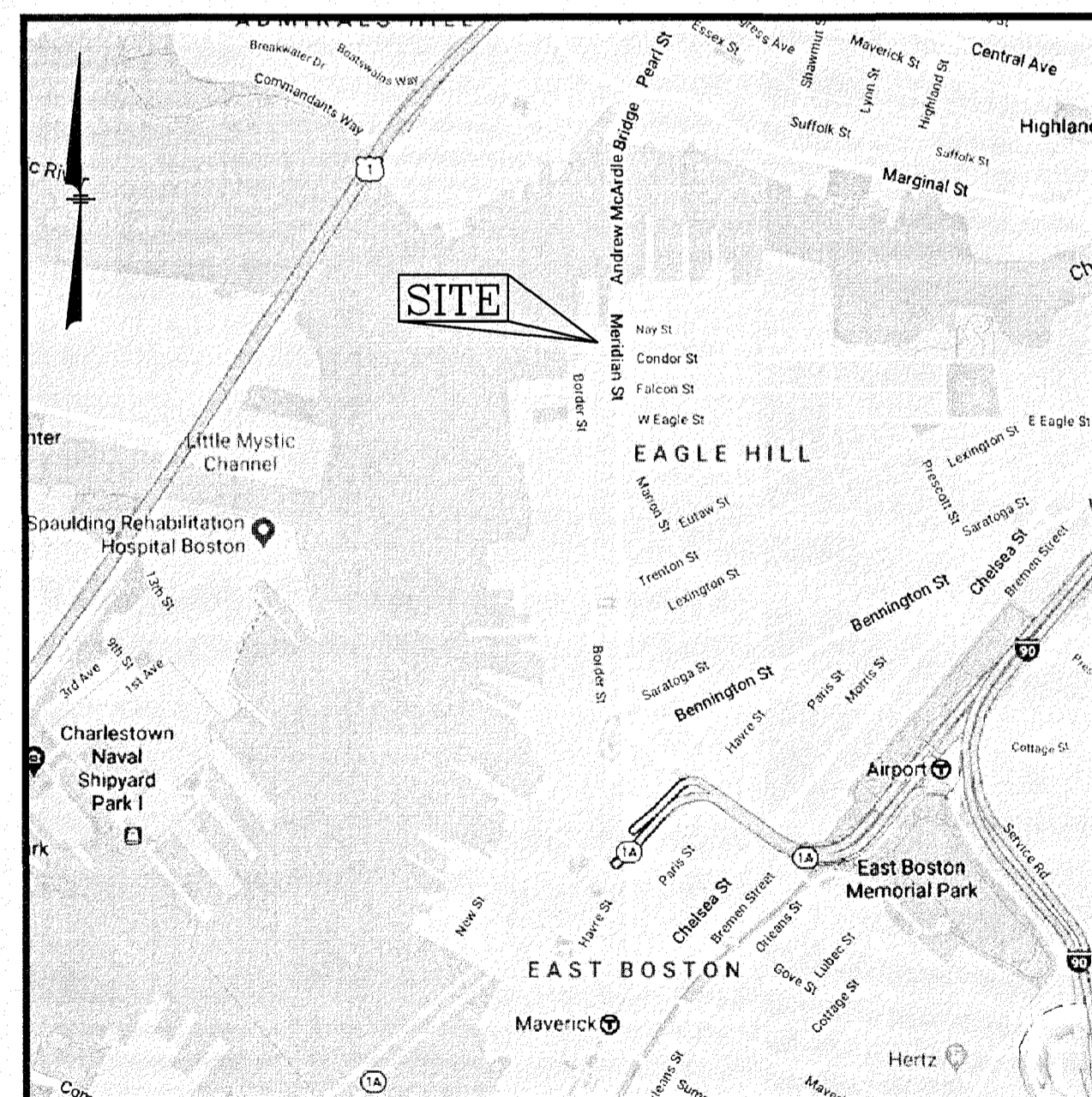
EAST BOSTON, MASSACHUSETTS

Prepared for:

GLOBAL COMPANIES, LLC

800 SOUTH STREET, SUITE 500

WALTHAM, MA 02453

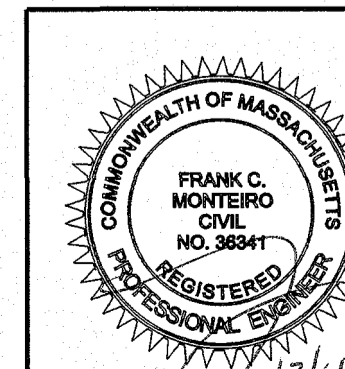



LOCATION MAP
NOT TO SCALE

INDEX TO DRAWINGS

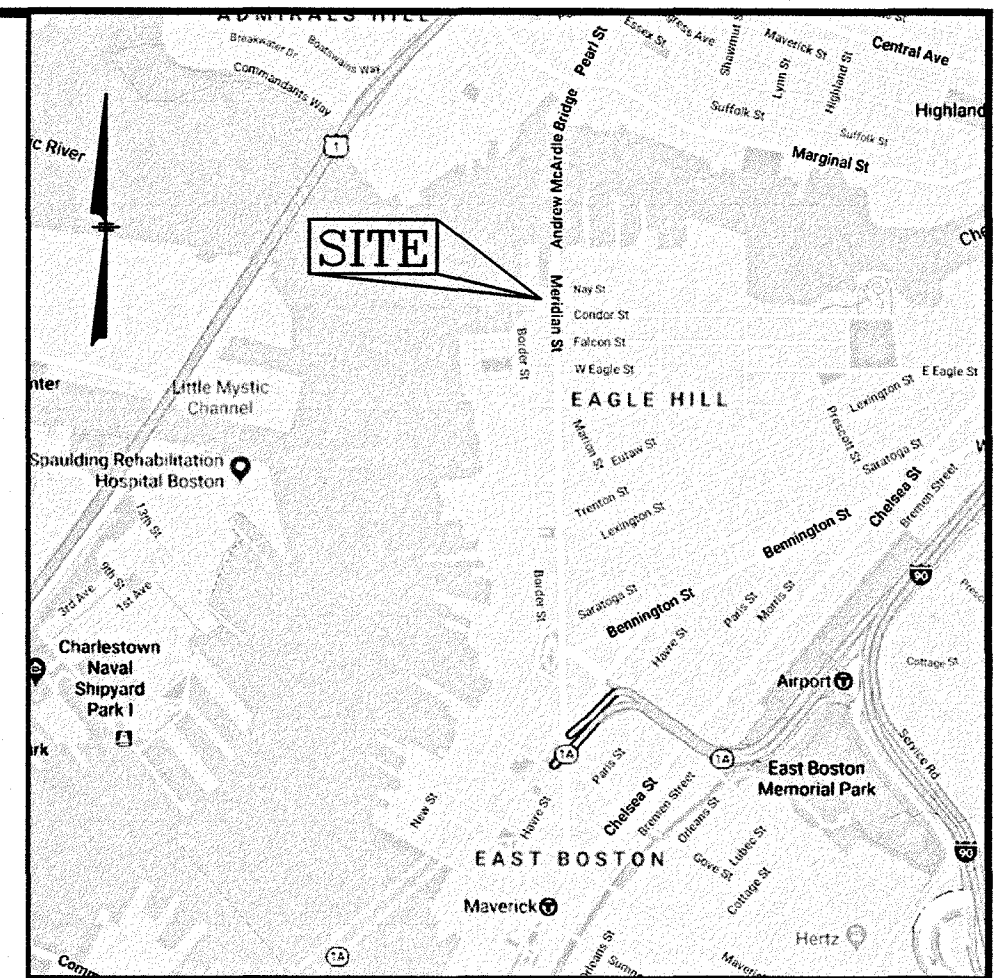
1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. GRADING & EROSION CONTROL PLAN
5. COASTAL BANK CROSS SECTIONS

NO.	DESCRIPTION	BY	DATE
REVISIONS			
TITLE SHEET			
BOSTON TAX MAP PARCEL 0103680000 470 MERIDIAN STREET EAST BOSTON, MA PREPARED FOR: GLOBAL COMPANIES, LLC 800 SOUTH STREET, SUITE 500 WALTHAM, MASSACHUSETTS 02453			




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 Salem, New Hampshire 03079
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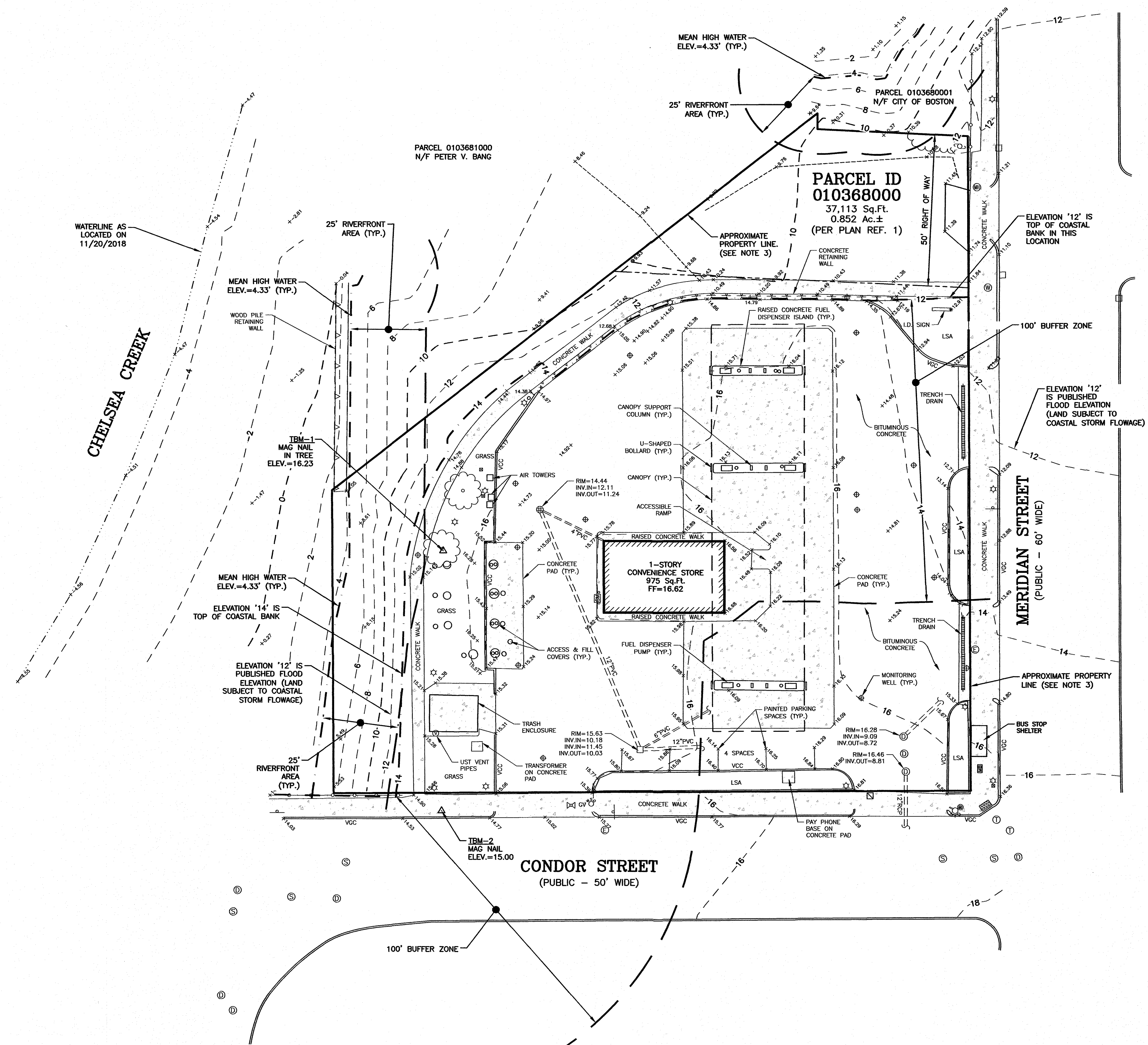
SCALE: 1"=20'	DATE: DECEMBER 3, 2018	DRAWING NO. 4474SP.DWG
DRAWN BY: CPS	CHECKED BY: HS	PROJECT NO. 447418
		SHEET NO. 1 OF 5



LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) ZONE: EAST BOSTON NEIGHBORHOOD DISTRICT WATERFRONT MANUFACTURING SUBDISTRICT (WM-1)
MIN. LOT SIZE: NONE
MIN. LOT FRONTAGE: NONE
SETBACKS:
FRONT: NONE OR 35' ADJACENT TO RESIDENTIAL DISTRICT
SIDE: NONE OR 35' ADJACENT TO RESIDENTIAL DISTRICT
REAR: NONE OR 35' ADJACENT TO RESIDENTIAL DISTRICT
REFER TO THE CITY OF BOSTON ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE BOSTON ZONING CODE.
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN NOVEMBER 19 AND NOVEMBER 20, 2018.
- 3) PROPERTY LINES ARE APPROXIMATE AND WERE TAKEN FROM PLAN REFERENCE 1. NO BOUNDARY SURVEY WAS PERFORMED.
- 4) NO WETLAND DELINEATION FLAGS WERE OBSERVED IN CONDUCTING THIS SURVEY.
- 5) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON NOVEMBER 20, 2018.
- 6) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON NOVEMBER 20, 2018.
- 7) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
- 8) THE SURVEY TRACT IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD ZONE AE, BASE FLOOD ELEVATION DETERMINED TO BE 12 FEET) PER FLOOD INSURANCE RATE MAP NUMBER 25025C0018J, WITH AN EFFECTIVE DATE OF MARCH 16, 2016.
- 9) A TOTAL OF 4 (4 REGULAR, 0 ACCESSIBLE) CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY.

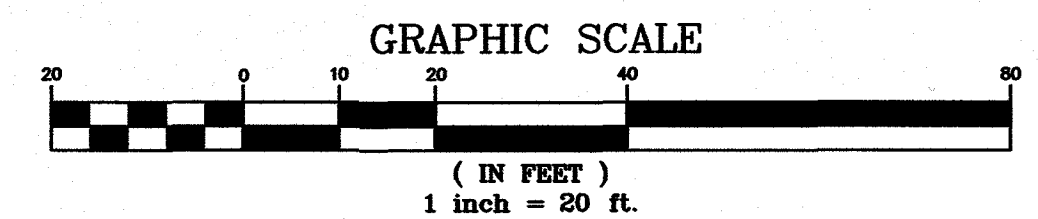


LEGEND

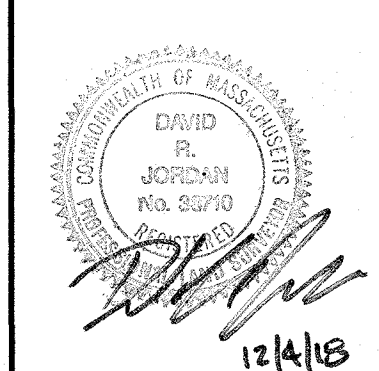
- VGC VERTICAL GRANITE CURB
- VCC VERTICAL CONCRETE CURB
- G GAS LINE
- W WATER LINE
- M METAL GUARDRAIL
- CL CHAIN LINK FENCE
- 10 CONTOUR ELEVATION
- U UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- PB PULL BOX
- SIGN SIGN
- SPOT ELEVATION
- DM DRAIN MANHOLE
- CB CATCH BASIN
- V VENT
- SM SEWER MANHOLE
- TM TELEPHONE MANHOLE
- EM ELECTRIC MANHOLE
- WM WATER MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- WS WATER SHUT OFF
- FH FIRE HYDRANT
- GM GAS METER
- EM ELECTRIC METER
- MW MONITORING WELL
- LP LIGHT POLE

PLAN REFERENCES:

- 1) ALTA/ACSM LAND TITLE SURVEY PREPARED BY OAK ENGINEERING, DATED AUGUST 26, 2010 PROVIDED BY CLIENT.



OWNER OF RECORD:
PARCEL ID 0103680000
GLOBAL COMPANIES, LLC
800 SOUTH STREET SUITE 200
WALTHAM, MA 02453
CERTIFICATE # 127737
LAND COURT BOOK 634 PAGE 137



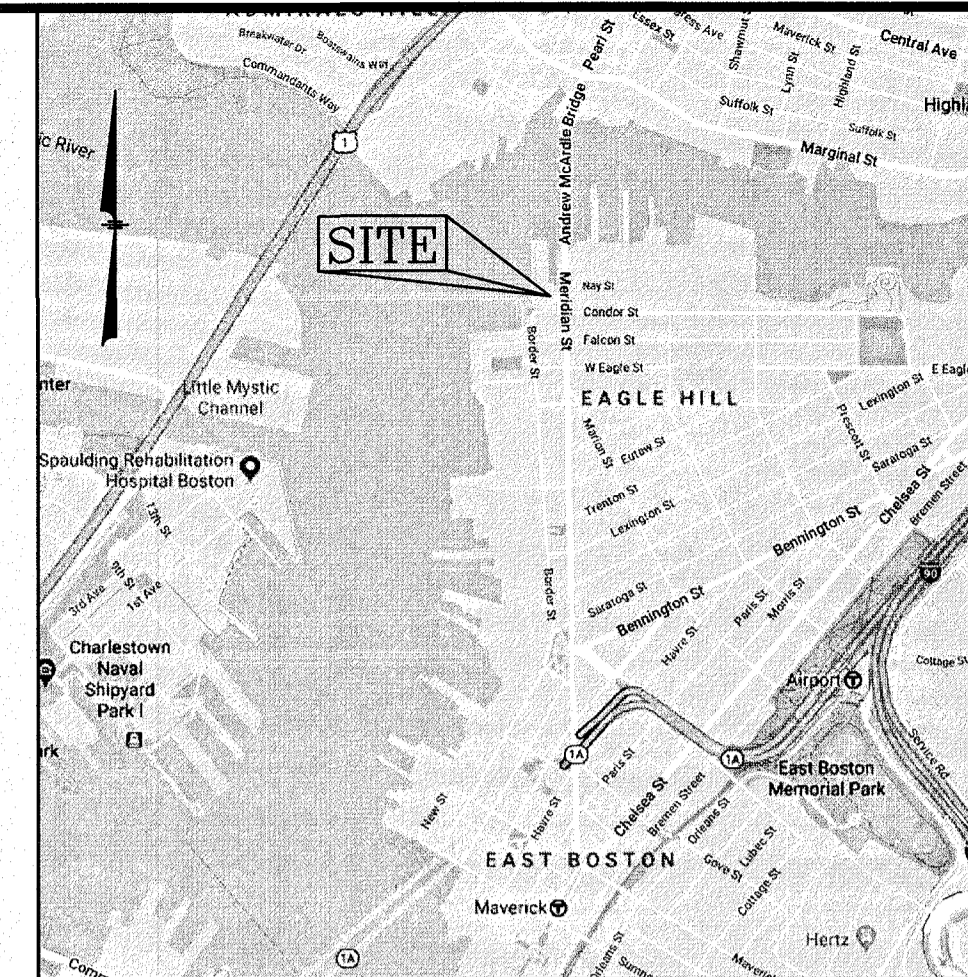
MHF Design Consultants, Inc.
44 Silas Road, Suite One
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SCALE: 1"=20'	DATE: DECEMBER 3, 2018	DRAWING NO. 44741WS.dwg
DRAWN BY: AKC	CHECKED BY: JAC	PROJECT NO. 447418
		SHEET NO. 2 OF 5

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LEGEND

- VERTICAL GRANITE CURB
- VERTICAL CONCRETE CURB
- GAS LINE
- WATER LINE
- METAL GUARDRAIL
- CHAIN LINK FENCE
- CONTOUR ELEVATION
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- PULL BOX
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- VENT
- SEWER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- MONITORING WELL
- LIGHT POLE



LOCATION MAP
(NOT TO SCALE)

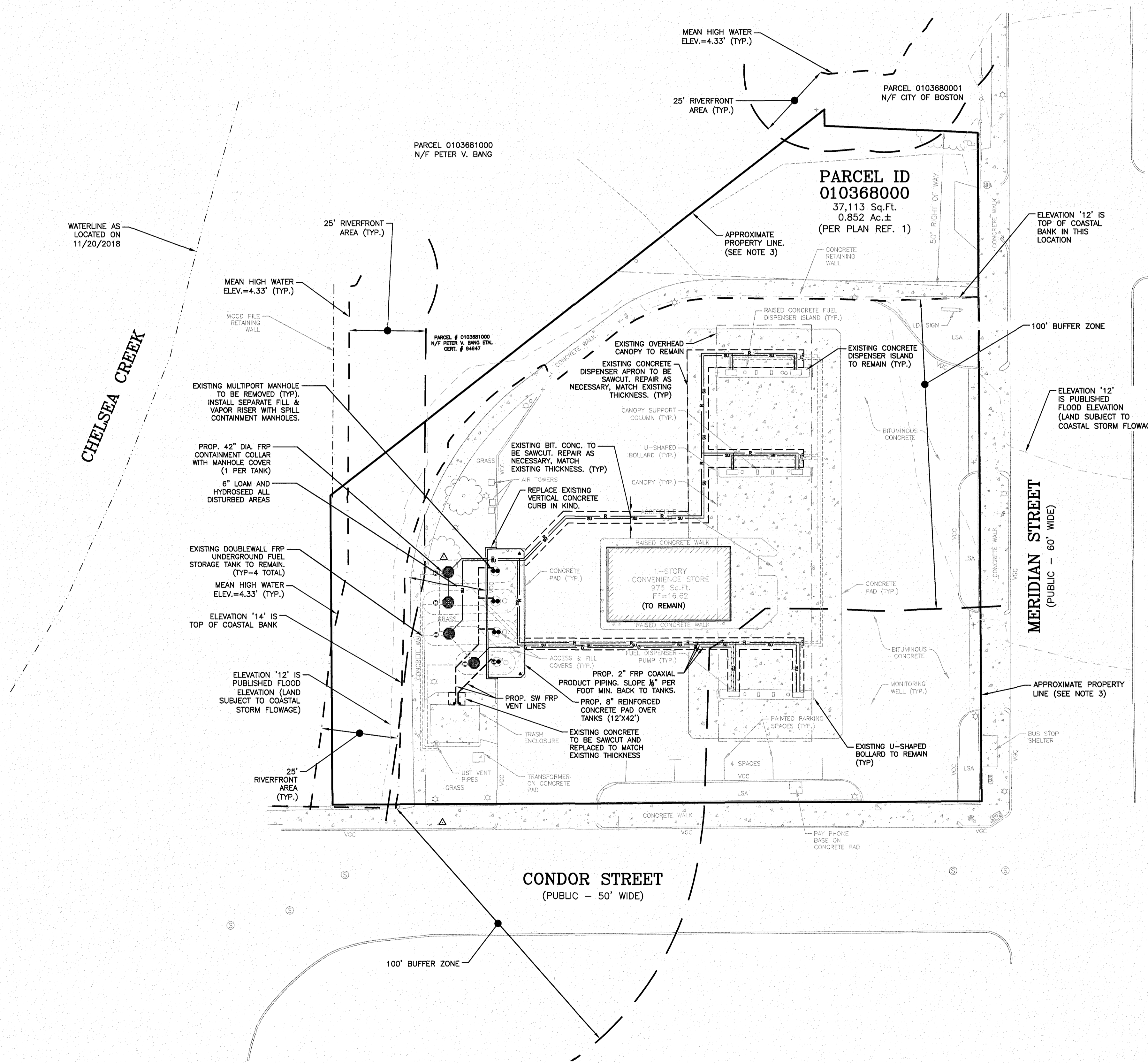
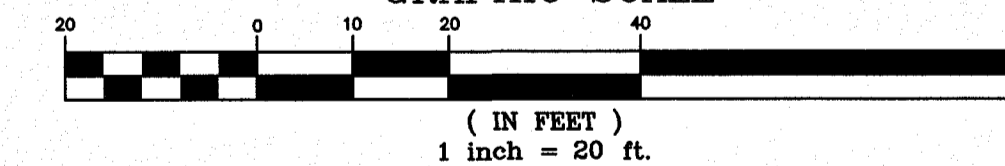
NOTES:

- 1) THE EXISTING MOBIL GAS STATION REQUIRES IMPROVEMENTS TO THE EXISTING UNDERGROUND FUEL STORAGE TANK (UST) SYSTEM TO COMPLY WITH THE MASSACHUSETTS DEP UNDERGROUND STORAGE TANKS (UST) SYSTEMS REGULATIONS (310 CMR 80.00). THE SITE CONSISTS OF FOUR EXISTING DOUBLE WALL FIBERGLASS USTS AND ASSOCIATED SINGLE WALL FIBER REINFORCED PLASTIC (FRP) PRODUCT PIPING. THE PROPOSED WORK CONSISTS OF MAINTAINING THE EXISTING USTS AND PERFORMING A TANK TOP UPGRADE WHICH WOULD INVOLVE THE INSTALLATION OF NEW SUBMERSIBLE TURBINE PUMPS WITH LINE LEAK DETECTORS, NEW SLUMP RISERS WITH ELECTRONIC SLUMP SENSORS AND NEW VAPOR AND FILL RISERS WITH SPILL CONTAINMENT MANHOLES. ADDITIONALLY, THE EXISTING SINGLE WALL PRODUCT PIPING IS TO BE REMOVED OR ABANDONED IN PLACE AND REPLACED WITH NEW DOUBLE WALL PRODUCT PIPING.
- 2) BOSTON TAX MAP PARCEL 0103680000
- 3) LOT AREA = 37,113 Sq.Ft.
= 0.852 Ac.±
PROPERTY LINES ARE APPROXIMATE AND WERE TAKEN FROM PLAN REFERENCE 1. NO BOUNDARY SURVEY WAS PERFORMED.
- 4) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- 5) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- 7) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS.
- 8) THE SURVEY TRACT IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD ZONE AE, BASE FLOOD ELEVATION DETERMINED TO BE 12 FEET) PER FLOOD INSURANCE RATE MAP NUMBER 25025C0018J, WITH AN EFFECTIVE DATE OF MARCH 16, 2016.
- 9) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- 10) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.

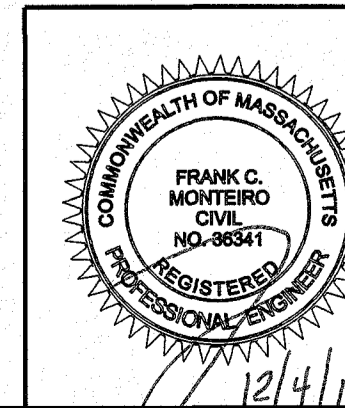
PLAN REFERENCES:

- 1) "ALTA/ACSM LAND TITLE SURVEY", 468 MERIDIAN STREET, EAST BOSTON, MASSACHUSETTS, PREPARED BY MKA, 6593 COMMERCE COURT, WARRENTON, VIRGINIA 20187, PREPARED FOR EXXON/MOBIL, DATED AUGUST 26, 2010, SCALE 1"=20', SHEET 1 OF 1

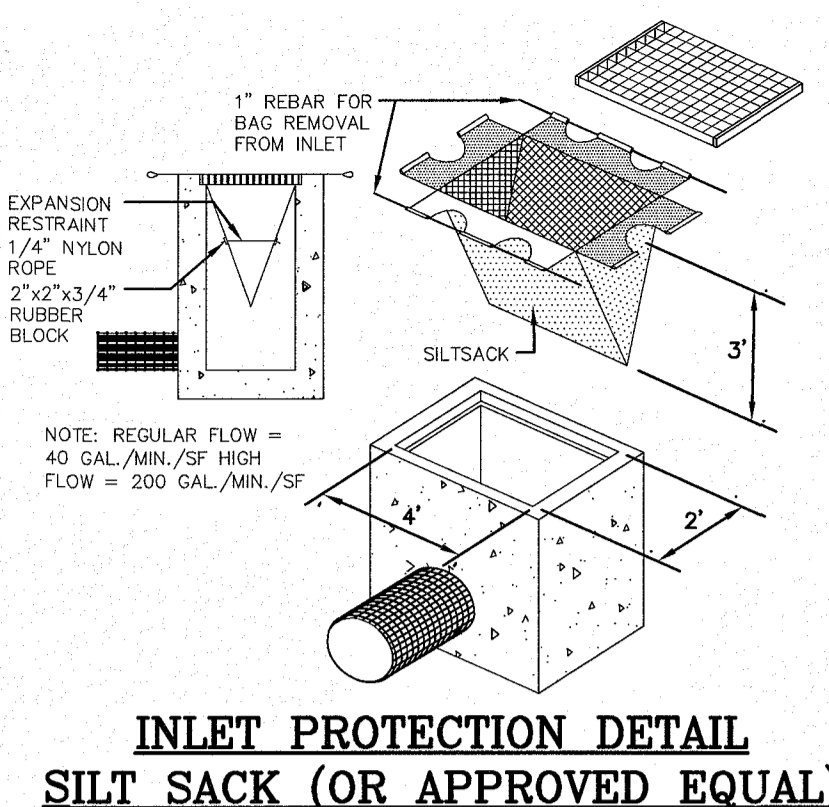
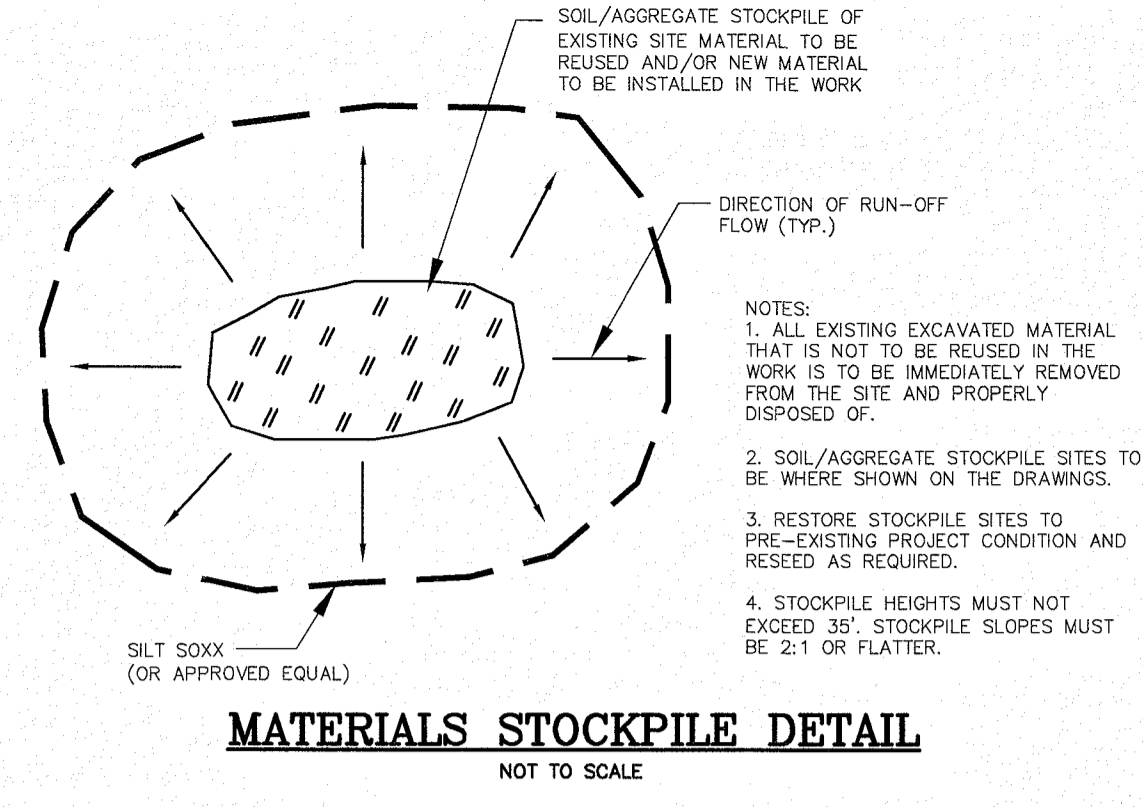
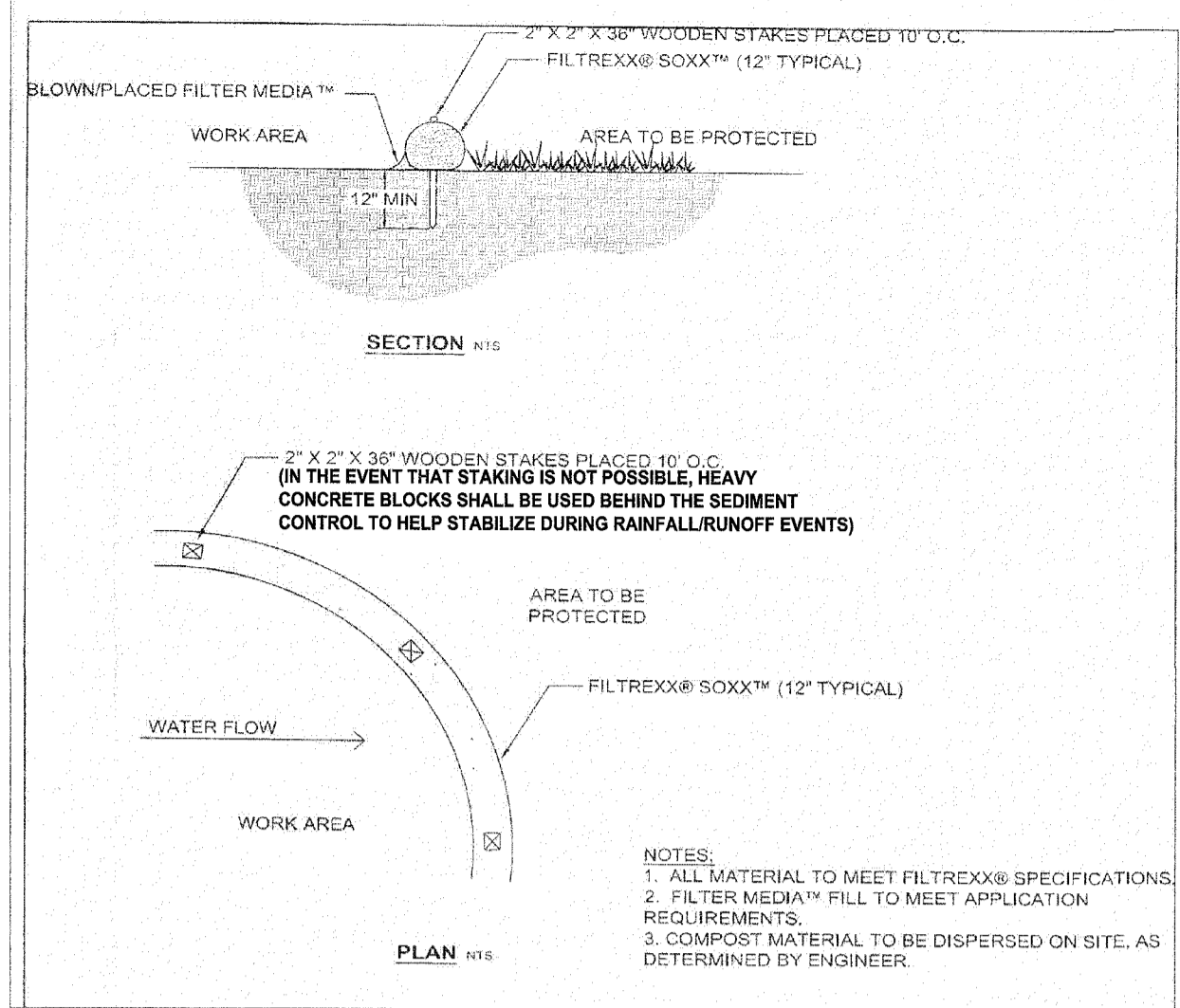
GRAPHIC SCALE



NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE PLAN			
BOSTON TAX MAP PARCEL 0103680000 470 MERIDIAN STREET EAST BOSTON, MA			
PREPARED FOR: GLOBAL COMPANIES, LLC 800 SOUTH STREET, SUITE 500 WALTHAM, MASSACHUSETTS 02453			
<div style="display: inline-block; vertical-align: middle; margin-left: 10px;"> <p>44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com</p> </div>			
SCALE: 1"=20'		DATE: DECEMBER 3, 2018	
DRAWN BY: CCC		DRAWING NO. 4474SP.DWG	
CHECKED BY: HS		PROJECT NO. 447418	
DRAWN BY: CCC		SHEET NO. 3 OF 5	

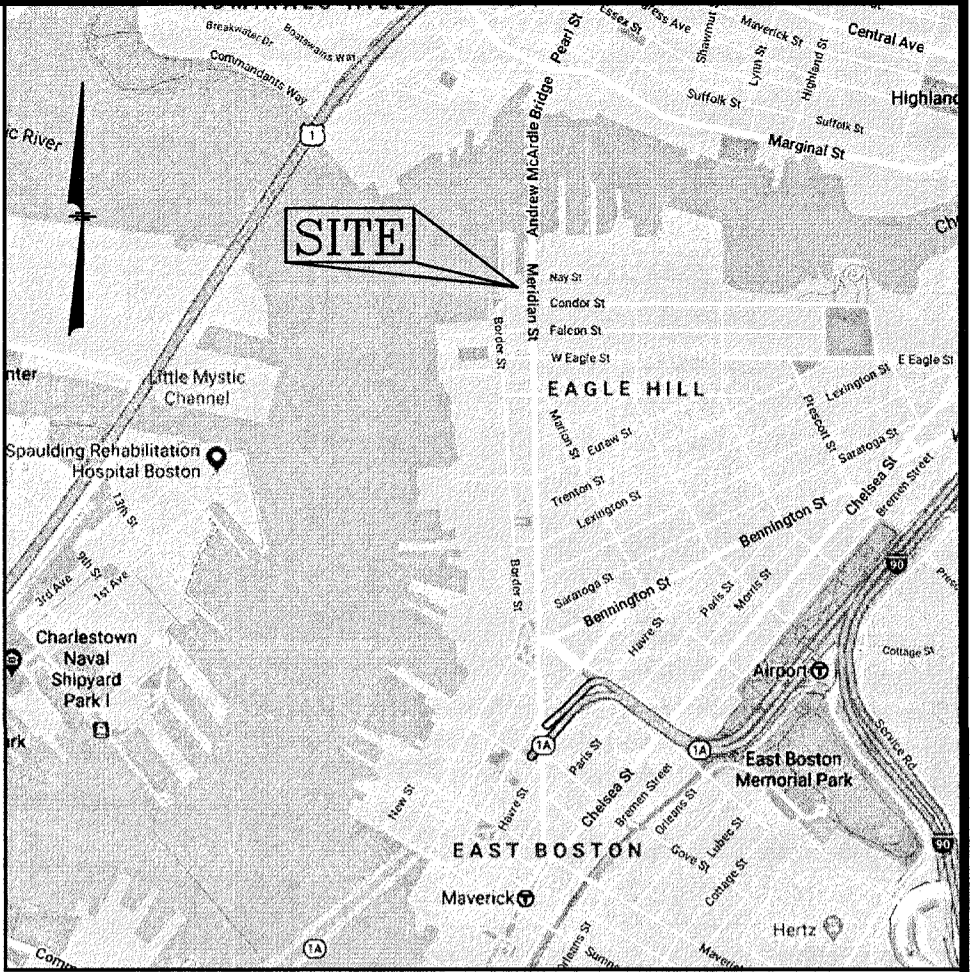


12/4/18



SOIL MANAGEMENT NOTES:

- EXCAVATION ACTIVITIES AT THE ENTIRE SUBJECT PROPERTY ARE SUBJECT TO AN ACTIVITY AND USE LIMITATION (AUL) REGISTERED AT THE SUFFOLK COUNTY REGISTRY OF DEEDS ON AUGUST 19, 2004, WHICH INDICATES:
- SOIL FROM PAVED AND UNPAVED PORTIONS OF THE AUL AREA, IF EXCAVATED AT A FUTURE DATE AND PROPOSED FOR REMOVAL FROM THE PROPERTY, MUST BE MANAGED UNDER THE DIRECTION OF A LICENSED SITE PROFESSIONAL (LSP) IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS UNDER A SITE-SPECIFIC SOIL MANAGEMENT AND/OR GROUNDWATER MANAGEMENT PLAN, AND HEALTH & SAFETY PLAN.
- SOIL EXCAVATED FROM THE UNPAVED RIGHT-OF-WAY, OR SOIL EXCAVATED FROM DEPTHS GREATER THAN ONE FOOT BELOW GRADE IN LANDSCAPED AREAS, MUST BE MANAGED UNDER THE DIRECTION OF AN LSP IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS UNDER A SITE-SPECIFIC SOIL MANAGEMENT AND/OR GROUNDWATER MANAGEMENT PLAN, AND HEALTH & SAFETY PLAN.
- SOIL EXCAVATED FROM PAVED PORTIONS OF THE AUL AREA, AND WHICH ARE DESIGNATED FOR RE-USE ON SITE, MUST BE COVERED WITH PAVEMENT FOLLOWING RE-USE, UNLESS DETERMINED BY AN LSP TO BE SUITABLE FOR UNRESTRICTED COMMERCIAL USE.
- THE SOIL MANAGEMENT PLAN TO BE PREPARED FOR THE EXCAVATION ACTIVITIES WILL PROVIDE FOR PERIODIC SOIL SAMPLING FROM THE SIDES AND ALONG THE BOTTOM OF THE EXCAVATION AND FIELD-SCREENING BY GLOBAL'S CONSULTANT. FIELD SCREENING RESULTS, AND VISUAL AND OLFACTORY EVIDENCE OF PETROLEUM OR OTHER IMPACTS, WILL BE USED FOR SEGREGATING SOIL AND STOCKPILING SOIL. THE AUL PROVIDES FOR ON-SITE RE-USE OF IMPACTED SOIL, IF ENCOUNTERED. HOWEVER, REGARDLESS OF WHETHER SOIL IS IMPACTED, SOME SOIL MAY NOT BE SUITABLE FOR BACKFILL OR MAY REPRESENT EXCESS VOLUME AND WILL NEED TO BE REMOVED AND DISPOSED OFF-SITE.
- WHETHER NON-IMPACTED OR AFFECTED BY RESIDUAL GASOLINE OR CONSTITUENTS IN HISTORIC FILL, EXCAVATED SOIL WILL BE STAGED IN ONE OR MORE STOCKPILES, AND STORED ON AND COVERED BY 6-MIL POLYETHYLENE SHEETING UNTIL IT IS EITHER RE-USED ON-SITE OR TRANSPORTED FROM THE SITE. DEPENDING ON THE LOCATION OF THE WORK AREA, STOCKPILES MAY NEED TO BE TEMPORARILY LOCATED WITHIN THE 100 FOOT BUFFER ZONE BECAUSE THE BUFFER ZONE ENCOMPASSES A PORTION OF THE SUBJECT PROPERTY. HAY BALES WILL BE PLACED AROUND THE PERIMETER OF THE SOIL STOCKPILE(S) AND STOCKPILE(S) WILL BE SECURED AT THE END OF EACH WORK DAY.
- SOIL STOCKPILES DESTINED FOR DISPOSAL WILL REMAIN ON SITE PENDING ACCEPTANCE BY A SUITABLE DISPOSAL FACILITY. THE APPROVAL WILL BE BASED UPON SOIL CHARACTERIZATION SAMPLING USING LABORATORY ANALYSES REQUIRED BY THE DISPOSAL FACILITY AND MASSDEP. DISPOSAL ARRANGEMENTS WILL BE MADE AS SOON AS PRACTICABLE FROM THE SOIL GENERATION AND ITS ACCEPTANCE AT A DISPOSAL FACILITY. SOILS DESTINED FOR OFF-SITE DISPOSAL WILL BE SHIPPED USING A WASTE MANIFEST OR BILL-OF-LADING DEPENDING ON THE DESTINATION.
- CONSTRUCTION DEBRIS, SUCH AS ASPHALT, CONCRETE, TANK PIPES, AND OTHER REMOVED EQUIPMENT WILL BE TRANSPORTED TO A PROPER DISPOSAL FACILITY. SINCE WORK PROPOSED UNDER THIS NOI WILL BE PERFORMED IN CURRENTLY PAVED AREAS, UPON COMPLETION OF THE WORK, AREAS WHERE PAVEMENT WAS REMOVED WILL BE RESTORED TO PREVIOUS CONDITIONS.



NOTES:

- ELEVATIONS ARE BASED ON NAVD88 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- THIS SITE WILL NOT REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE DOES NOT EXCEED ONE ACRE.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- ALL WORK WITHIN THE 100' BUFFER ZONE SHALL BE PERFORMED IN ACCORDANCE THE ORDER OF CONDITIONS AS ISSUED BY THE MUNICIPAL CONSERVATION COMMISSION AND D.E.P.

CONSTRUCTION SEQUENCE NOTES:

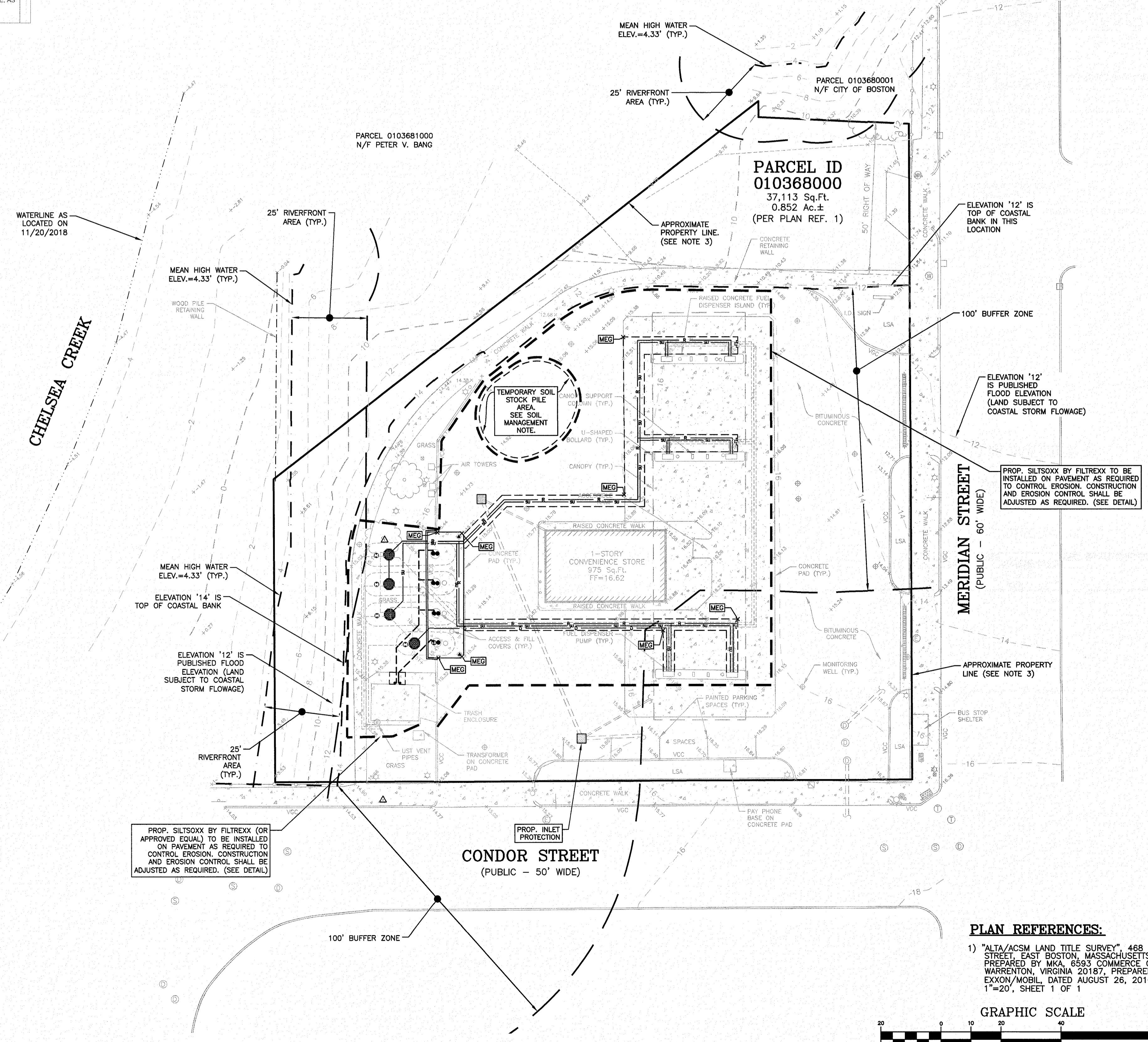
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
- INSTALL NEW FUEL PRODUCT PIPING AND UPGRADES TO EXISTING UNDERGROUND STORAGE TANKS.
- REPAIR TRENCHES/TANK EXCAVATION AREA TO TOP OF SUBGRADE.
- PLACE PAVEMENT BINDER COURSE AND CONCRETE PAVEMENT.
- REPLACE EXISTING CURBING.
- LOAM AND SEED AREAS OF DISTURBANCE.
- DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT EROSION AND SEDIMENT CONTROL DEVICES INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
- INSTALL FINAL PAVEMENT COURSE.
- AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

TEMPORARY EROSION CONTROL MEASURES:

- MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION BARRIERS AND SEED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED. A MINIMUM OF 6 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUEGRASS, REDTOP, PERENNIAL RYEGRASS.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- PAVED ROADWAYS AND PARKING LOTS MUST BE KEPT CLEAN AT ALL TIMES. PROVIDE SWEEPING ON A DAILY BASIS OR AS DIRECTED BY THE CITY.
- ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION - SEE DETAIL.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- CONTRACTOR TO PROVIDE FUGITIVE DUST CONTROL MEASURES IN ACCORDANCE WITH STATE & LOCAL REGULATIONS.

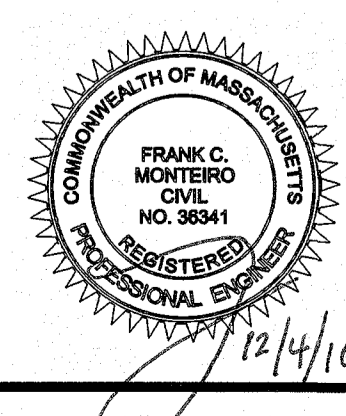
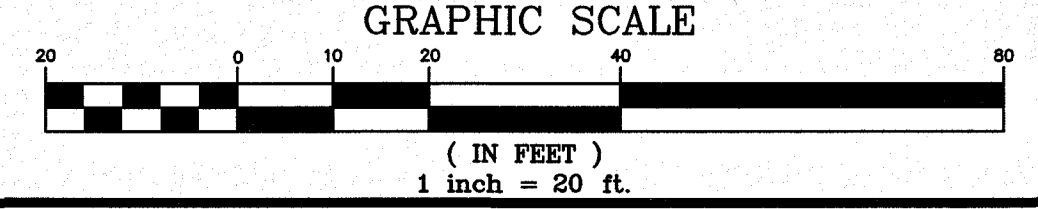
LEGEND

VGC	VERTICAL GRANITE CURB	MEG	MEET EXISTING GRADE
VCC	VERTICAL CONCRETE CURB	331.25	PROP. SPOT ELEVATION
G	GAS LINE	---	PROP. CONTOUR ELEVATION
W	WATER LINE	---	T.W.
---	METAL GUARDRAIL	---	TOP OF WALL ELEV.
---	CHAIN LINK FENCE	---	B.W.
---	CONTOUR ELEVATION	---	BOTTOM OF WALL ELEV.
---	UTILITY POLE	---	GAS VALVE
---	GUY WIRE	---	WATER VALVE
---	OVERHEAD WIRE	---	WATER SHUT OFF
---	PULL BOX	---	FIRE HYDRANT
---	SIGN	---	GAS METER
---	SPOT ELEVATION	---	ELECTRIC METER
---	DRAIN MANHOLE	---	MONITORING WELL
---	CATCH BASIN	---	LIGHT POLE
---	VENT	---	
---	SEWER MANHOLE	---	
---	TELEPHONE MANHOLE	---	
---	ELECTRIC MANHOLE	---	
---	WATER MANHOLE	---	



PLAN REFERENCES:

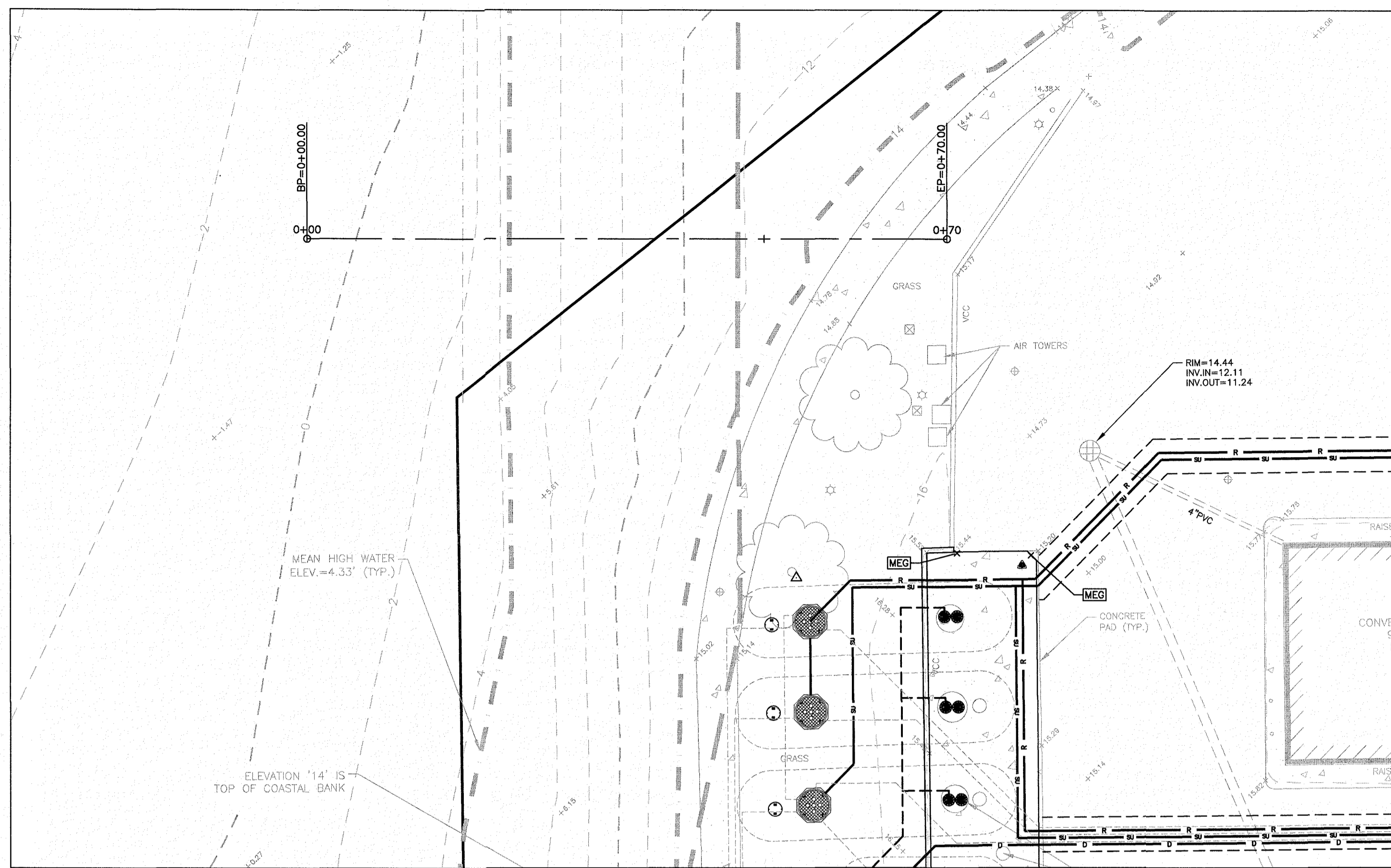
- "ALTA/ACSM LAND TITLE SURVEY", 468 MERIDIAN STREET, EAST BOSTON, MASSACHUSETTS, PREPARED BY MKA, 5553 COMMERCIAL COURT, WARRENTON, VIRGINIA 20187, PREPARED FOR EXXON/MOBIL, DATED AUGUST 26, 2010, SCALE 1"=20', SHEET 1 OF 1



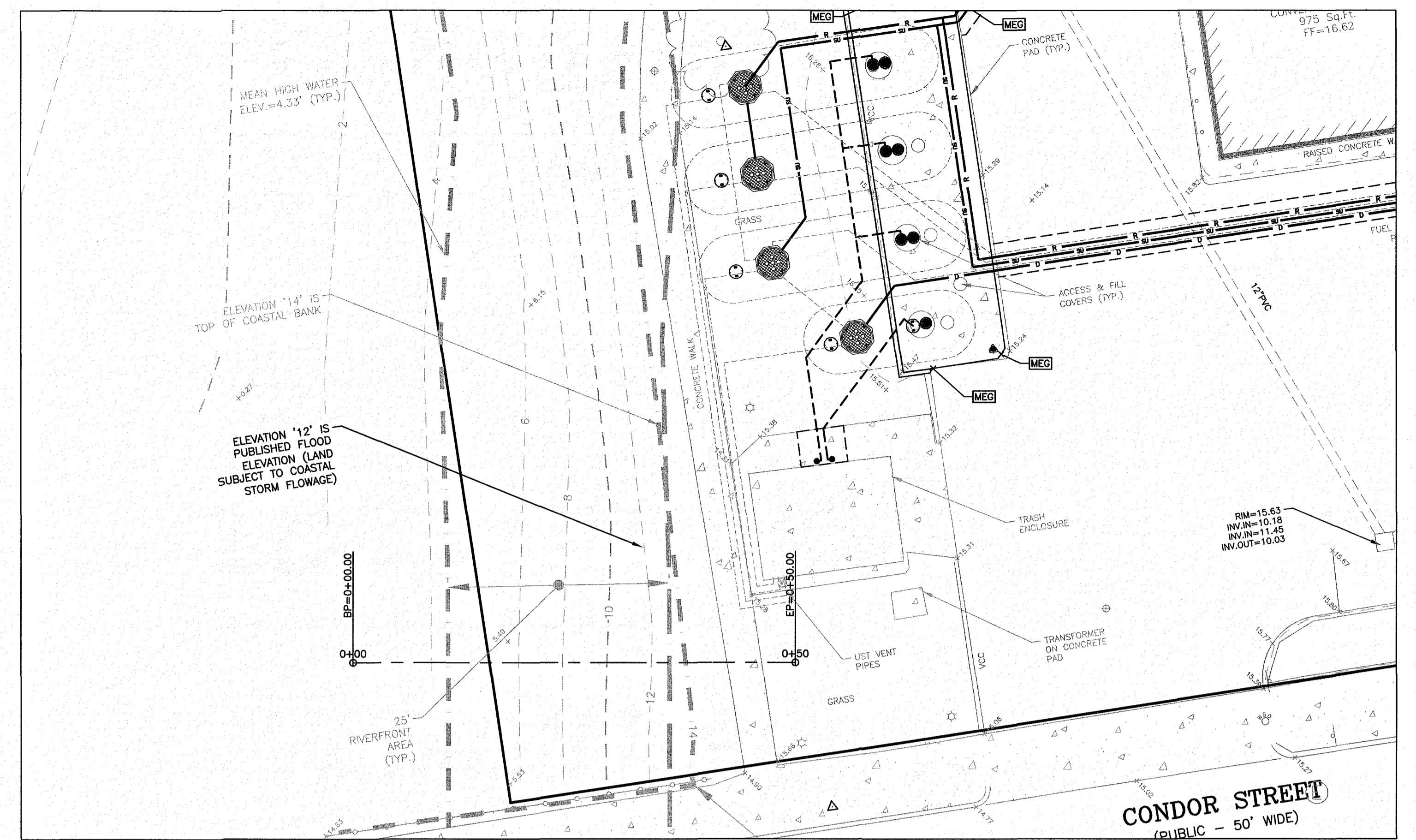
NO.	DESCRIPTION	BY	DATE
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GRADING & EROSION CONTROL PLAN			
BOSTON TAX MAP PARCEL 010368000 470 MERIDIAN STREET EAST BOSTON, MA			
PREPARED FOR: GLOBAL COMPANIES, LLC 800 SOUTH STREET, SUITE 500 WALTHAM, MASSACHUSETTS 02453			
		44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: 1"=20'	DATE: DECEMBER 3, 2018	DRAWING NO. 4474SP.DWG	
DRAWN BY: CCC	CHECKED BY: HS	PROJECT NO. 447418	SHEET NO. 4 OF 5

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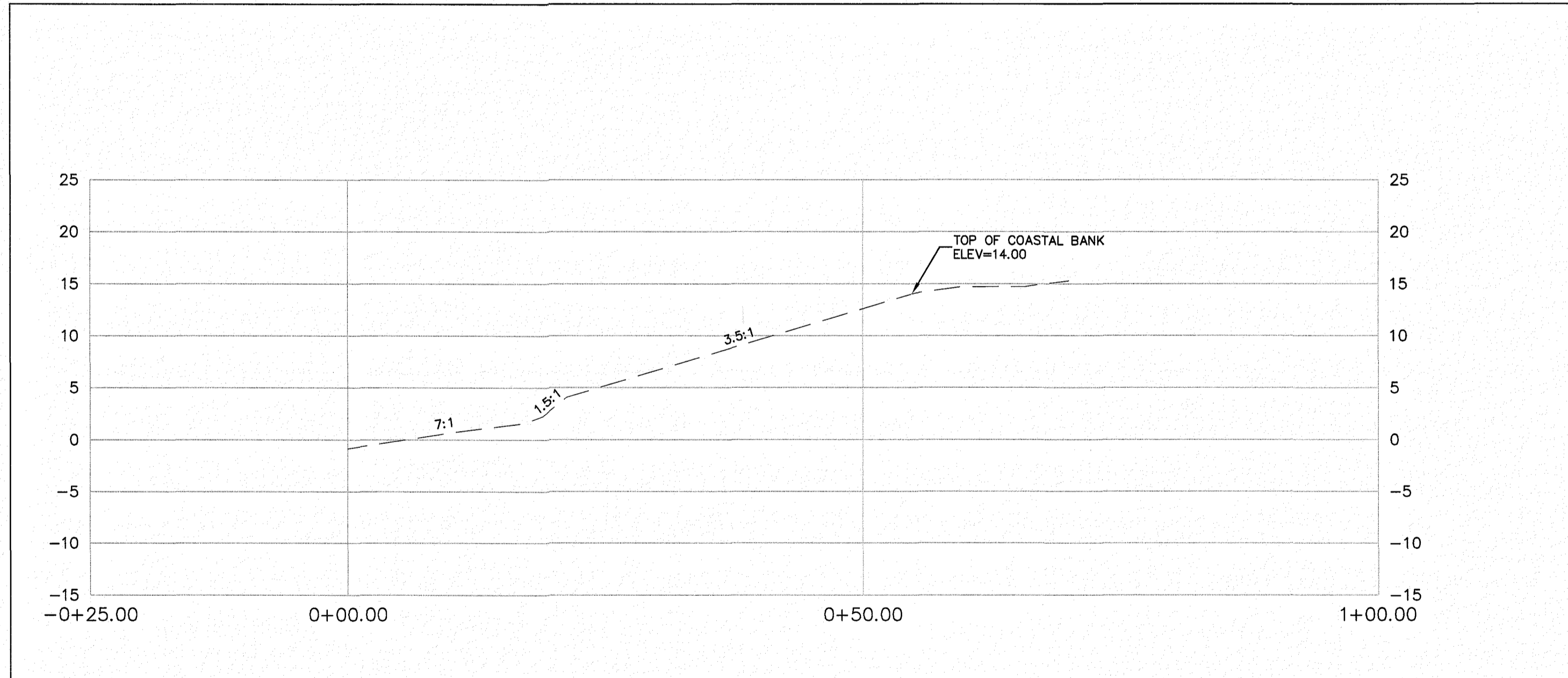




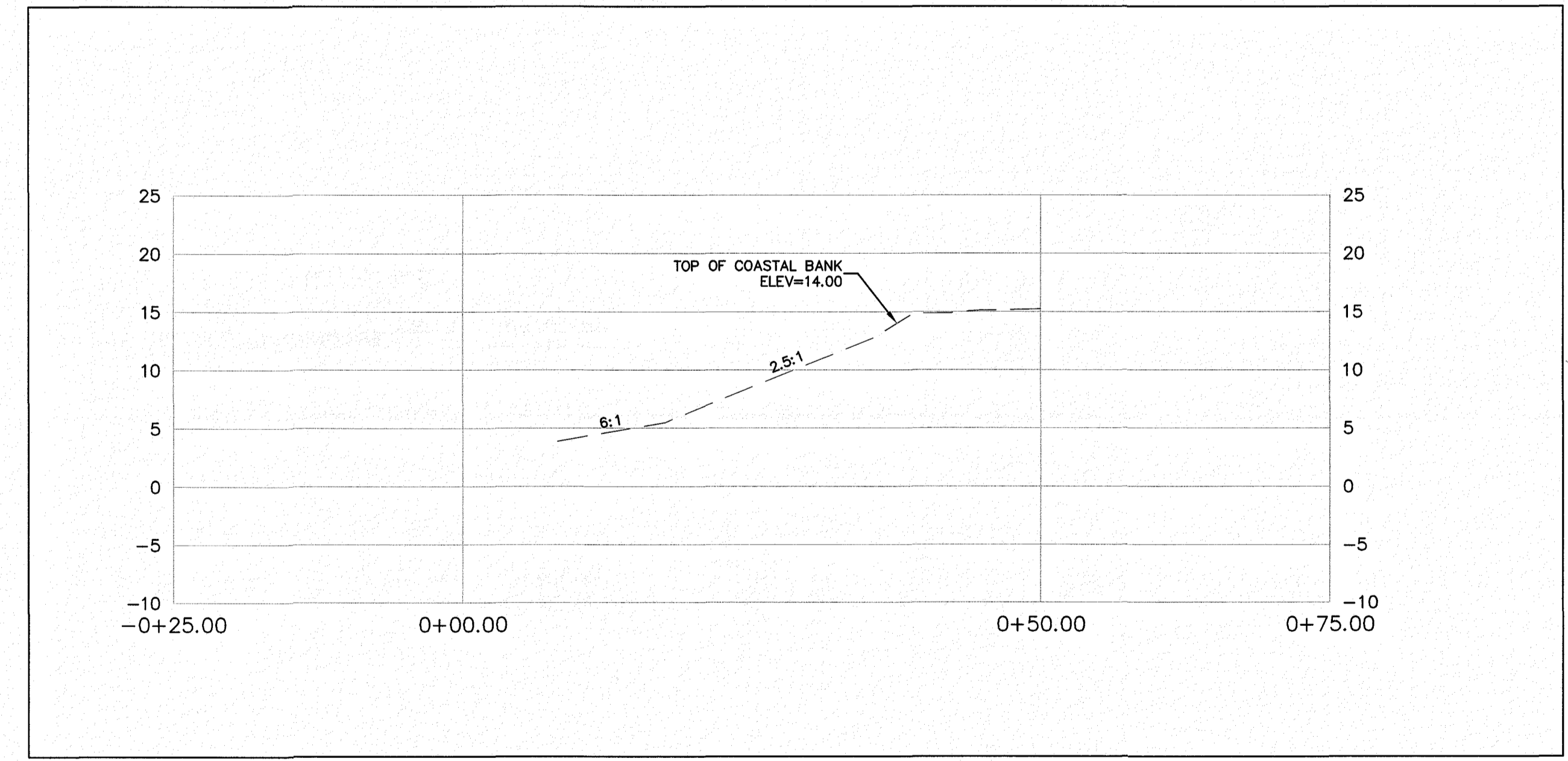
PLAN
SCALE: 1"=10'



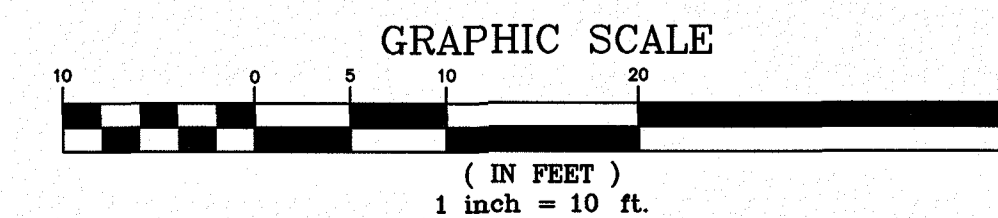
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SCALE: 1"=10'



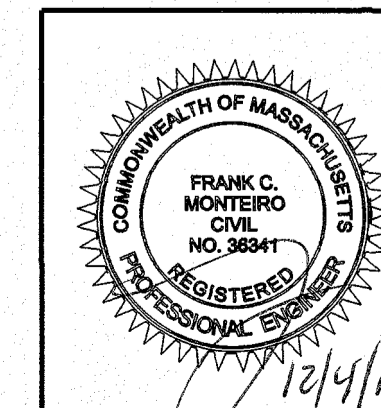
CROSS-SECTION
SCALE: 1"=10'



CROSS-SECTION
SCALE: 1"=10'



NO.	DESCRIPTION	BY	DATE
REVISIONS			
COASTAL BANK CROSS-SECTIONS			
TAX MAP XXX LOT XXX 470 MERIDIAN STREET EAST BOSTON, MA			
PREPARED FOR: GLOBAL COMPANIES, LLC 800 SOUTH STREET, SUITE 500 WALTHAM, MASSACHUSETTS 02453			
 MHF Design Consultants, Inc.		44 Silles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: 1"=10'		DATE: DECEMBER 3, 2018	
DRAWN BY: GMP		CHECKED BY: HS	
		PROJECT NO. 447418	
		DRAWING NO. 4474SP.DWG	
		SHEET NO. 5 OF 5	



Attachment H

Stormwater Checklist



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



 12/3/18
Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment

N/A - Existing site to remain. Only site improvements are upgrades to gas station underground fuel components.



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): N/A - Existing site to remain as is. No increase in impervious area is proposed.

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.

N/A - Existing on site drainage to remain with no increase in impervious area.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

N/A - Existing on site drainage to remain with no increase in impervious area.

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

N/A - Existing on site drainage to remain with no increase in impervious area.

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.

N/A - Existing on site drainage to remain with no increase in impervious area.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

N/A - Existing on site drainage to remain with no increase in impervious area.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted *prior to* the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does *not* cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has *not* been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

N/A - Existing on site drainage to remain with no increase in impervious area.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

N/A - Existing on site drainage to remain with no increase in impervious area. No additional drainage improvements are being proposed.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan

In accordance with DEP Stormwater Standard #8 the following is the construction period pollution prevention and erosion and sedimentation control plan for the site improvements proposed at 470 Meridian Street, East Boston, MA:

Narrative

Global Companies, LLC is proposing site improvements which are limited to the upgrade of underground fuel system components associated with an existing gas station. No increase in impervious area is being proposed. The existing on site drainage system is to remain as is with no proposed drainage improvements.

Construction Period Operation and Maintenance Plan

Operation and maintenance of the construction period BMP's will be performed in accordance with this document, the Massachusetts Stormwater Handbook, the Nonpoint Source Manual, the US EPA Stormwater Best Management Practices and the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Name of Persons or Entities Responsible for Plan Compliance

Global Companies, LLC
800 South Street, Suite 500
Waltham, MA 02453
Phone: (781) 891-4000

Construction Period Pollution Prevention Measures

- Tubular sediment control device surrounding all construction activities
- Catch basin inserts
- Protection of soil stockpiles

Erosion and Sedimentation Control Plan Drawings

This information is included in the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Details and Specifications for Erosion Control BMP's

This information is included the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Vegetation Planning

Information regarding seed mixture types and locations is included the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Site Development Plan

This information is included the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Construction Sequencing Plan

In general the sequence to be followed in each phase is as follows:

1. Install tubular sediment control device along project perimeter
2. Strip and stockpile topsoil
3. Install new fuel product piping and upgrades to existing underground storage tanks
4. Repair trenches to top of subgrade
5. Place binder course and concrete pavement
6. Replace existing curbing
7. Loam and seed areas of disturbance
8. Install finish course pavement
9. Remove sediment control barriers once permanent vegetation is established

Sequencing of Erosion and Sedimentation Controls

The sequencing of erosion and sedimentation controls is as outlined above and as detailed the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Operation and Maintenance of Erosion and Sedimentation Controls

Operation and maintenance of the erosion and sedimentation controls shall be performed by the contractor (to be determined) or their designee. Maintenance shall be performed as outlined on the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Inspection Schedule

Inspection of the erosion and sedimentation controls shall be performed as outlined on the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Maintenance Schedule

The maintenance schedule for the erosion and sedimentation controls shall be performed as outlined on the Site Improvements Plans prepared by MHF Design Consultants, Inc.

Inspection and Maintenance Log Form

A construction period Inspection and Maintenance Log Form is included on the following page.

447418 Stormwater Inspection and Maintenance Log

General Information			
Project Name	Proposed Site Improvements		
NPDES Tracking No.	N.A.	Location	470 Meridian Street East Boston, MA
Date of Inspection		Start/End Time	
Inspector's Name(s)			
Inspector's Title(s)			
Inspector's Contact Information			
Describe present phase of construction			
Type of Inspection			
<input type="checkbox"/> Regular <input type="checkbox"/> Post-storm event			
Weather Information			
Current Conditions:			
Do you suspect that discharges may have occurred since the last inspection?			
<input type="checkbox"/> Yes <input type="checkbox"/> No			
Are there any discharges at the time of inspection?			
<input type="checkbox"/> Yes <input type="checkbox"/> No			

Site-specific BMPs

	Temporary (Construction Phase) BMP Description	BMP Installed and Operating Properly?	Corrective Action Needed	Party contacted / Method of contact
A	Overall Site Construction Activities	<input type="checkbox"/> Yes <input type="checkbox"/> No		
B	Sediment Control Barrier	<input type="checkbox"/> Yes <input type="checkbox"/> No		
D	Stockpiles	<input type="checkbox"/> Yes <input type="checkbox"/> No		
E	Catch Basin inserts	<input type="checkbox"/> Yes <input type="checkbox"/> No		

ADDITIONAL COMMENTS

Overall Site Issues

	BMP/activity	Implemented?	Maintained?	Corrective Action	Party contacted / Method of contact
1	Are all slopes and disturbed areas not actively being worked properly stabilized?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
2	Are natural resource areas (e.g., streams, wetlands, mature trees, etc.) protected with barriers or similar BMPs?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
3	Are perimeter controls and sediment barriers adequately installed (keyed into substrate) and maintained?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
4	Are discharge points and receiving waters free of sediment deposits?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
5	Are storm drain inlets properly protected?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
6	Is there evidence of sediment being tracked into the street?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
7	Is trash/litter from work areas collected and placed in covered dumpsters?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
8	Are washout facilities (e.g., paint, stucco, concrete) available, clearly marked, and maintained?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
9	Are vehicle and equipment fueling, cleaning, and maintenance areas free of spills, leaks, or any other deleterious material?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
10	Are materials that are potential stormwater contaminants stored inside or under cover?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
11	Are non-stormwater discharges (e.g., wash water, dewatering) properly controlled?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Certification statement:

“I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.”

Print name: _____

Signature: _____ Date: _____

Copies to:

Owner: _____

Contractor: _____

Conservation Commission: _____

MHF Project Manager: _____

Other: _____

December 5, 2018

Boston Conservation Commission
1 City Hall Square
Room 709
Boston, MA 02201

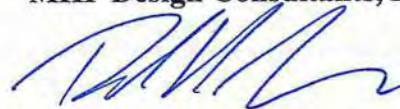
Re: Mobil Station
468-470 Meridian Street

Sub: Illicit Discharge Statement
Standard #10

Dear Commission Members:

On behalf of our client, Global Companies, LLC, we hereby state that to the best of our knowledge, no illicit discharges exist on the above referenced site and none are proposed with the site improvements plans. Implementing the pollution prevention plan measures outlined in the site improvement plans will prevent illicit discharges to the stormwater management system, including wastewater discharges and discharges of stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease. Refer to the Grading & Erosion Control Plan from the site plan set for additional information.

Sincerely,
MHF Design Consultants, Inc.



David Jordan, P.E., P.L.S., LEED AP
Sr. Project Manager