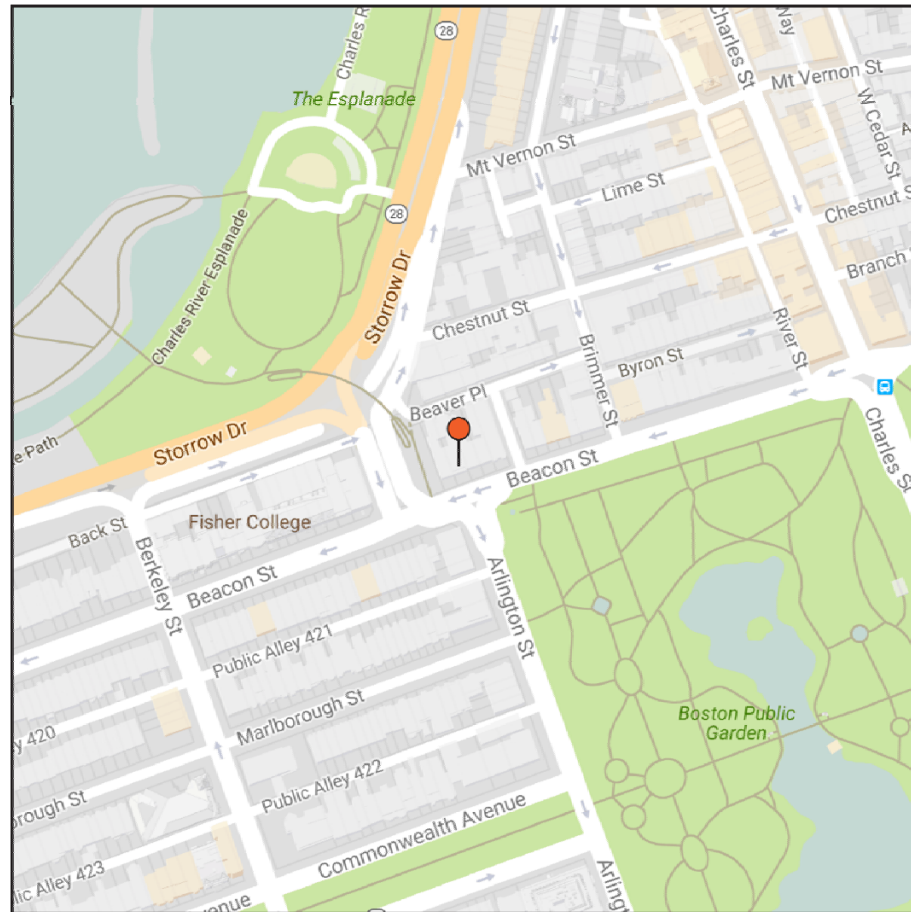
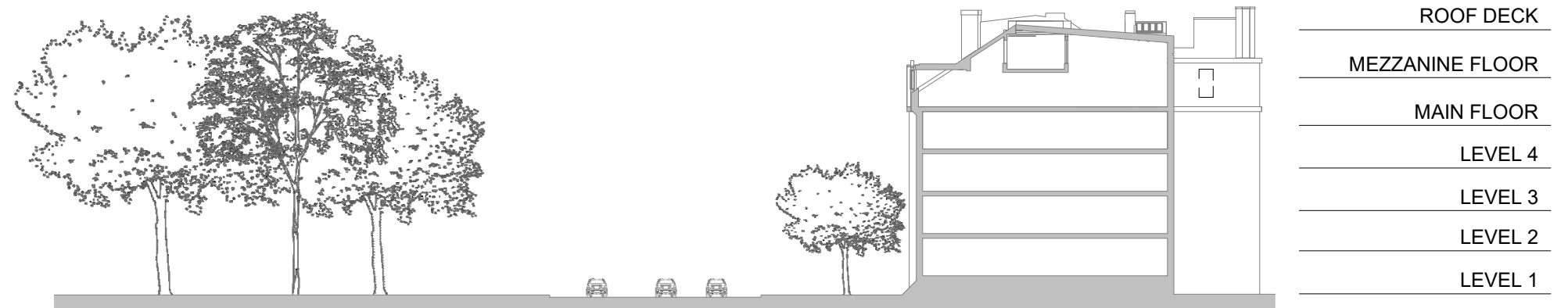


**DESCRIPTION of PROPOSED WORK**

1. Non-code compliant roof deck guardrail: Remove painted 33" high metal guardrail at roof deck that does not conform to code compliant height and replace them with code compliant 42" high guardrail that matches the existing railing pattern, material, and color consistent with the Neo-Federal/Italianate style of the building.
2. Non-code compliant stair access to roof: Remove the existing non-code compliant and extremely narrow spiral stair to the roof deck. Provide a code compliant access to the roof deck by installing an additional flight of stair to the existing stairwell. Install a low profile box-type sliding rooflight.
3. Non-historic roof hatch: Remove acrylic domed aluminum roof hatch at the south west corner of the roof deck. Infill the notched area of the deck with new deck to match existing. Remove also the guardrail at the notched corner in the process. New deck shall have new guardrail installed per code to match the rest.
4. Rubber roof infill between dormers: Replace the single sloped rubber roof infill between the dormers with historical skylight system (Heritage Series by Crystal Structures Glazing or similar) of the same same pitch and height. All visible surfaces of the skylight are to be clad in copper. Replace the rubber roofing of adjacent dormer roof with slate roofing to match existing.
5. Back living room roof and windows: Raise back roof above the living room to align with the top of the main roof profile. Replace back living room window with full height window. All visible surfaces of the window to be clad in copper. All visible fascia and gutter of the new roof to have copper finish.
6. Remove existing windows in the back bedroom and infill openings with wall system to match existing. Install floor to ceiling height windows or bay windows at the corner of the room.
7. Reconfigure fire escape landing and stair to Integrate Juliet Balcony in front of the window back bedroom windows and living room.



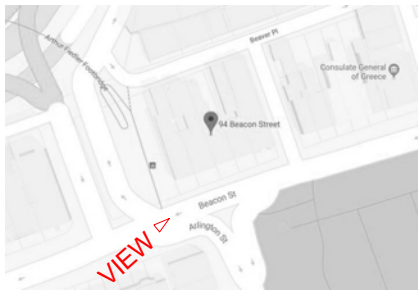
**SITE LOCATION**



**BUILDING SECTION DIAGRAM**



94 BEACON



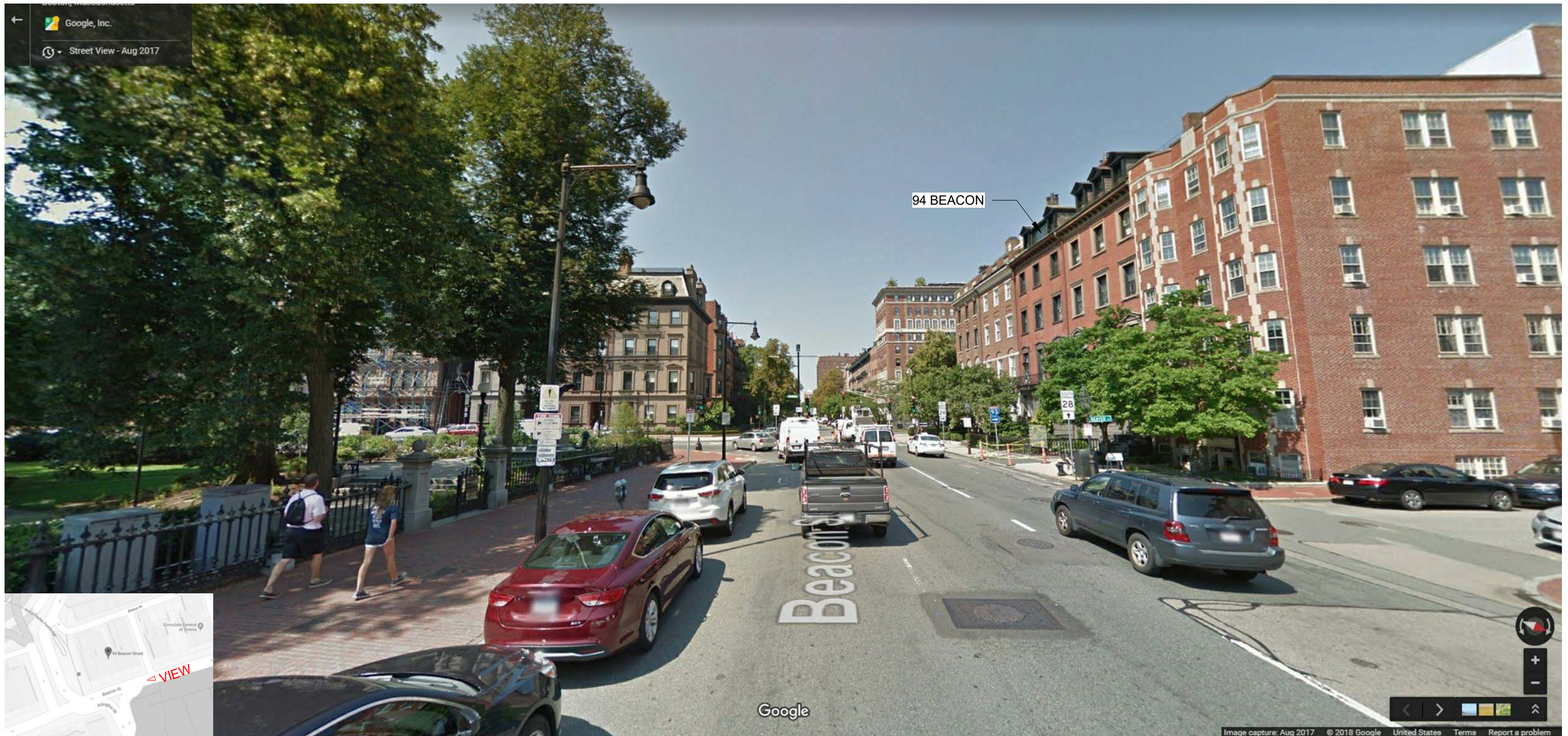
EXISTING VIEW FROM BEACON ST

PHOTO TAKEN IN 2018

ROOF TOP IS MOSTLY HIDDEN BY ADJACENT WALLS, CHIMNEYS, & EQUIPMENTS

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1310 Broadway, Somerville, MA 02144

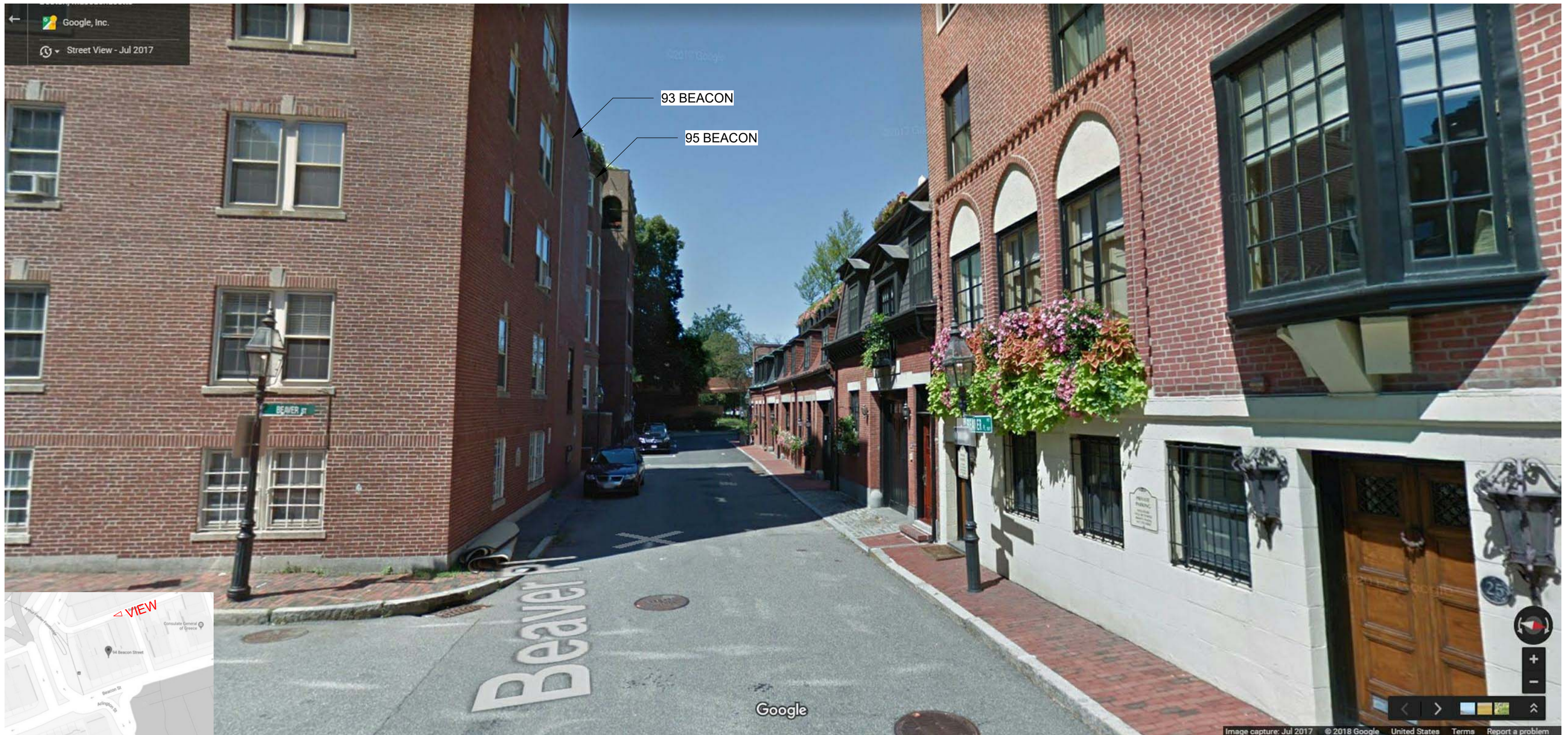
VIEW FROM BEACON STREET WEST



EXISTING VIEW FROM BEACON ST  
ROOF DECK IS NOT VISIBLE FROM THE STREET

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ARCHITECTURE | 1310 Broadway, Somerville, MA 02144

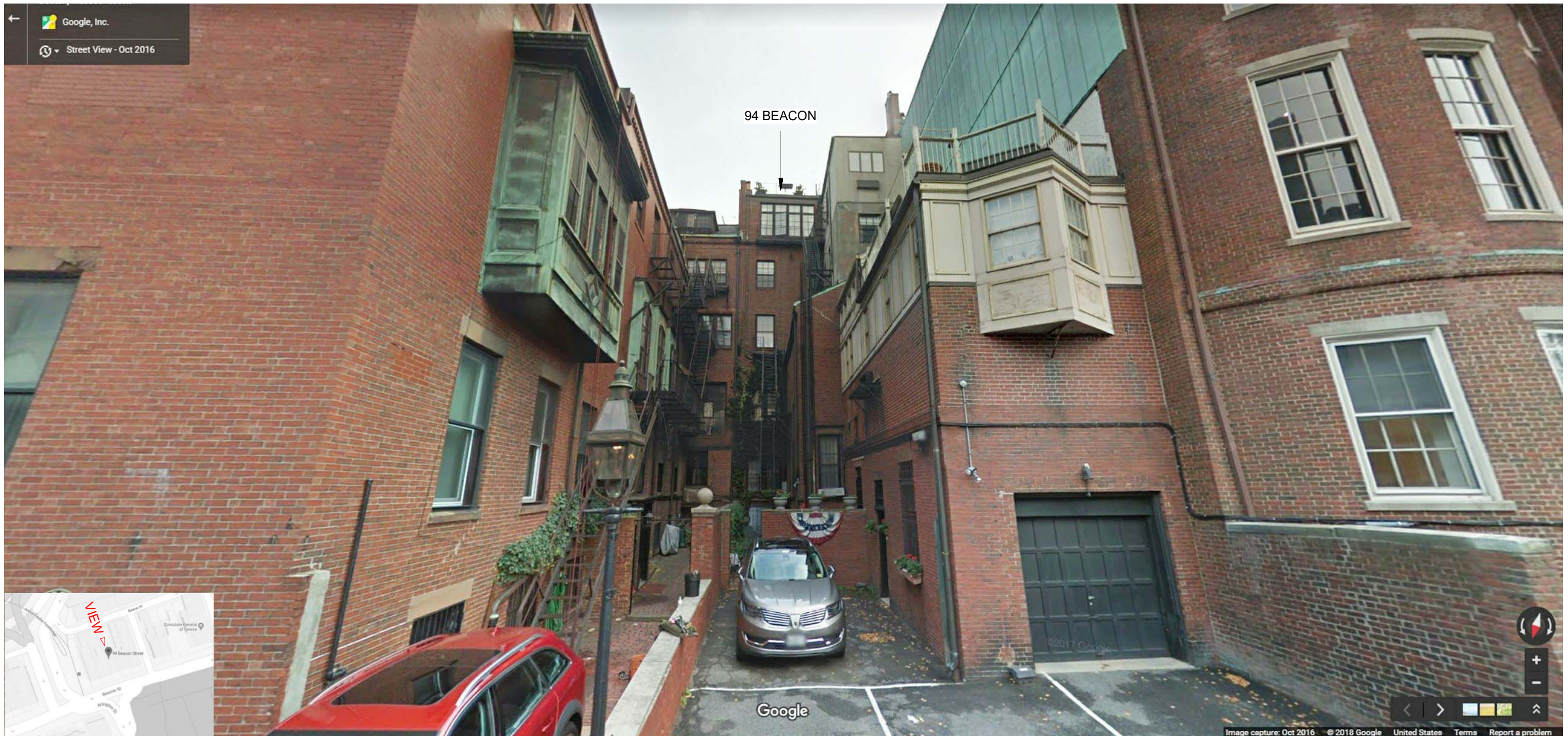
VIEW FROM BEACON STREET EAST



EXISTING VIEW FROM BEAVER PL.  
94 BEACON ST. BACK SIDE IS NOT VISIBLE FROM BEAVER PL. EAST

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VIEW FROM BEAVER PL. EAST



EXISTING VIEW FROM BEAVER PL.  
ROOF DECK HAS MINIMAL VISIBILITY FROM THE BACK SIDE

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VIEW FROM BEAVER PL. BACK SIDE



EXISTING VIEW FROM BEAVER PL.  
94 BEACON ST. BACK SIDE IS NOT VISIBLE FROM BEAVER PL. WEST

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VIEW FROM BEAVER PL. WEST



\* GENERAL NOTE: EXISTING GUARDRAILS ARE LOWER THAN CODE (h=42"), NARROW SPIRAL STAIRWAY, AND TIGHT HATCH RAISED SAFETY AND SECURITY CONCERN FOR THE SPACE AT ROOF DECK



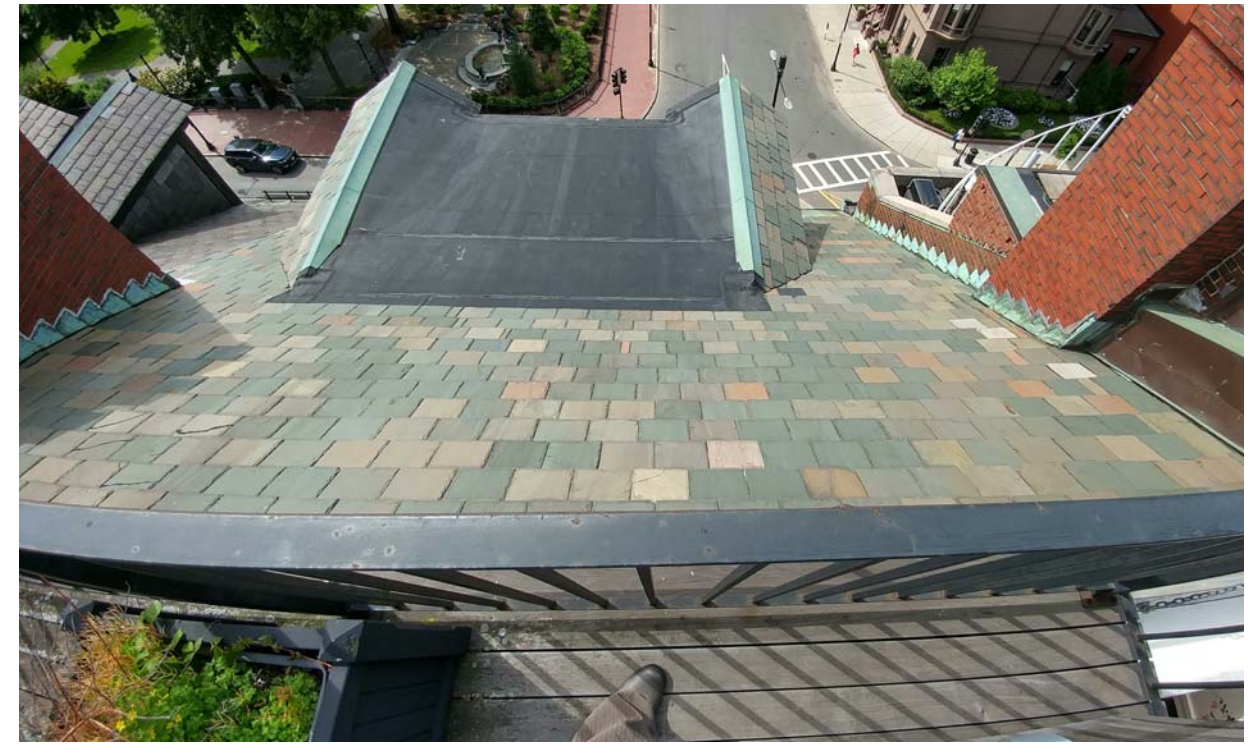
EXISTING ROOFTOP VIEW TO BEAVER PL.



EXISTING WEST SIDE OF THE ROOFTOP



EXISTING SPIRAL STAIRS & ROOF HATCH



EXISTING GUARDRAILS AND ROOFTOP VIEW TO BEACON ST.

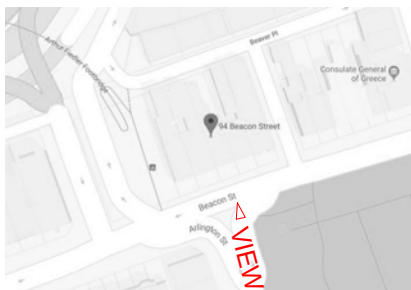


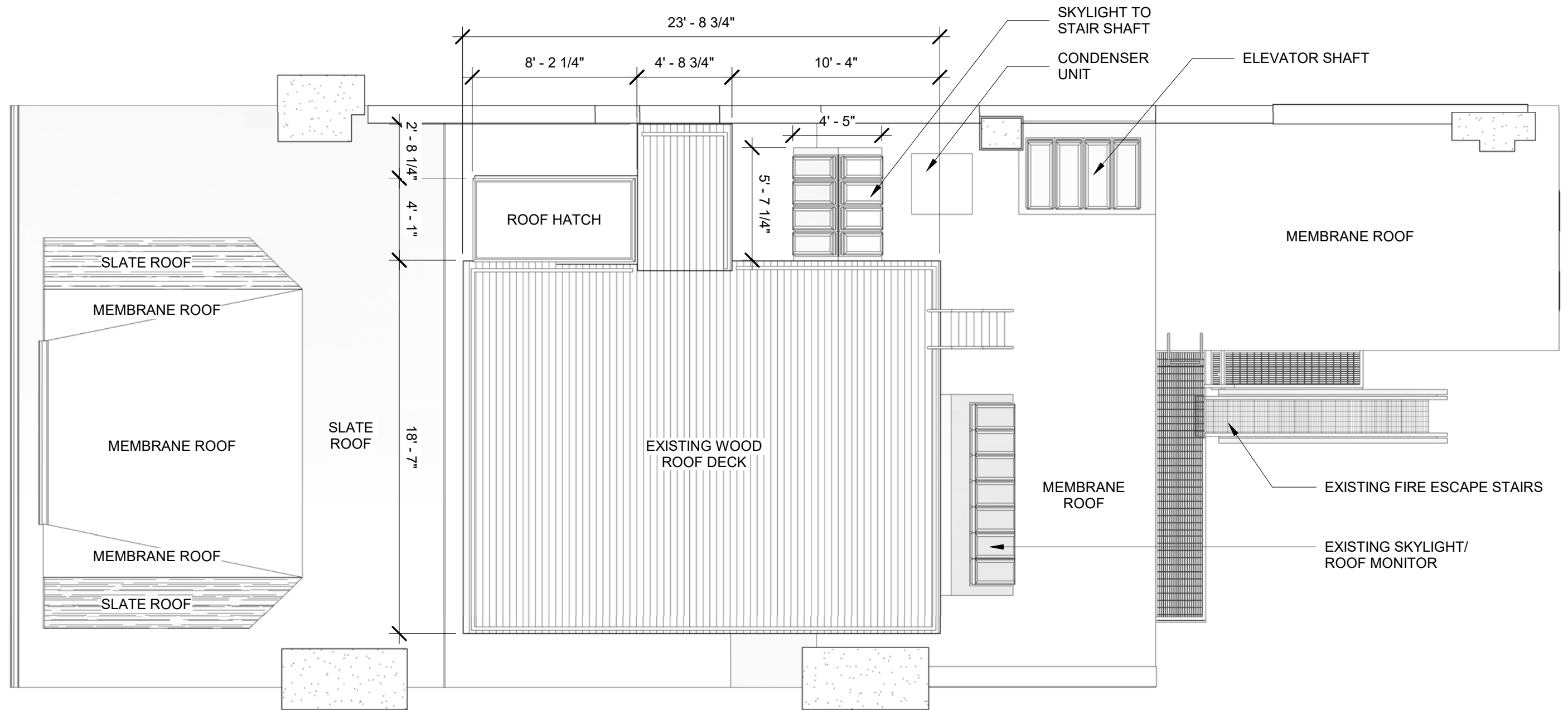


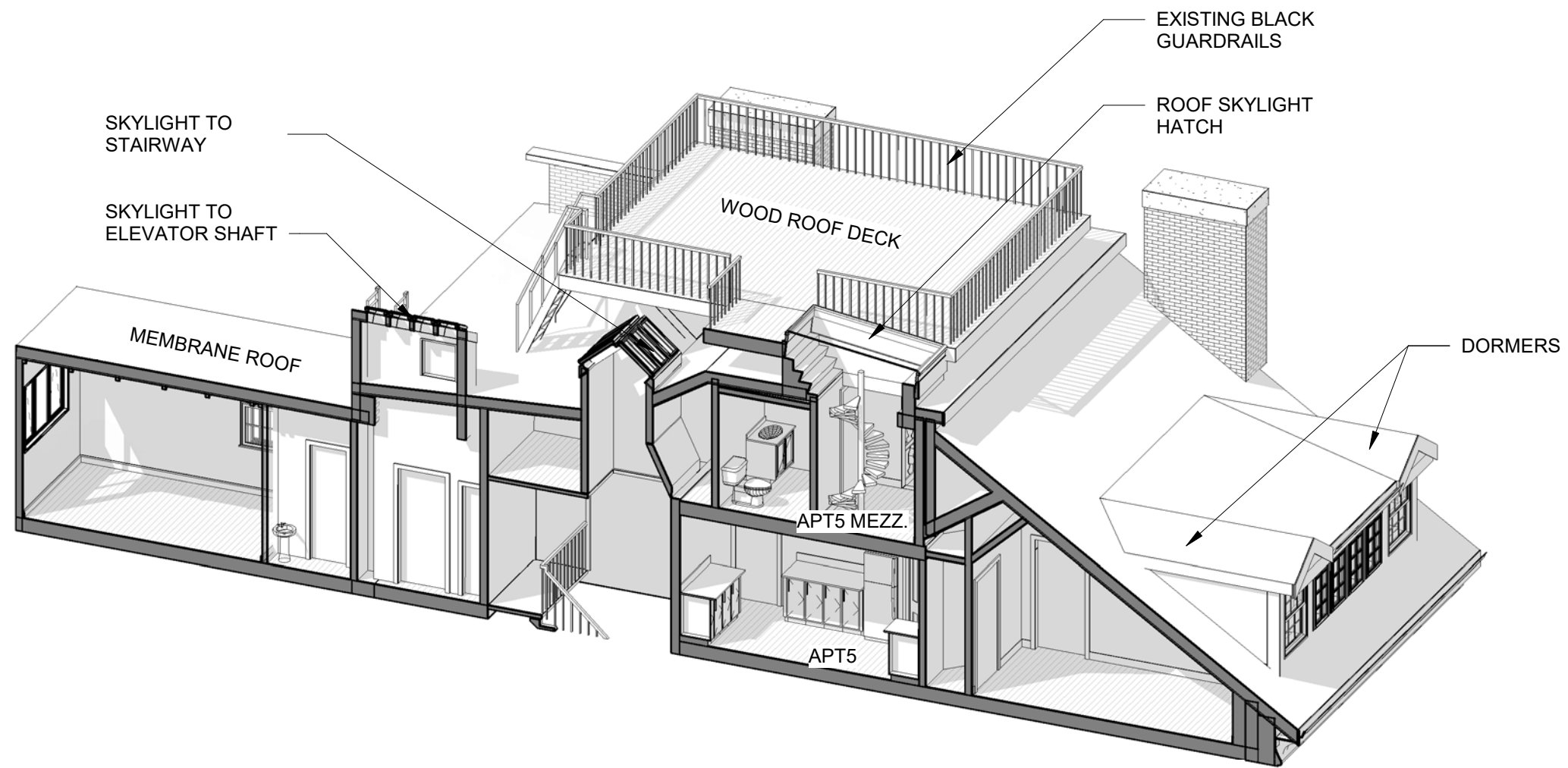
EXISTING VIEW FROM THE BOSTON PUBLIC GARDEN  
PHOTO TAKEN IN 2018

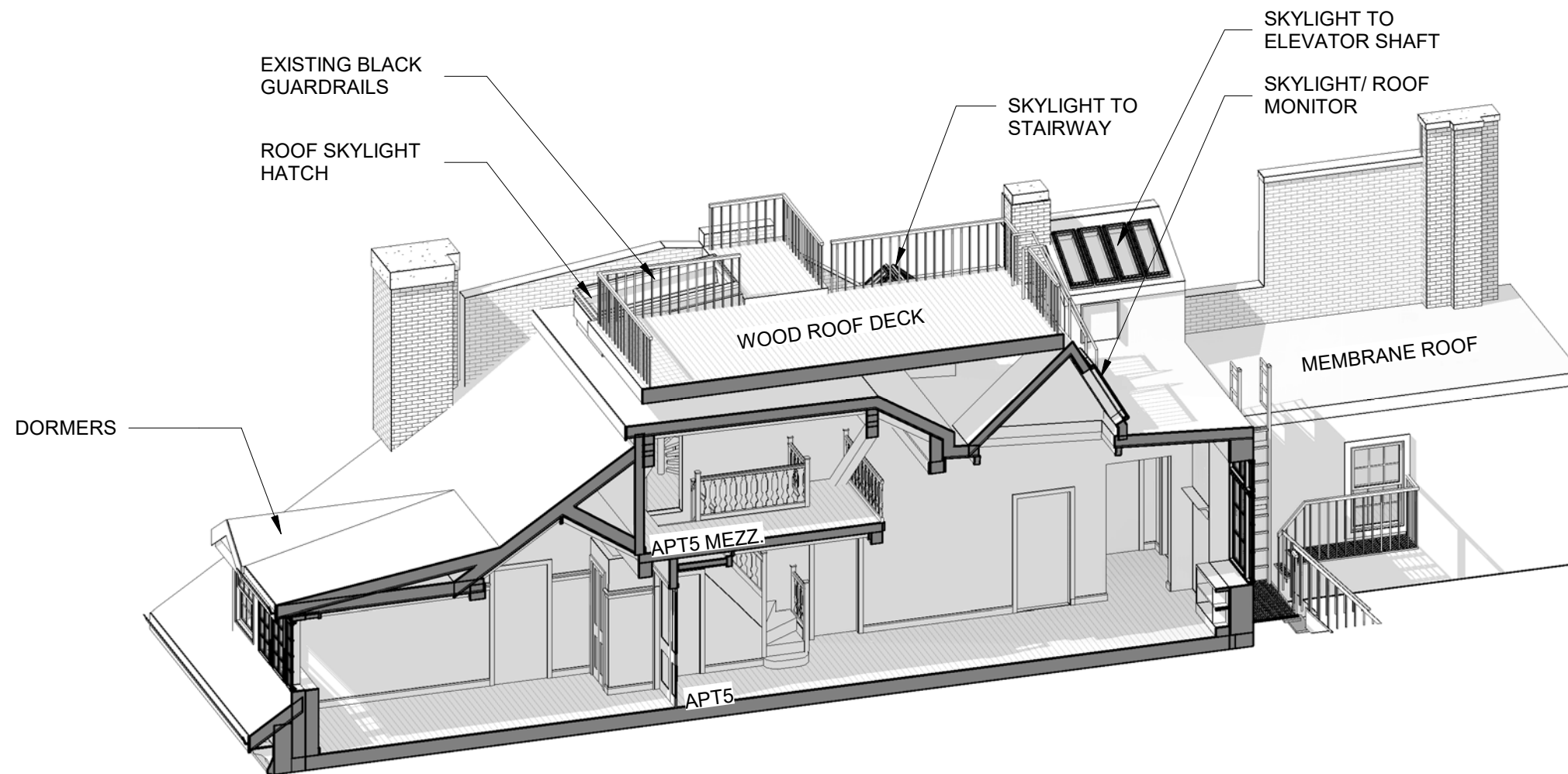


ZOOM-IN VIEW OF THE ROOF DECK FROM THE BOSTON PUBLIC GARDEN  
PHOTO TAKEN IN 2018

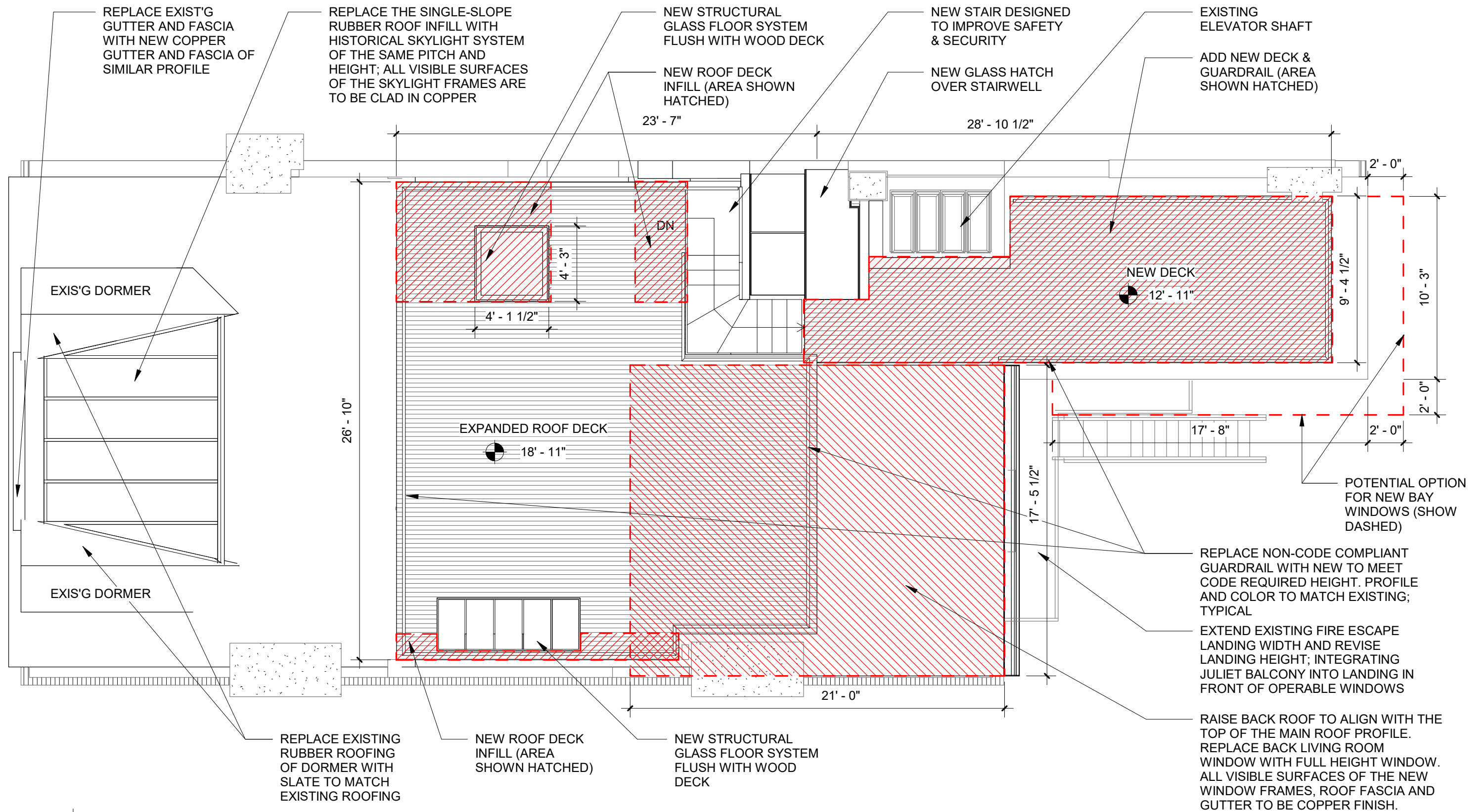








**BEACON HILL ARCHITECTURAL COMMISSION  
ADVISORY DESIGN APPROVAL SUBMISSION**



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**PROPOSED ROOF DECK PLAN**

**BEACON HILL ARCHITECTURAL COMMISSION  
ADVISORY DESIGN APPROVAL SUBMISSION**

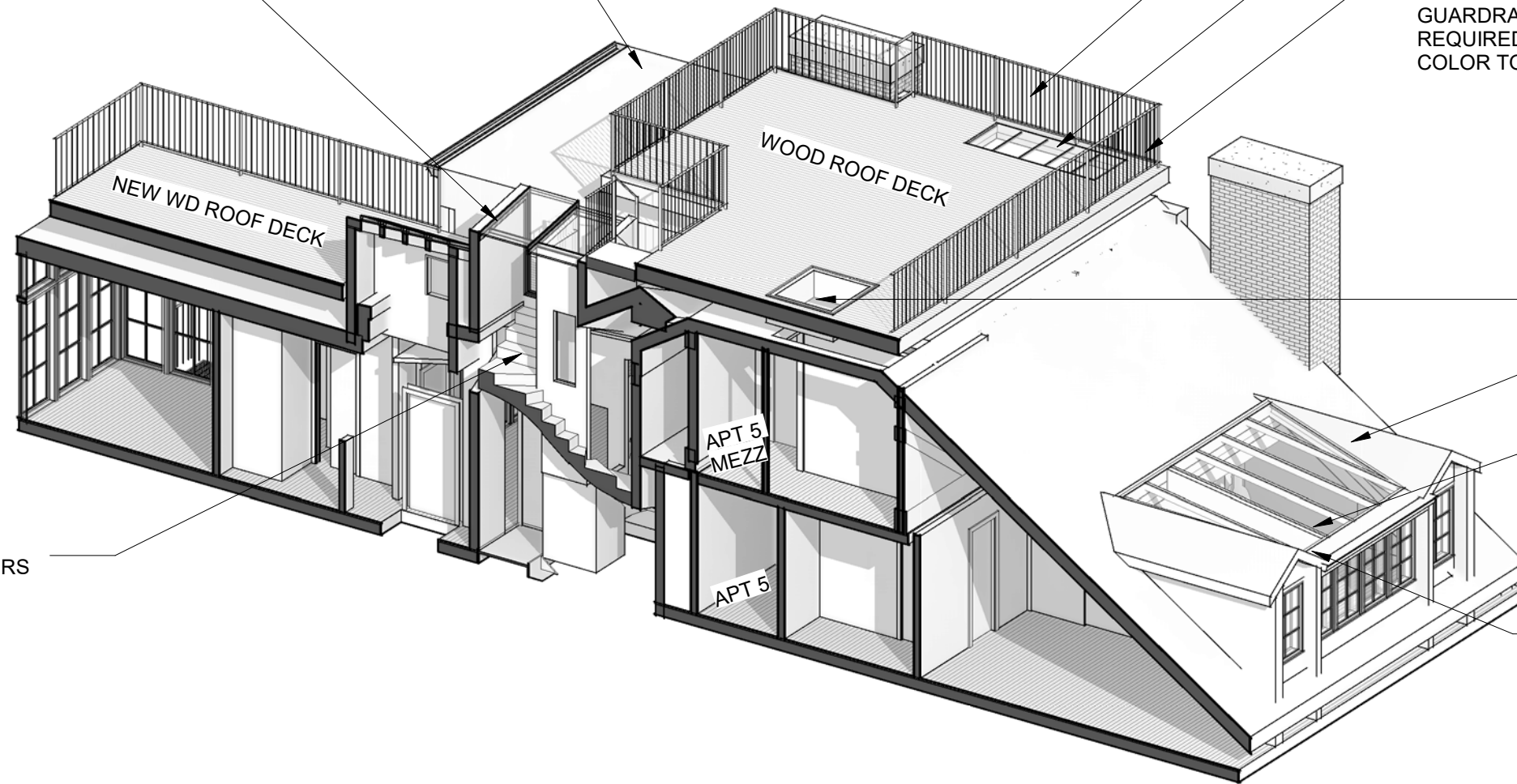
RAISE BACK ROOF TO ALIGN WITH THE TOP OF THE MAIN ROOF PROFILE. REPLACE BACK LIVING ROOM WINDOW WITH FULL HEIGHT WINDOW. ALL VISIBLE SURFACES OF THE NEW WINDOW FRAMES, ROOF FASCIA AND GUTTER TO BE COPPER FINISH.

NEW SLIDING HATCH

NEW PAINTED METAL GUARDRAILS TO MATCH ADJACENT CODE COMPLIANT REPLACEMENT

NEW STRUCTURAL GLASS FLOOR SYSTEM FLUSH WITH WOOD DECK

REPLACE NON-CODE COMPLIANT GUARDRAIL WITH NEW TO MEET CODE REQUIRED HEIGHT. PROFILE AND COLOR TO MATCH EXISTING.



NEW STRUCTURAL GLASS FLOOR SYSTEM FLUSH WITH WOOD DECK

REPLACE EXISTING RUBBER ROOFING OF DORMER WITH SLATE TO MATCH EXISTING ROOFING

REPLACE THE SINGLE-SLOPE RUBBER ROOF INFILL WITH HISTORICAL SKYLIGHT SYSTEM OF THE SAME PITCH AND HEIGHT; ALL VISIBLE SURFACES OF THE SKYLIGHT FRAMES ARE TO BE CLAD IN COPPER.

REPLACE EXIST'G GUTTER AND FASCIA WITH NEW COPPER GUTTER AND FASCIA OF SIMILAR PROFILE



VIEW TO EAST



VIEW TO WEST

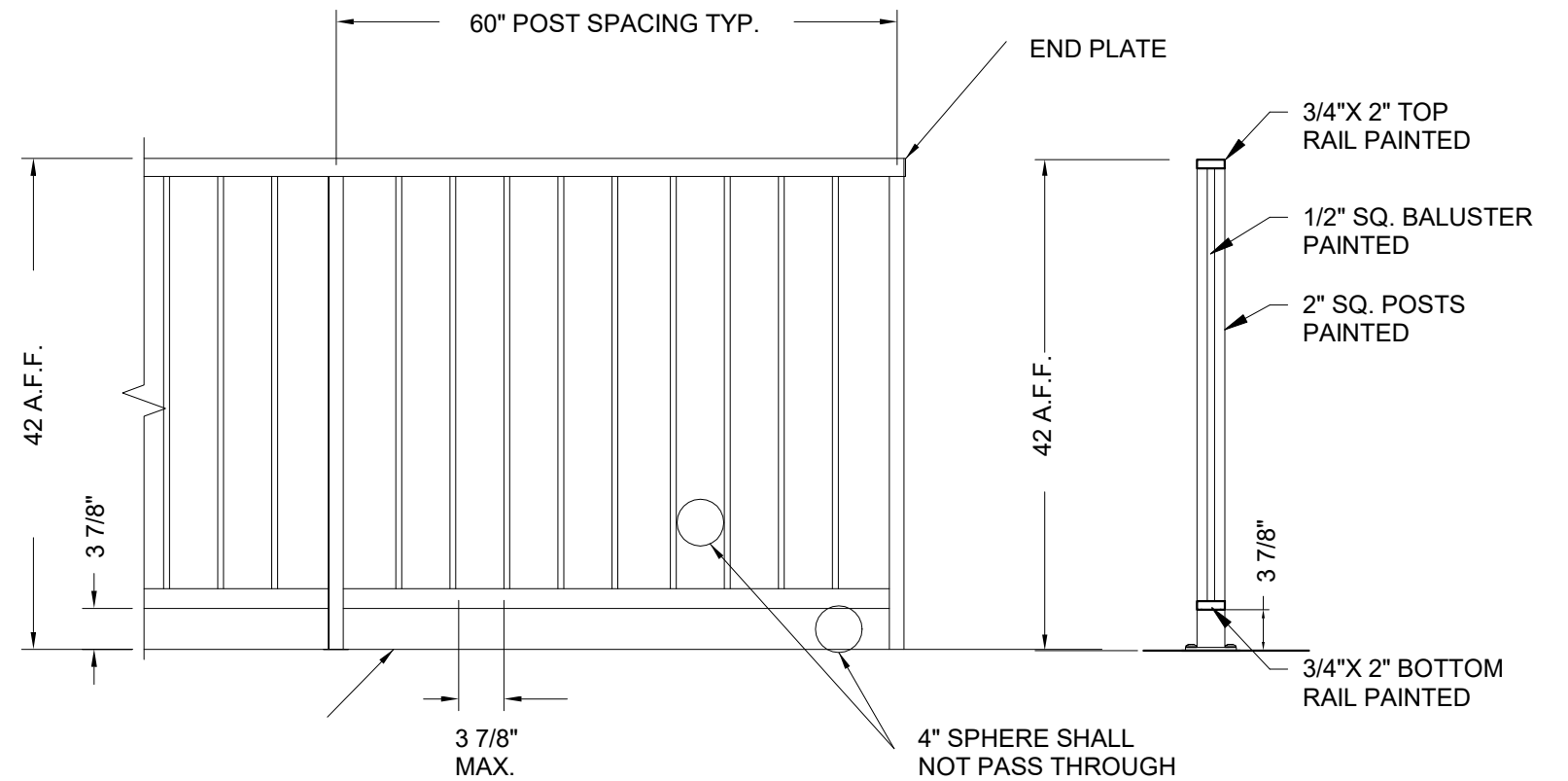




**BEACON HILL ARCHITECTURAL COMMISSION  
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**PROPOSED STAIR HATCH - GLASS BOX-TYPE SLIDING HATCH**



**NOTE: ALL COMPONENT OF THE RAILING TO BE PAINTED BLACK**

**ELEVATION**

**SECTION**

**PROPOSED CODE COMPLIANT ROOF GUARDRAIL**

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**94 BEACON STREET APT 5 RENOVATION**

**PROPOSED BOX-TYPE SLIDING ROOFLIGHT**

SCALE: As indicated  
DATE: 07/26/18