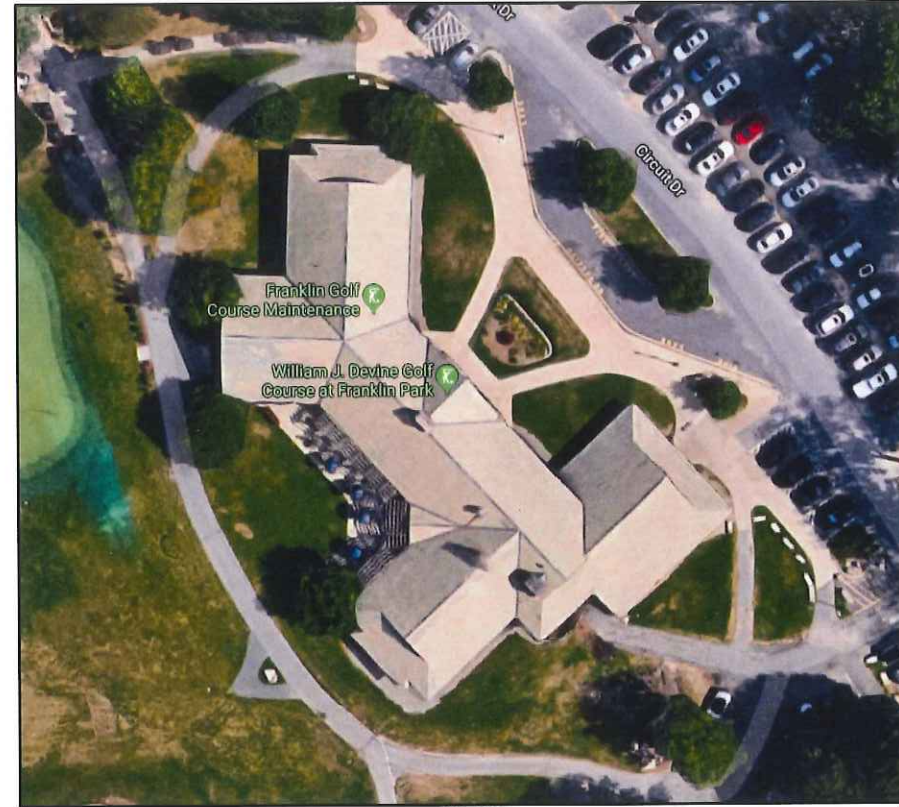


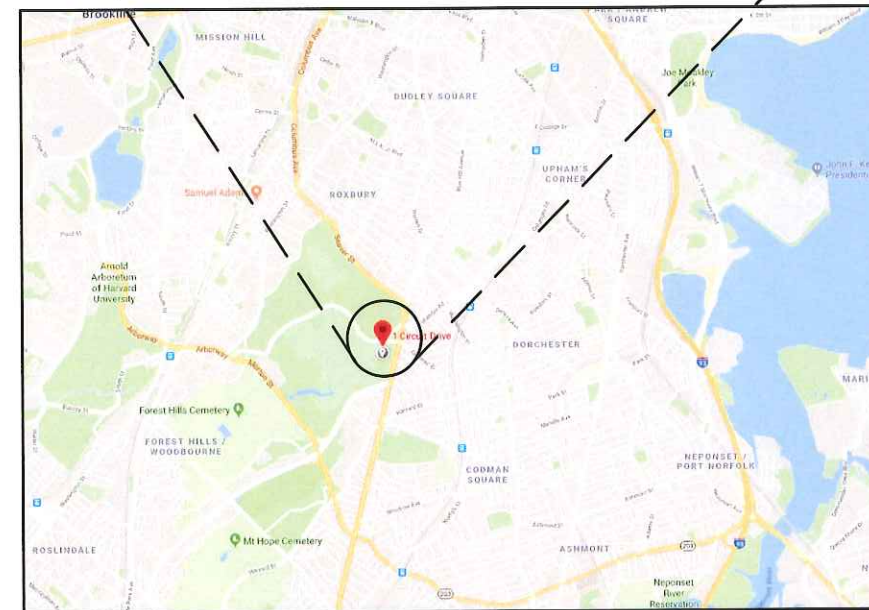
ROOF REPLACEMENT AND PATIO EXPANSION AT THE WILLIAM J. DEVINE CLUBHOUSE

1 CIRCUIT DRIVE
DORCHESTER, MASSACHUSETTS 02121

PREPARED FOR
CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
CAPITAL CONSTRUCTION DIVISION
26 COURT STREET, 10TH FLOOR
BOSTON, MA 02108



SITE MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

DRAWING NO	TITLE
G100	COVER SHEET
G101	TYPICAL ROOF CROSS SECTIONS, DESIGNATIONS, AND GENERAL NOTES
G102	SITE PLAN
C001	EXISTING CONDITIONS PLAN
C002	DEMOLITION AND EROSION CONTROL PLAN
C101	LAYOUT AND MATERIALS PLAN
C102	GRADING AND DRAINAGE PLAN
C501	DETAIL SHEET
C502	DETAIL SHEET
C503	DETAIL SHEET
A101	OVERALL ROOF AREA PLAN
A501	ROOF DETAILS
A502	ROOF DETAILS

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PROJECT
ROOF REPLACEMENT AND PATIO EXPANSION
WILLIAM J. DEVINE CLUBHOUSE
1 CIRCUIT DRIVE
DORCHESTER, MASSACHUSETTS 02121
OWNER
CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
26 COURT STREET, 10TH FLOOR
BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		833770	
CADD FILE		833770 G100	
DESIGNED BY		DJB/BHN	
DRAWN BY		DJK	
CHECKED BY		BHN/EJS	
DATE		6/29/18	
DRAWING SCALE		NOT TO SCALE	

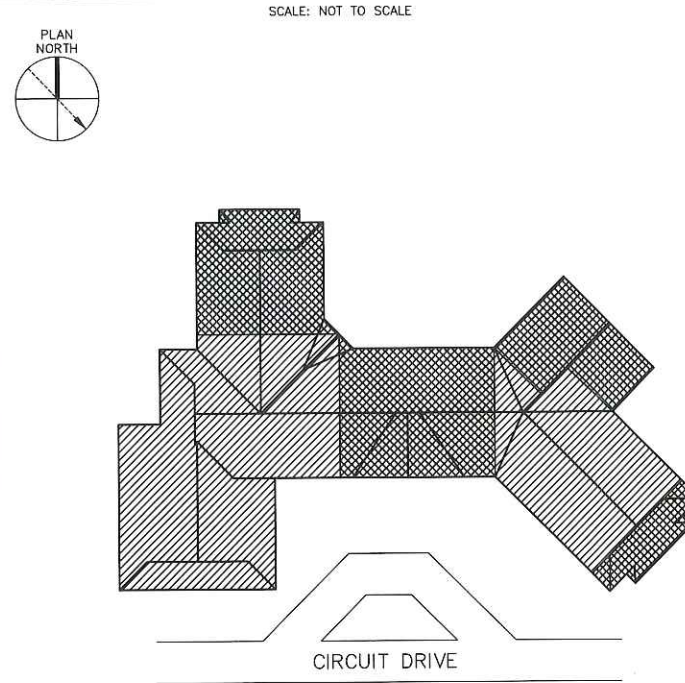
SHEET TITLE
COVER SHEET

DRAWING NO.
G100

GENERAL NOTES

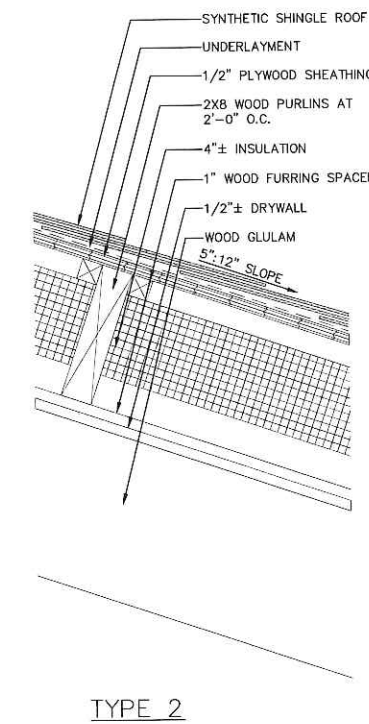
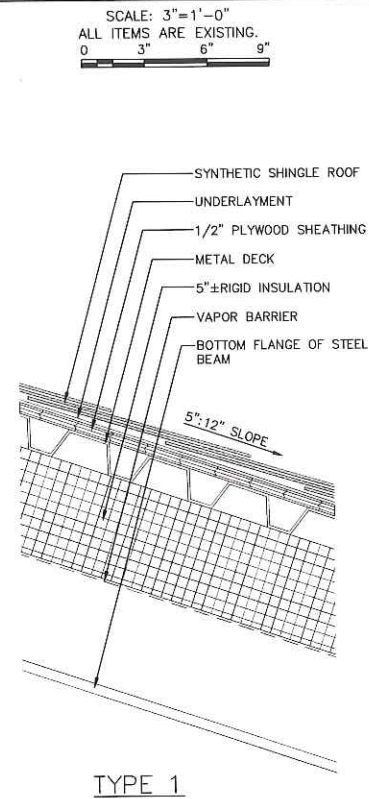
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2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
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7. THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
8. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE CONTROLLED.
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10. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE NOT SHOWN ON THE DETAIL DRAWINGS. REFER TO THE SPECIFICATIONS FOR FASTENER TYPES AND SPACING.
11. REMOVE EXISTING SYNTHETIC SLATE SHINGLES, SHEET METAL EDGE COMPONENTS AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS DOWN TO THE EXISTING PLYWOOD ROOF DECK TO INSTALL THE NEW SYNTHETIC SLATE SHINGLE ROOF SYSTEM AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS.
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16. THE CONTRACTOR SHALL PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.

ROOF STRUCTURE AND DECK TYPES

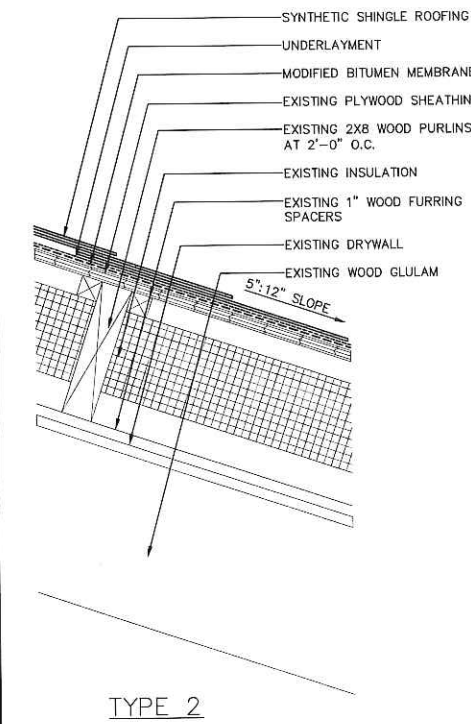
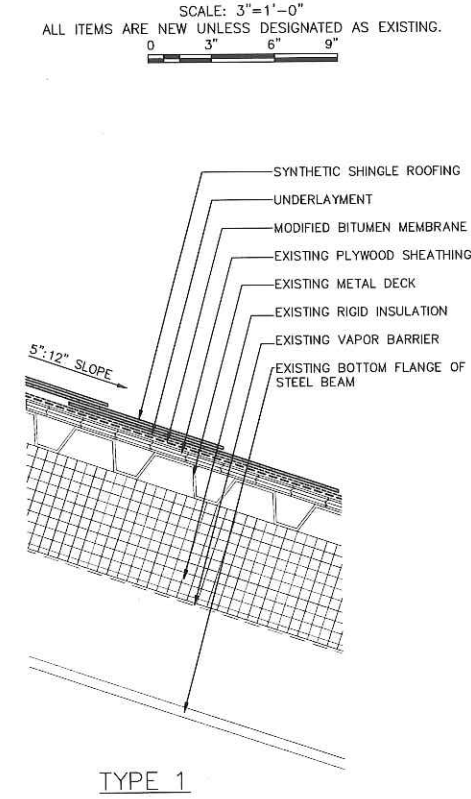


- LEGEND:
- TYPE 1: STEEL AND WOOD GLULAM FRAMING WITH METAL DECK AT SUSPENDED CEILING
 - TYPE 2: STEEL AND WOOD GLULAM FRAMING WITH 2X8 WOOD PURLINS AT VAULTED CEILING

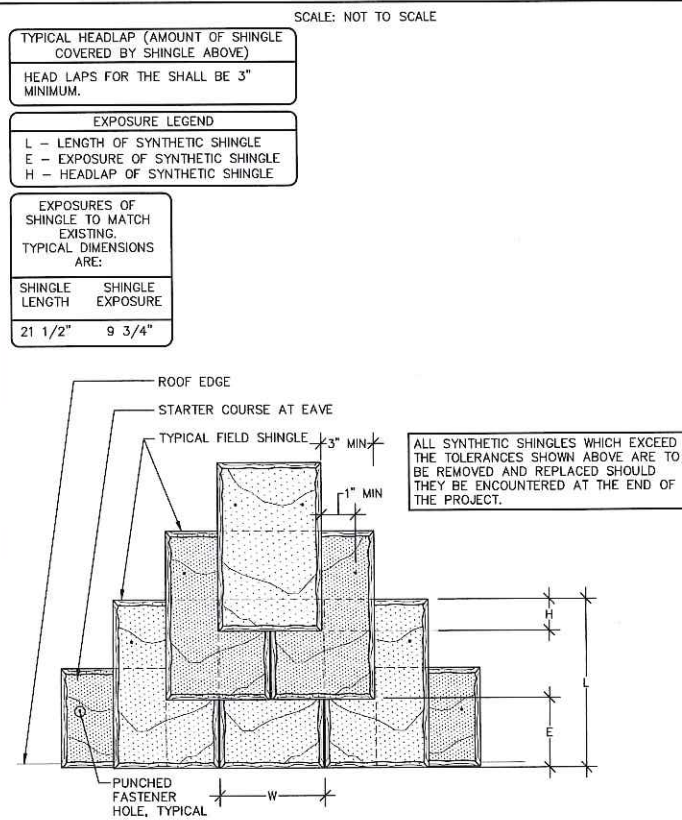
EXISTING ROOF CROSS SECTIONS



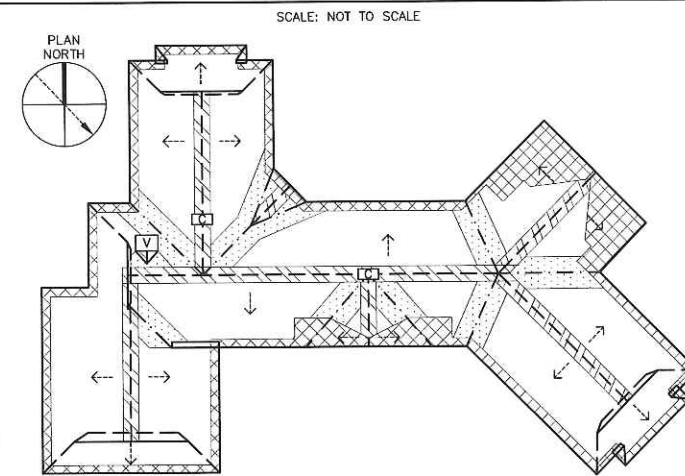
PROPOSED ROOF CROSS SECTIONS



SYNTHETIC SLATE ROOF CONFIGURATION



MODIFIED BITUMEN UNDERLAYMENT LAYOUT



- MODIFIED BITUMEN LEGEND
- 3'-0" MINIMUM FROM INTERIOR WALL SURFACE AT EAVES
 - 3'-0" MINIMUM ON BOTH SIDES OF VALLEY TRANSITION
 - 12" MINIMUM ON BOTH SIDES OF HIP AND RIDGE, FROM ROOF RAKE EDGES, AND AROUND CHIMNEYS
 - VENT
 - CHIMNEY
 - STRUCTURAL SLOPE



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ROOF REPLACEMENT AND PATIO EXPANSION
WILLIAM J. DEVINE CLUBHOUSE
1 CIRCUIT DRIVE
DORCHESTER, MASSACHUSETTS 02121

OWNER
CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
26 COURT STREET, 10TH FLOOR
BOSTON, MASSACHUSETTS 02108

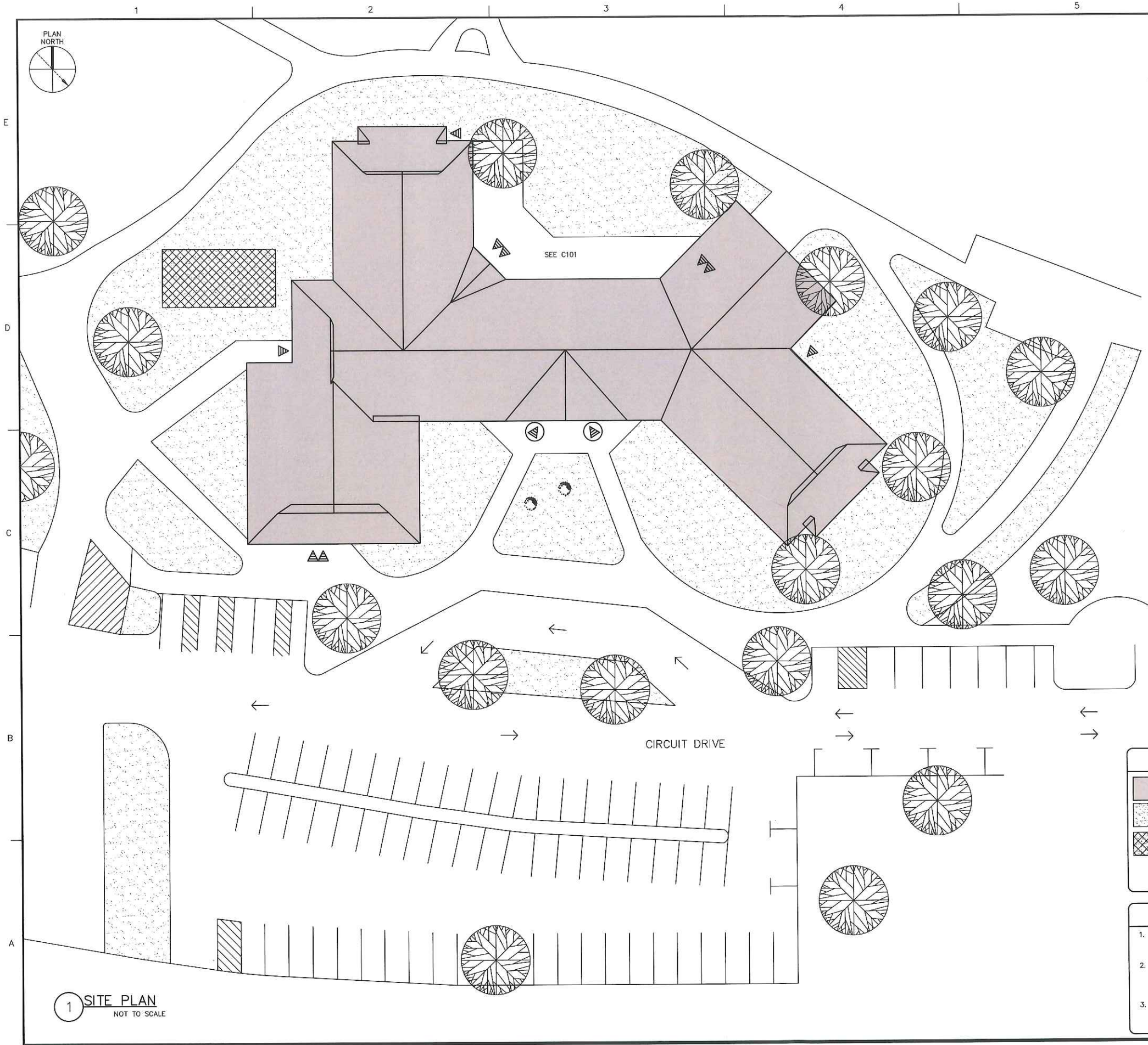
NO.	DATE	DESCRIPTION	BY
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CADD FILE	833770 G100a		
DESIGNED BY	DJB/BHN		
DRAWN BY	KRC/DJK		
CHECKED BY	BHN/EJS		
DATE	6/29/18		
DRAWING SCALE	AS NOTED		

SHEET TITLE

TYPICAL ROOF CROSS SECTIONS, DESIGNATIONS, AND GENERAL NOTES

DRAWING NO.

G101



- ### GENERAL NOTES
1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
 2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
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PROJECT
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 WILLIAM J. DEVINE CLUBHOUSE
 1 CIRCUIT DRIVE
 DORCHESTER, MASSACHUSETTS 02121

OWNER
 CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770 G100a		
DESIGNED BY	DJB/BHN		
DRAWN BY	DJK		
CHECKED BY	BHN/EJS		
DATE	6/29/18		
DRAWING SCALE	NOT TO SCALE		
GRAPHIC SCALE			

LEGEND

BUILDING IN CONTRACT	BUILDING ENTRANCE
GRASS/LANDSCAPED AREA	MAIN BUILDING ENTRANCE;
PROPOSED CONTRACTOR LAYDOWN/STAGING AREA	TREE (SHOWN TO APPROXIMATE SCALE)
	TRAFFIC PATTERN

- ### SITE NOTES
1. THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN ON THIS SHEET. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
 2. CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE AND FEDERAL GUIDELINES. ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDING.
 3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.

1 SITE PLAN
 NOT TO SCALE

SHEET TITLE

SITE PLAN

DRAWING NO.
G102



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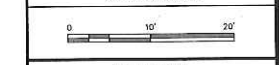
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ROOF REPLACEMENT AND PATIO EXPANSION
 WILLIAM J. DEVINE CLUBHOUSE
 1 CIRCUIT DRIVE
 DORCHESTER, MASSACHUSETTS 02121

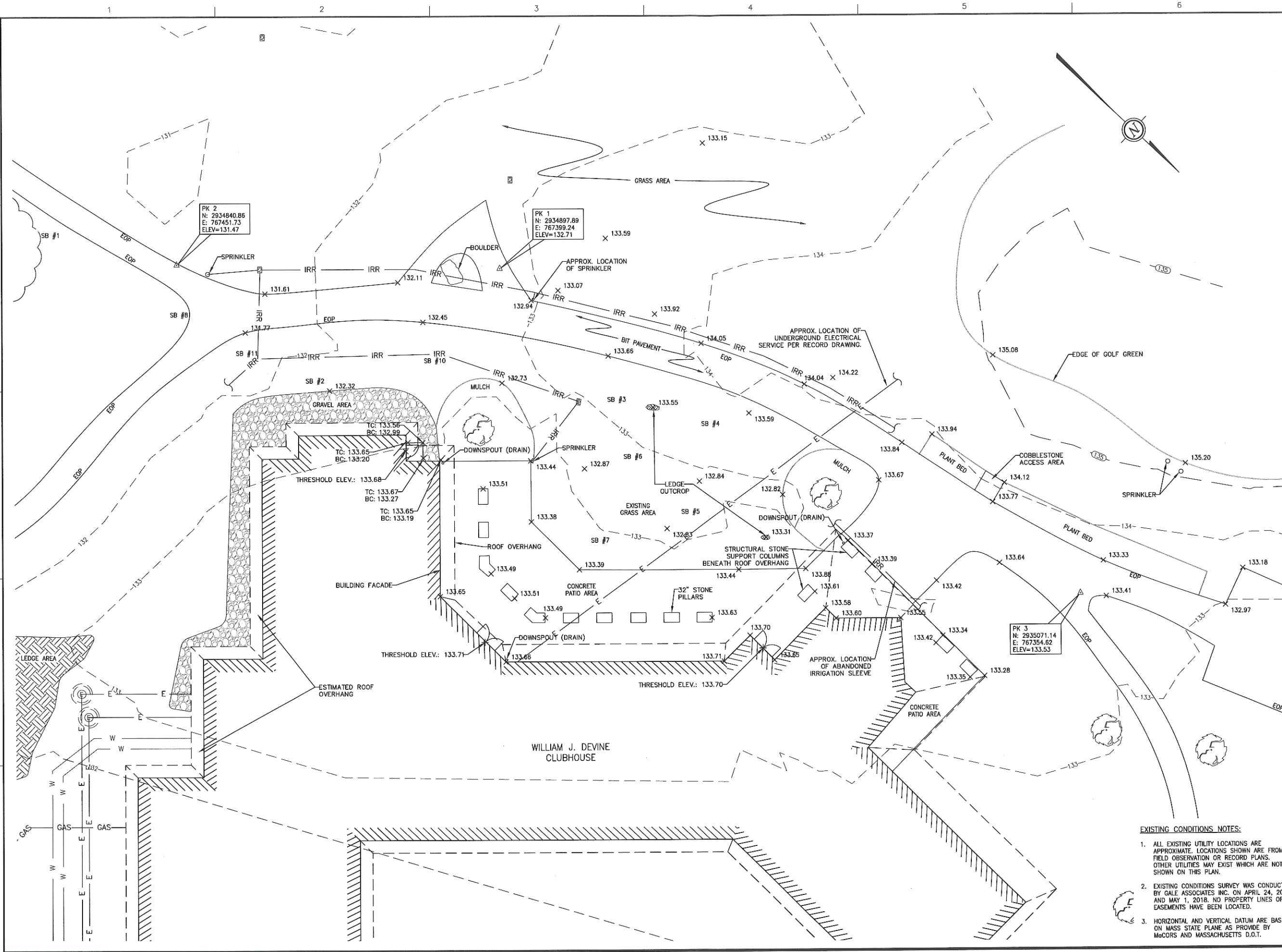
OWNER
 CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		833770	
CADD FILE		833770_C001	
DESIGNED BY		JMP/BJB	
DRAWN BY		BJB	
CHECKED BY		JMP	
DATE		7/9/2018	
DRAWING SCALE		1"=10'	

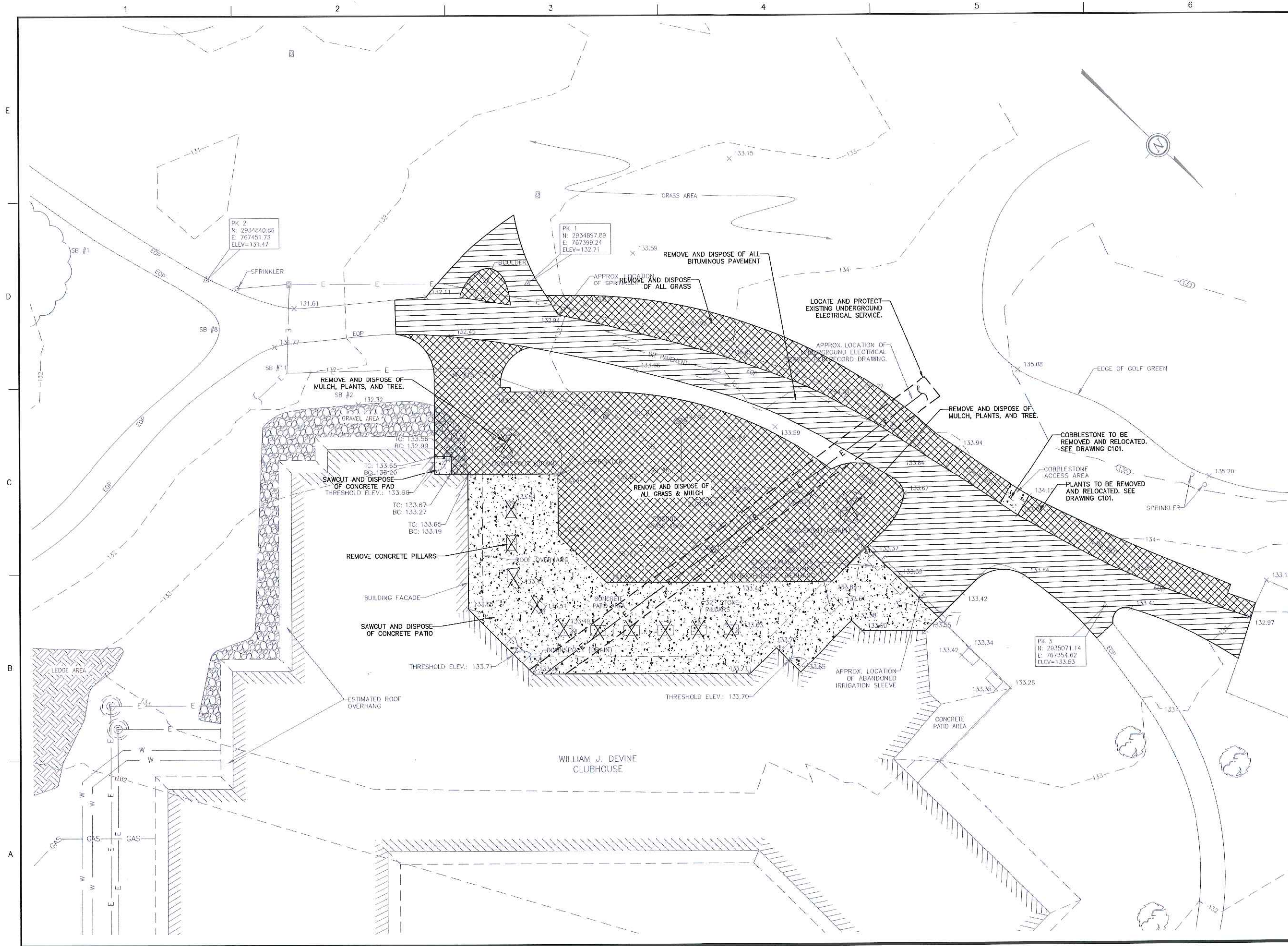


SHEET TITLE
EXISTING CONDITIONS PLAN

DRAWING NO.
C001



- EXISTING CONDITIONS NOTES:**
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE. LOCATIONS SHOWN ARE FROM FIELD OBSERVATION OR RECORD PLANS. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN.
 - EXISTING CONDITIONS SURVEY WAS CONDUCTED BY GALE ASSOCIATES INC. ON APRIL 24, 2018 AND MAY 1, 2018. NO PROPERTY LINES OR EASEMENTS HAVE BEEN LOCATED.
 - HORIZONTAL AND VERTICAL DATUM ARE BASED ON MASS STATE PLANE AS PROVIDED BY MGCORS AND MASSACHUSETTS D.O.T.



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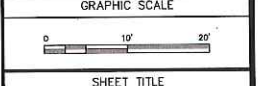
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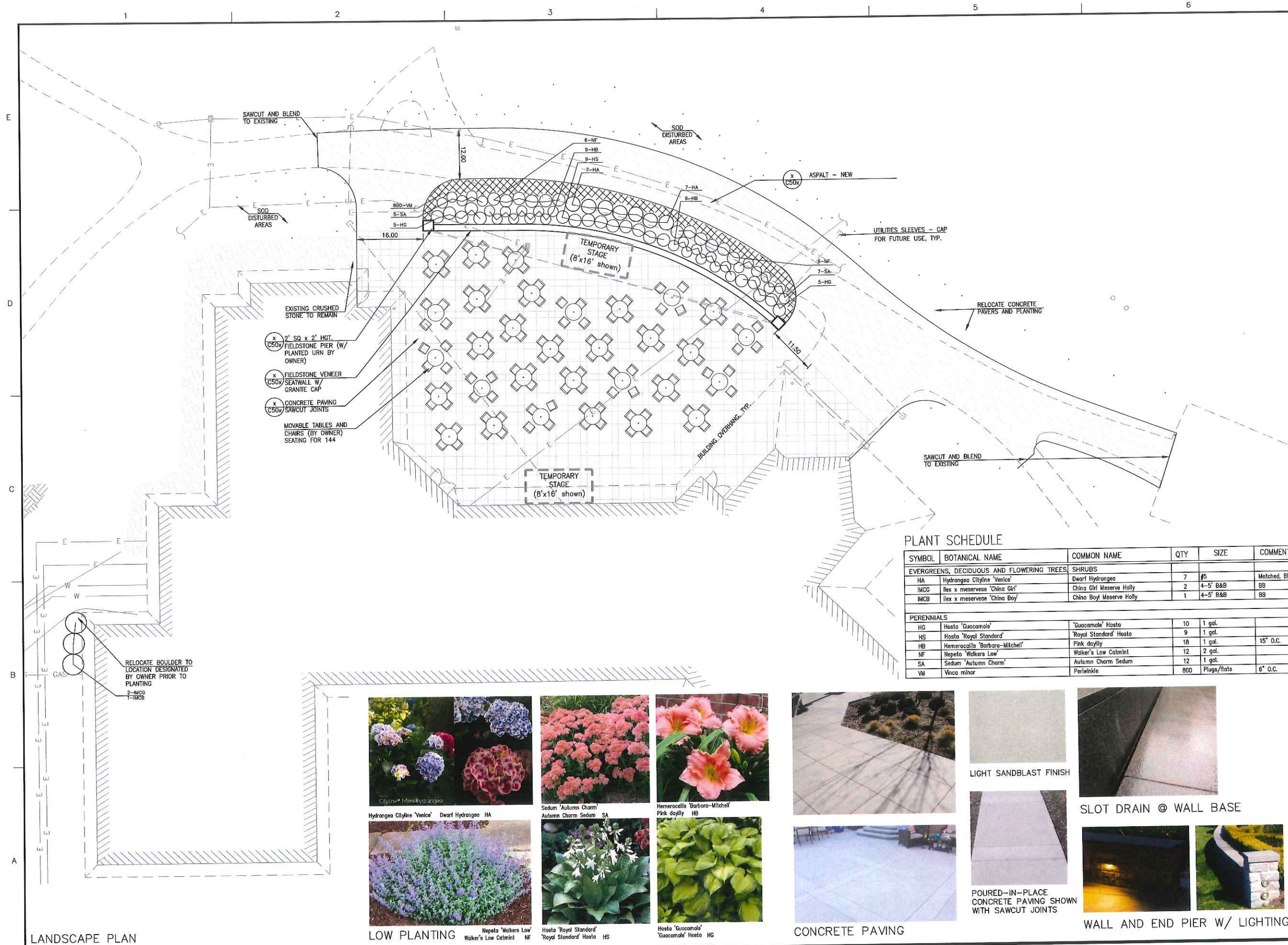
OWNER
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 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770_C002		
DESIGNED BY	JMP/BJB		
DRAWN BY	BJB		
CHECKED BY	JMP		
DATE	7/9/2018		
DRAWING SCALE	1"=10'		



SHEET TITLE
DEMOLITION AND EROSION CONTROL PLAN

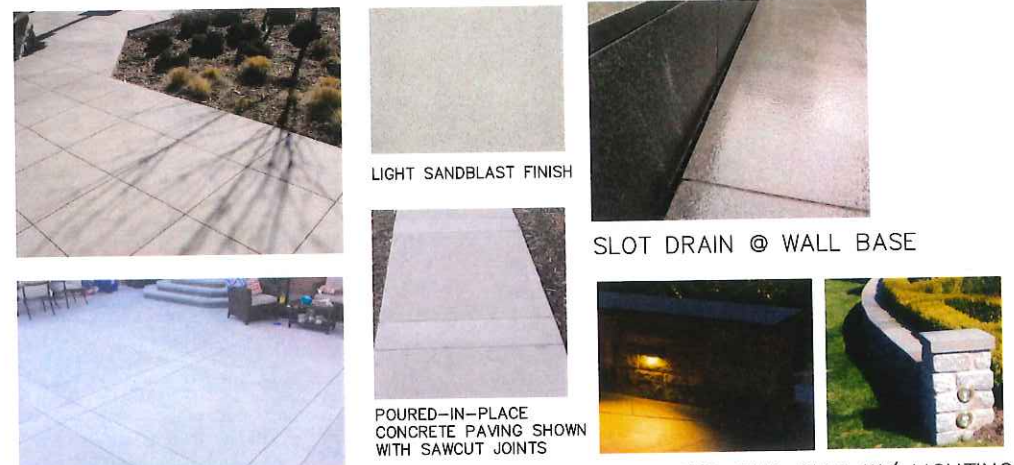
DRAWING NO.
C002



LANDSCAPE PLAN




LOW PLANTING



CONCRETE PAVING

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
EVERGREENS, DECIDUOUS AND FLOWERING TREES					
SHRUBS					
HA	Hydrangea Cityline 'Venice'	Dwarf Hydrangea	7	#5	Matched, BB
IMCG	Ilex x meserveae 'China Girl'	China Girl Meserve Holly	2	4-5' B&B	BB
IMCB	Ilex x meserveae 'China Boy'	China Boy Meserve Holly	1	4-5' B&B	BB
PERENNIALS					
HG	Hosta 'Guacamole'	'Guacamole' Hosta	10	1 gal.	
HS	Hosta 'Royal Standard'	'Royal Standard' Hosta	9	1 gal.	
HB	Hemerocallis 'Barbara-Mitchell'	Pink daylily	18	1 gal.	15" O.C.
NF	Nepeta 'Walkers Low'	Walker's Low Catmint	12	2 gal.	
SA	Sedum 'Autumn Charm'	Autumn Charm Sedum	12	1 gal.	
VM	Vinca minor	Periwinkle	800	Plugs/flats	6" O.C.



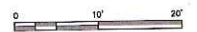
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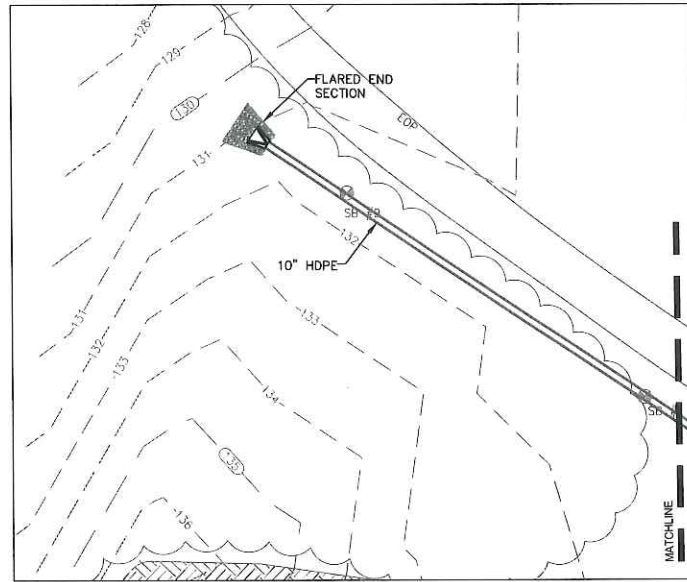
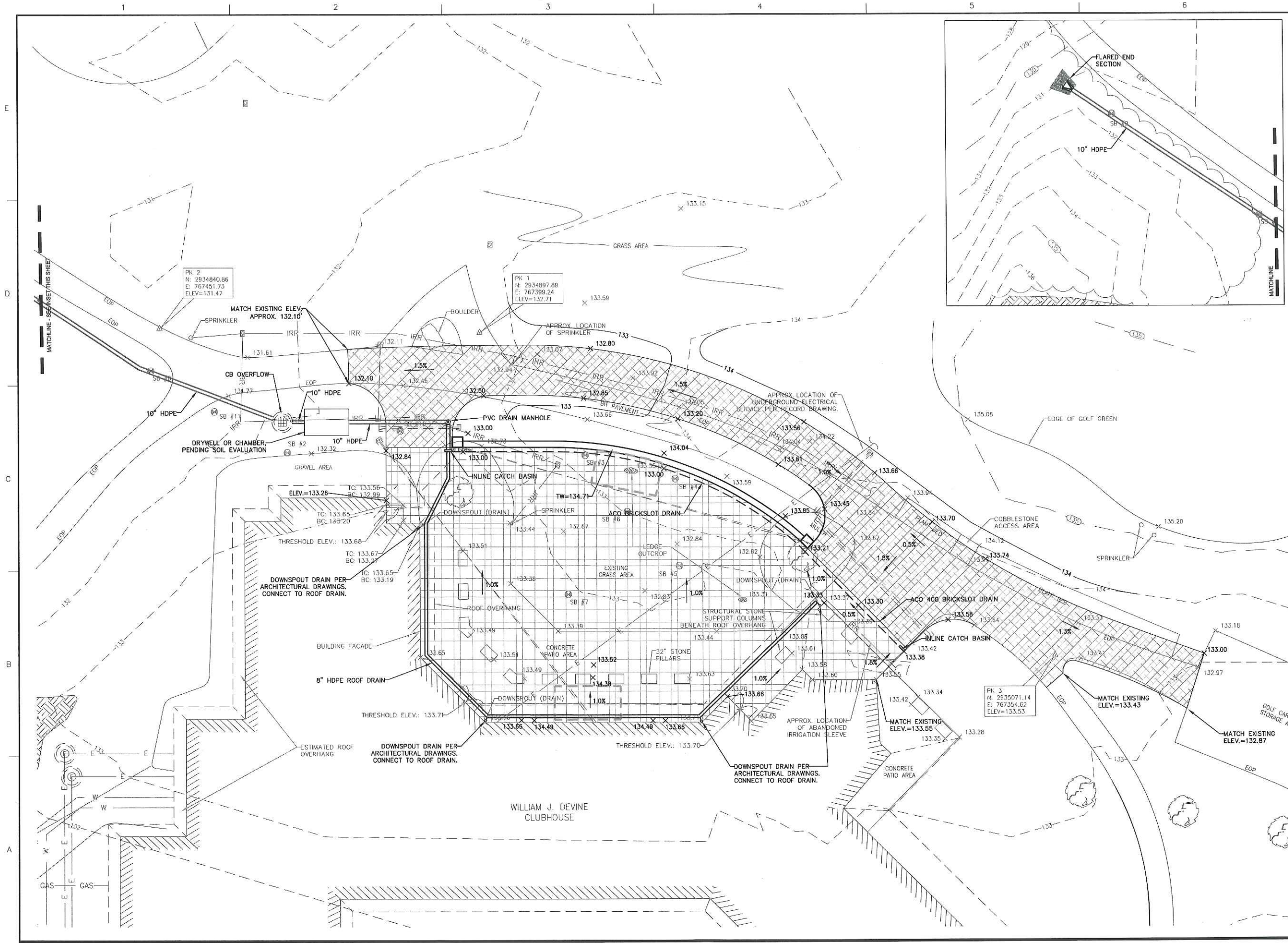
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NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770_C101		
DESIGNED BY	JMP/BJB		
DRAWN BY	BJB		
CHECKED BY	JMP		
DATE	7/9/2018		
DRAWING SCALE	1"=10'-0"		
GRAPHIC SCALE			
			
SHEET TITLE			
LAYOUT AND MATERIALS			
			DRAWING NO.
			C101



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NO.	DATE	DESCRIPTION	BY
PROJECT NO.		833770	
CADD FILE		833770_C102	
DESIGNED BY		JMP/BJB	
DRAWN BY		BJB	
CHECKED BY		JMP	
DATE		7/9/2018	
DRAWING SCALE		1"=10'	
GRAPHIC SCALE			
0 10' 20'			
SHEET TITLE			

GRADING AND DRAINAGE

DRAWING NO.
C102

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PROJECT
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NO.	DATE	DESCRIPTION	BY

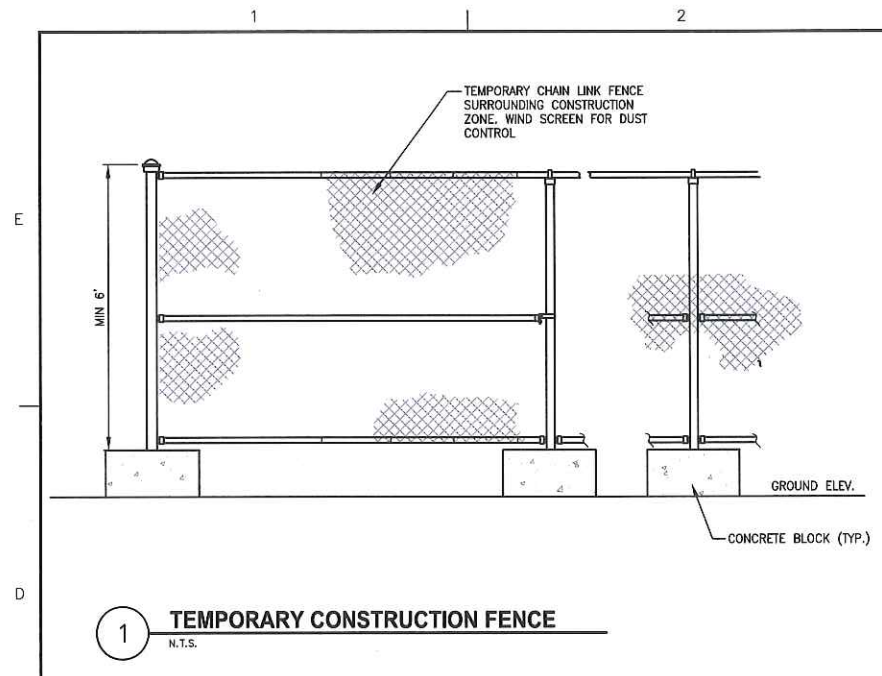
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CADD FILE	833770_C500s
DESIGNED BY	DJB/BHN
DRAWN BY	
CHECKED BY	BHN/EJS
DATE	6/29/18
DRAWING SCALE	N.T.S.

GRAPHIC SCALE

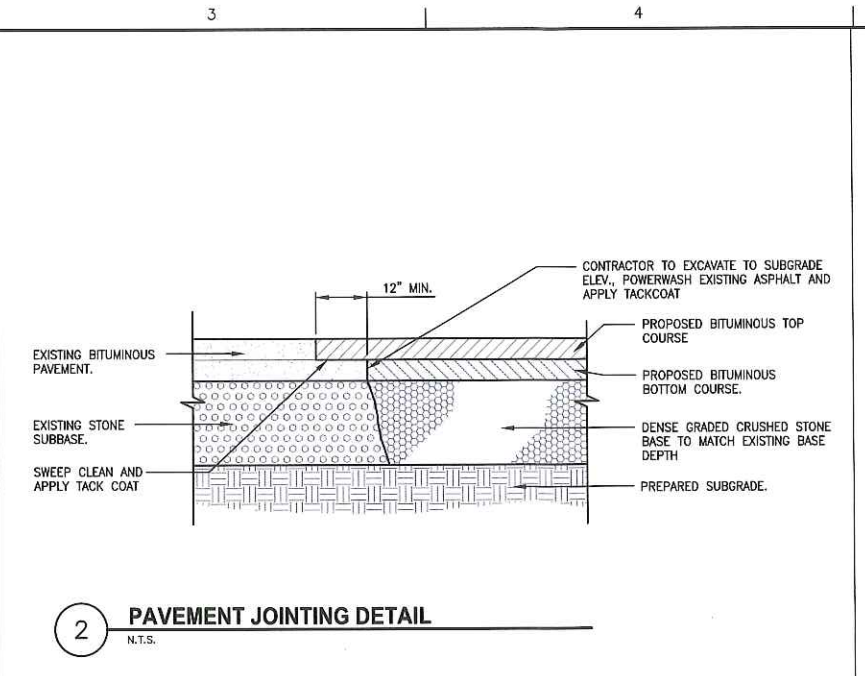
SHEET TITLE

DETAIL SHEET 1 OF 3

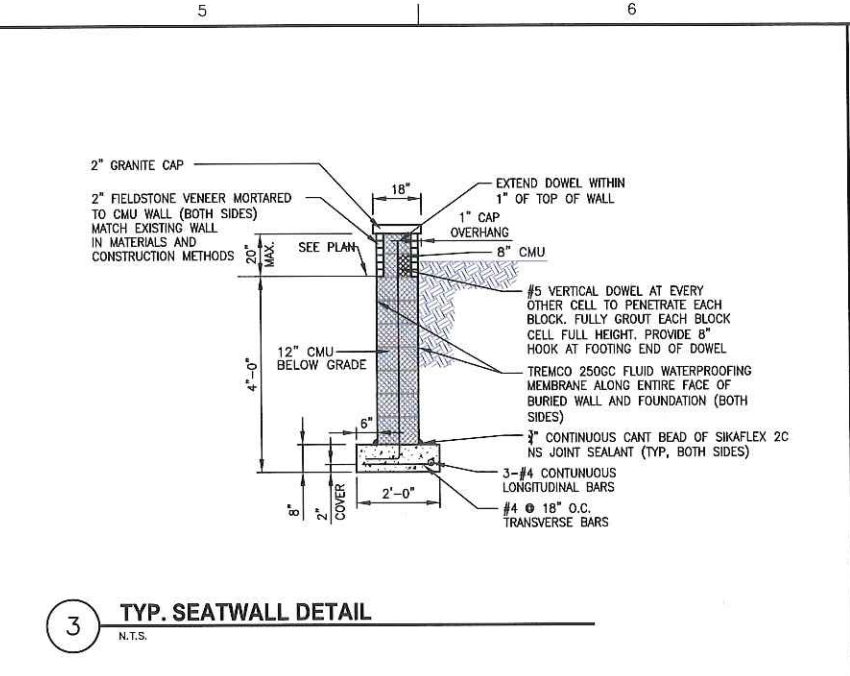
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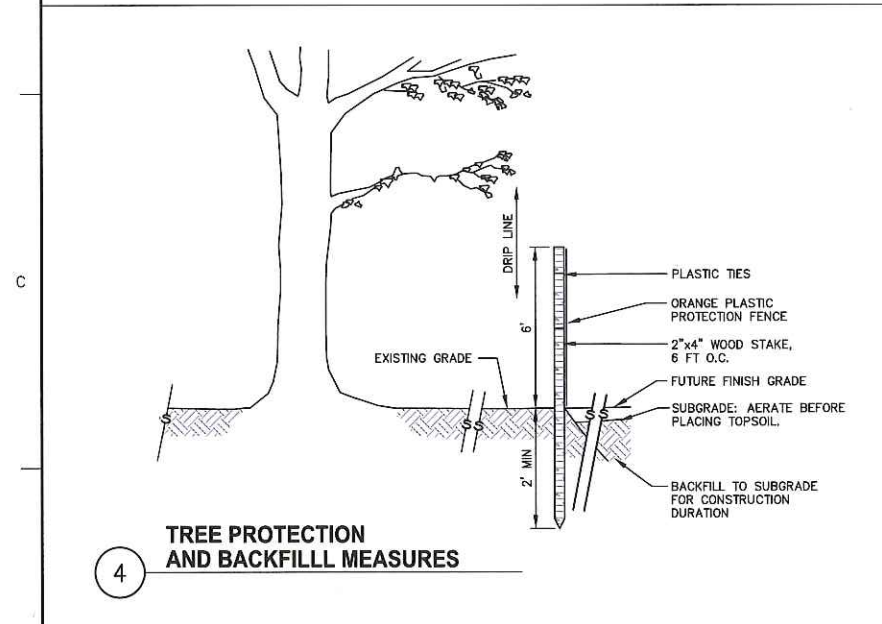
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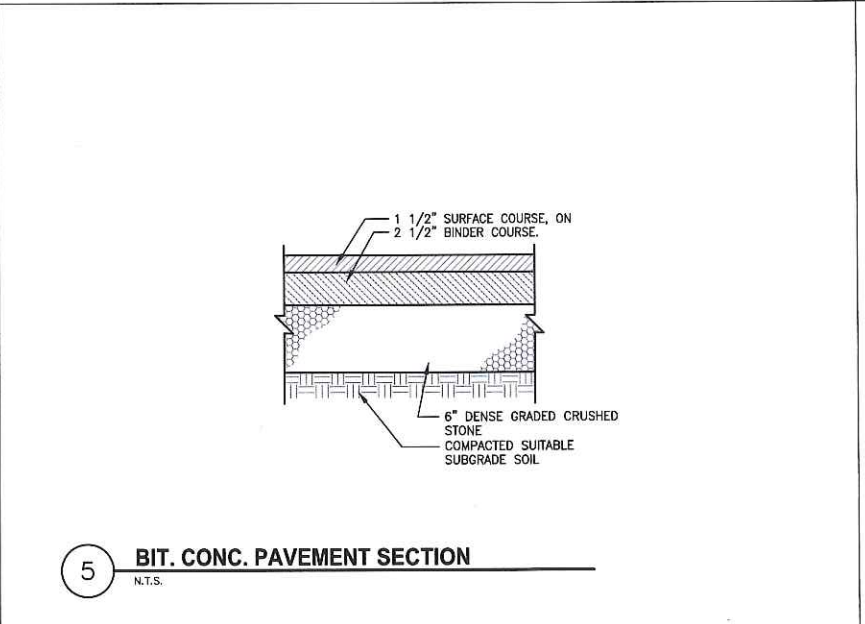
2 PAVEMENT JOINTING DETAIL
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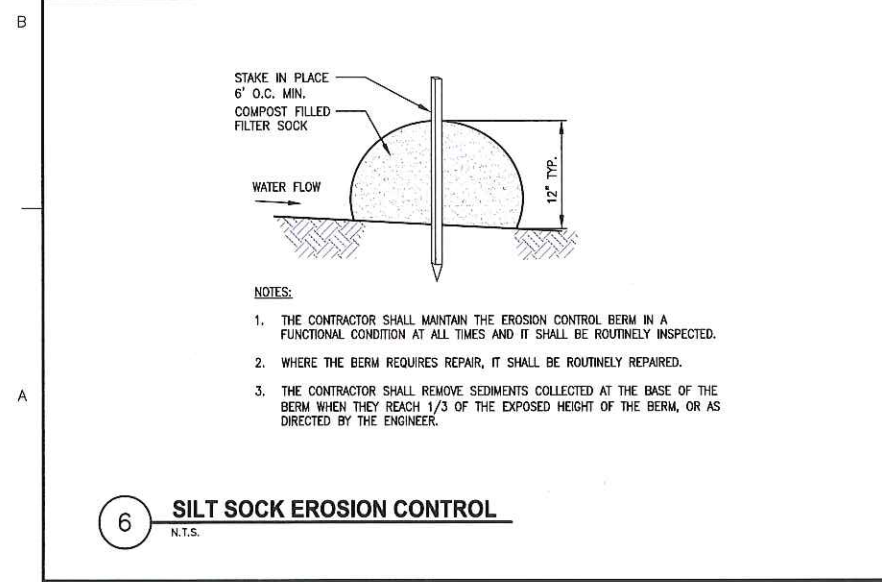
3 TYP. SEATWALL DETAIL
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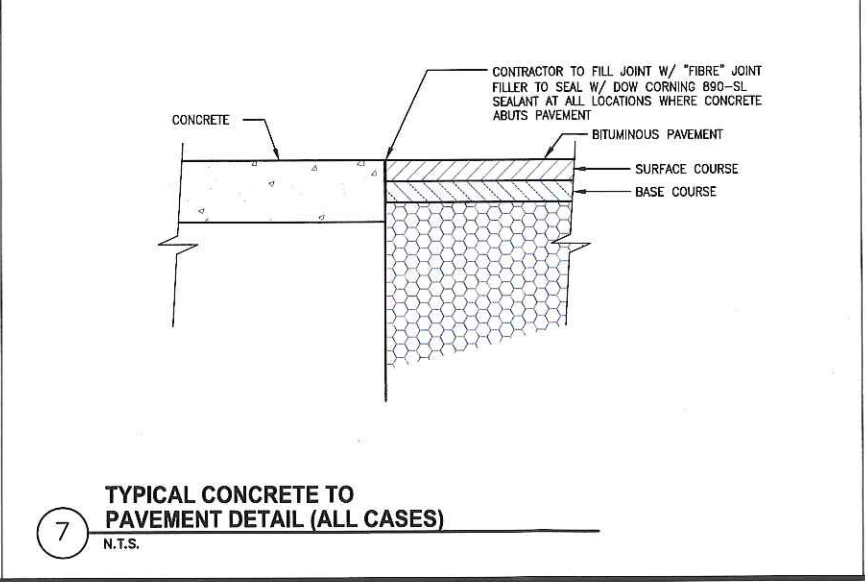
4 TREE PROTECTION AND BACKFILL MEASURES
 N.T.S.



5 BIT. CONC. PAVEMENT SECTION
 N.T.S.

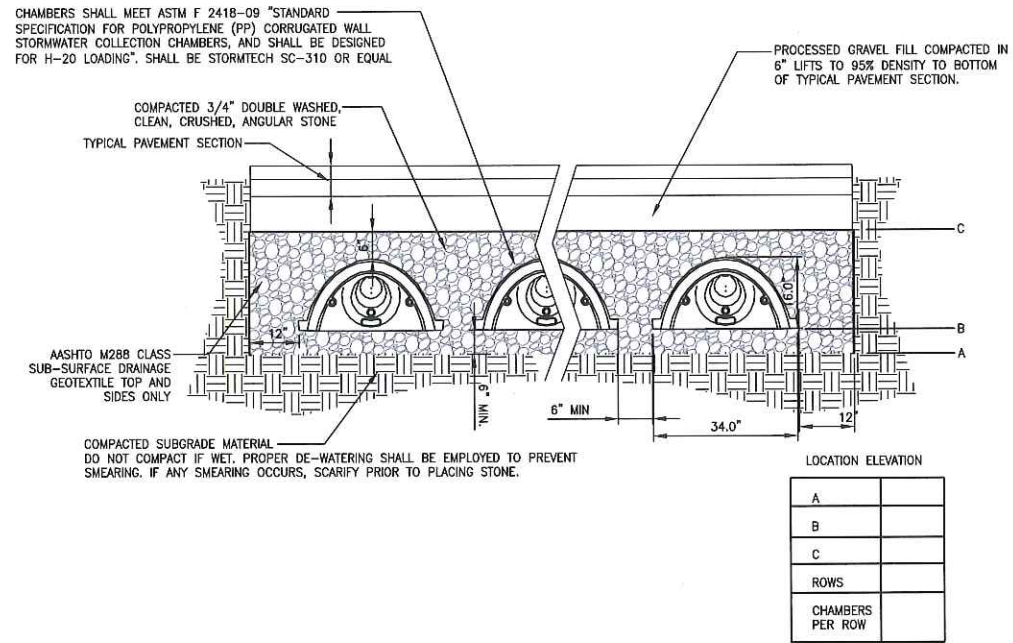


6 SILT SOCK EROSION CONTROL
 N.T.S.

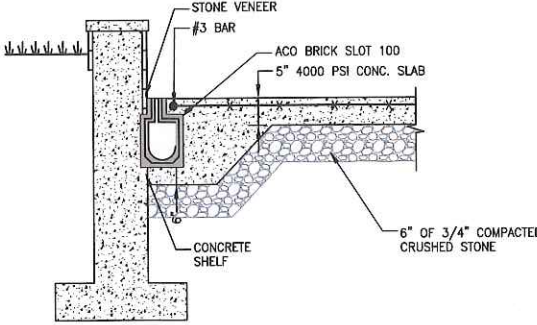


7 TYPICAL CONCRETE TO PAVEMENT DETAIL (ALL CASES)
 N.T.S.

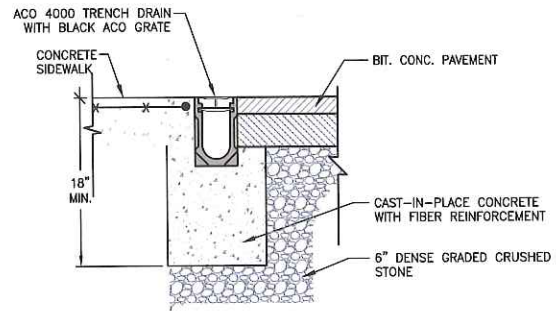
- GENERAL NOTES:**
1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
 2. PRIOR TO INSTALLATION OF THE SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
 3. CHAMBERS SHALL BE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
 4. CHAMBERS TO MEET AASHTO HS20/HS25 LIVE LOADING.
 5. ACCESS COVERS TO MEET AASHTO HS20/HS25 LIVE LOADING.
 6. MINIMUM COVER IS 18 INCHES(457 mm) AND MAXIMUM COVER IS 96 INCHES(2438 mm) TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



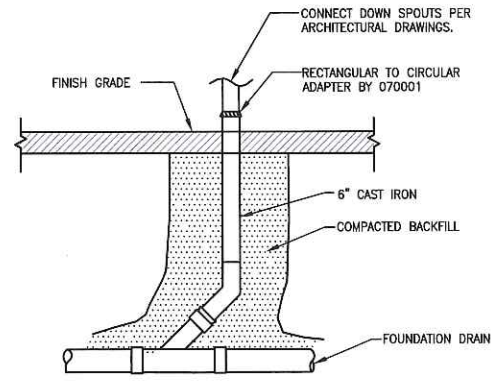
1 DETENTION CHAMBER TYPICAL SECTION
N.T.S.



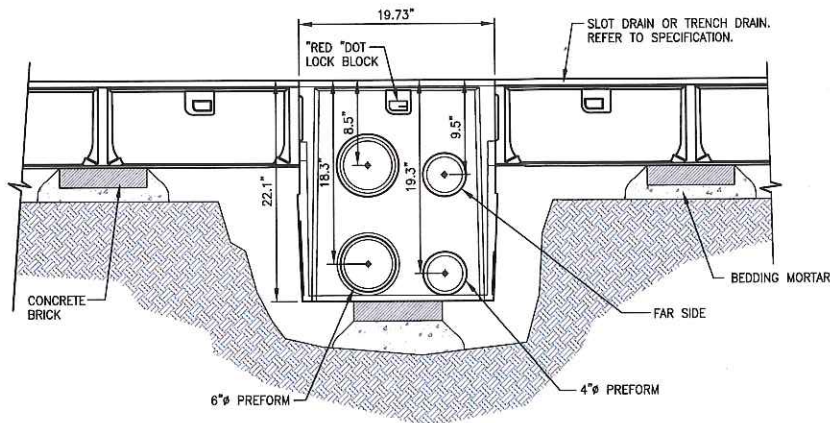
2 SLOT DRAIN DETAIL
N.T.S.



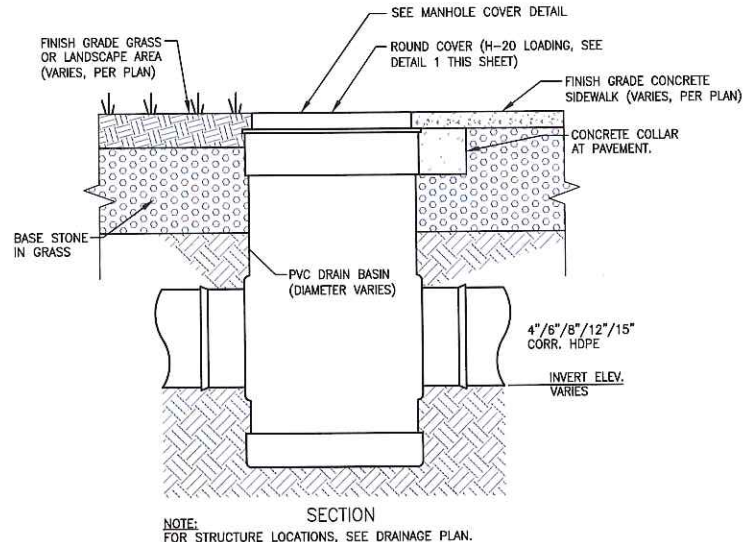
6 TRENCH DRAIN AT CONCRETE SIDEWALK
N.T.S.



3 ROOF LEADER / DOWN SPOUT CONNECTION
N.T.S.



4 IN-LINE CATH BASIN
N.T.S.



5 PVC DRAIN MANHOLE DETAIL
N.T.S.



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PROJECT
ROOF REPLACEMENT AND PATIO EXPANSION
WILLIAM J. DEVINE CLUBHOUSE
1 CIRCUIT DRIVE
DORCHESTER, MASSACHUSETTS 02121

OWNER
CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
26 COURT STREET, 10TH FLOOR
BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY

PROJECT NO.	833770
CADD FILE	833770_C500s
DESIGNED BY	DJB/BHN
DRAWN BY	
CHECKED BY	BHN/EJS
DATE	6/29/18
DRAWING SCALE	N.T.S.

GRAPHIC SCALE

SHEET TITLE
DETAIL SHEET 2 OF 3

DRAWING NO.
C502

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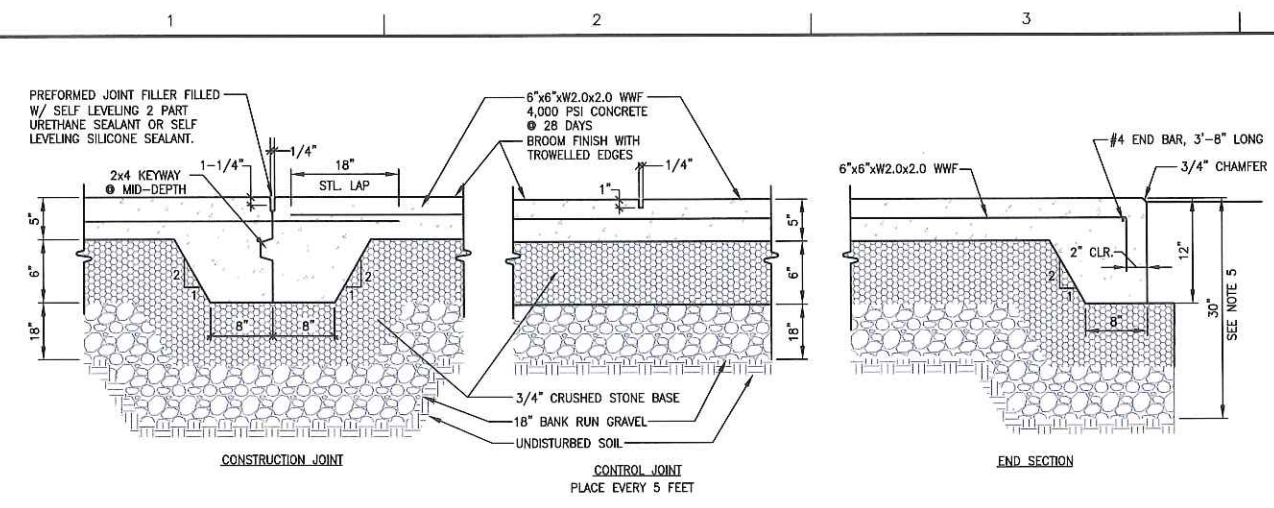
PROJECT: **ROOF REPLACEMENT AND PATIO EXPANSION**
 WILLIAM J. DEVINE CLUBHOUSE
 1 CIRCUIT DRIVE
 DORCHESTER, MASSACHUSETTS 02121

OWNER: **CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT**
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770_C500s		
DESIGNED BY	DJB/BHN		
DRAWN BY	HAM		
CHECKED BY	BHN/EJS		
DATE	6/29/18		
DRAWING SCALE	N.T.S.		

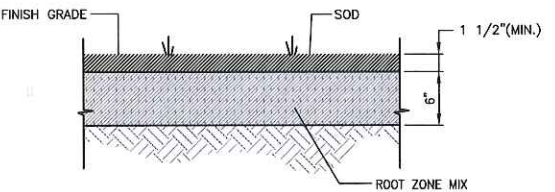
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DETAIL SHEET 3 OF 3

DRAWING NO.
C503

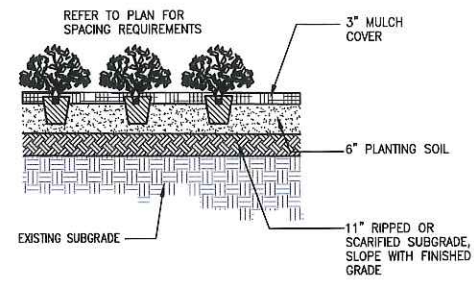


- EXPANSION JOINT**
 PLACE EVERY 20 FEET
- NOTES:
1. SUBCONTRACTOR TO INSTALL "FIBRE" EXPANSION JOINT ALONG ALL AREAS WHERE BITUMINOUS PAVEMENT ABUTS CEMENT CONCRETE AND AT ALL EXPANSION JOINTS.
 2. FIBER EXPANSION JOINT SHALL BE INSTALLED 1/2" BELOW TOP SURFACE.
 3. DOW CORNING 880-SL SEALANT AT ALL LOCATIONS WHERE CONCRETE ABUTS PAVEMENT.
- NOTES:
1. SEE SITE PLAN FOR WIDTH AND GRADES.
 2. PROVIDE 1/8"/FT. CROSS-SLOPE, (UNLESS SPECIFIED OTHERWISE)
 3. PROVIDE CONTROL JOINTS AT EQUAL INTERVALS TO SIDEWALK WIDTH.
 4. PROVIDE CONSTRUCTION JOINTS 20'-0" O.C. MAX.
 5. OMIT EXTRA DEPTH CONCRETE WHERE PLACED AGAINST CURB.

1 CONCRETE PATIO DETAILS
 N.T.S.



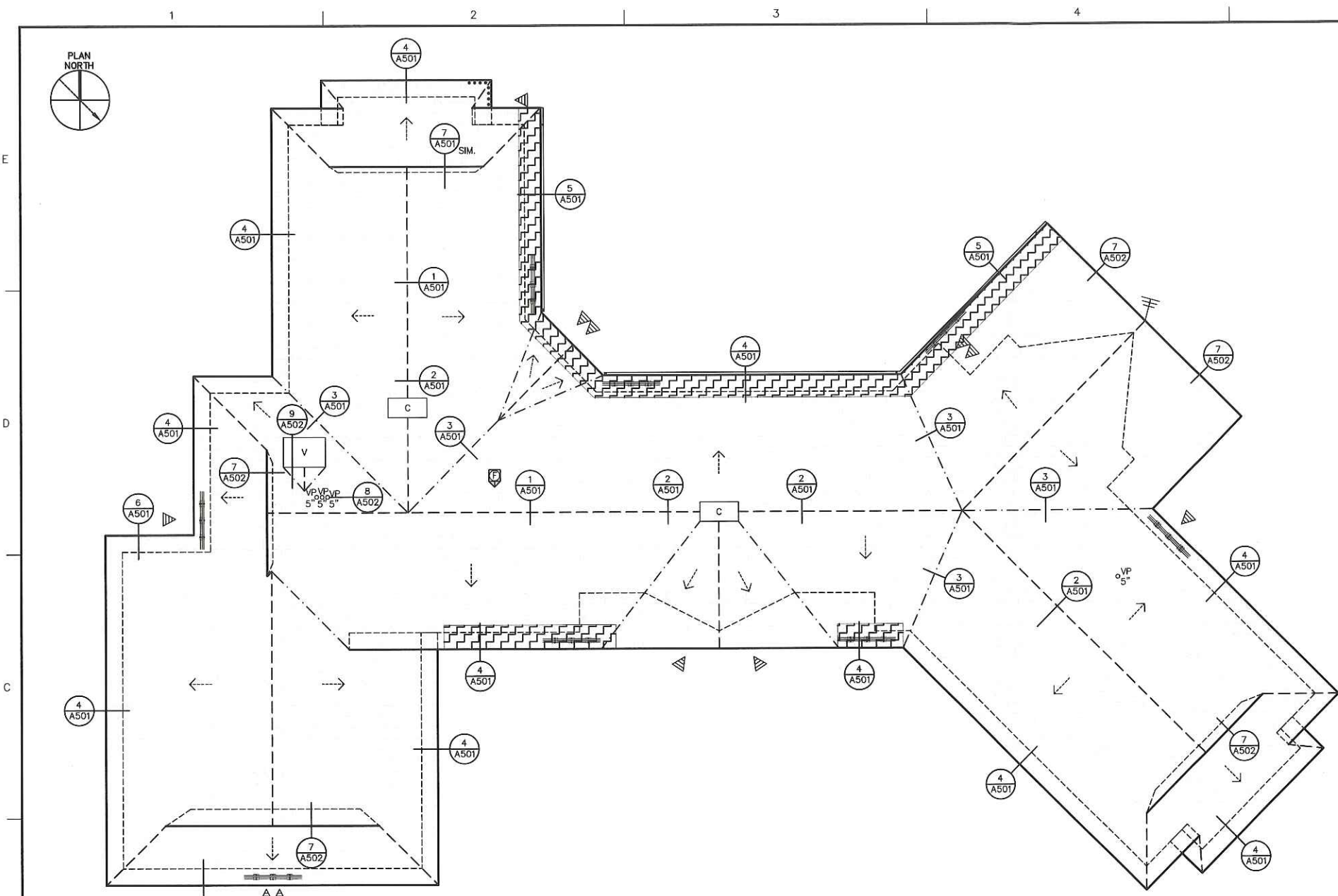
2 SOD DETAIL
 N.T.S.



3 PLANTING BED DETAIL
 N.T.S.

- TOPSOIL /LOAM NOTES:**
1. NEW TOPSOIL (TOPSOIL MIX): SHALL BE NATURAL, FERTILE LOAM, TYPICALLY CULTIVATED TOPSOILS OF THE LOCALITY, CONTAINING NOT LESS THAN 4% OR MORE THAN 8% BY WEIGHT, OF DECAYED ORGANIC MATTER (HUMUS), AS DETERMINED IN ASTM F-1647. IF ORGANIC AMENDMENTS ARE NEEDED TO OBTAIN THE SPECIFIED MATTER CONTENT OF THE TOPSOIL, THE ORGANIC MATTER SOURCE MAY BE A PEAT OR COMPOST MATERIAL.
 2. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARABLE SITE, FREE OF SUBSOIL, SLAG AND ANY STONES, EARTH CLOUDS, STICKS, STUMPS, CLAY LUMPS, ROOTS OR OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS OVER 3/4" IN ANY DIMENSION.
 3. TOPSOIL SHALL BE FREE OF QUACK-GRASS RHIZOMES, AGROPYRON REPENS, AND THE NUT-LIKE TUBERS OF NUTGRASS, CYPERUS ESCULENTUS, AND ALL OTHER PRIMARY NOXIOUS WEEDS.
 4. TOPSOIL SHALL HAVE A PH NOT LESS THAN 6.0 OR GREATER THAN 7.0.
 5. TOPSOIL SHALL NOT HAVE SOLUBLE SALTS GREATER THAN 500 PARTS PER MILLION.
 6. TOPSOIL MIX (AMENDED TOPSOIL) SHALL HAVE TARGET NUTRIENT LEVELS OF PHOSPHORUS (P), POTASSIUM (K), CALCIUM (C) AND MAGNESIUM (MG) IN THE OPTIMUM RANGE AS DETERMINED LOCAL AGRICULTURAL EXTENSION SERVICE TOPSOIL TESTING RECOMMENDATIONS FOR SPORTSTURF/GOLF FAIRWAY LAWN ESTABLISHMENT.
 7. TOPSOIL SHALL BE A LOAMY SAND, SANDY LOAM, LOAM, SANDY CLAY LOAM AS DEFINED BY THE USDA, AS DETERMINED BY PIPETTE METHOD, IN COMPLIANCE WITH ASTM F-1632.
 8. TOPSOIL SHALL NOT BE DELIVERED OR PLACED WHILE IN A FROZEN OR MUDDY CONDITION.

- LANDSCAPING NOTES:**
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED.
 3. ALL TREES MUST BE STRAIGHT-TRUNKED AND FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
 8. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 9. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
 10. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 11. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 12. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 13. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.



- ### GENERAL NOTES
1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES, AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
 2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
 3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
 4. DISCREPANCIES NOTED BY THE CONTRACTOR IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO BID SUBMISSION.
 5. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
 6. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
 7. THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
 8. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE CONTROLLED.
 9. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
 10. FOR THE SAKE OF CLARITY, SECUREMENT FASTENERS ARE NOT SHOWN ON THE DETAIL DRAWINGS. REFER TO THE SPECIFICATIONS FOR FASTENER TYPES AND SPACING.
 11. REMOVE EXISTING SYNTHETIC SLATE SHINGLES, SHEET METAL EDGE COMPONENTS AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS DOWN TO THE EXISTING PLYWOOD ROOF DECK TO INSTALL THE NEW SYNTHETIC SLATE SHINGLE ROOF SYSTEM AND ASSOCIATED FLASHINGS AND UNDERLAYMENTS.
 12. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
 14. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, CONDITIONS, HEIGHTS, MATERIAL THICKNESSES, ETC., IN THE FIELD PRIOR TO SUBMITTING THEIR BID AND COMMENCING CONSTRUCTION.
 15. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
 16. THE CONTRACTOR SHALL PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.

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PROJECT: **ROOF REPLACEMENT AND PATIO EXPANSION WILLIAM J. DEVINE CLUBHOUSE**
 OWNER: **WILLIAM J. DEVINE CLUBHOUSE 1 CIRCUIT DRIVE DORCHESTER, MASSACHUSETTS 02121**
 CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770 A100a		
DESIGNED BY	DJB/BHN		
DRAWN BY	KRC		
CHECKED BY	BHN/EJS		
DATE	6/29/18		
DRAWING SCALE	3/32"=1'-0"		

GRAPHIC SCALE
 0 6' 18' 24'

SHEET TITLE
OVERALL ROOF AREA PLAN

DRAWING NO.
A101

1 OVERALL ROOF AREA PLAN
 SCALE: 3/32"=1'-0"

LEGEND

- ROOF EDGE
- - - RIDGE/HIP LINE
- - - VALLEY
- - - HIDDEN WALL/OVERHANG
- GUTTER WITH DOWNSPOUT
- SNOW GUARDS
- > STRUCTURAL SLOPE
- o VP # VENT PIPE # INDICATES DIAMETER
- C CHIMNEY
- V VENT
- F FAN
- A ANTENNA
- ▲ ENTRANCE
- SYNTHETIC SLATE SHINGLE ROOFING SYSTEM
- A501 DETAIL INDICATOR
- SNOWMELT MESH

ROOF STRUCTURE AND DECK TYPES

NOT TO SCALE

LEGEND:

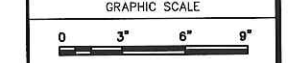
- STEEL AND WOOD GLULAM FRAMING WITH METAL DECK AT SUSPENDED CEILING
- STEEL AND WOOD GLULAM FRAMING WITH 2X8 WOOD PURLINS AT VAULTED CEILING

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PROJECT: **ROOF REPLACEMENT AND PATIO EXPANSION**
 WILLIAM J. DEVINE CLUBHOUSE
 1 CIRCUIT DRIVE
 DORCHESTER, MASSACHUSETTS 02121
 OWNER: **CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT**
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY

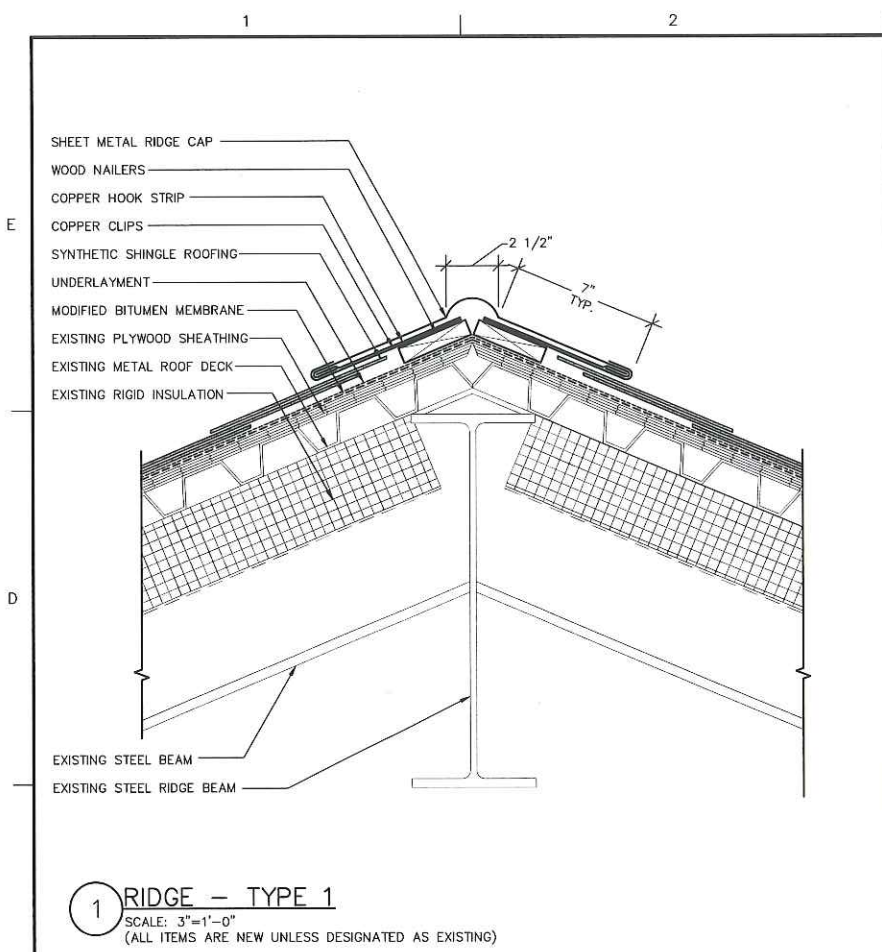
PROJECT NO.	833770
CADD FILE	833770 A500s
DESIGNED BY	DJB/BHN
DRAWN BY	KRC/DJK
CHECKED BY	BHN/EJS
DATE	6/29/18
DRAWING SCALE	3"=1'-0"



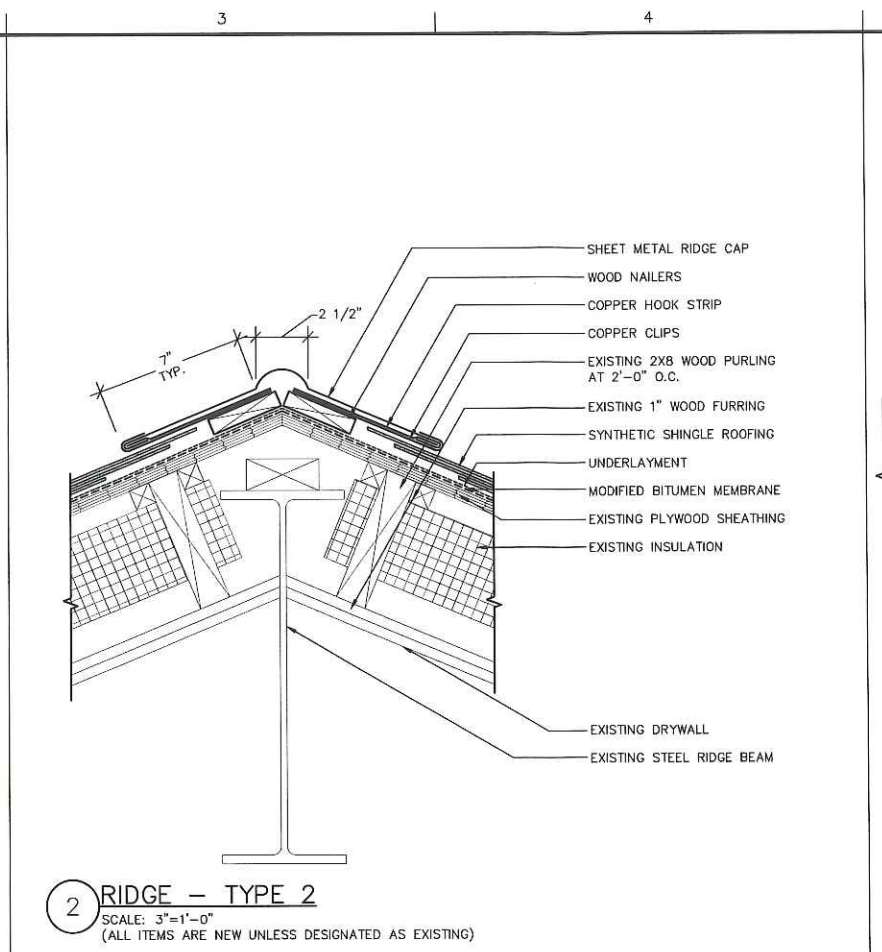
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ROOF DETAILS

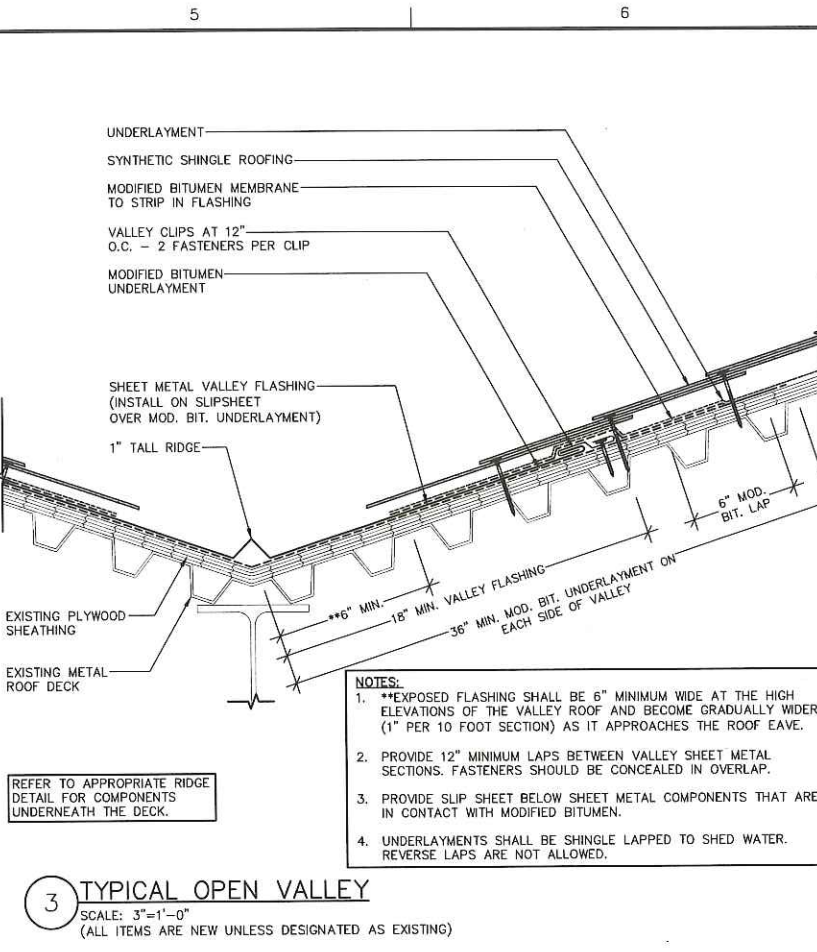
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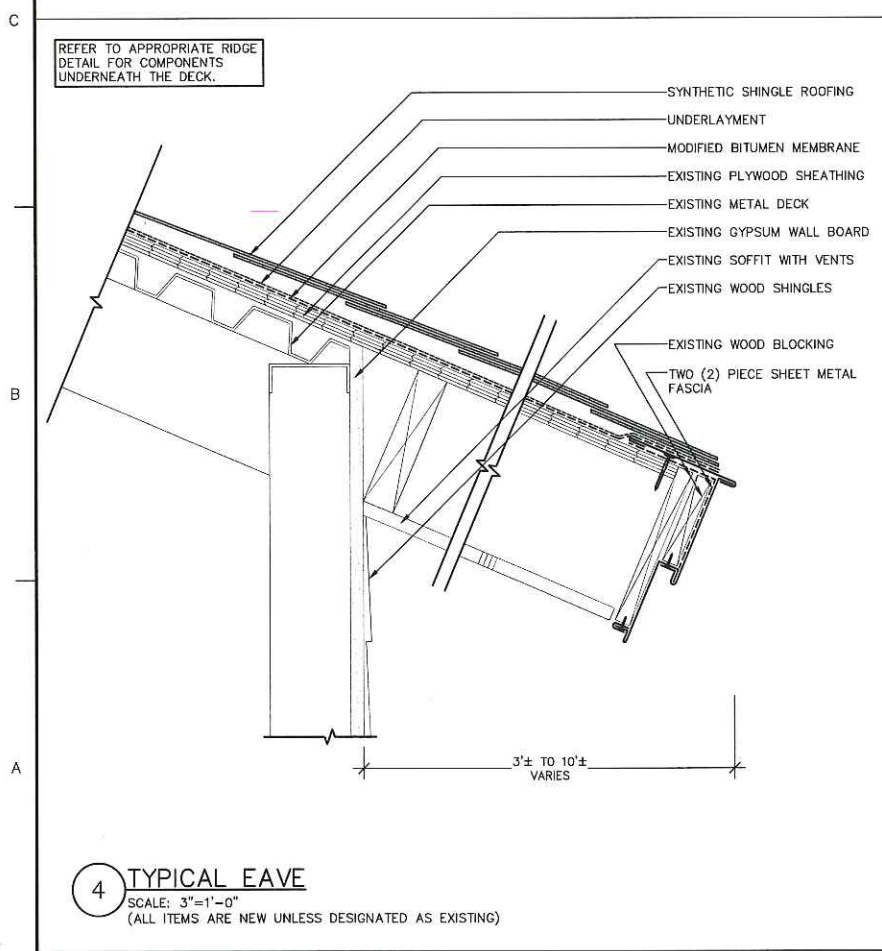
1 RIDGE - TYPE 1
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



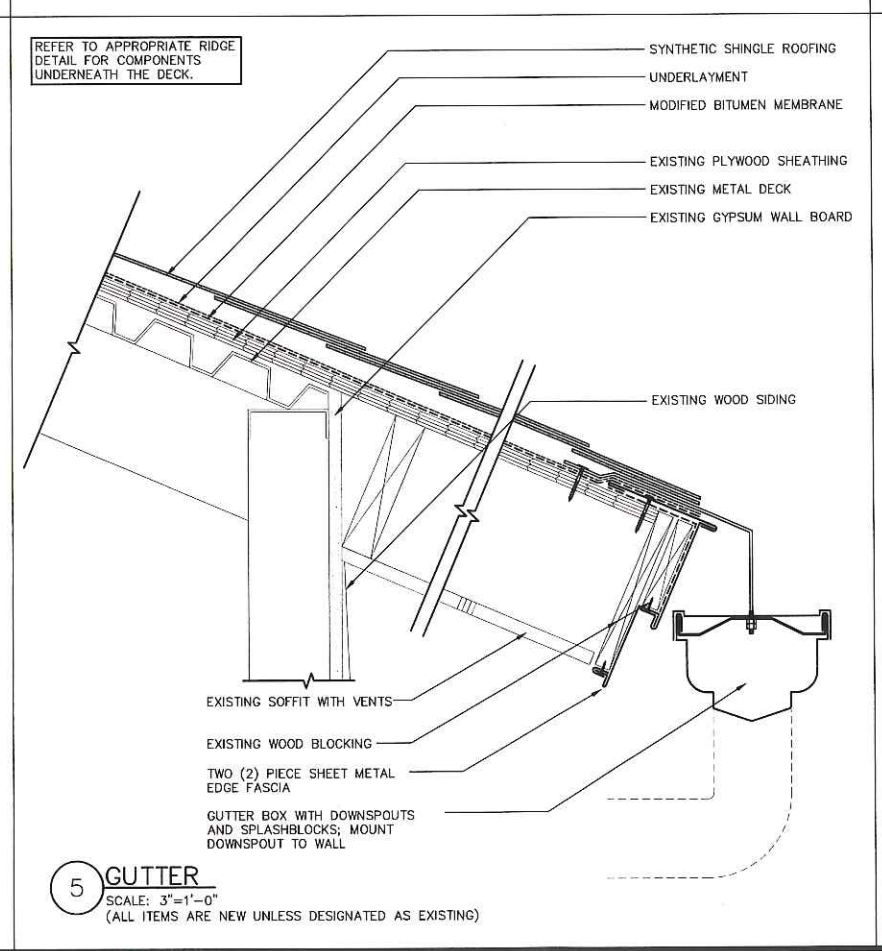
2 RIDGE - TYPE 2
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



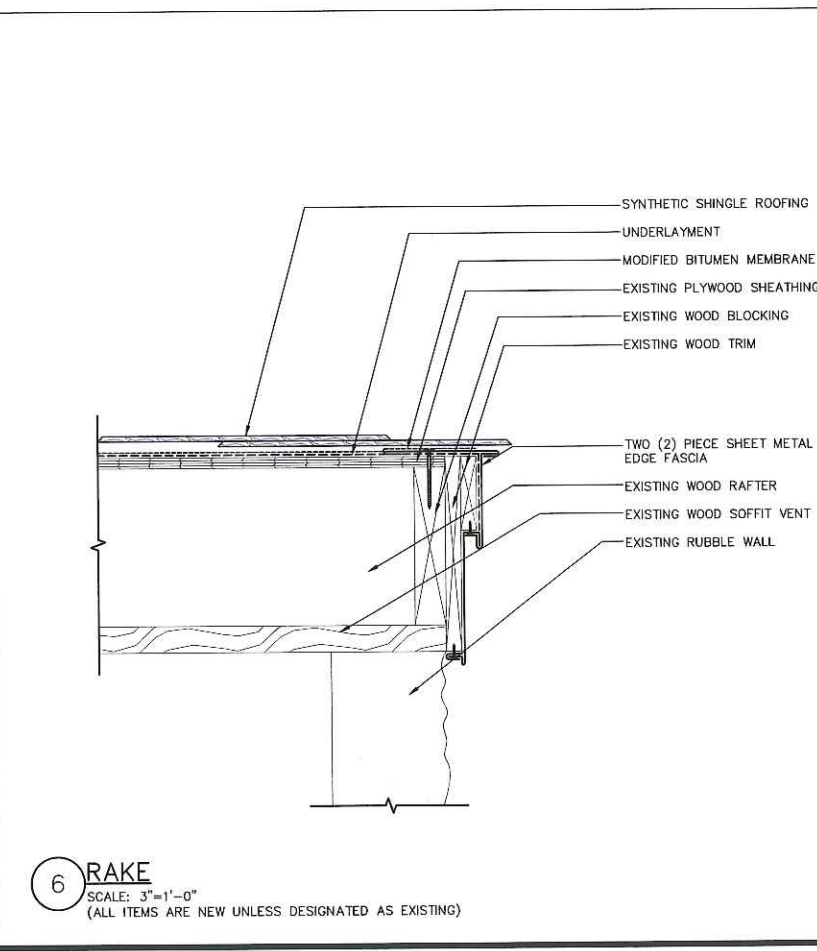
3 TYPICAL OPEN VALLEY
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



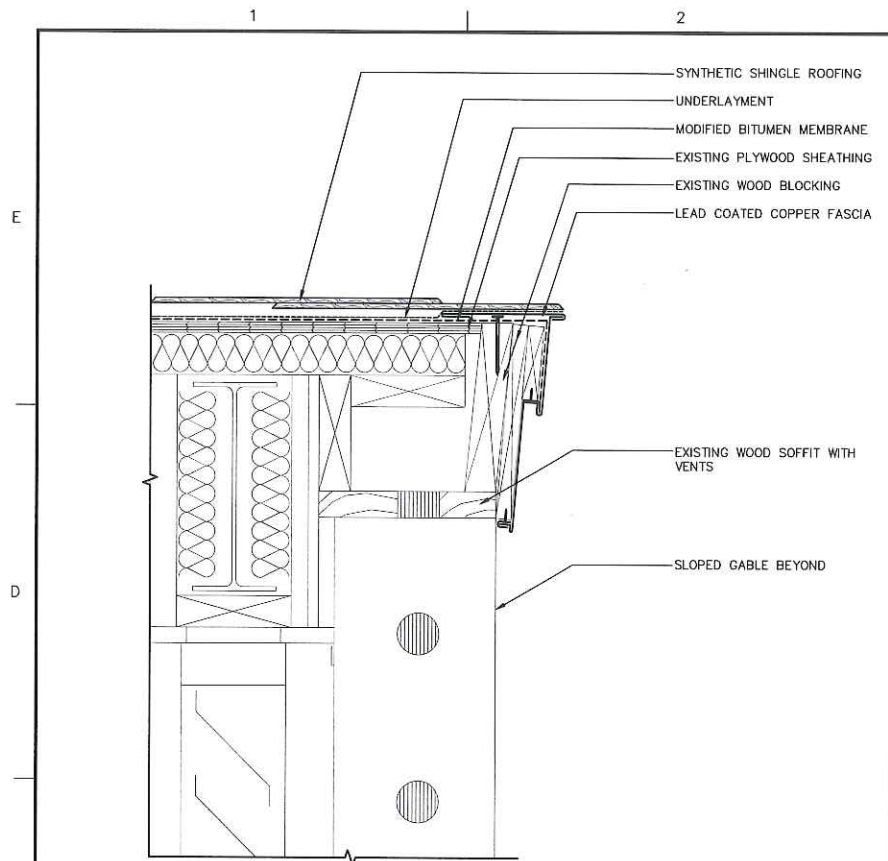
4 TYPICAL EAVE
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



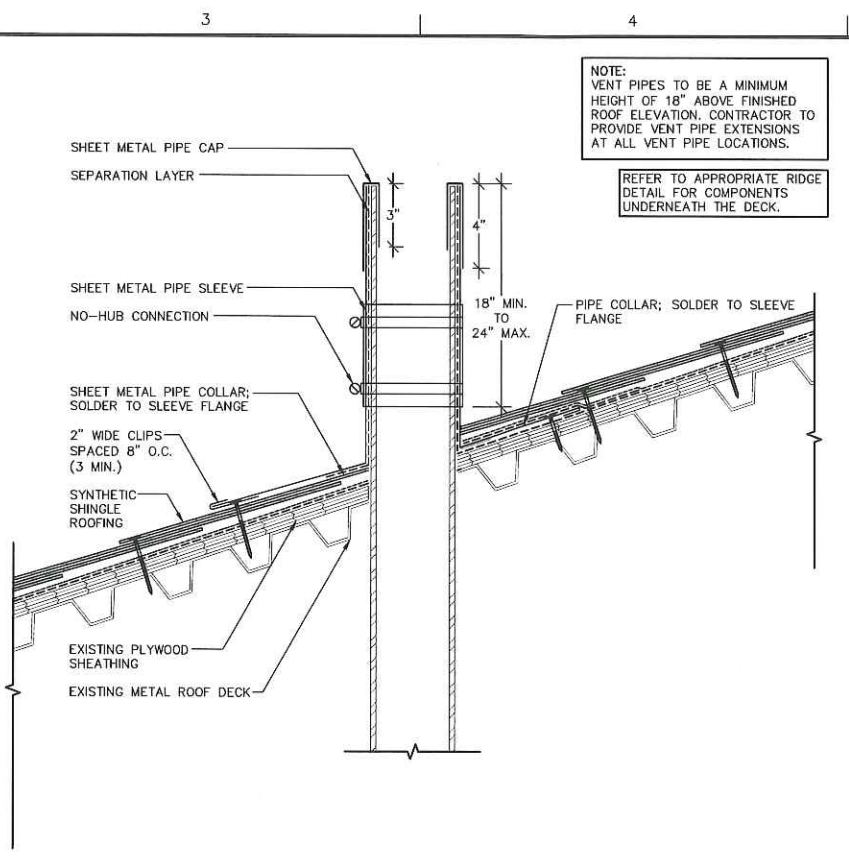
5 GUTTER
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



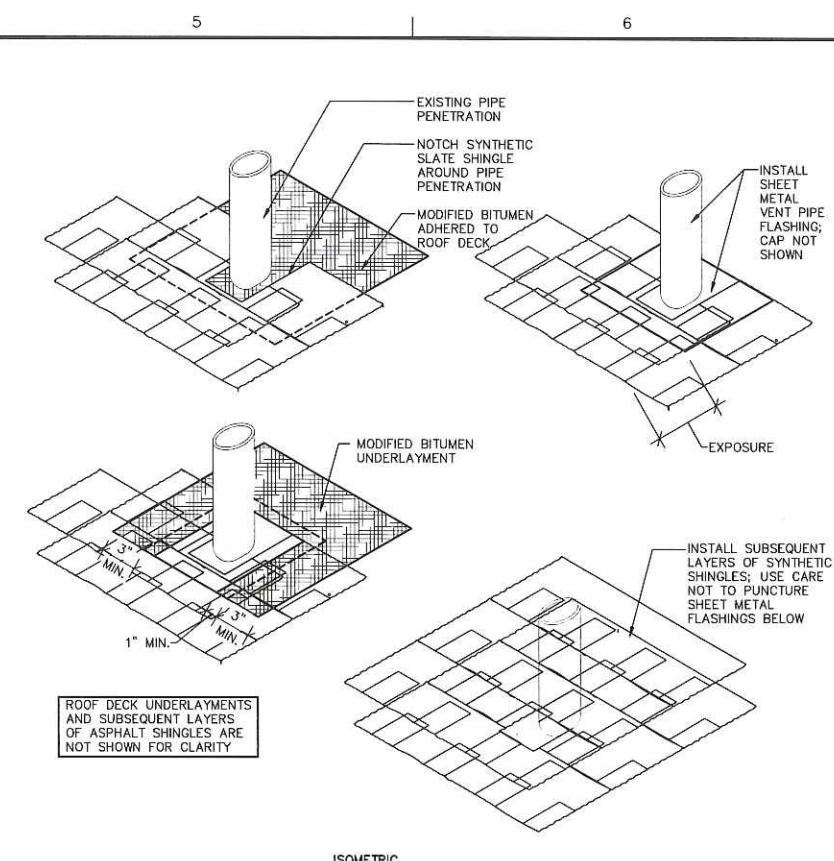
6 RAKE
 SCALE: 3"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



7 SECTION AT LOUVER HEAD
 SCALE: 3/8"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

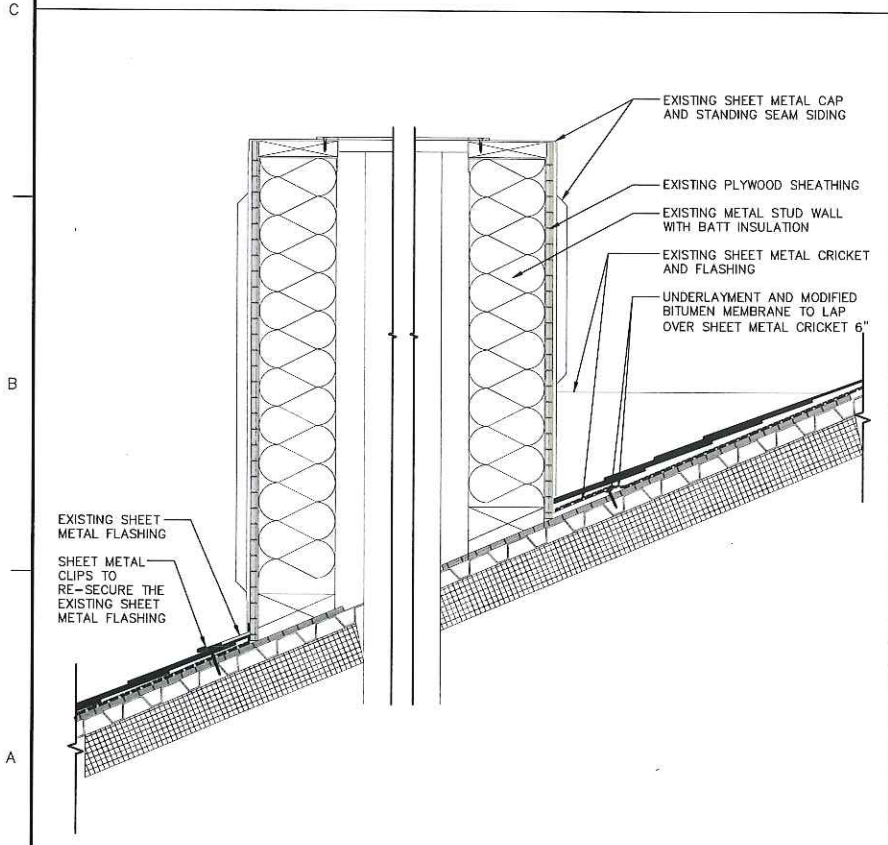


8 VENT PIPE
 SCALE: 3/8"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

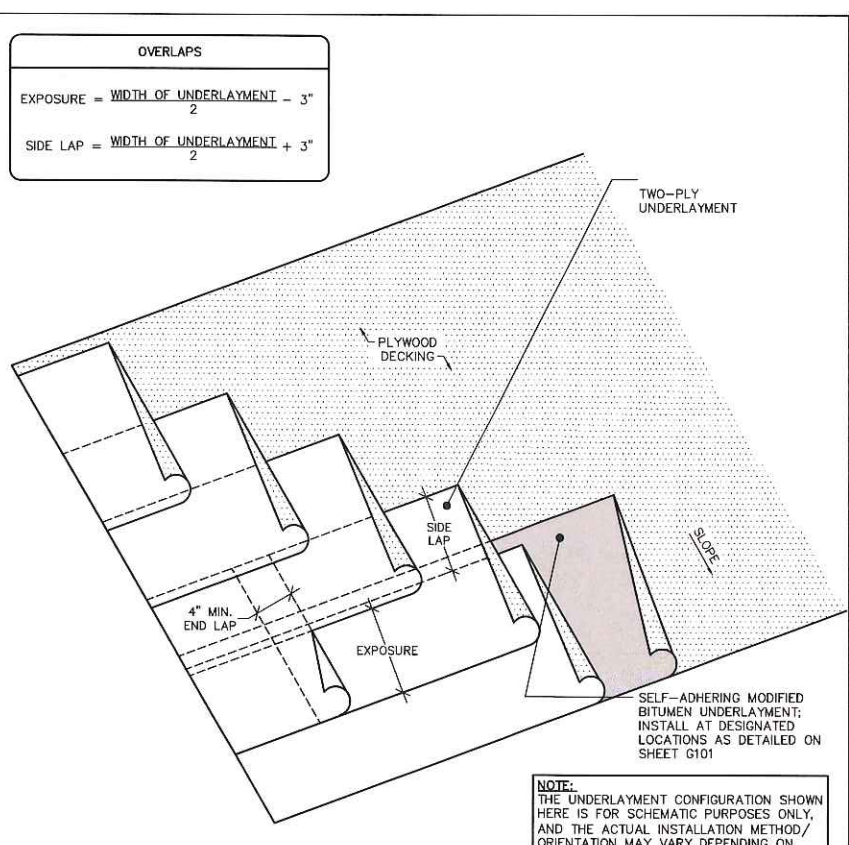


8A VENT PIPE FLASHING ISOMETRIC
 SCALE: NOT TO SCALE
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

ISOMETRIC DETAIL IS NOT CALLED OUT ON THE ROOF AREA PLANS

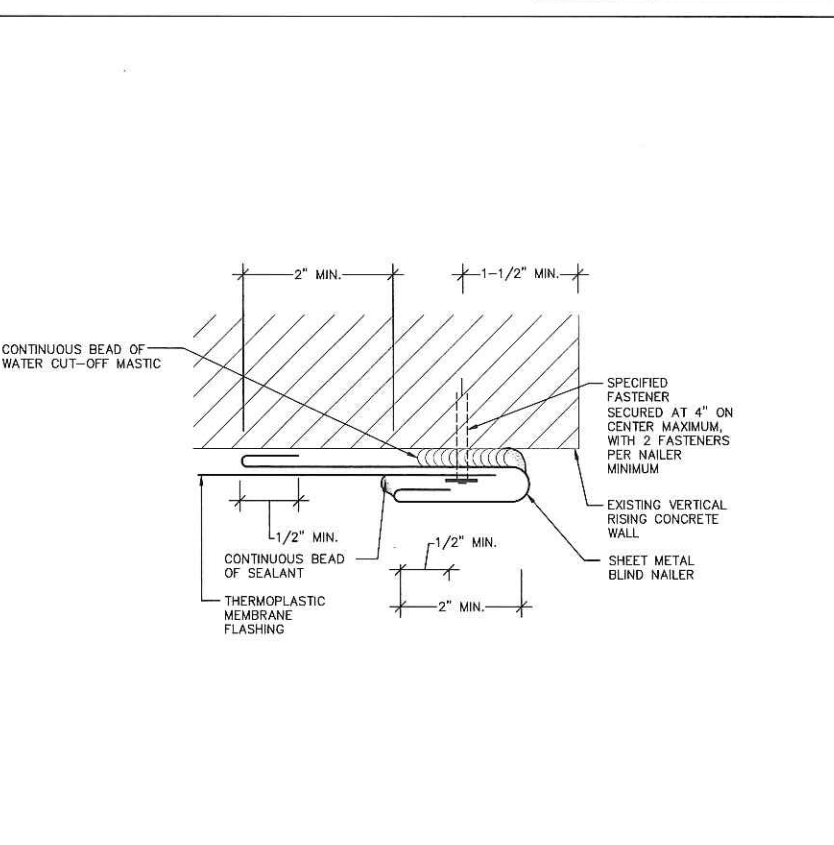


9 SECTION AT COOLING TOWER VENT
 SCALE: 3/4"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



10 UNDERLAYMENT CONFIGURATION
 SCALE: 3/4"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

NOTE: THE UNDERLAYMENT CONFIGURATION SHOWN HERE IS FOR SCHEMATIC PURPOSES ONLY, AND THE ACTUAL INSTALLATION METHOD/ ORIENTATION MAY VARY DEPENDING ON UNDERLAYMENT TYPE AND THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE THE UNDERLAYMENT MANUFACTURER'S SEAM TAPES, FASTENERS, ADHESIVES, ETC. AS REQUIRED.



11 BLIND NAILER
 SCALE: 3/8"=1'-0"
 (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

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PROJECT: **ROOF REPLACEMENT AND PATIO EXPANSION**
 WILLIAM J. DEVINE CLUBHOUSE
 1 CIRCUIT DRIVE
 DORCHESTER, MASSACHUSETTS 02121

OWNER: **CITY OF BOSTON PUBLIC FACILITIES DEPARTMENT**
 26 COURT STREET, 10TH FLOOR
 BOSTON, MASSACHUSETTS 02108

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	833770		
CADD FILE	833770 A500s		
DESIGNED BY	DJB/BHN		
DRAWN BY	KRC/DJK		
CHECKED BY	BHN/EJS		
DATE	6/29/18		
DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			

SHEET TITLE: **ROOF DETAILS**

DRAWING NO.: **A502**

(Continued III. Description of Proposed Work)

**ROOF REPLACEMENT AND PATIO EXTENSION
AT THE WILLIAM J. DEVINE CLUBHOUSE
BOSTON, MASSACHUSETTS
GALE JN 833770**

EXISTING CONDITIONS: ROOF

William J. Devine Clubhouse was designed by Lane, Frenchman and Associates, Inc. and Hezekiah Pratt and Associates, Inc, Dated January 2, 1997. This one-story building is utilized as the Golf Course Clubhouse with a Function Room, Pro-Shop, Kitchen, Locker Rooms and Bathrooms, and is approximately 21 years old. The exterior façade is constructed of stone veneer masonry, metal stub backup wall with gypsum sheathing and cedar shake siding. The roof structure is constructed of steel framing and glulam wood rafters. The roof system consists of synthetic slate shingles over plywood sheathing with two different deck types, 1-1/2" steel decking and horizontal wood sleeper rafters, along with lead coated copper flashings at the valleys, ridges, rakes, and eave locations.

1. The existing synthetic slate shingles appeared to be in poor condition overall. Several areas were noted to have missing, broken, or cracked shingles. In addition, the shingles are heavily weathered and fading in color.
2. The sheet metal flashings along the roof rakes, valleys, ridges, eaves, chimneys, and at window and louver locations are lead coated copper. There are several locations throughout where the flashings were loose and displaced from the wood substrates.
3. An approximate 3'-0" overhang runs along the perimeter of the building at the roof edge.
4. Two gutters with downspouts were observed along the west side of the roof. Due to ice damming the gutters appear to have been broken in several areas and have become displaced from the roof.
5. There are two existing stone chimneys that have lead coated copper throughwall flashings just above the ridge with the bottom portion of the

chimney cladded with additional lead coated copper, tied into the roof system. The lead coated copper flashing appears to be in good condition overall with some spot discoloration and uneven patina oxidation.



View of the north east elevation.



Partial view of roof



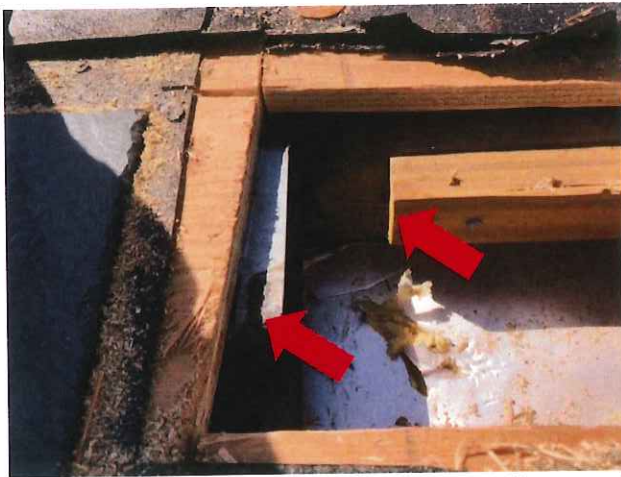
Water staining at the upper wall locations



View of the typical roof construction from the interior vaulted ceiling.



View of the broken and displaced gutter at the west side of the roof. Broken, cracked, loose, and missing shingles were noted throughout the various roof areas.



View of the intersection between the two different roof systems. Metal deck is on the left and wood framing is on the right.



Typical roof overhang and vented soffit.

EXISTING CONDITIONS: PATIO

Gale reviewed the existing patio space, which is approx. 2,200 sq. ft. in size and paved with cast-in-place (CIP) concrete and occupied by ten 32" stone pillars and movable chairs. The building is configured in a "U" overlooking the patio and golf course.

1. The concrete has intermittent cracks and the foam backer rods have deteriorated and weeds were observed in the voids of the expansion joints.
2. The support pillars appear to be the remains of a pergola structure and now host movable flower planters.
3. A cart path adjacent to the patio has a crown that is higher in elevation than the patio which directs water back to the patio. The lawn area between the cart path and patio does not drain quickly and reportedly exhibits standing water after heavy rainstorms. This slow drainage may be exacerbated by the presence of ledge, which was evident upon visual inspection in a couple places. Additionally, the building roofs drain to gutters and downspouts and drain onto the patio adding additional runoff.
4. The northern edge of the patio connects to the cart parking area.



View of existing patio space from lawn area.



View of existing patio space from roof.



Detail of support pillars (that no longer are needed) and failing concrete paving.



View of patio out from building.

PROJECT SCOPE: ROOF

As the installation of a vented roof system is not feasible at this time, Gale does not recommend an asphalt shingle roof assembly be considered as these systems require ventilation as part of their warranty. Gale recommends replacing the existing synthetic slate shingles with new synthetic slate shingles such as the Empire Slate line manufactured by EcoStar.

1. Fully remove the existing synthetic slate shingles down the existing 1/2" plywood sheathing.
2. Remove all felt paper and self-adhered underlayments down to the existing 1/2" plywood decking.
3. Replace any damaged or deteriorated plywood decking and wood trim substrates discovered.
4. Remove the existing lead coated copper flashings at the roof ridges, rakes, eaves, valleys, and vent locations.
5. Install all new felt paper and self-adhered underlayments, synthetic slate shingles, and associated zinc coated copper flashings over the existing plywood deck.
6. The existing lead coated copper siding at the large kitchen vent, flashing at chimneys, and the louvers and windows will remain in place. The new roof flashings will be installed behind the window and louver sill flashings.
7. The existing louvers and windows at the upper gable ends will remain in place and be scraped, prepped, primed, and painted to match the existing color.
8. Remove and replace the existing gutters and downspouts and the west roof areas above the patio.

9. Install snow guards above building entrances. The wood soffits will be scrapped, prepped, primed, and painted to match the existing in color. A unit price will be carried in the project specifications for spot replacement locations where damaged wood soffits are encountered.

PROJECT SCOPE: PATIO

The scope of work includes, but is not limited to, the following:

1. Expand the patio with new cast-in-place concrete paving and connect the ends of the winged building in a gentle arc. A jointing pattern will be sawcut.
2. An 18" retaining wall will be provided accommodate the change in elevation and delineate the patio space. The wall terminates with flanking piers that will accommodate movable planters. A Plymouth granite pattern will be used in the stone wall.
3. The installation of a linear slot drain near the retaining wall/curbs with two in-line catch basins

- at each end to provide access and clean out. The storm water will be piped to underground infiltration chambers, with a system overflow to the adjacent hillside.
4. Roof leaders will also be piped beneath the patio to the infiltration chambers.
5. The cart path will be expanded 3' back toward the green to a 12' width. Some existing will be transplanted.
6. All ten (10) pillar bases will be removed to increase the area for seating.
7. New low-growing, minimal maintenance planting will be installed behind the wall.
8. Embedded low-level lights will be integral to the seat wall construction. Electrical outlets will provide additional power to performances.

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