

landscape architecture  
urban design  
master planning

CBA | Landscape Architects LLC

June 12, 2018

**SOUTH END LANDMARKS DISTRICT  
PETERS PARK, 230 Shawmut Ave., Boston, MA 02118  
PHOTOS OF EXISTING CONDITIONS**



Shawmut Avenue Entry:  
Remove pavers and replace with concrete pavement. Remove curbs at planter, expand planter, and plant shrubs. Install custom curved metal bench.



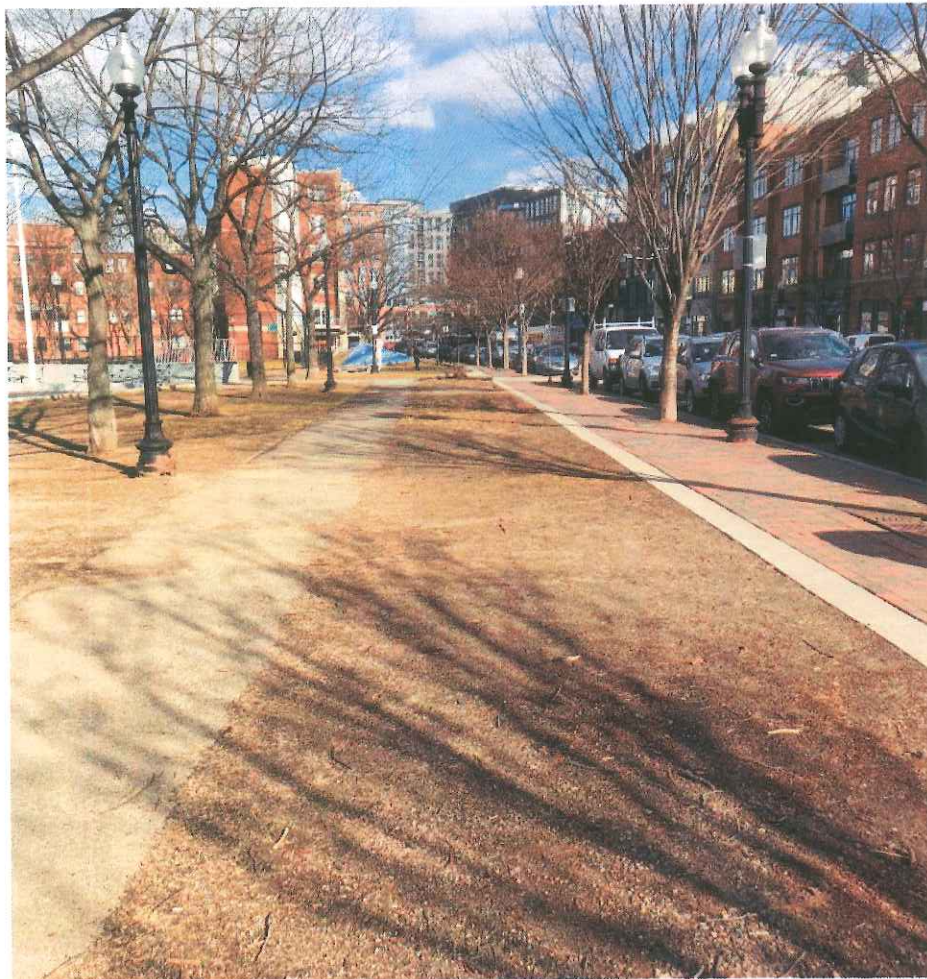
Repair storm drainage system in this area. Install new custom metal fence (to match existing fences on site) along Shawmut Ave. sidewalk. Create new stonedust path starting at Shawmut Ave. entry area to run behind Little League field and connect to Washington St.



Install stonedust path connecting Shawmut Ave. and Washington St. behind little league field.



Washington Street: Repair storm drainage system in this area. Install new bituminous path along courts. Regrade lawn slightly to improve drainage and reseed.



Washington Street: Remove bituminous concrete sidewalk inside park. Install custom metal fence (to match existing fence on site) along Washington Street sidewalk between park entries. Regrade lawn slightly to improve drainage and reseed.



Path corners within park are worn from foot and maintenance vehicle traffic. Install granite cobble surface with granite seawall type boulders at worn path corners.



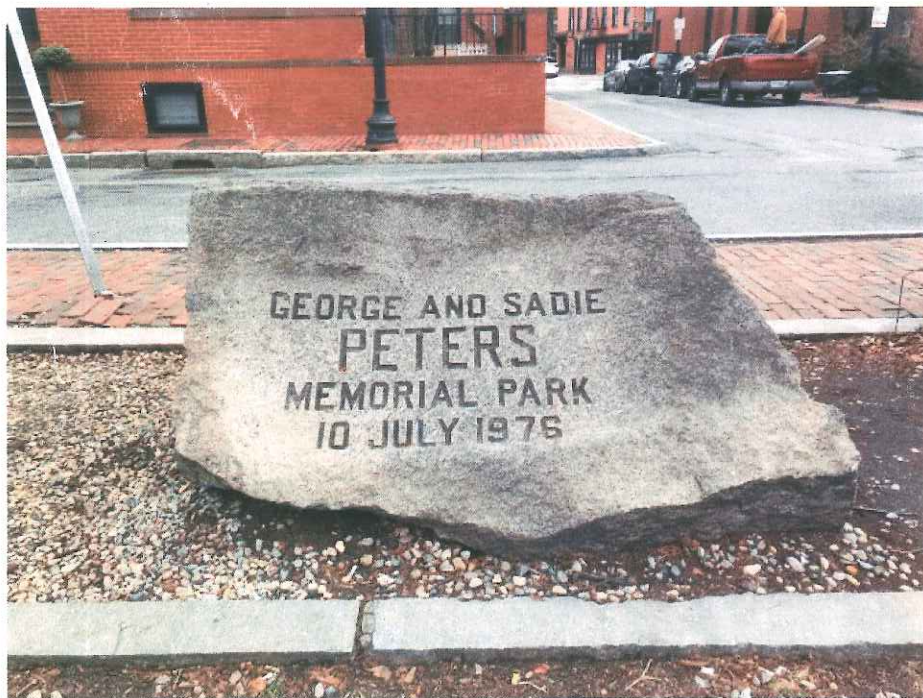
Garden/passive lawn area between dog park and Bradford St.: Replace and realign this bituminous path. Regrade lawn slightly to improve drainage and reseed. Install irrigation in lawn and new planting areas.



Garden area between dog park and Bradford St.: Plant easy care shrubs along fence/under trees.

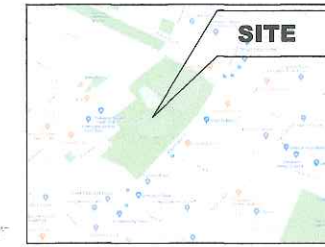


Bradford Street Entry: Remove bituminous concrete paving and replace with concrete paving. Add shrub planting beds. Replace collapsible bollard.



Bradford Street Entry: Move George and Sadie Peters memorial stone to improved Bradford Street entry. Install custom metal fence (to match existing fences on site) along Bradford Street.

**CITY OF BOSTON**  
**THE HONORABLE MARTIN J. WALSH, MAYOR**



**LOCATION MAP**  
 1277 Washington St.,  
 Boston MA 02118

**PREPARED BY:**

CBA Landscape Architects LLC  
 24 THORNDIKE STREET | CAMBRIDGE MA 02141  
 phone 617.946.9760 | www.obaland.com | cba@obaland.com  
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**PARKS & RECREATION DEPARTMENT**  
**CHRISTOPHER COOK, COMMISSIONER**

**IMPROVEMENTS TO**  
**PETERS PARK**  
 BOSTON, MASSACHUSETTS

JUNE 2018

**FUNDED BY THE CITY OF BOSTON CAPITAL**  
**IMPROVEMENT PROGRAM AND**  
**THE FUND FOR PARKS AND RECREATION**

**DRAWING INDEX**

- Cvr COVER SHEET
- L-0 SITE SURVEY
- L-1a ACCESS PLAN
- L-1b DEMOLITION & REMOVALS PLAN
- L-2 KEY PLAN FOR MATERIALS, LAYOUT,  
AND GRADING PLANS
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- L-3b MATERIALS PLAN - AREA B
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- L-6a IRRIGATION PLAN
- L-6b PLANTING PLAN & ENLARGEMENTS
- L-7a SITE DETAILS
- L-7b SITE DETAILS

**SUBMITTED FOR APPROVAL:**

CBA LANDSCAPE ARCHITECTS  
 SUBMIT DATE: 06/15/2018 PHASE: CD-90%

**REVIEWED AND APPROVED:**

NAME, PROJECT MANAGER  
 BOSTON PARKS & RECREATION DEPARTMENT



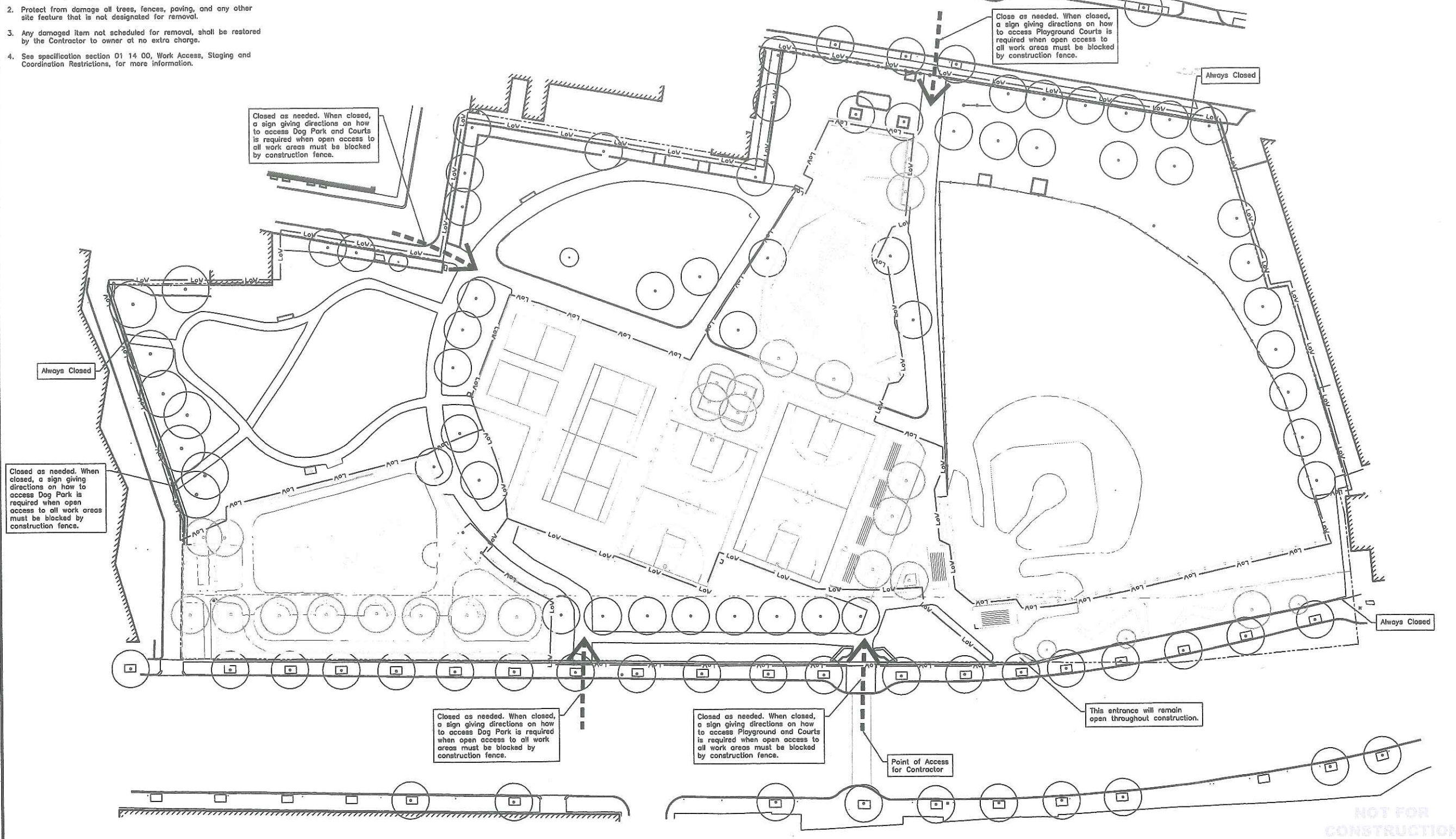
Sheet No.:	1
Sheet Name:	Cover Sheet
Project No.:	4484
Date:	06/15/2018
Scale:	N/A
Drawn:	EXT
Checked:	CCB/MNT
Project Name:	Peters Park

**Access Notes:**

1. Access to areas not under construction to be maintained.
2. The Contractor shall, at the pre-construction meeting, discuss the proposed staging of work with the Landscape Architect and the Owner for approval to confirm understanding of and compliance with the project & adjacent property access requirements.
2. Protect from damage all trees, fences, paving, and any other site feature that is not designated for removal.
3. Any damaged item not scheduled for removal, shall be restored by the Contractor to owner at no extra charge.
4. See specification section D1 14 00, Work Access, Staging and Coordination Restrictions, for more information.

**Legend:**

- LoV — Limit of Work
- ← - - - - - Pedestrian Access to Fields



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Prepared By: **CBA | Landscape Architects LLC**  
 24 THORNDIKE STREET | CAMBRIDGE MA 02144  
 phone 617.548.0760 | www.cbainc.com | cba@cbland.com  
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No.	Date	Revision

Project Name: **Peters Park**

EPRI Project No.	44894
Date	09/15/2018
Scale	1" = 20'
Drawn	EAT
Checked	CCB/MNT

Sheet Name: **Access Diagram and Signage**

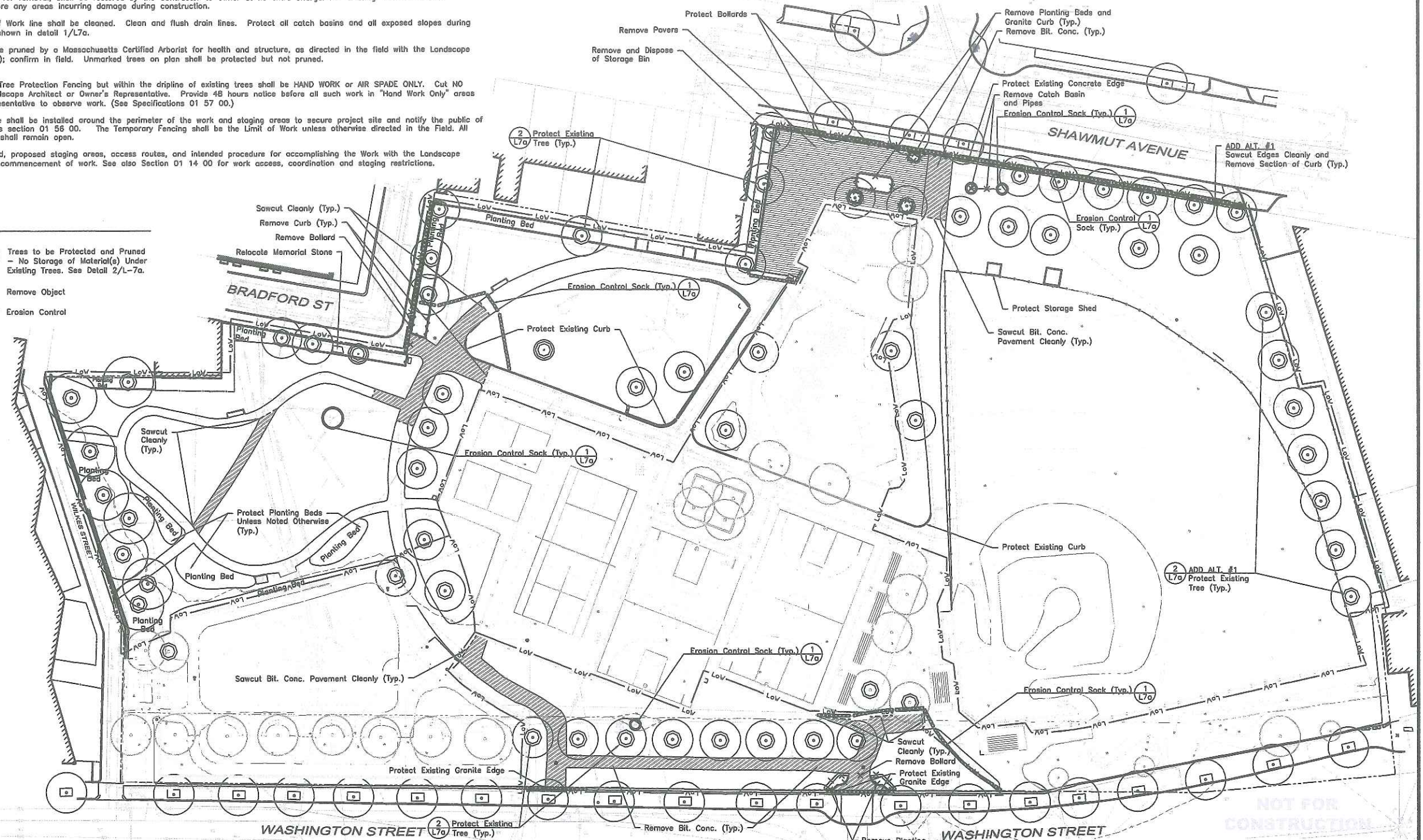
Sheet No.: **L-1a**

Demolition & Removals Notes:

- The Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to starting construction. Call DIG-SAFE (1-888-DIG-SAFE).
- Contractor shall complete all demolition and removals required to complete the intent of the proposed design.
- Contractor shall review items to be removed with Landscape Architect prior to commencement of work.
- BPRD shall have right of first refusal on all removed materials not indicated for reuse or stockpiling. Contractor is responsible for proper disposal of all refused materials, off-site and in accordance with all local and state regulations.
- Protect from damage all items designated for reuse, relocation, or stockpiling by the City of Boston. All materials claimed by the City for future use shall be delivered by the Contractor to the Department of Public Services storage yard.
- Protect from damage all trees, shrubs, curbs, paving, and any other site feature that is not designated for removal. (See also Note 10 below.)
- Any damaged item or planting not scheduled for removal, shall be restored by the Contractor to owner at no extra charge. For existing lawn areas not designated for removal, Contractor shall restore any areas incurring damage during construction.
- All existing drainage structures within Limit of Work line shall be cleaned. Clean and flush drain lines. Protect all catch basins and all exposed slopes during construction using haybales & silt fence as shown in detail 1/L7a.
- All existing trees indicated for pruning shall be pruned by a Massachusetts Certified Arborist for health and structure, as directed in the field with the Landscape Architect and the Owner (Crown Cleaning Only); confirm in field. Unmarked trees on plan shall be protected but not pruned.
- ALL REMOVALS AND ALL EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work. (See Specifications 01 57 00.)
- Temporary fencing with construction signage shall be installed around the perimeter of the work and staging areas to secure project site and notify the public of the closure for construction; see Specifications section 01 58 00. The Temporary Fencing shall be the Limit of Work unless otherwise directed in the field. All public pathways outside the indicated fencing shall remain open.
- Contractor shall review items to be removed, proposed staging areas, access routes, and intended procedure for accomplishing the Work with the Landscape Architect and Owner's Representative prior to commencement of work. See also Section 01 14 00 for work access, coordination and staging restrictions.

Legend:

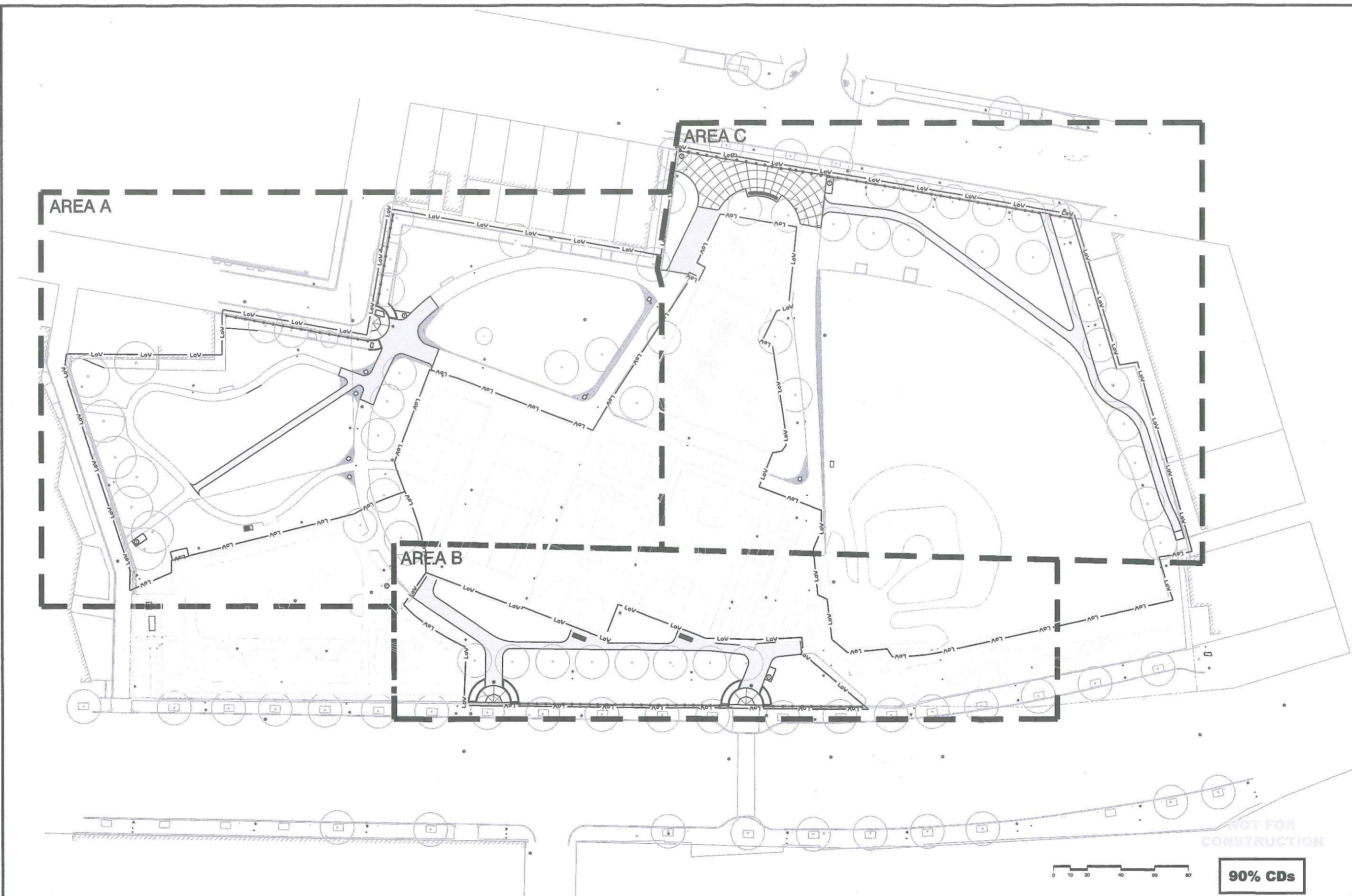
- Remove Bit. Conc.
- Remove Pavers
- Sawcut Bit. Conc.
- Remove Curb
- Trees to be Protected and Pruned - No Storage of Material(s) Under Existing Trees. See Detail 2/L-7a.
- Remove Object
- Erosion Control



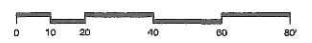
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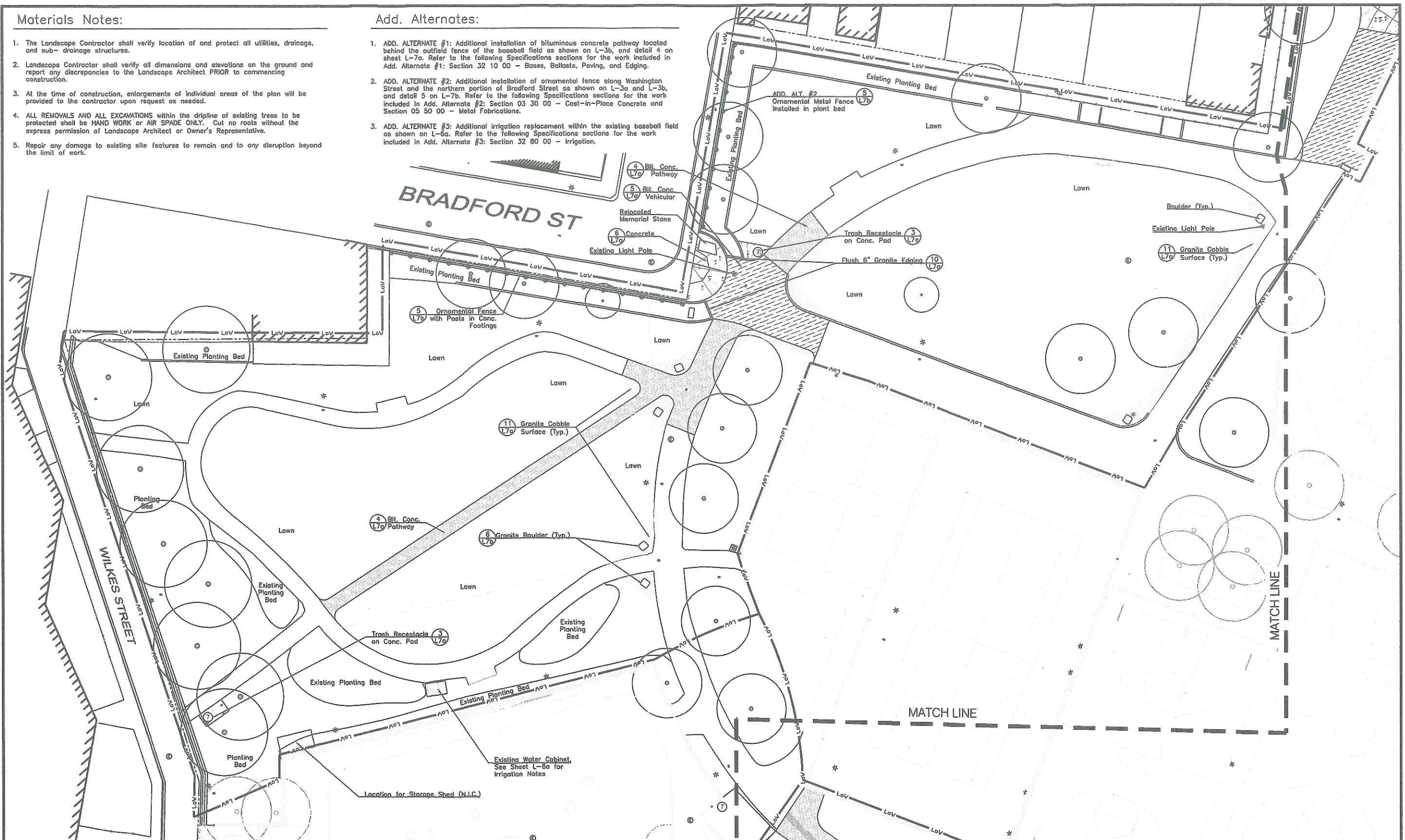
	Prepared By: <b>CBA Landscape Architects LLC</b> <small>24 THORNDIKE STREET   CAMBRIDGE MA 02141          phone 617.946.8780   www.cbainc.com   info@cbainc.com          landscape architecture          urban design          master planning</small>		<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision																Project Name: <b>Peters Park</b>	<table border="1"> <tr> <td>SPRO Project No.</td> <td>44894</td> </tr> <tr> <td>Date</td> <td>08/15/2018</td> </tr> <tr> <td>Scale</td> <td>1" = 20'</td> </tr> <tr> <td>Drawn</td> <td>EAT</td> </tr> <tr> <td>Checked</td> <td>CCBRANT</td> </tr> </table>	SPRO Project No.	44894	Date	08/15/2018	Scale	1" = 20'	Drawn	EAT	Checked	CCBRANT	Sheet Name: <b>Key Plan for Materials, Layout, and Grading Plans</b>	Sheet No.: <b>L-2</b>
	No.		Date	Revision																															
SPRO Project No.	44894																																		
Date	08/15/2018																																		
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Drawn	EAT																																		
Checked	CCBRANT																																		
	Consultant Project No. 1683	NORTH																																	

**Materials Notes:**

1. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures.
2. Landscape Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect PRIOR to commencing construction.
3. At the time of construction, enlargements of individual areas of the plan will be provided to the contractor upon request as needed.
4. ALL REMOVALS AND ALL EXCAVATIONS within the dripline of existing trees to be protected shall be HAND WORK or AIR SPADE ONLY. Cut no roots without the express permission of Landscape Architect or Owner's Representative.
5. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.

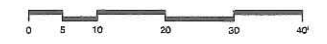
**Add. Alternates:**

1. ADD. ALTERNATE #1: Additional installation of bituminous concrete pathway located behind the outfield fence of the baseball field as shown on L-3b, and detail 4 on sheet L-7a. Refer to the following Specifications sections for the work included in Add. Alternate #1: Section 32 10 00 - Bases, Ballasts, Paving, and Edging.
2. ADD. ALTERNATE #2: Additional installation of ornamental fence along Washington Street and the northern portion of Bradford Street as shown on L-3a and L-3b, and detail 5 on L-7b. Refer to the following Specifications sections for the work included in Add. Alternates #2: Section 03 30 00 - Cast-In-Place Concrete and Section 05 50 00 - Metal Fabrications.
3. ADD. ALTERNATE #3: Additional irrigation replacement within the existing baseball field as shown on L-6a. Refer to the following Specifications sections for the work included in Add. Alternate #3: Section 32 80 00 - Irrigation.



**Legend:**

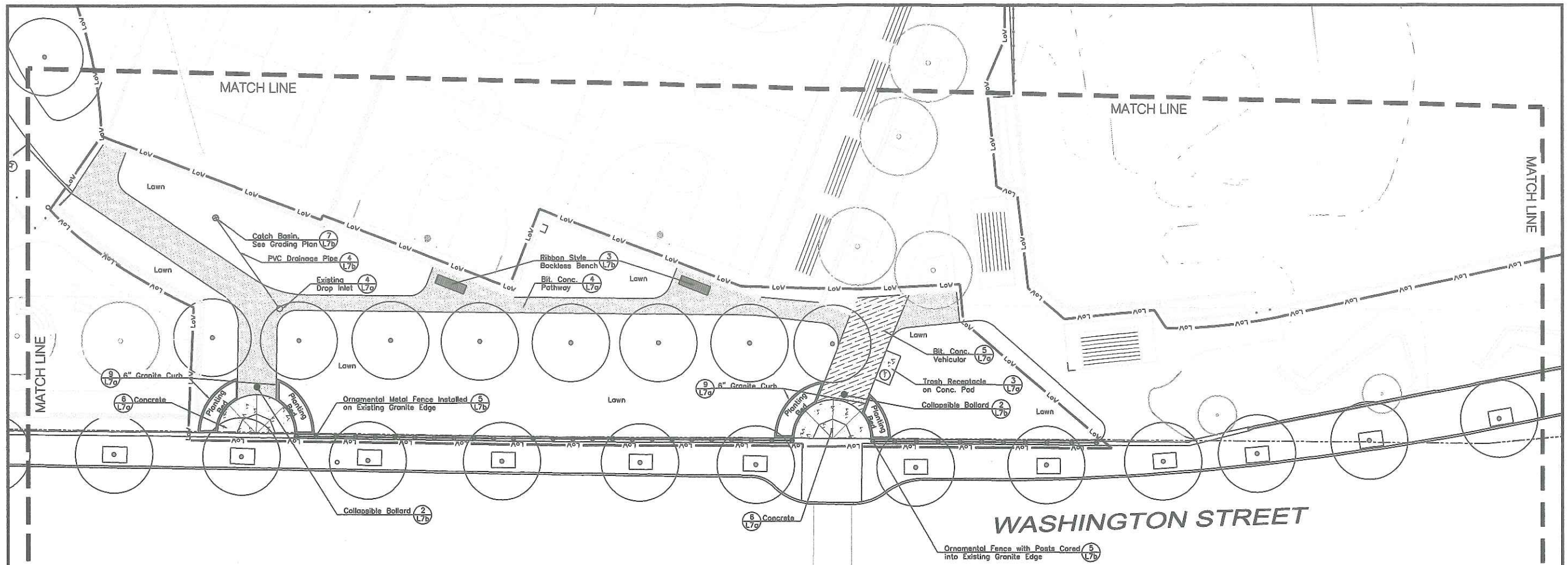
- Limit of Work
- Boulder
- Ornamental Metal Fence
- ▨ New Conc. Paving
- ▨ Granite Cobble Surface
- ▨ New Bit. Conc. - Pathways
- ▨ New Bit. Conc. - Vehicular
- New Granite Curb or Edging



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	Prepared By: <b>CBA Landscape Architects LLC</b> <small>24 THORNDIKE STREET   CAMBRIDGE MA 02141                  phone 617.948.9180   www.cbalandscape.com   cba@cbalandscape.com                  landscape architecture                  urban design                  master planning</small>		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision										Project Name: <b>Peters Park</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>SPRD Project No.</td><td>44894</td></tr> <tr><td>Date</td><td>08/15/2018</td></tr> <tr><td>Scale</td><td>1" = 10'</td></tr> <tr><td>Drawn</td><td>EAT</td></tr> <tr><td>Checked</td><td>COB/MNT</td></tr> </table>	SPRD Project No.	44894	Date	08/15/2018	Scale	1" = 10'	Drawn	EAT	Checked	COB/MNT	Sheet Name: <b>Materials Plan - Area A</b>	Sheet No.: <b>L-3a</b>
	No.	Date	Revision																										
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Checked	COB/MNT																												



**Legend:**

- Limit of Work
- Boulder
- Ornamental Metal Fence
- New Conc. Paving
- ▨ Granite Cobble Surfaces
- ▨ New Bit. Conc. - Pathways
- ▨ New Bit. Conc. - Vehicular
- New Granite Curb or Edging

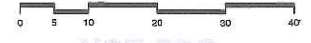
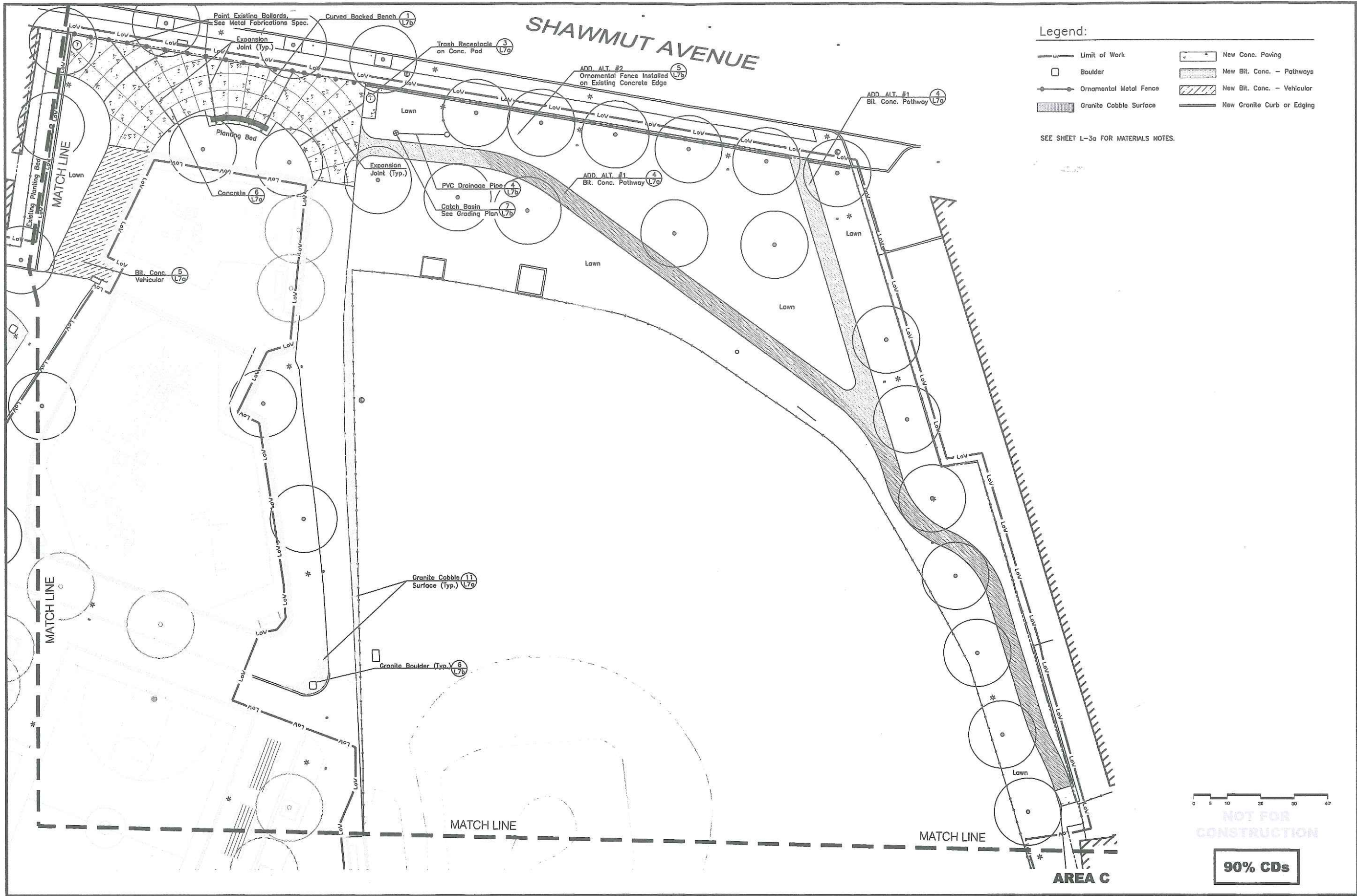
SEE SHEET L-3a FOR MATERIALS NOTES.

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

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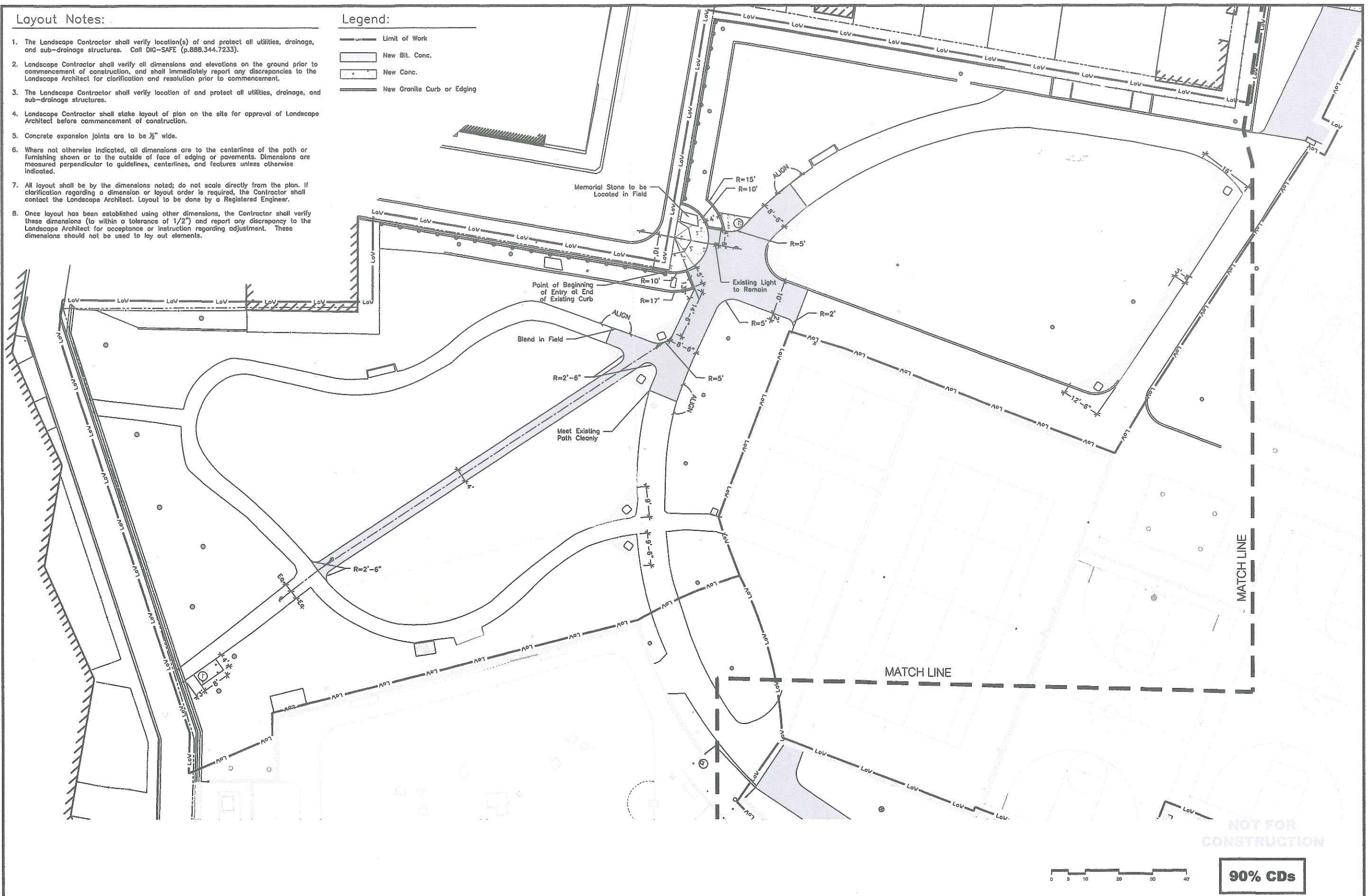
<p><b>BOSTON PARKS &amp; RECREATION</b></p>	Prepared By: <b>OBA Landscape Architects LLC</b> 24 THORNDIKE STREET   CAMBRIDGE MA 02141 phone 617.548.9789   www.obalandscape.com   obo@obalandscape.com landscape architecture urban design master planning	<p>NORTH</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision																Project Name: <b>Peters Park</b>	SP10 Project No. 44894 Date 08/15/2018 Scale 1" = 10' Drawn EAT Checked CCB/MNT	Sheet Name: <b>Materials Plan - Area C</b> Sheet No.: <b>L-3c</b>
	No.		Date	Revision																				
<p>Consultant Project No. 1883</p>																								

**Layout Notes:**

1. The Landscape Contractor shall verify location(s) of and protect all utilities, drainage, and sub-drainage structures. Call DIG-SAFE (p.888.344.7233).
2. Landscape Contractor shall verify all dimensions and elevations on the ground prior to commencement of construction, and shall immediately report any discrepancies to the Landscape Architect for clarification and resolution prior to commencement.
3. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures.
4. Landscape Contractor shall stake layout of plan on the site for approval of Landscape Architect before commencement of construction.
5. Concrete expansion joints are to be 1/2" wide.
6. Where not otherwise indicated, all dimensions are to the centerlines of the path or furnishing shown or to the outside of face of edging or pavements. Dimensions are measured perpendicular to guidelines, centerlines, and features unless otherwise indicated.
7. All layout shall be by the dimensions noted; do not scale directly from the plan. If clarification regarding a dimension or layout order is required, the Contractor shall contact the Landscape Architect. Layout to be done by a Registered Engineer.
8. Once layout has been established using other dimensions, the Contractor shall verify these dimensions (to within a tolerance of 1/2") and report any discrepancy to the Landscape Architect for acceptance or instruction regarding adjustment. These dimensions should not be used to lay out elements.

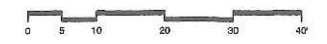
**Legend:**




-  Limit of Work
-  New Bit. Conc.
-  New Conc.
-  New Granite Curb or Edging

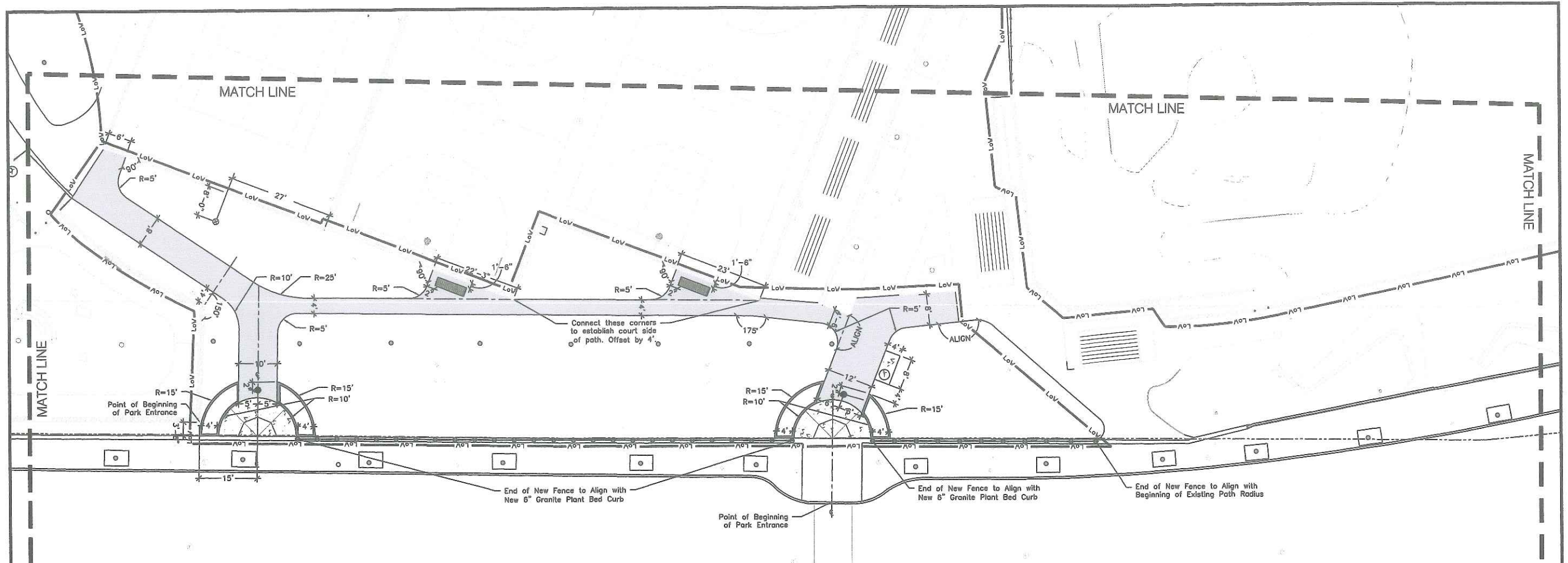


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	No.		Date	Revision																												
IPRO Project No.	44894																															
Date	08/16/2018																															
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		Consultant Project No. 1803																														

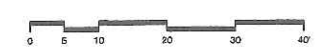


**Legend:**

- Limit of Work
- New Bit. Conc.
- New Conc.
- New Granite Curb or Edging

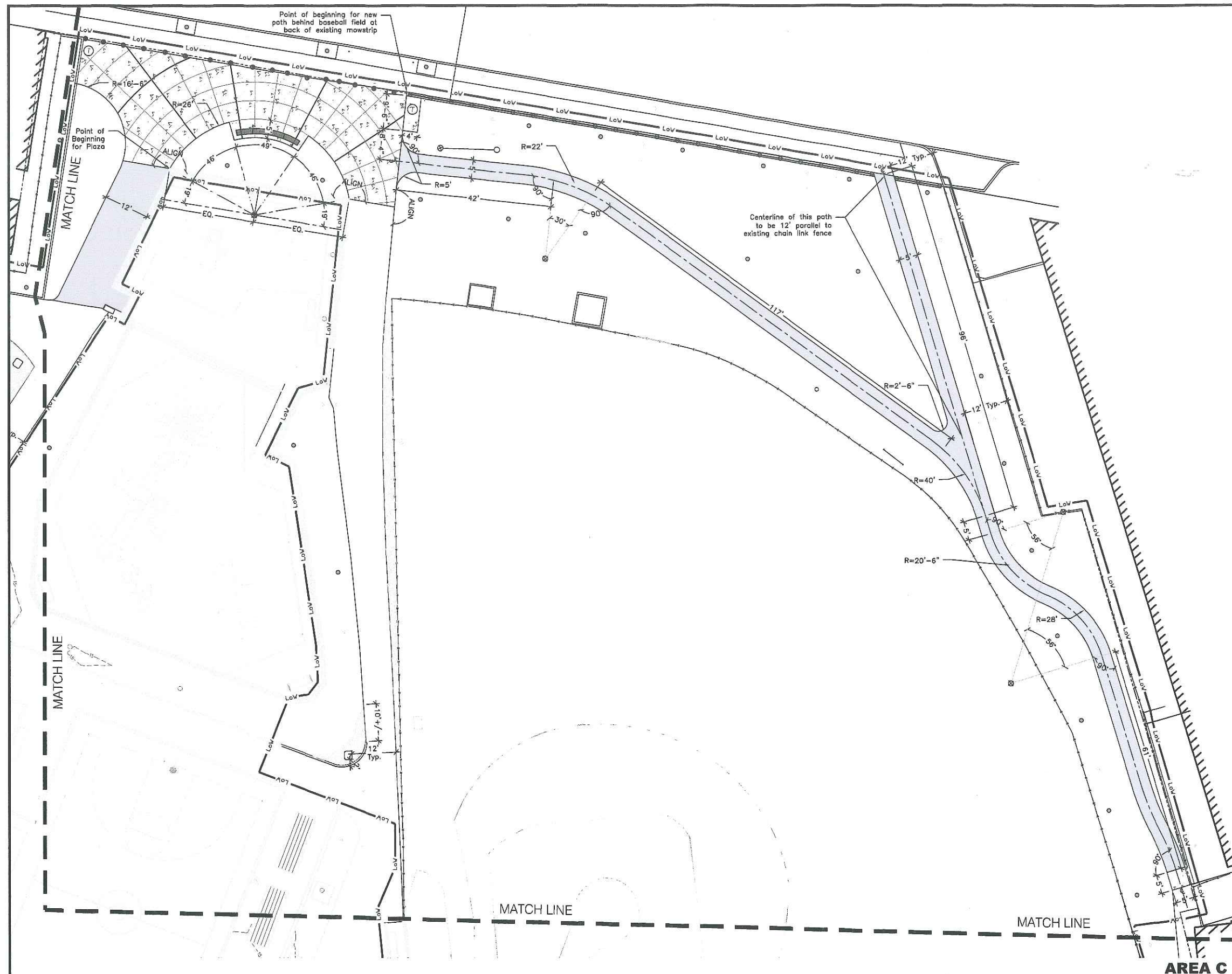
SEE SHEET L-4a FOR MATERIALS NOTES.

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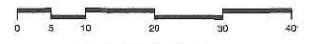


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Checked	CC/BA/NT																															
		<small>1853</small>																														



- Legend:
- Limit of Work
  - New Bit. Conc.
  - New Conc.
  - New Granite Curb or Edging
- SEE SHEET L-4d FOR MATERIALS NOTES.



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AREA C



Prepared By: CBA | Landscape Architects LLC  
 24 THORNDIKE STREET | CAMBRIDGE, MA 02141  
 www.cbaonline.com | www.cbaonline.com  
 landscape architecture  
 urban design  
 master planning  
 Consultant Project No. 1803



No.	Date	Revision

Project Name: **Peters Park**

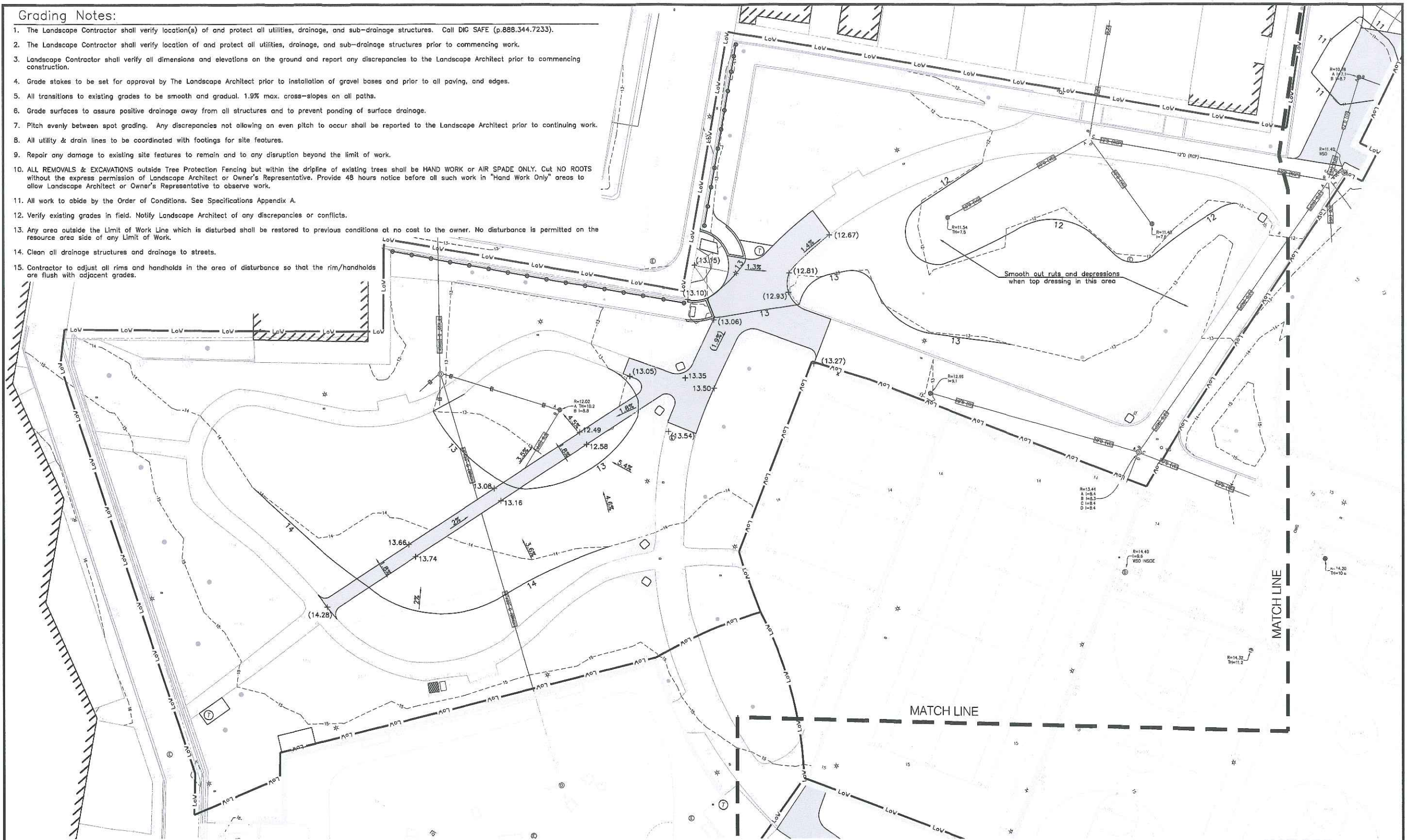
BPRD Project No. 44894  
 Date 08/15/2018  
 Scale 1" = 10'  
 Drawn BAT  
 Checked CCB/MANT

Sheet Name: **Layout Plan - Area C**

Sheet No.: **L-4c**

**Grading Notes:**

1. The Landscape Contractor shall verify location(s) of and protect all utilities, drainage, and sub-drainage structures. Call DIG SAFE (p.888.344.7233).
2. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to commencing work.
3. Landscape Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
4. Grade stakes to be set for approval by The Landscape Architect prior to installation of gravel bases and prior to all paving, and edges.
5. All transitions to existing grades to be smooth and gradual. 1.9% max. cross-slopes on all paths.
6. Grade surfaces to assure positive drainage away from all structures and to prevent ponding of surface drainage.
7. Pitch evenly between spot grading. Any discrepancies not allowing an even pitch to occur shall be reported to the Landscape Architect prior to continuing work.
8. All utility & drain lines to be coordinated with footings for site features.
9. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.
10. ALL REMOVALS & EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work.
11. All work to abide by the Order of Conditions. See Specifications Appendix A.
12. Verify existing grades in field. Notify Landscape Architect of any discrepancies or conflicts.
13. Any area outside the Limit of Work Line which is disturbed shall be restored to previous conditions at no cost to the owner. No disturbance is permitted on the resource area side of any Limit of Work.
14. Clean all drainage structures and drainage to streets.
15. Contractor to adjust all rims and handholds in the area of disturbance so that the rim/handholds are flush with adjacent grades.



**Legend:**

- Limit of Work
- 2% Proposed Slope
- 49.65 Proposed Spot Grade
- 49.97 Existing Spot Grade
- 2% Existing Slope

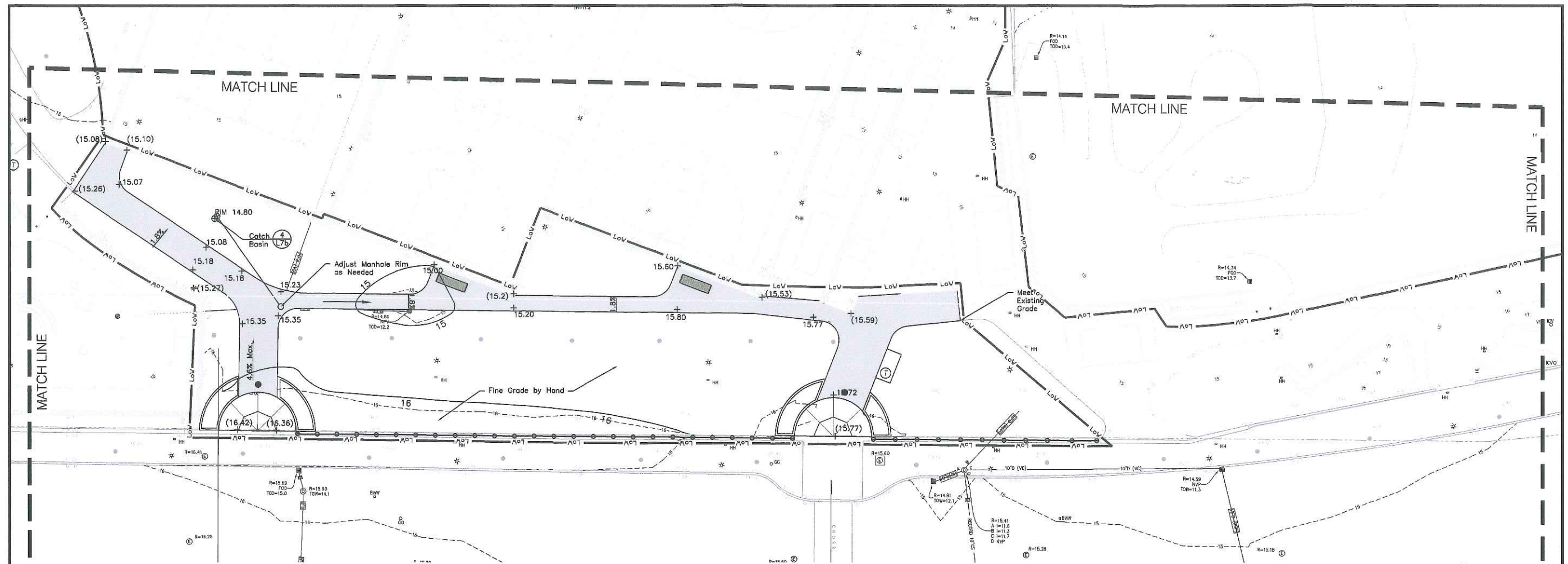
NOT FOR CONSTRUCTION

90% CDs



	Prepared By: <b>CBA   Landscape Architects LLC</b> 24 THORNHIRE STREET   CAMBRIDGE, MA 02141 www.617.645.9760   www.cbaland.com   cba@cbaland.com landscape architecture urban design master planning Consultant Project No. 1803		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision													Project Name: <h2 style="margin: 0;">Peters Park</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>BP&amp;D Project No.</td><td>44894</td></tr> <tr><td>Date</td><td>06/16/2018</td></tr> <tr><td>Scale</td><td>1" = 10'</td></tr> <tr><td>Drawn</td><td>EAT</td></tr> <tr><td>Checked</td><td>CCB/MNT</td></tr> </table>	BP&D Project No.	44894	Date	06/16/2018	Scale	1" = 10'	Drawn	EAT	Checked	CCB/MNT	Sheet Name: <h2 style="margin: 0;">Grading Plan - Area A</h2>	Sheet No.: <h2 style="margin: 0;">L-5a</h2>
No.	Date	Revision																														
BP&D Project No.	44894																															
Date	06/16/2018																															
Scale	1" = 10'																															
Drawn	EAT																															
Checked	CCB/MNT																															





Legend:

- Limit of Work
- Proposed Slope
- 49.85 Proposed Spot Grade
- (49.97) Existing Spot Grade
- 2% Existing Slope

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Prepared By: CBA | Landscape Architects LLC  
 24 TOWNSHIRE STREET | CAMBRIDGE, MA 02141  
 PHN 617.846.2780 | WWW.CBALAND.COM | CBA@CBALAND.COM  
 landscape architecture  
 urban design  
 master planning  
 Consultant Project No. 1803



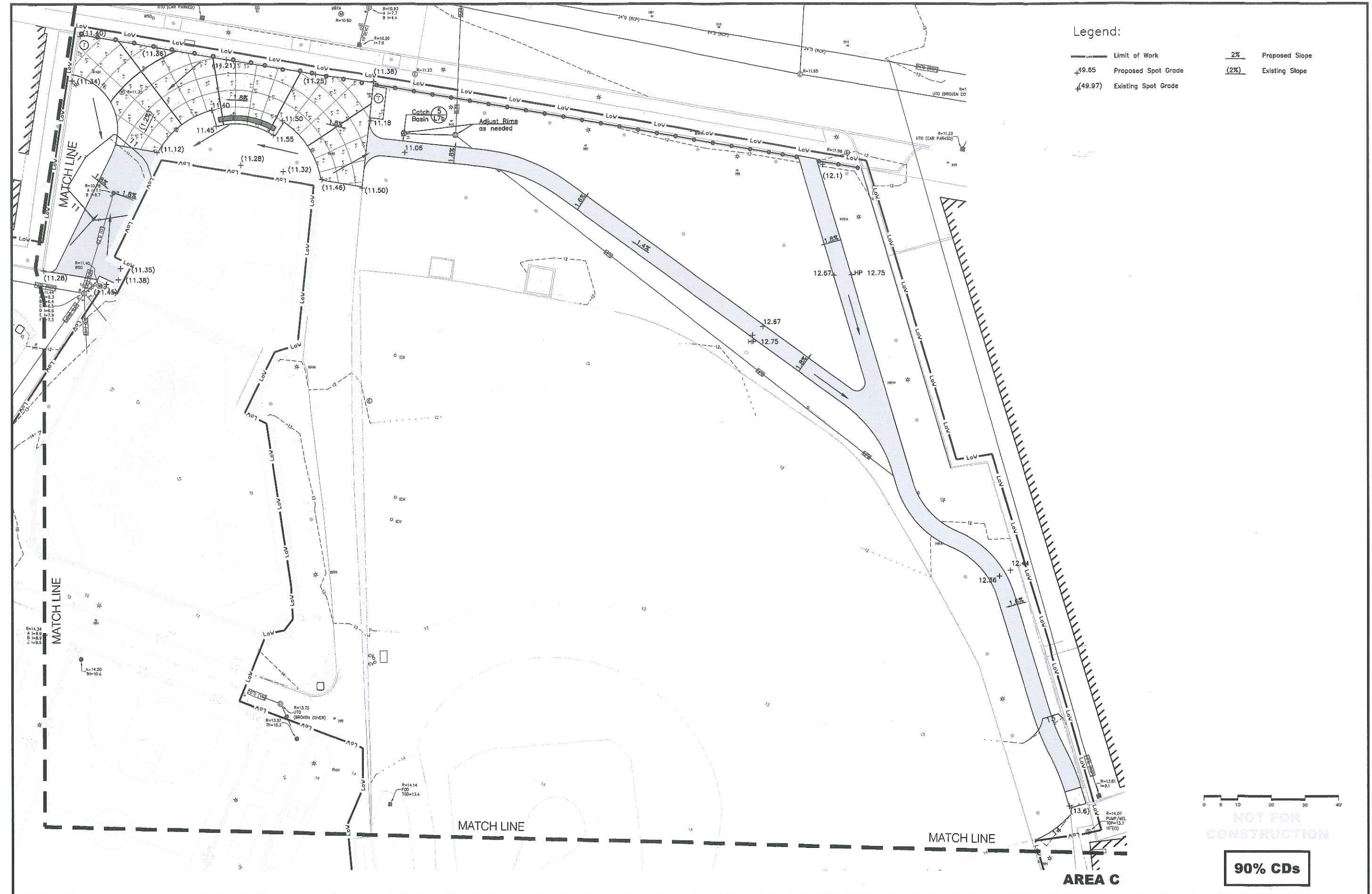
No.	Date	Revision

Project Name: **Peters Park**

SPRD Project No. 44894  
 Date 08/15/2018  
 Scale 1" = 10'  
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 Checked CCB/MNT

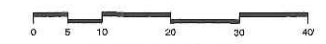
Sheet Name: **Grading Plan - Area B**

Sheet No.: **L-5b**



Legend:

- Limit of Work
- +49.65 Proposed Spot Grade
- +49.97 Existing Spot Grade
- 2% Proposed Slope
- (2%) Existing Slope



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90% CDs

AREA C



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 24 THORNDIKE STREET | CAMBRIDGE MA 02141  
 www.917.945.0789 | www.cbaland.com | cba@cballand.com  
 landscape architecture  
 urban design  
 master planning  
 Consultant Project No. 1603



No.	Date	Revision

Project Name: **Peters Park**

SPRO Project No.	44894
Date	08/15/2018
Scale	1" = 10'
Drawn	EAT
Checked	CCB/MNT

Sheet Name: **Grading Plan - Area C**

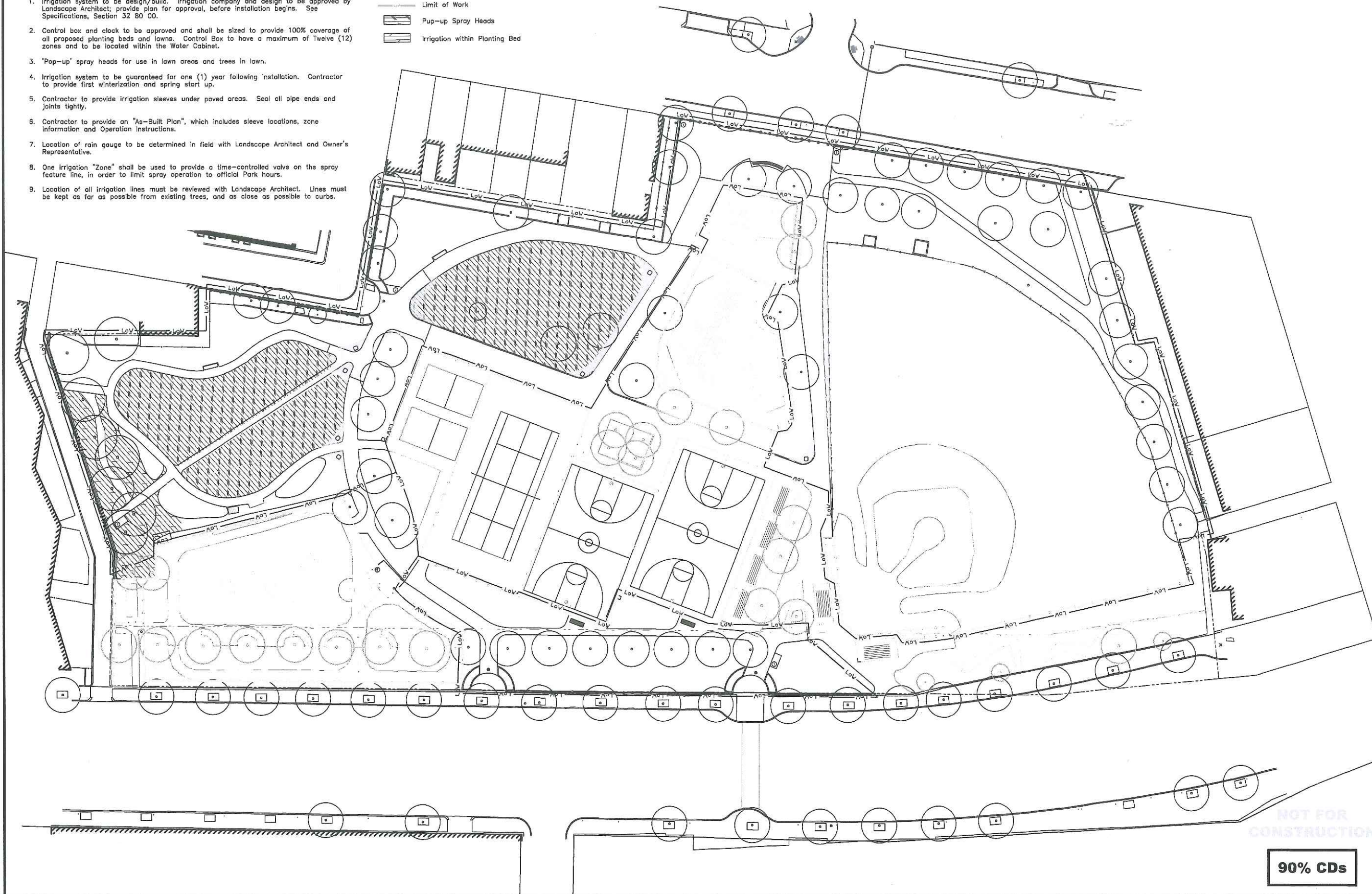
Sheet No.: **L-5c**

**Irrigation Notes**

1. Irrigation system to be design/build. Irrigation company and design to be approved by Landscape Architect; provide plan for approval, before installation begins. See Specifications, Section 32 80 00.
2. Control box and clock to be approved and shall be sized to provide 100% coverage of all proposed planting beds and lawns. Control Box to have a maximum of Twelve (12) zones and to be located within the Water Cabinet.
3. 'Pop-up' spray heads for use in lawn areas and trees in lawn.
4. Irrigation system to be guaranteed for one (1) year following installation. Contractor to provide first winterization and spring start up.
5. Contractor to provide irrigation sleeves under paved areas. Seal all pipe ends and joints tightly.
6. Contractor to provide an "As-Built Plan", which includes sleeve locations, zone information and Operation Instructions.
7. Location of rain gauge to be determined in field with Landscape Architect and Owner's Representative.
8. One irrigation "Zone" shall be used to provide a time-controlled valve on the spray feature line, in order to limit spray operation to official Park hours.
9. Location of all irrigation lines must be reviewed with Landscape Architect. Lines must be kept as far as possible from existing trees, and as close as possible to curbs.

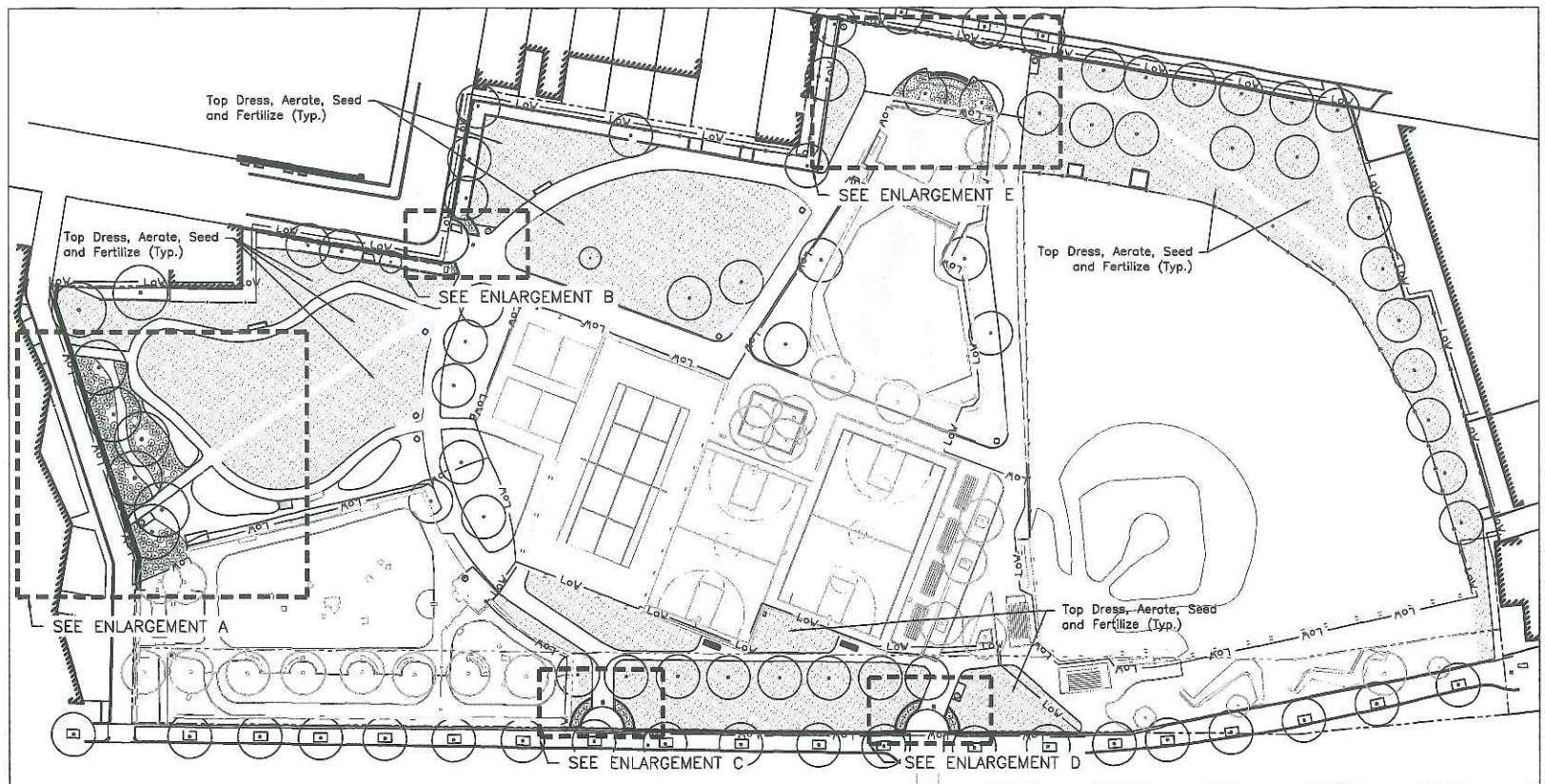
**Legend**

- Limit of Work
- ▨ Pup-up Spray Heads
- ▨ Irrigation within Planting Bed



**90% CDs**

	Prepared By: <b>CBA Landscape Architects LLC</b> <small>24 THORNDIKE STREET   CAMBRIDGE MA 02141                  phone 617.646.9765   www.cbala.com   cba@cbaland.com</small> landscape architecture urban design master planning		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision													Project Name: <b>Peters Park</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>gpr#</td><td> </td></tr> <tr><td>Project No.</td><td>44894</td></tr> <tr><td>Date</td><td>08/15/2018</td></tr> <tr><td>Scale</td><td>As Noted</td></tr> <tr><td>Drawn</td><td>EAT</td></tr> <tr><td>Checked</td><td>CCB/MNT</td></tr> </table>	gpr#		Project No.	44894	Date	08/15/2018	Scale	As Noted	Drawn	EAT	Checked	CCB/MNT	Sheet Name: <b>Irrigation Plan</b>	Sheet No.: <b>L-6a</b>
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Project No.	44894																																	
Date	08/15/2018																																	
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Drawn	EAT																																	
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				<b>NOT FOR CONSTRUCTION</b>																														



SCALE: 1" = 30'

**KEY PLANTING PLAN**

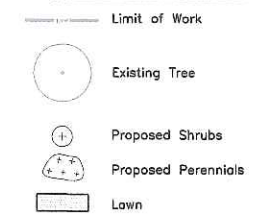
**Plant List**

SHRUBS			
SYM	QTY	BOTANICAL NAME	COMMON NAME
CA	40	Clethra alnifolia 'Sixteen Candles'	Sweet Pepperbush
DB	18	Daphne x burkwoodii 'Carol Mackie'	Daphne
IV	23	Itea virginica 'Sprich' Little Henry	Virginia Sweetpire
LF	22	Leucothoe fontanesiana 'Little Flames'	Little Flames Leucothoe
RD	35	Rhododendron 'Dora Amateis'	Evergreen Rhododendron
RR	26	Rhododendron 'Ramapo'	Evergreen Rhododendron
TB	34	Taxus baccata 'Repandens'	Spreading English Yew

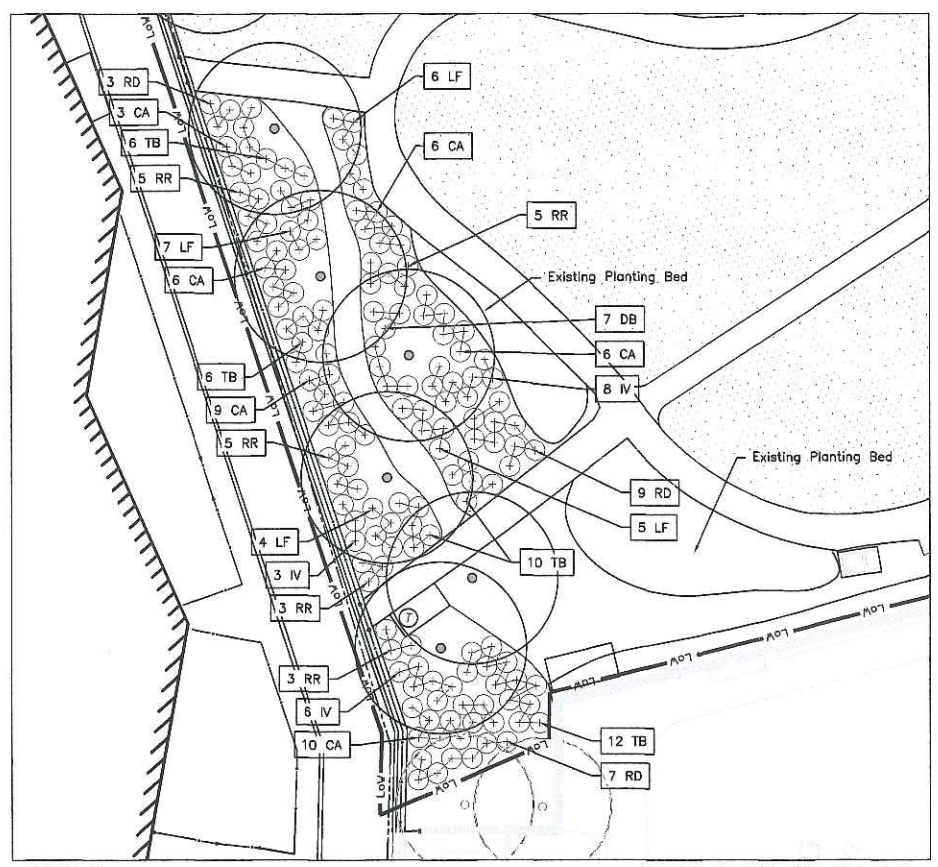
PERENNIALS & GRASSES			
SYM	QTY	BOTANICAL NAME	COMMON NAME
GG	55	Geranium 'Gerwat' Rozanne'	Cranesbill
HM	63	Hakonechloa macra 'Aureola'	Japanese Forest Grass

**Legend**



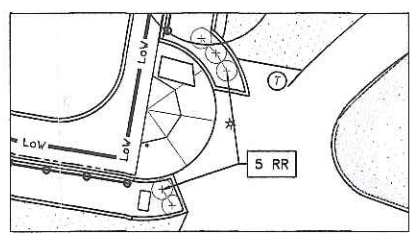
**Planting Notes**

- The Landscape Contractor shall protect all utilities prior to starting construction.
- The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on this drawing.
- All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assn. of Nurserymen.
- All plant materials to be selected by the Landscape Architect at a single nursery unless otherwise directed by Landscape Arch.
- All plant materials to be selected by the Landscape Arch. with the Contractor at the nursery.
- All plants to be located on the site for approval of the Landscape Arch. prior to installation.
- If the plant list does not agree with the planting plan, the plan shall be followed.
- The Contractor shall guarantee all plant materials for one year following installation.
- All plant beds to receive 3" shredded bark mulch; supply sample for approval of Land. Arch.
- All planting beds to have a minimum 12" depth of topsoil. All lawns to be seed. Repair all disturbed lawn areas. Add topsoil to disturbed lawns so that there is minimum 6" depth of topsoil. For new lawns rototill subsoil before adding topsoil to a depth of 6" except where root structures prohibit. Topsoil must be added over exposed tree roots. See Specs for grass seed mix and hydroseeding requirements.
- No substitution of plant materials shall be allowed without approval of Landscape Architect.
- All existing trees to be pruned, see specifications.
- All landscaped areas disturbed by construction inside/outside the Limit of Work are to be repaired by the Contractor at no additional cost to owner.



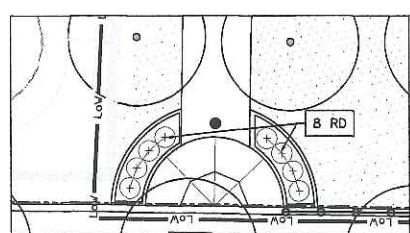
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**ENLARGEMENT A**



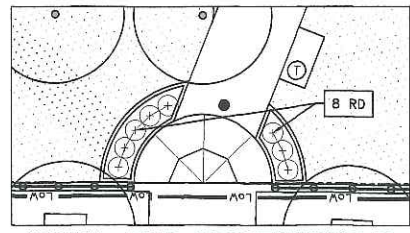
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**ENLARGEMENT B**



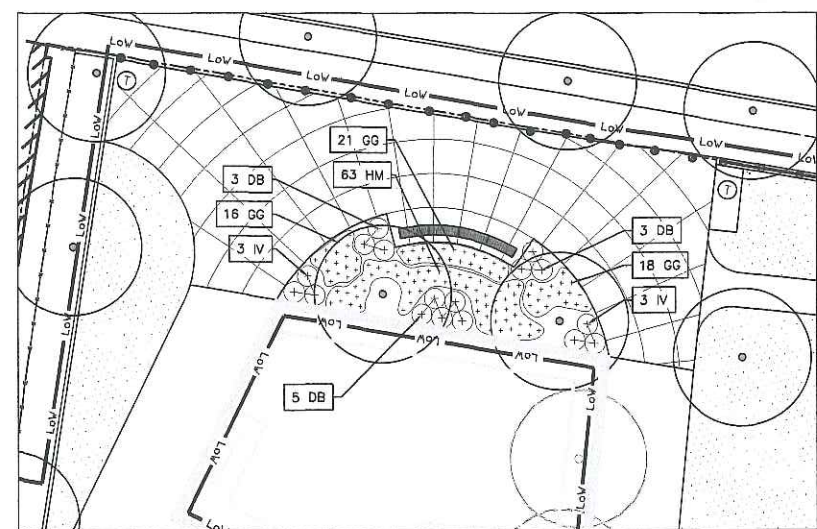
SCALE: 1" = 10'

**ENLARGEMENT C**



SCALE: 1" = 10'

**ENLARGEMENT D**



SCALE: 1" = 10'

**ENLARGEMENT E**

NOT FOR CONSTRUCTION

**90% CDs**



Prepared By: **GBA Landscape Architects LLC**  
 24 THORNDIKE STREET | CAMBRIDGE, MA 02141  
 (617) 946-9789 | www.gbaind.com | info@gbaind.com  
 landscape architecture  
 urban design  
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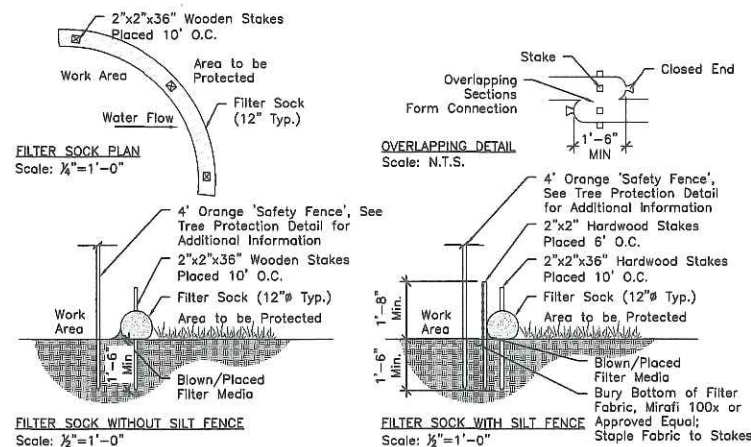
No.	Date	Revision

Project Name: **Peters Park**

Project No.	44894
Date	06/16/2018
Scale	As Noted
Drawn	EAT
Checked	CCB/MNT

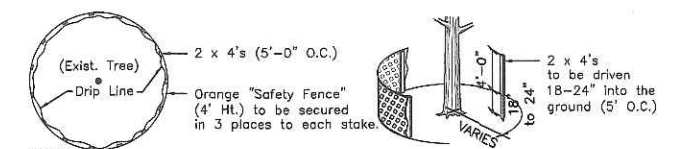
Sheet Name: **Planting Plan & Enlargements**

Sheet No.: **L-6b**



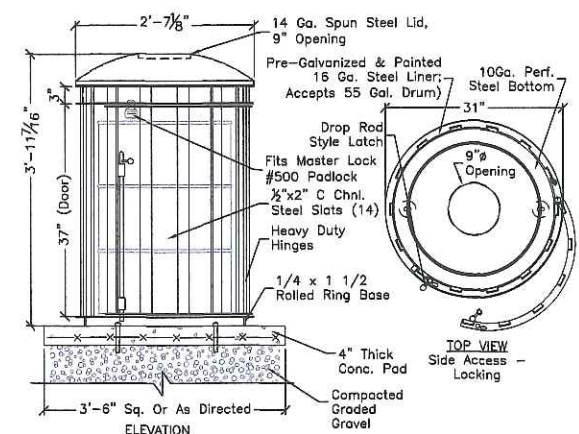
- Notes:**
1. Erosion Control Socks to be Filtrex Silt Sock, or Approved Equal. (See D1 57 00)
  2. Contractor to submit erosion control sock product information for approval by Landscape Architect.
  3. Follow all manufacturer's specifications and instructions.
  4. Snow Fence to be placed in front of all erosion control. See Tree Protection Detail for installation.

**1 Erosion Control Sock**  
Scale: 1/2" = 1'-0"



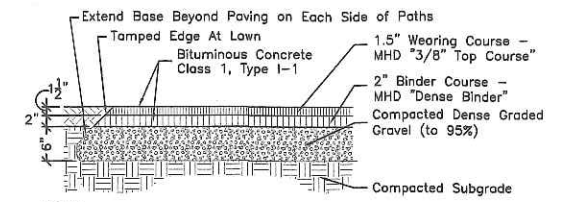
- Notes:**
1. Maintain fence protection in sound condition until project completion.
  2. Protective fence to run outside dripline unless otherwise required to install improvements. Spray or stake layout of all proposed paving edges and site features within the dripline of existing trees before beginning any demolition work or remove existing material in order to determine the maximum extents of site fencing.
  3. Layout shown above is diagrammatic only.
  4. Landscape Architect and Boston Parks to approve fence placement in field before construction begins.

**2 Tree Protection**  
Scale: 1/2" = 1'-0"



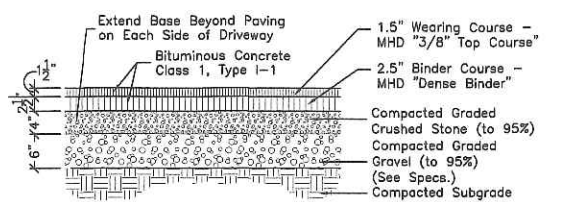
- Notes:**
1. Receptacle to meet BPRD Standards; Model CFTR-020 by Custom Fabrication Inc. of Harpurville NY or Approved Equal. See Specifications.
  2. SHOP DRAWINGS REQUIRED.
  3. All steel pieces phosphate washed, primed with zinc rich primer, and painted with exterior grade polyester powder coat. Color to be black.
  4. Surface mount to concrete paving with tamper resistant, stainless steel or galvanized hardware.
  5. All assembly hardware to be stainless steel.

**3 TRASH RECEPTACLE**  
Scale: 1" = 1'-0"

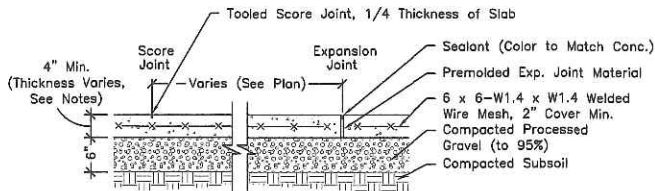


- Notes:**
- All removes and all excavations within the dripline of existing trees shall be **HAND WORD or AIR SPACE ONLY**. Cut no roots without the expressed permission of the Landscape Architect or Owners Representative

**4 Bituminous Concrete - Pathway**  
Scale: 1" = 1'-0"

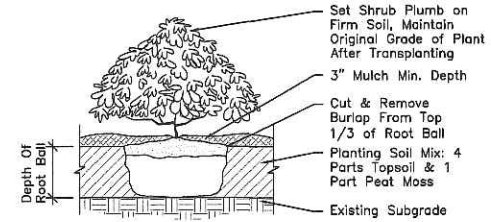


**5 Bituminous Concrete - Vehicular**  
Scale: 1" = 1'-0"



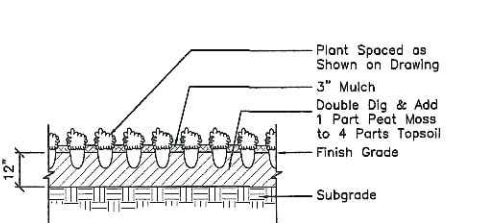
- Notes:**
1. Score joints every 6' (maximum), typical dimensions 2'x6" (see Plan). Expansion joints every 25' (maximum). Expansion joints are to be 1/2" wide. Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
  2. Concrete to be 4000 PSI (28 days), light broom finish.
  3. All concrete paving for plazas shall be 6" thick. All concrete pads under furnishings shall be 4" thick unless otherwise noted.
  4. All walks and plaza's shall slope to drain (1.8% maximum cross slope). Coordinate with existing grades.
  5. Integral colored concrete color to be approved by Landscape Architect prior to pouring see Specifications section 32 10 00 for more information.

**6 CONCRETE PAVING**  
Scale: 1" = 1'-0"

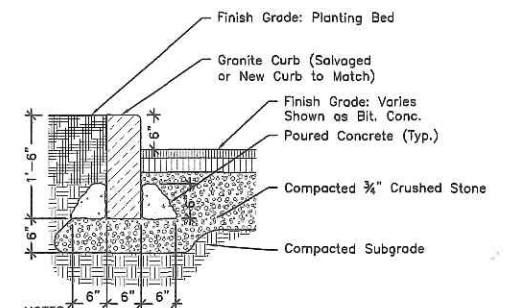


- NOTE:**
1. New shrub beds to have a minimum of one foot planting soil.

**7 SHRUB PLANTING**  
Scale: 1/2" = 1'-0"

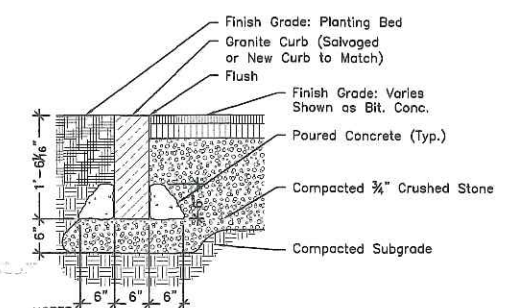


**8 GROUNDCOVER & PERENNIALS**  
Scale: 1/2" = 1'-0"



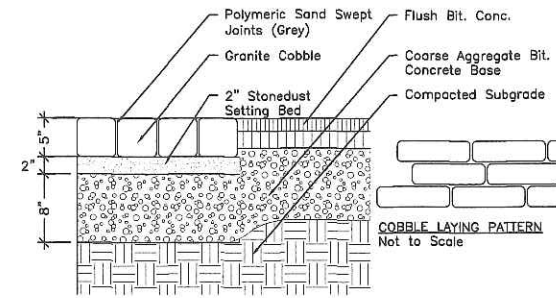
- Notes:**
1. Salvaged lengths of granite curbing shall be in good condition, as approved on site by the Landscape Architect after salvage but before installation.
  2. If approved quantity of salvaged curbing is insufficient to complete required work, new granite curbing shall be used. New granite shall match existing curb color, finish, and shape. Provide sample for approval by Landscape Architect.

**10 Granite Curb**  
Scale: 1" = 1'-0"



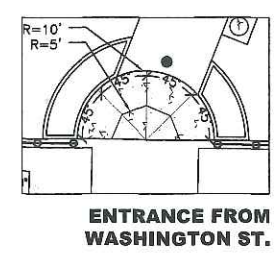
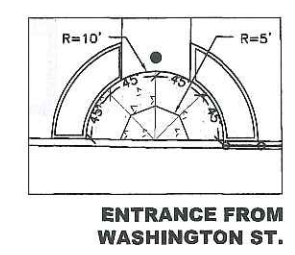
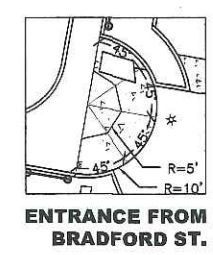
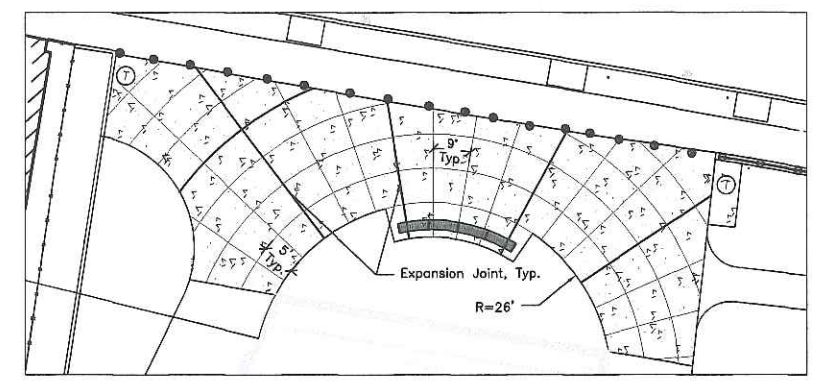
- Notes:**
1. Salvaged lengths of granite curbing shall be in good condition, as approved on site by the Landscape Architect after salvage but before installation.
  2. If approved quantity of salvaged curbing is insufficient to complete required work, new granite curbing shall be used. New granite shall match existing curb color, finish, and shape. Provide sample for approval by Landscape Architect.

**11 Granite Edging**  
Scale: 1" = 1'-0"



- Notes:**
1. All Cobbles to be mortared in place on bit. concrete.
  2. Slope to pitch away from bituminous concrete.
  3. Joints between cobbles to be filled with polymeric sand.
  4. Cobbles to be tumbled 5"x9"x5" granite cobbles

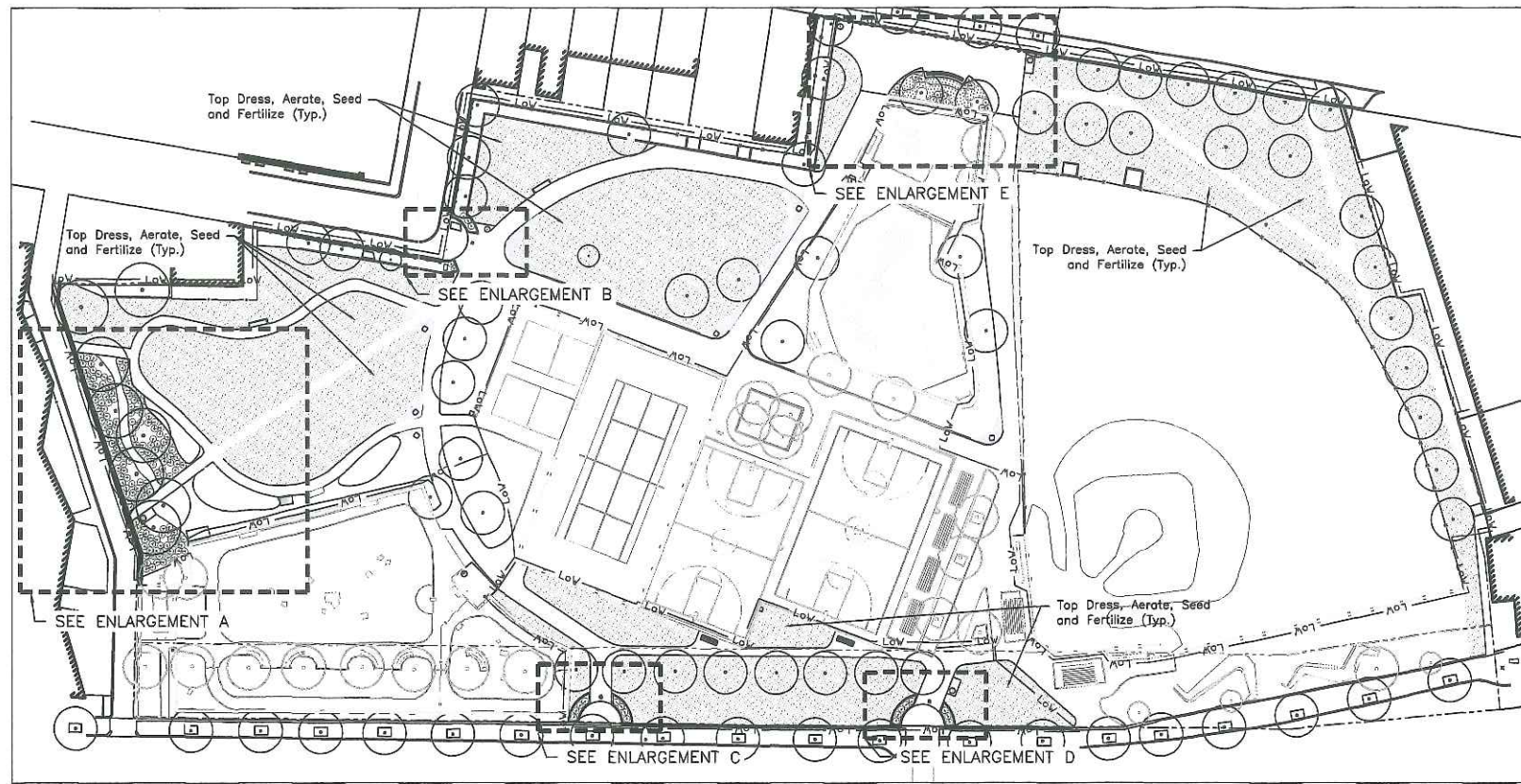
**12 GRANITE COBBLE APRON**  
Scale: 1-1/2" = 1'-0"



**9 CONCRETE SCORING PATTERNS**  
Scale: 1" = 10"

NOT FOR CONSTRUCTION

90% CDs



SCALE: 1" = 30'

**KEY PLANTING PLAN**

**Plant List**

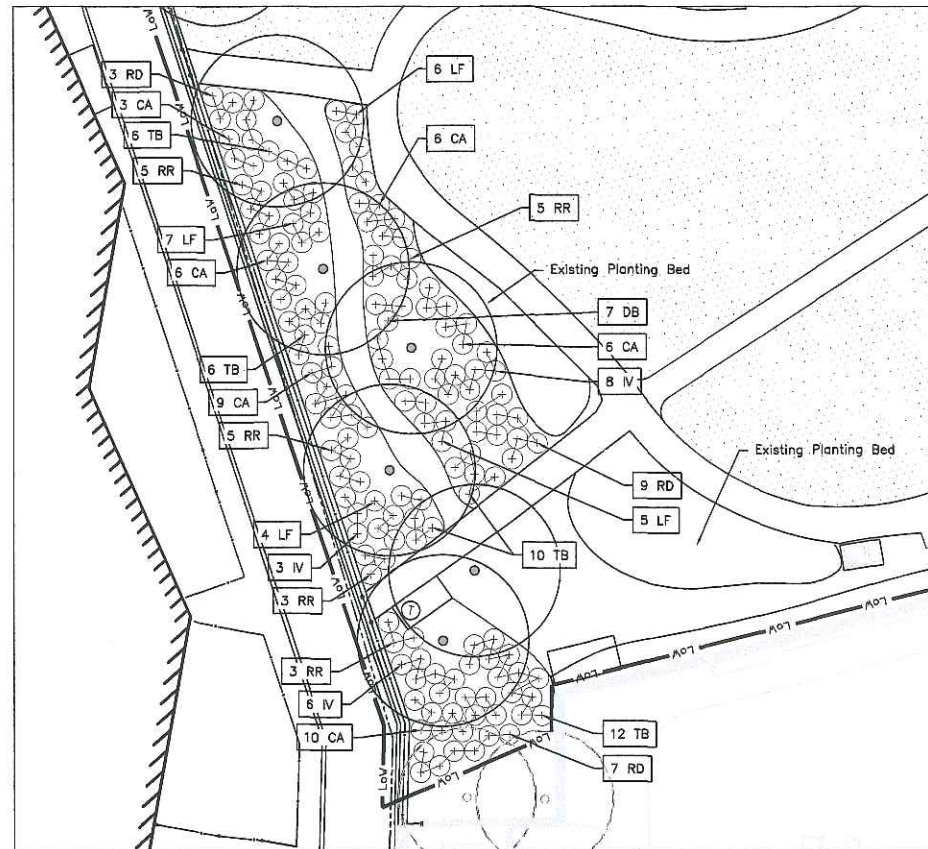
SHRUBS				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CA	40	Clethra alnifolia 'Sixteen Candles'	Sweet Pepperbush	#3 Pot, 24-36 in.
DB	18	Daphne x burkwoodii 'Carol Mackie'	Daphne	#2 Pot, 24-30 in.
IV	23	Itea virginica 'Sprich' Little Henry	Virginia Sweetspire	#3 Pot, 24-36 in.
LF	22	Leucothoe fontanesiana 'Little Flames'	Little Flames Leucothoe	#3 Pot, 18-24 in.
RD	35	Rhododendron 'Dora Amateis'	Evergreen Rhododendron	#2 Pot, 18-24 in.
RR	26	Rhododendron 'Ramapo'	Evergreen Rhododendron	#2 Pot, 18-24 in.
TB	34	Taxus baccata 'Repandens'	Spreading English Yew	#2 Pot, 15-18 in.
PERENNIALS & GRASSES				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
GG	55	Geranium 'Gerwat' Rozanne'	Cranesbill	#1 Pot, 8-16 in.
HM	63	Hakonechloa macro 'Aureola'	Japanese Forest Grass	#1 Pot, 8-16 in.

**Legend**

- Limit of Work
- Existing Tree
- Proposed Shrubs
- Proposed Perennials
- Lawn

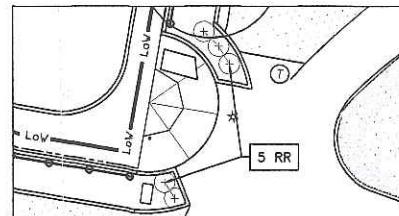
**Planting Notes**

1. The Landscape Contractor shall protect all utilities prior to starting construction.
2. The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on this drawing.
3. All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assn. of Nurserymen.
4. All plant materials to be selected by the Landscape Architect at a single nursery unless otherwise directed by Landscape Arch.
5. All plant materials to be selected by the Landscape Arch. with the Contractor at the nursery.
6. All plants to be located on the site for approval of the Landscape Arch. prior to installation.
7. If the plant list does not agree with the planting plan, the plan shall be followed.
8. The Contractor shall guarantee all plant materials for one year following installation.
9. All plant beds to receive 3" shredded bark mulch; supply sample for approval of Land. Arch.
10. All planting beds to have a minimum 12" depth of topsoil. All lawns to be seed. Repair all disturbed lawn areas. Add topsoil to disturbed lawns so that there is minimum 6" depth of topsoil. For new lawns rototill subsoil before adding topsoil to a depth of 6" except where root structures prohibit. Topsoil must be added over exposed tree roots. See Specs for grass seed mix and hydroseeding requirements.
11. No substitution of plant materials shall be allowed without approval of Landscape Architect.
12. All existing trees to be pruned, see specifications.
13. All landscaped areas disturbed by construction inside/outside the Limit of Work are to be repaired by the Contractor at no additional cost to owner.



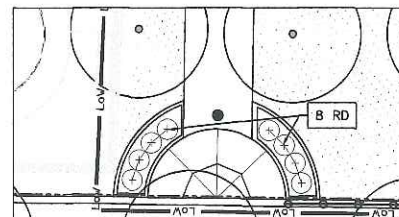
SCALE: 1" = 10'

**ENLARGEMENT A**



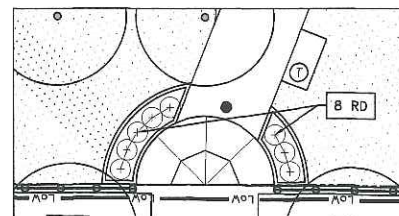
SCALE: 1" = 10'

**ENLARGEMENT B**



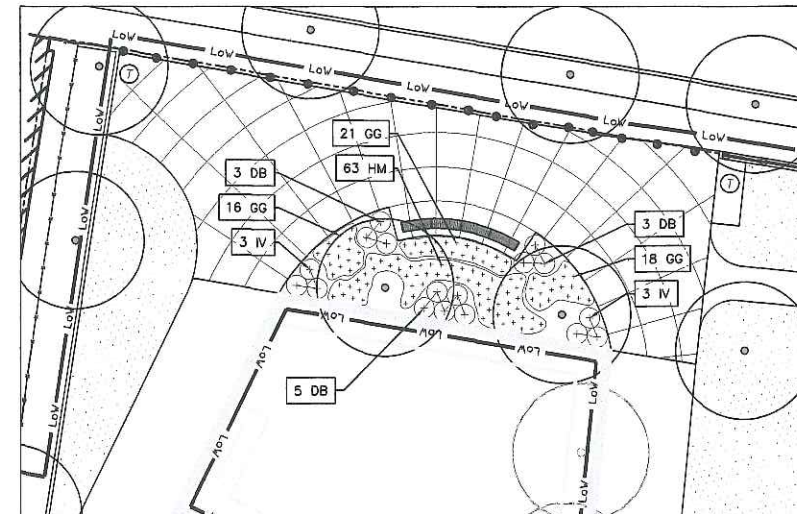
SCALE: 1" = 10'

**ENLARGEMENT C**



SCALE: 1" = 10'

**ENLARGEMENT D**



SCALE: 1" = 10'

**ENLARGEMENT E**

NOT FOR CONSTRUCTION

**90% CDs**

Prepared By: **CBA Landscape Architects LLC**  
 24 THORNDIKE STREET | CAMBRIDGE MA 02141  
 www.617.946.9789 | www.cbalandscape.com | cba@cbalandscape.com  
 landscape architecture  
 urban design  
 master planning  
 Consultant Project No. 1803

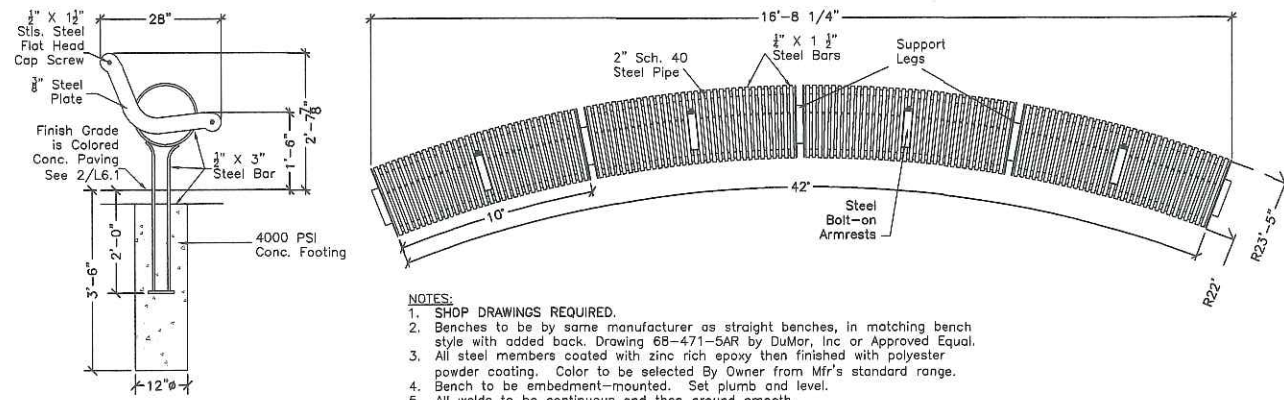
No.	Date	Revision

Project Name: **Peters Park**

Sheet Name: **Planting Plan & Enlargements**

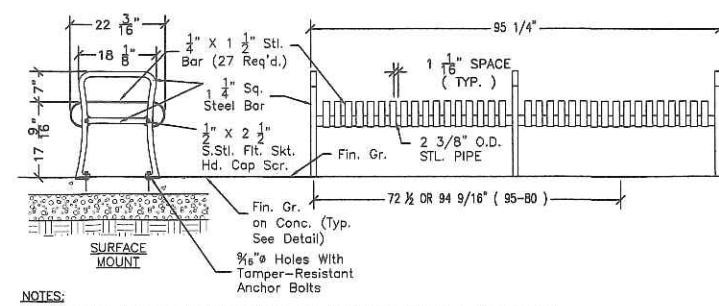
Sheet No.: **L-6b**

APPD Project No.	44894
Date	08/16/2018
Scale	As Noted
Drawn	EAT
Checked	CCB/MNT



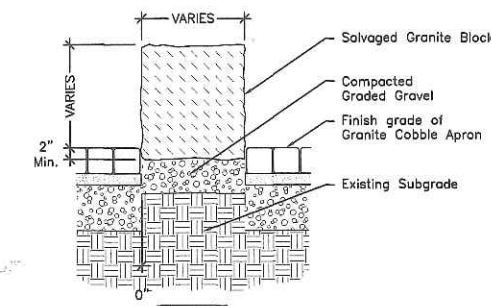
- NOTES:**
1. SHOP DRAWINGS REQUIRED.
  2. Benches to be by same manufacturer as straight benches, in matching bench style with added back.
  3. All steel members coated with zinc rich epoxy then finished with polyester powder coating. Color to be selected by Owner from Mfr's standard range.
  4. Bench to be embedment-mounted. Set plumb and level.
  5. All welds to be continuous and then ground smooth.
  6. All benches shall be shipped fully assembled.
  7. Set benches level. Shim as required.

**1 CURVED BACKED BENCH**  
Scale: 3/4" = 1'-0"



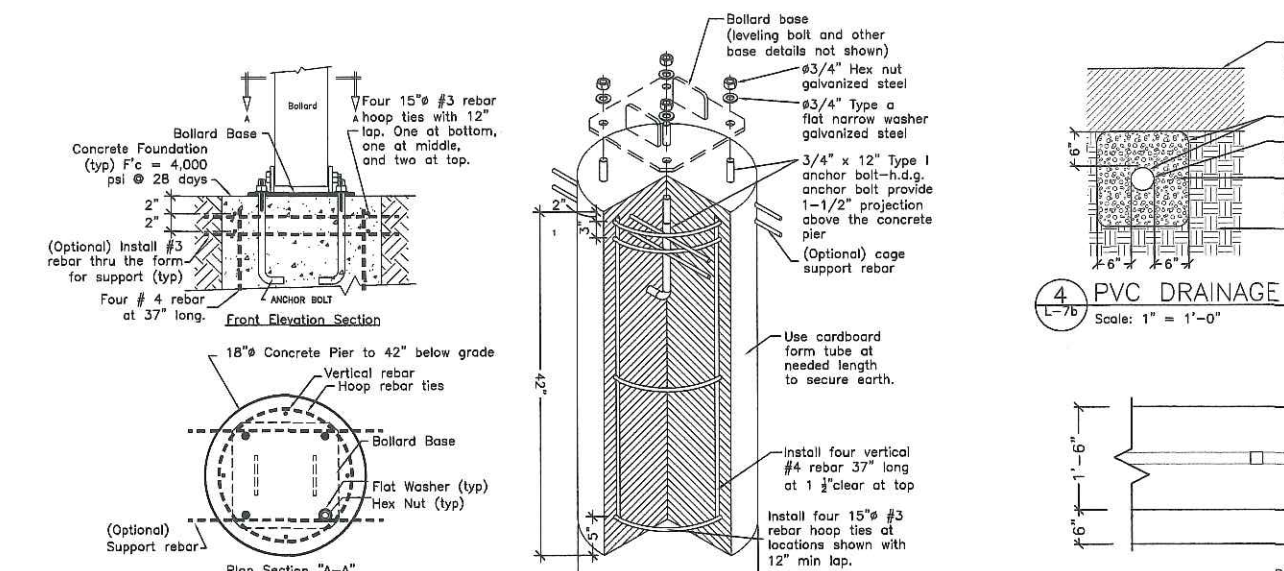
- NOTES:**
1. Backless benches to be by DuMor, Inc., Mifflintown, PA, ph. 1.800.598.4018, Model # 95-80/S-1(8 ft), or Approved Equal.
  2. All steel members to be polyester powder coated. Color to be selected from standard colors. Touch-up Paint Kit to be provided.
  3. All welds to be continuous and then ground smooth.
  4. All benches shall be shipped fully assembled.
  5. Set benches level. Shim as required.

**3 STEEL STRAP BACKLESS BENCH**  
Scale: 3/4" = 1'-0"



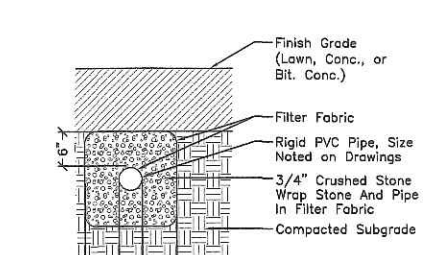
- NOTES:**
1. SHOP DRAWINGS REQUIRED.
  2. Granite to be existing, salvaged blocks from on site. Width to be ±18" minimum. Length and height dimensions may vary.

**6 GRANITE BOULDER**  
Scale: 1" = 1'-0"

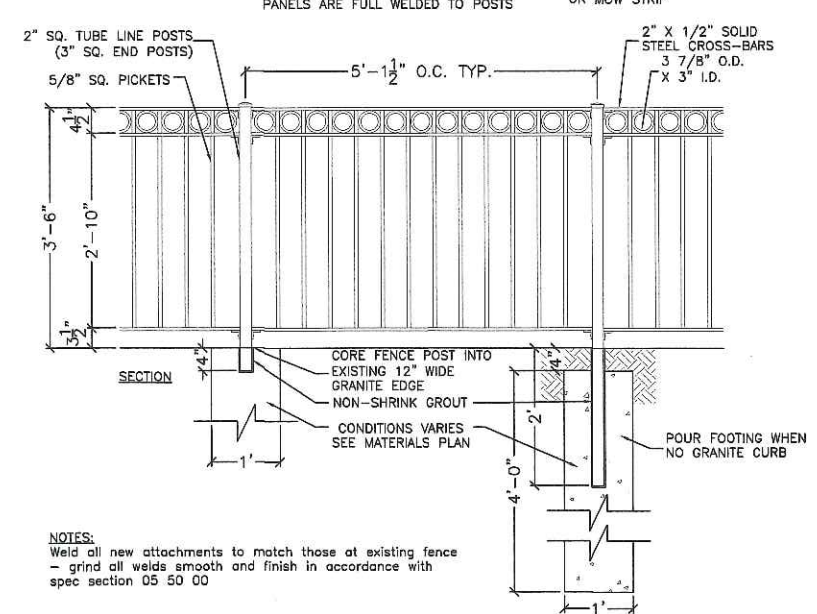
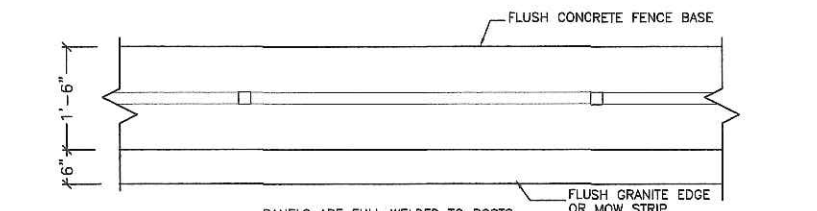


- NOTES:**
1. All Steel Work shall conform to the AISC "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings" - Latest Edition unless noted on the dwg.
  2. All Welding shall be performed by qualified welders and shall conform to the American Welding Society ANSI/AWS D1.1- Latest Edition of the Structural Welding Code-Steel.
  3. All Material shall be new and shall be as noted on the drawing and/or in the Bill of Material. SS indicates Stainless Steel and HDG Indicates Hot Dip Galvanized.
  4. All Painting Work shall conform to the manufacturer's specification and installation instructions and the SSPC (Steel Structures Painting Council) and as noted on the dwg.
  5. All hole center dimensions shall have a tolerance of 1/16 inch± and other dimensions shall have a tolerance of 1/8 inch± unless noted on the drawing.
  6. All work shall be packaged and shipped per specific instructions by manufacturer.

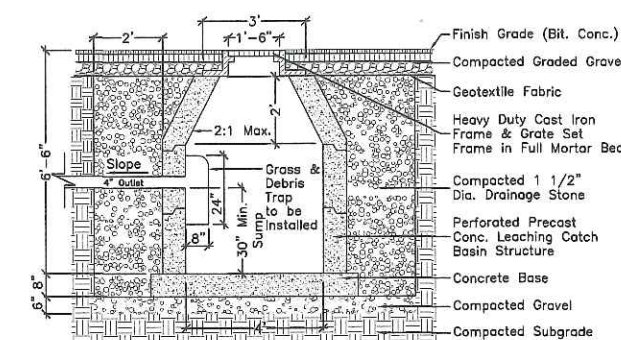
**2 COLLAPSIBLE BOLLARD**  
Scale: 1" = 1'-0"



**4 PVC DRAINAGE PIPE**  
Scale: 1" = 1'-0"



**5 Ornamental Fence**  
Scale: 1" = 1'-0"



**7 CATCH BASIN STRUCTURE**  
Scale: 1/2" = 1'-0"

- NOTES:**
1. Heavy duty cast iron frame and grate (18" diameter) with ADA slot openings by: Lebaron Foundry (or approved equal).
  2. Four inch diameter PVC outlet to slope to existing drainage structure as shown on the plan above. Sloped pipe shall be 1/4" per foot minimum. Confirm elevations and spot grades prior to construction.
  3. Manufacturer's Shop Drawings Required.

NOT FOR CONSTRUCTION

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