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f: 617.426.5491

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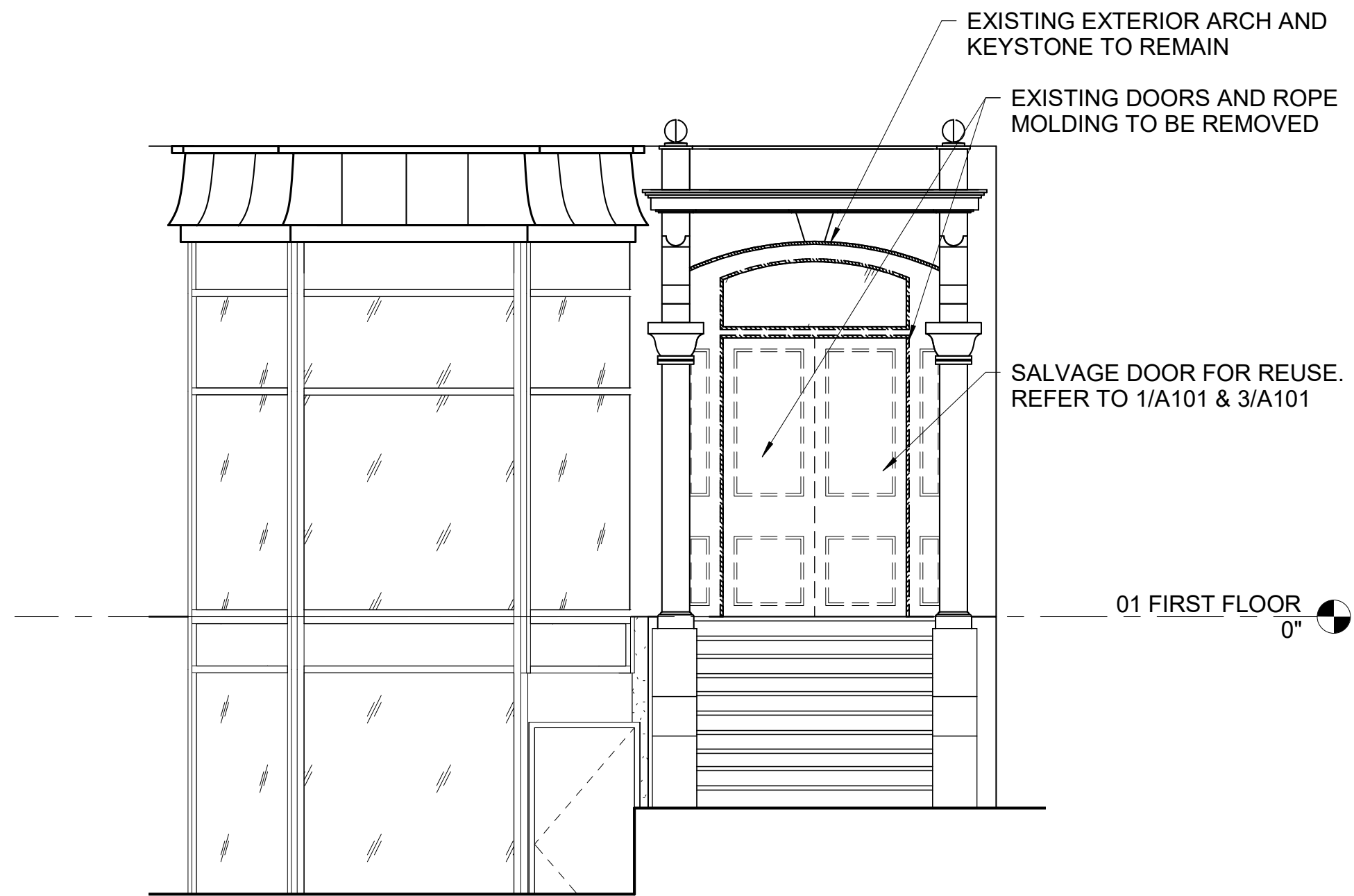
DESIGN DEVELOPMENT



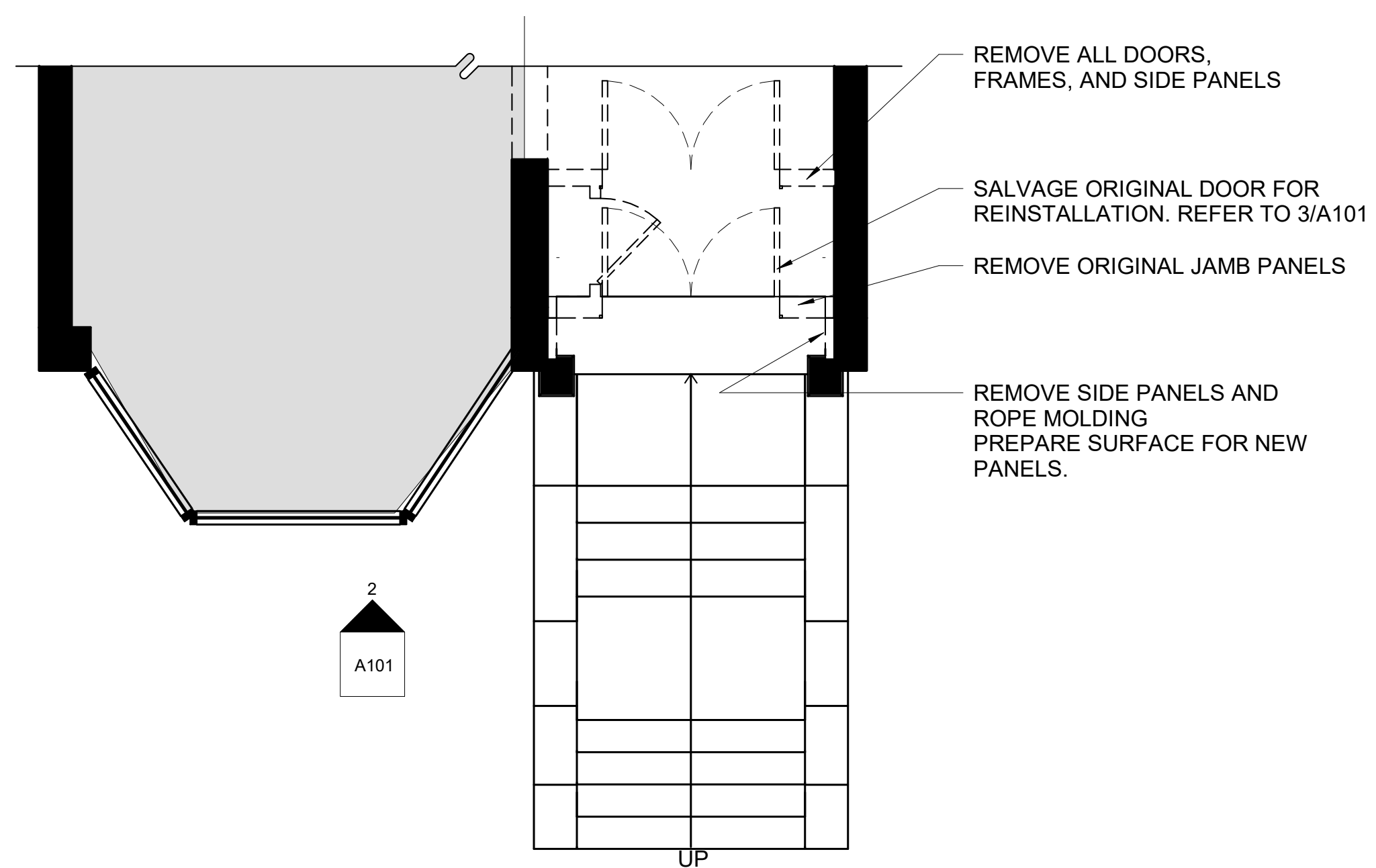
No.	Description	Date

Scale 1/4" = 1'-0"
Project Number 2017.80
Date 11/21/2017
Drawn by JWC + MR
Checked by TT

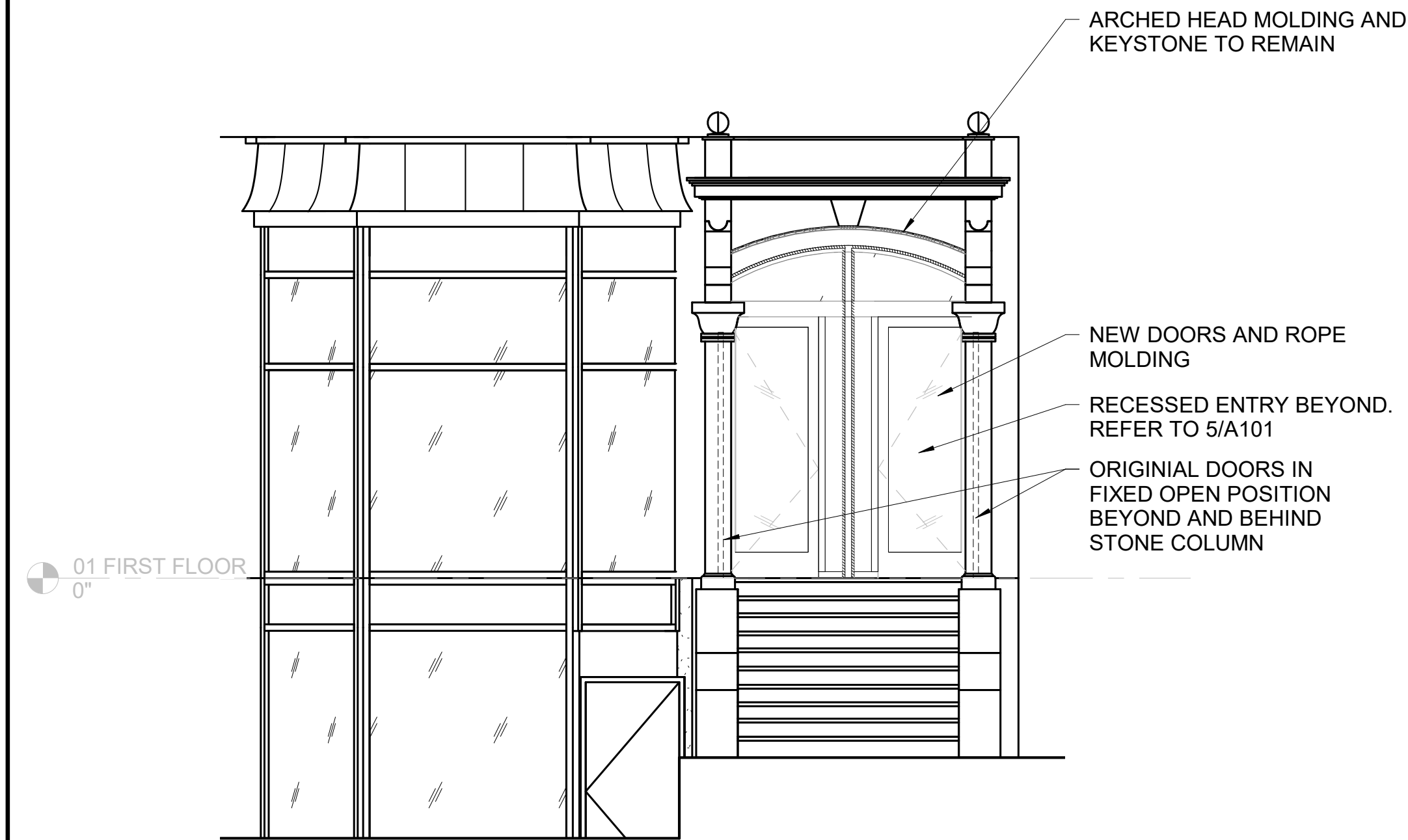
A101
PROPOSED ENTRY
PLANS AND
ELEVATIONS



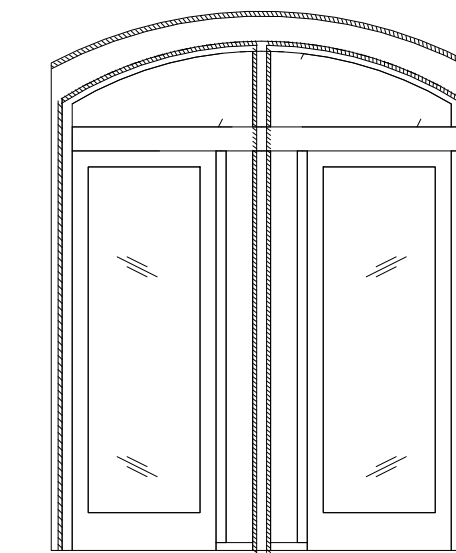
2 EXISTING ELEVATION
1/4" = 1'-0"



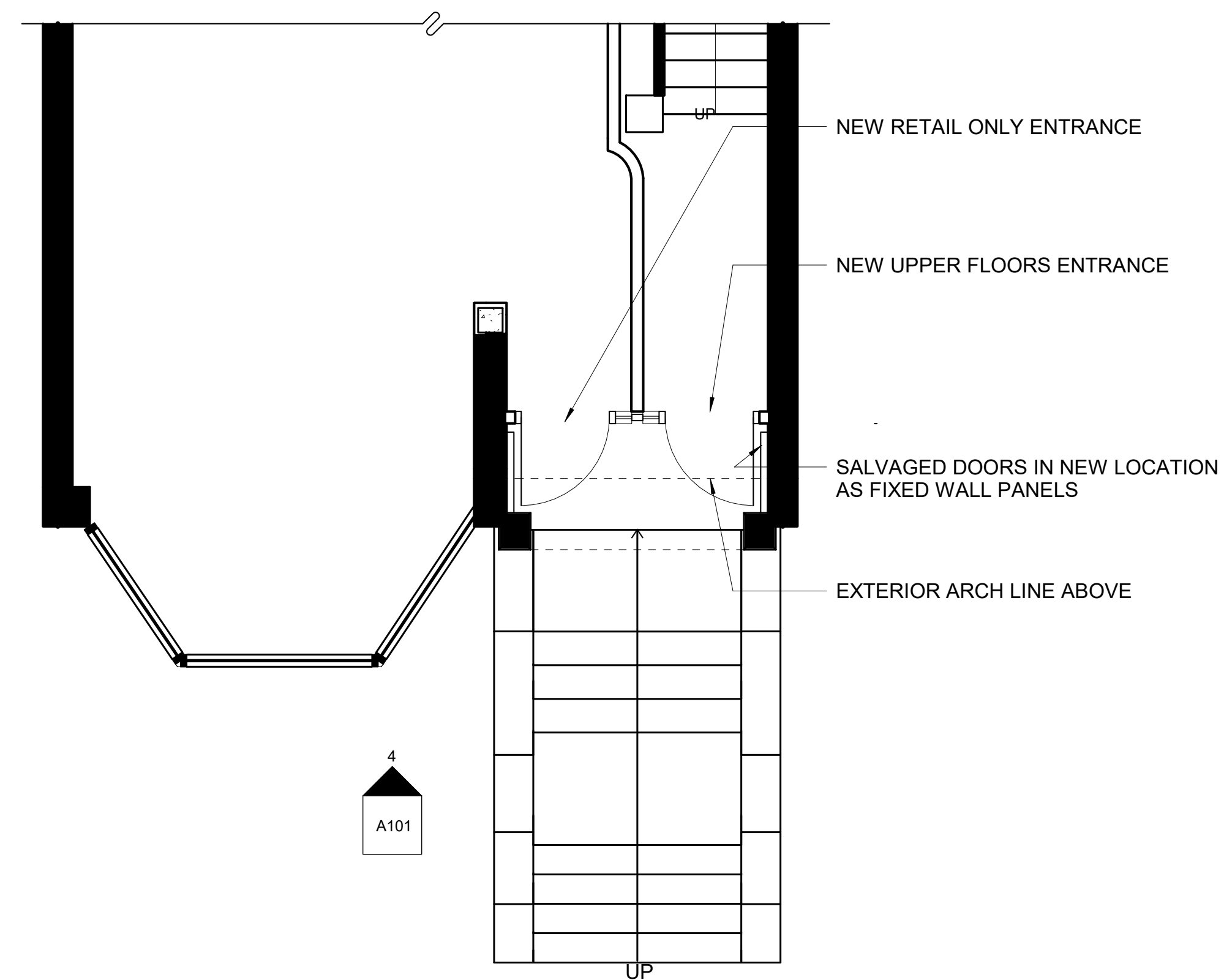
1 EXISTING ENTRY
1/4" = 1'-0"



4 PROPOSED ENTRY ELEVATION
1/4" = 1'-0"



5 PROPOSED RECESSED ENTRY ELEVATION
1/4" = 1'-0"



3 PROPOSED ENTRY
1/4" = 1'-0"

123 Newbury Street

UrbanMeritage

123 Newbury Street
Boston, MA

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DESIGN DEVELOPMENT



No.	Description	Date

Scale
Project Number 2017.80
Date 11/21/2017
Drawn by MR
Checked by JC

P1
ENTRY VIEW



BEFORE



AFTER

NEW ROPE MOLDING TO EMULATE EXISTING ENTRY STYLE. NEW ASHFORD PANELS TO MATCH EXISTING ENTRY STYLE.

123 Newbury Street

UrbanMeritage

123 Newbury Street
Boston, MA

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DESIGN DEVELOPMENT



No.	Description	Date

Scale
Project Number 2017.80
Date 11/21/2017
Drawn by MR
Checked by JC

P2
ENTRY VIEW

AREAS TO BE CORRECTED



BEFORE

RECOATED AREAS OF BUILDING TO CORRECT COLOR DISCREPANCY

NEW RETAIL ONLY ENTRANCE

NEW UPPER FLOORS ENTRANCE



AFTER

NEW ROPE MOLDING TO EMULATE EXISTING ENTRY STYLE. NEW ASHFORD PANELS IN CEILING TO EMULATE EXISTING STYLE.

REUSED DOORS AS SIDE PANELS

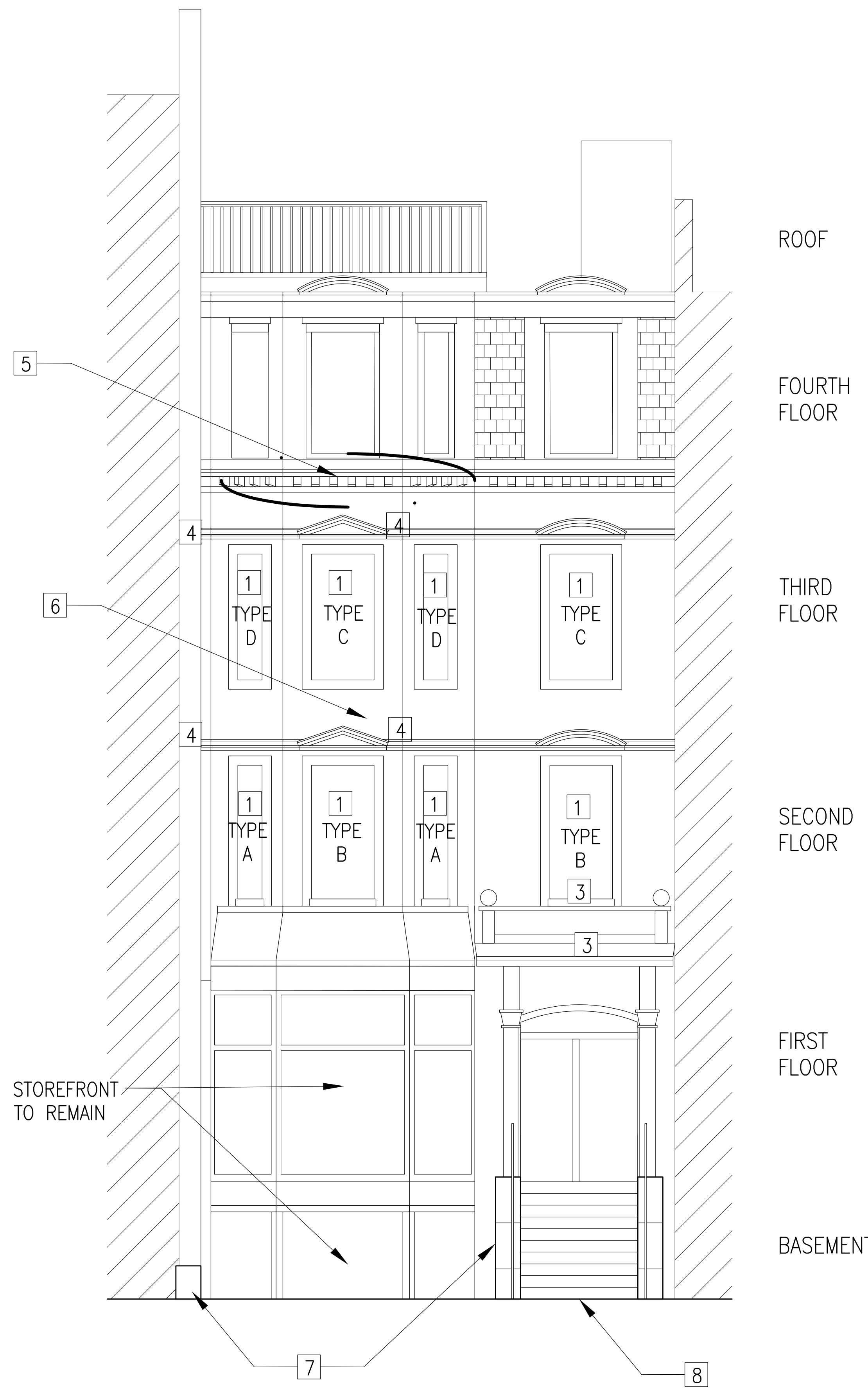
FACADE WORK NOTES:

- REMOVE AND REPLACE WINDOW. DESIGN BASED ON MARVIN MAGNUM, DOUBLE HUNG, FULL LITE WOOD WINDOW, LOW-E ARGON FILLED IG. COVER EXIST. WOOD SILLS WITH SELF ADHERED MEMBRANE FLASHING AND ALUM. CLADDING. REMOVE AND REPLACE INTERIOR TRIM FOR WINDOW INSTALLATION. RESTORE AND FIELD PAINT EXISTING EXTERIOR WOOD TRIM AT WINDOW PERIMETER.

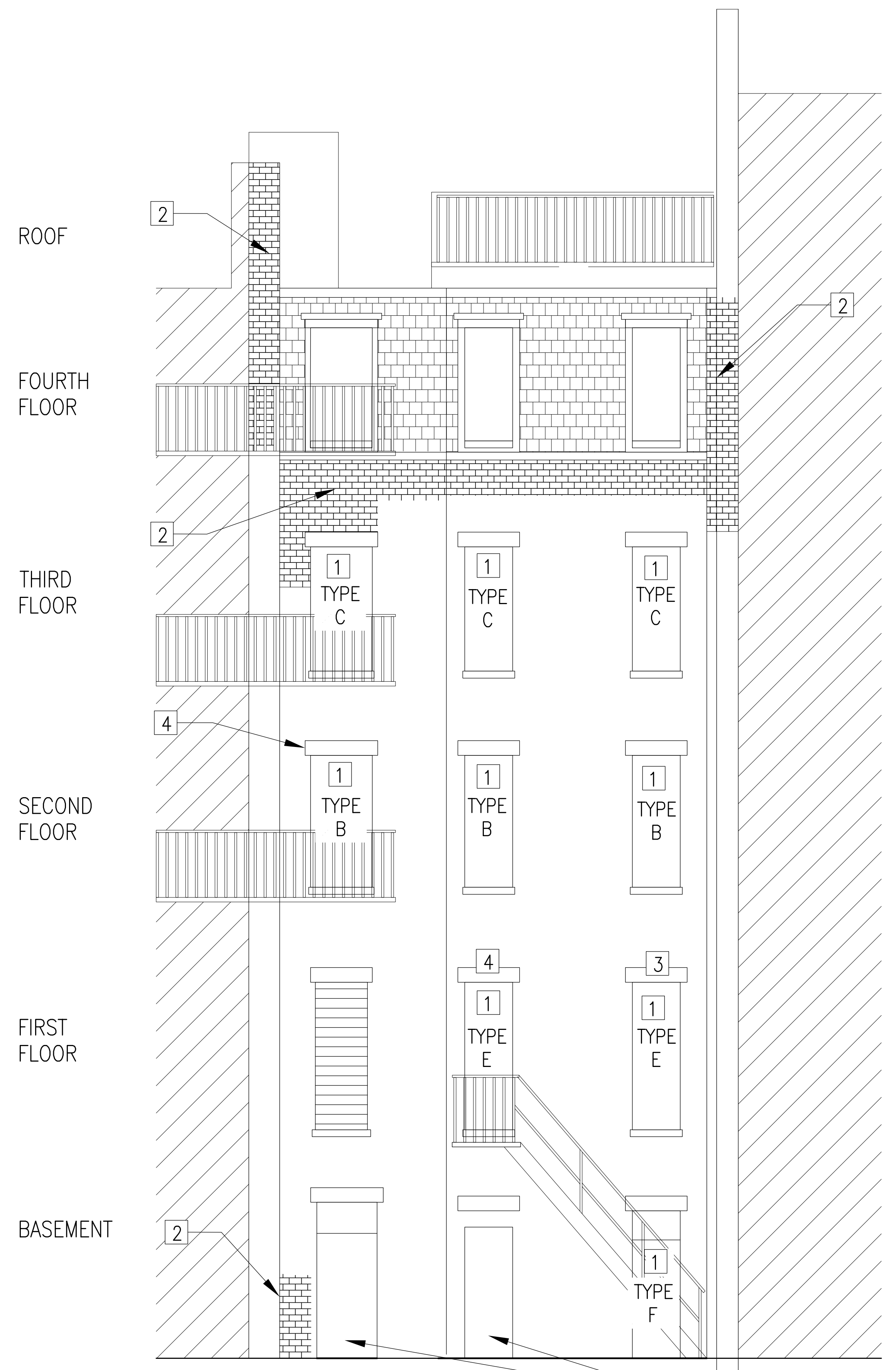
WINDOW REPLACEMENT SCHEDULE:

TYPE A R.O. 31.5"X84"
TYPE B R.O. 43.5"X84"
TYPE C R.O. 43.5"X78"
TYPE D R.O. 31.5"X78"
TYPE E R.O. 38"X93"
TYPE F R.O. 38"X68"

- CUT AND REPOINT BRICK MASONRY (HATCHED AREAS SHOWN). MORTAR TO MATCH EXISTING IN COLOR, TEXTURE AND TOOLING.
- BROWNSTONE CRACK REPAIR. USE CONPROCO MIMIC REPAIR MORTAR, OR APPROVED EQUAL.
- BROWNSTONE SPALL REPAIR. USE CONPROCO MIMIC REPAIR MORTAR, OR APPROVED EQUAL.
- RECONSTRUCT SAGGING ROOF CORNICE. REMOVE AND REPLACE COPPER SKIRT ROOF. REFRAME CORNICE ROOF. REMOVE AND REPLACE TEN DETERIORATED DENTIL BLOCKS. PROVIDE NEW 20 OZ. COPPER CLADDING WITH FLAT, SOLDERED SEAMS AND INTEGRAL GUTTER.
- POWERWASH AND RE-COAT ENTIRE FRONT FACADE WITH CONPROCO ELASTOMERIC WATERPROOF COATING. NOTE EXISTING COATING PRESENT.
- PATCH SPALLS AND CRACKS AT ENTRY STEPS AND LOWER PATIO RETAINING WALLS. CLEAN AND REPAINT ALL METAL RAILINGS AT STEPS AND WALLS.
- RESTORE CAST IRON LIGHT WELL MEDALIONS AT BASEMENT VAULT.



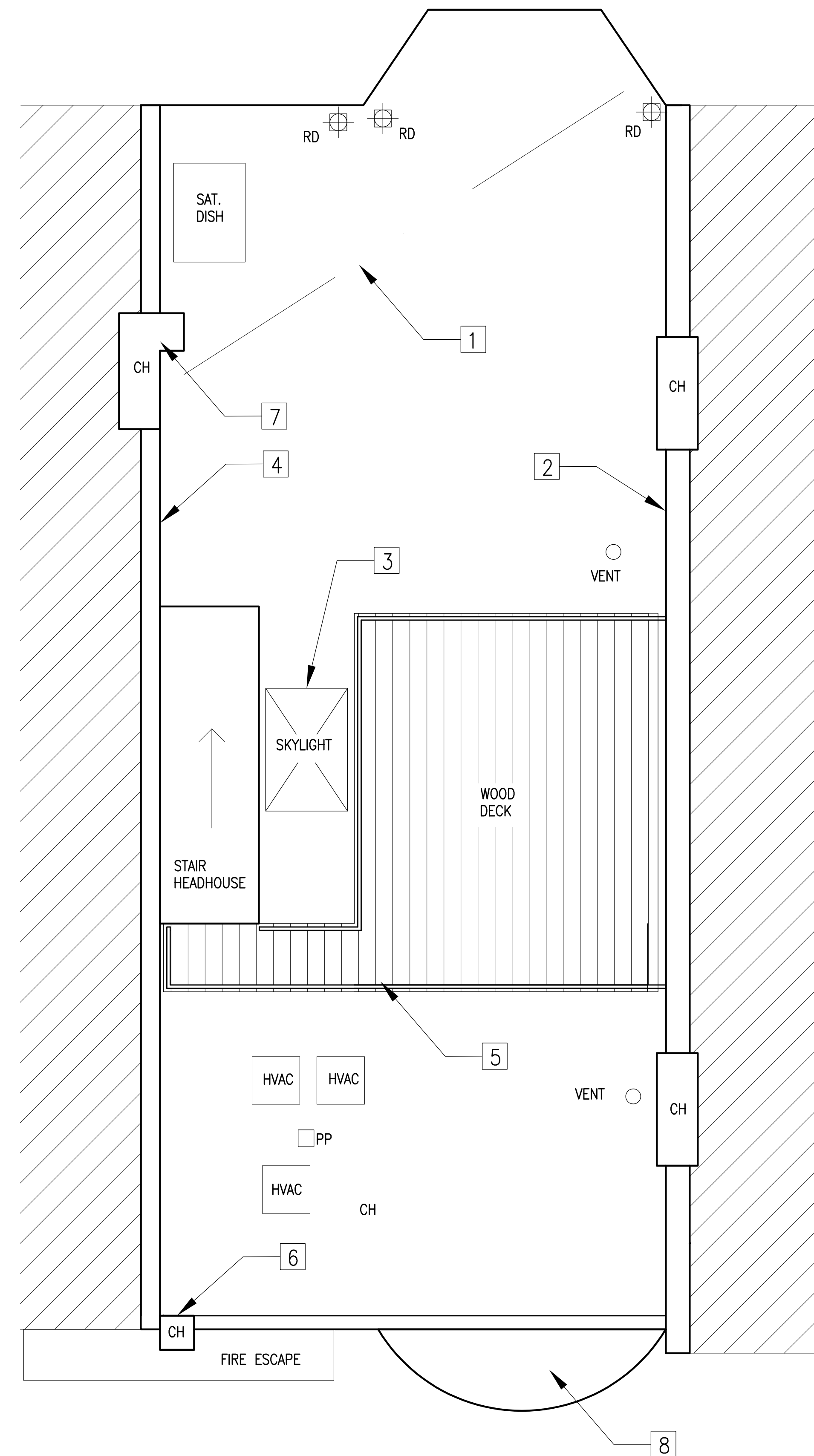
FRONT ELEVATION
SCALE 1/4" = 1 FT.



REAR ELEVATION
SCALE 1/4" = 1 FT.

ROOF WORK NOTES:

1. STRIP IN SEAM AT ELEVATION TRANSITION WITH NEW 9" SEMIO-CURED SELF ADHERED EPDM FLASHING.
2. CUT IN NEW 16 OZ. COPPER REGLET FLASHING ENTIRE LENGTH OF RISING BRICK MASONRY WALL. AT DECK, STEP NEW FLASHING UP 2 COURSES OF BRICK ABOVE DECKING.
3. REMOVE AND REPLACE EXISTING SKYLIGHT WITH NEW DOUBLE DOME, CLEAR ACRYLIC UNIT.
4. RESECURE METAL COPING FLASHING AT PARTY WALL.
5. SCRAPE AND PAINT METAL RAILING AT DECK. INSTALL NEW POST CAPS AT ALL WOOD POSTS.
6. REPOINT CHIMNEY 100%, ALL FOUR SIDES, ENTIRE HEIGHT FROM 4TH FLOOR FIRE ESCAPE PLATFORM UP TO TOP OF CHIMNEY.
7. SPOT REPOINT 25% OF L-SHAPED CHIMNEY AND RESECURE LOOSE BRICKS IN FLUE.
8. REMOVE AND REPLACE LOWER BUILT-UP ASPHALT ROOF WITH NEW ADHERED .060 EPDM MEMBRANE ROOF SYSTEM. PROVIDE NEW MECHANICALLY FASTENED POLYISO INSULATION, R-30. PROVIDE NEW 20 OZ. COPPER GUTTER, CONNECTED TO EXISTING DOWNSPOUT.



ROOF PLAN

SCALE 1/4" = 1 FT.

DRAWING TITLE:

ROOF PLAN

PROJECT NO: 17051

DRAWN BY: DAH

CHECKED BY: LER

FILE NAME: 17051-plans.dwg

SCALE: AS NOTED

DATE: 9/15/2017

DRAWING NUMBER:

A-102

BET

BUILDING ENVELOPE TECHNOLOGIES, INC.
417 PURCHASE STREET
SOUTH EASTON, MA 02375
(T) 508 238 3587
(F) 508 238 2716
WWW.BUILDINGENVELOPETECH.COM

OWNER:

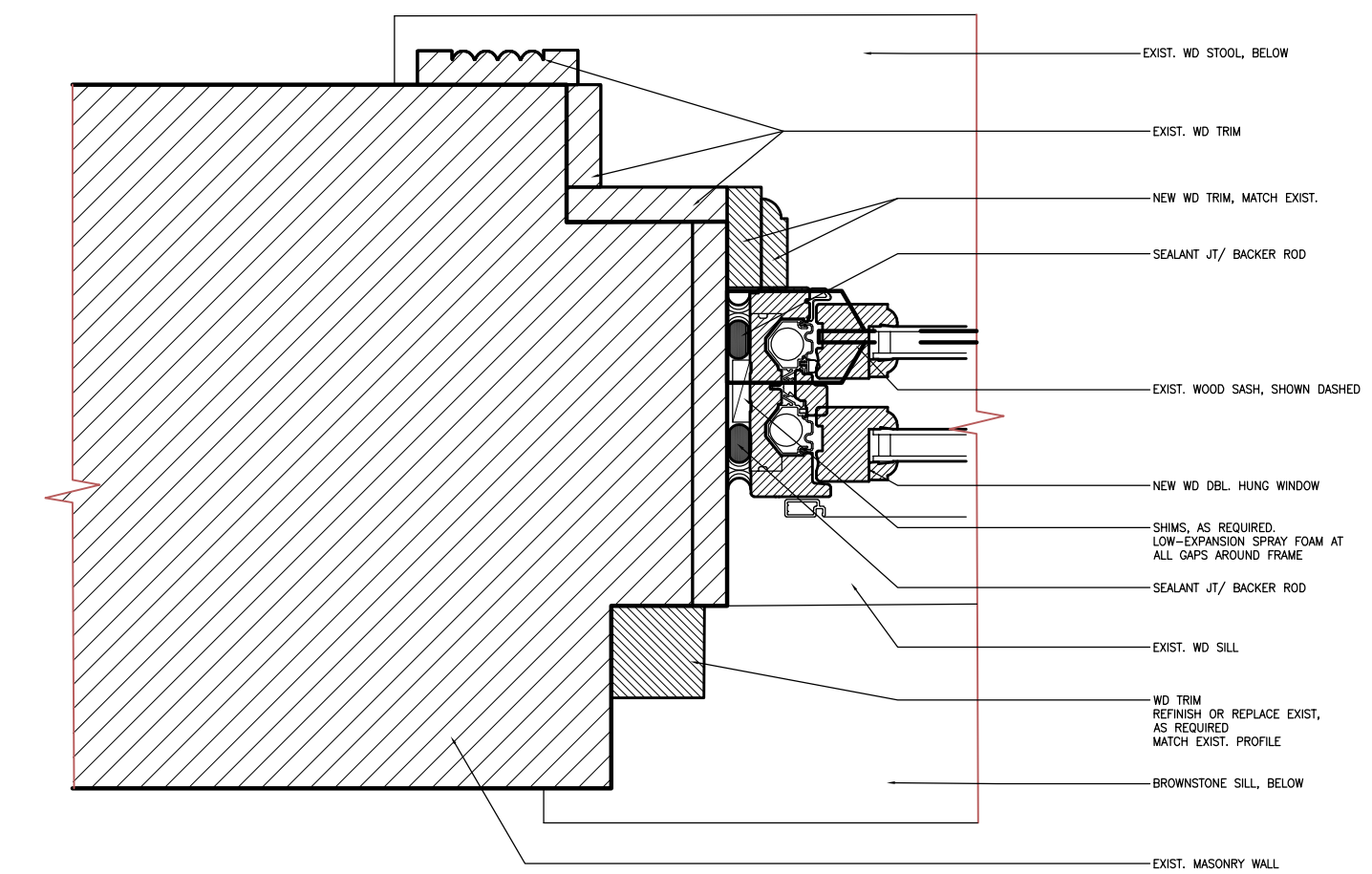
URBAN MERITAGE, LLC
85 NEWBURY STREET, SUITE 400
BOSTON, MA 02116

PROJECT TITLE:

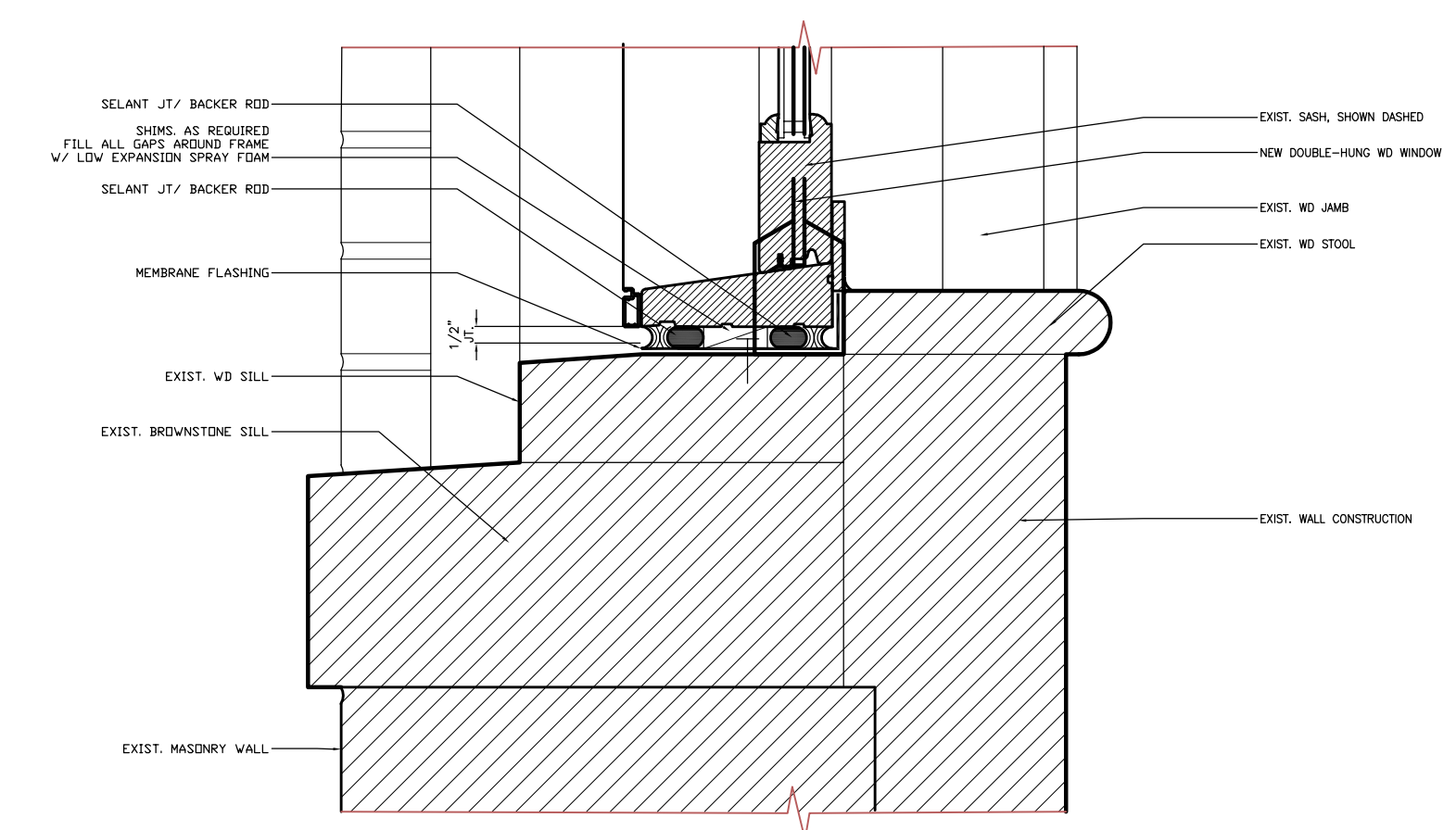
EXTERIOR RESTORATION AND
RELATED WORK
123 NEWBURY STREET
BOSTON, MA

OWNERS REPRESENTATIVE:

CBRE NEW ENGLAND



1 WINDOW JAMB @ REAR ELEVATION MASONRY
SCALE : 3" = 1'-0"



2 WINDOW SILL @ REAR ELEVATION MASONRY
SCALE : 3" = 1'-0"

DRAWING TITLE:

DETAILS

PROJECT NO: 17051

DRAWN BY: EK

CHECKED BY: LER

FILE NAME: 17051-plans.dwg

SCALE: AS NOTED

DATE: 11/21/2017

DRAWING NUMBER:

A-103

121 Newbury Street





121 Newbury Street - angled view

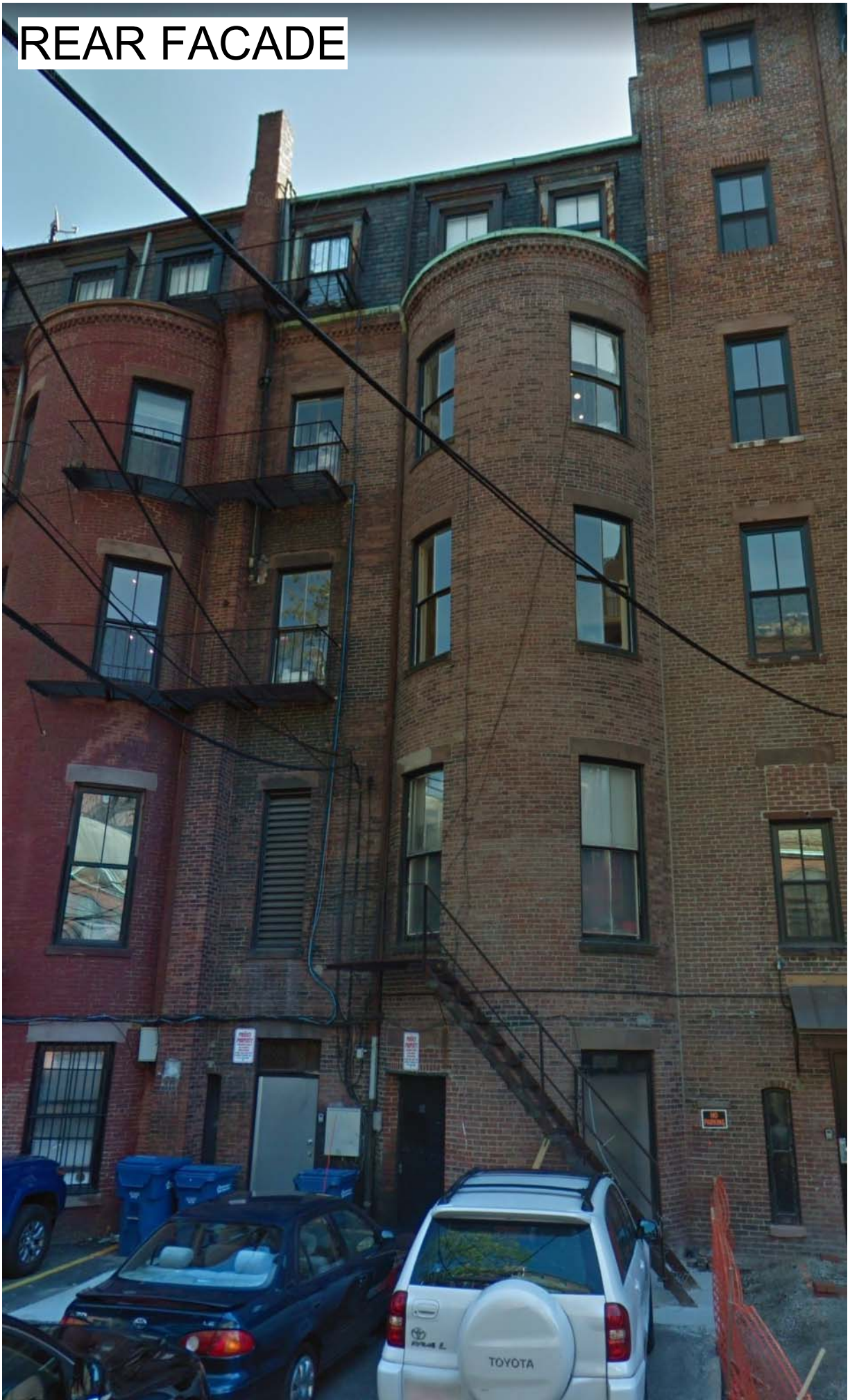
FRONT FACADE

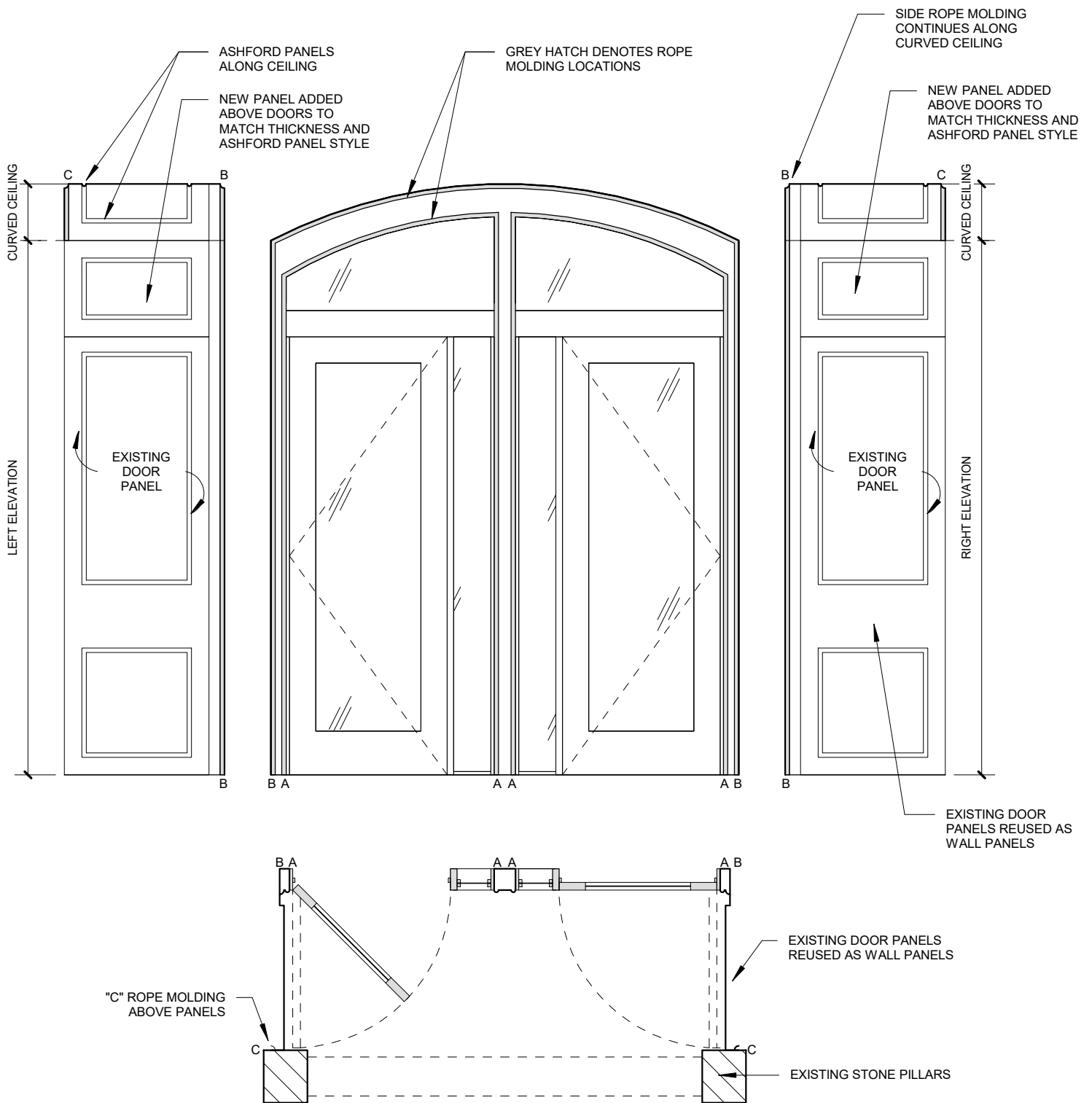


FRONT FACADE



REAR FACADE





617.426.1501
 125 Broad Street, 7th Floor
 Boston, MA 02110
 fx: 617.426.5491
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123 Newbury
 Street

ENTRY ROPE MOLDING LOCATIONS

Project Number	2017.80
Date	12/01/17
Drawn by	JWC
Checked by	TT

SK-001

Scale 3/8" = 1'-0"

EXISTING CAST IRON LIGHT WELL MEDALLION



BROKEN GLASS BEAD REPLACED WITH NEW TO MATCH

BRONZE MEDALLION CLEANED

BRONZE SETTING RING CLEANED TO ACCEPT MEDALLION

MEMORANDUM

DATE: NOVEMBER 30, 2017

TO: MR. STEPHEN J. STASHESKI
DIRECTOR OF CONSTRUCTION
URBANMERITAGE, LLC
85 NEWBURY STREET, SUITE 400
BOSTON, MA 02116

FROM: DAVID HORTON, P.E.

RE: BUILDING ENVELOPE CONDITIONS
123 NEWBURY STREET
BOSTON, MASSACHUSETTS

**BET
PROJECT NO:** 17051

Steve,

Per your request, this correspondence has been prepared to respond to the comments from the BBAC in regard to the proposed work at 123 Newbury Street. Also attached are reformatted drawings as requested.

Existing Window Conditions:

- Existing windows are wood framed hung units with single pane glass. The existing windows are in poor condition. During our site inspection, building tenants reported cold air drafts and difficulty of operation. In summary, the existing glazing is thermally inefficient, the window hardware is aged and difficult to operate, and the wood frames and sashes are deteriorated with age (see photos below). Full replacement is recommended.



Typical existing window conditions. Note deteriorated wood, single pane glass, and aged hardware.

Building Envelope Technologies, Inc.



Typical existing window conditions. Note deteriorated wood, single pane glass, and aged hardware.



Note rotted wood and water damage at existing rear window sash and sill.

Roofing Conditions:

- The main portion of the building is covered with an adhered single ply EPDM membrane roof system, which is installed over mechanically fastened polyisocyanurate foam insulation. The rear window bay roof consists of a built-up asphalt roofing assembly. Photographs of existing roof area conditions are shown below.
- There is an acrylic dome skylight located between deck and stair headhouse. The skylight is cracked and should be replaced. The skylight can be replaced with a similar double-dome acrylic, curb-mounted unit to match the existing opening. No modifications to the skylight opening will be needed.



Overview of main roof, which is covered with an adhered EPDM membrane roof system. .



Overview of existing skylight. Note crack.



Overview of rear window bay roof. Roof consists of built-up asphalt roofing.



Please contact us if you are in need of any further information.

Respectfully Submitted,

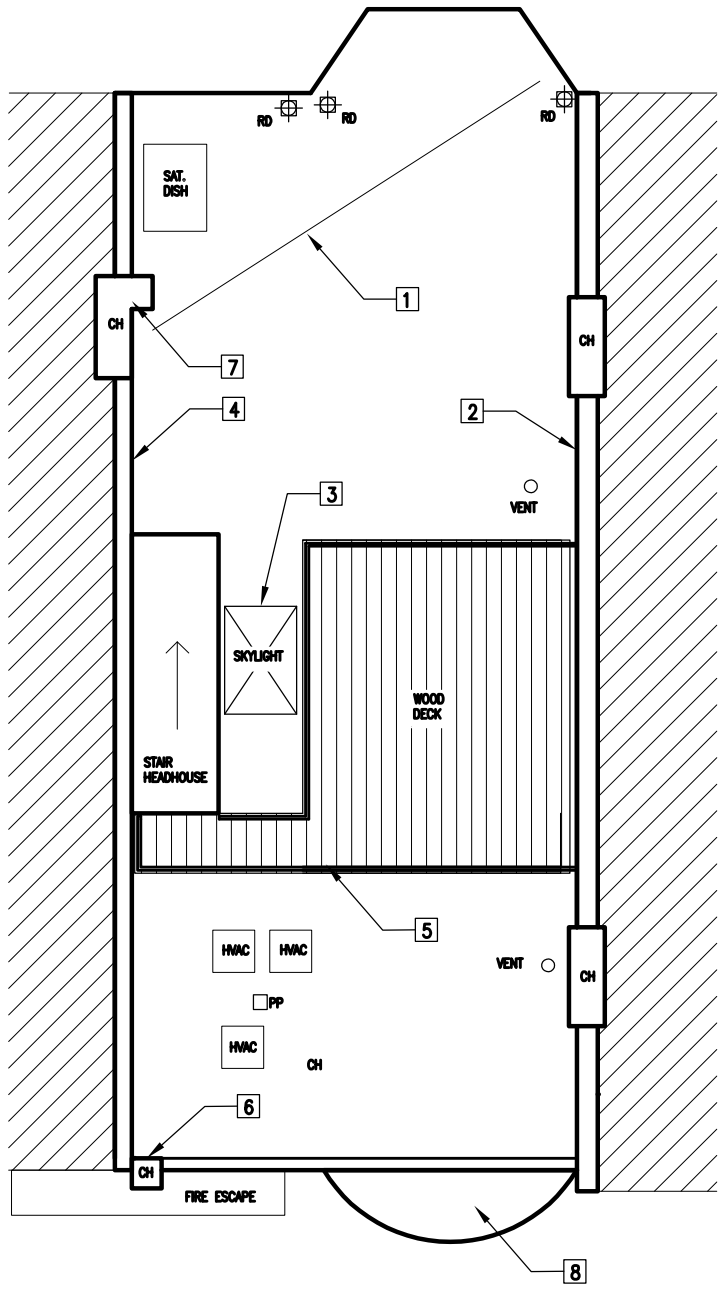
A handwritten signature in black ink, appearing to read 'David Horton'.

David Horton, P.E.
Engineer

Enc: Reformatted Drawings A-101, A102, A103

ROOF WORK NOTES:

1. STRIP IN SEAM AT ELEVATION TRANSITION WITH NEW 9" SEMIO-CURED SELF ADHERED EPDM FLASHING.
2. CUT IN NEW 16 OZ. COPPER REGLET FLASHING ENTIRE LENGTH OF RISING BRICK MASONRY WALL. AT DECK, STEP NEW FLASHING UP 2 COURSES OF BRICK ABOVE DECKING.
3. REMOVE AND REPLACE EXISTING SKYLIGHT WITH NEW DOUBLE DOME, CLEAR ACRCYLIC UNIT.
4. RESECURE METAL COPING FLASING AT PARTY WALL.
5. SCRAPE AND PAINT METAL RAILING AT DECK. INSTALL NEW POST CAPS AT ALL WOOD POSTS.
6. REPOINT CHIMNEY 100%, ALL FOUR SIDES, ENTIRE HEIGHT FROM 4TH FLOOR FIRE ESCAPE PLATFORM UP TO TOP OF CHIMNEY.
7. SPOT REPOINT 25% OF L-SHAPED CHIMNEY AND RESECURE LOOSE BRICKS IN FLUE.
8. REMOVE AND REPLACE LOWER BUILT-UP ASPHALT ROOF WITH NEW ADHERED .060 EPDM MEMBRANE ROOF SYSTEM. PROVIDE NEW MECHANICALLY FASTENED POLYISO INSULATION, R-30. PROVIDE NEW 20 OZ. COPPER GUTTER, CONNECTED TO EXISTING DOWNSPOUT.



ROOF PLAN
SCALE 3/32" = 1 FT.

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 17051
DRAWN BY: EK
CHECKED BY: LER
FILE NAME: 17051-plan.dwg
SCALE: AS SHOWN
DATE: 11/29/2017

DRAWING NUMBER:
A-101

OWNER:

URBAN HERITAGE, LLC
85 NEWBURY STREET, SUITE 400
BOSTON, MA 02116

PROJECT TITLE:

EXTERIOR RESTORATION AND
RELATED WORK
123 NEWBURY STREET
BOSTON, MA

OWNERS REPRESENTATIVE:

CSRE NEW ENGLAND



FRONT ELEVATION
SCALE 1/4" = 1 FT.

REAR ELEVATION
SCALE 1/4" = 1 FT.

FACADE WORK NOTES:

1. REMOVE AND REPLACE WINDOW. DESIGN BASED ON MARVIN MAGNUM, DOUBLE HUNG, WOOD WINDOW, LOW-E ARGON FILLED IG. COVER EXIST. WOOD SILLS WITH SELF ADHERED MEMBRANE FLASHING. RESTORE EXISTING WOOD SILLS. REMOVE AND REPLACE EXTERIOR BRICKMOLD TRIM AT JAMBS AND HEAD. SEAL WINDOW PERIMETER, AND FIELD PAINT TRIM AND WINDOWS.

WINDOW REPLACEMENT SCHEDULE:

- TYPE A R.O. 31.5"x84"
- TYPE B R.O. 43.5"x84"
- TYPE C R.O. 43.5"x78"
- TYPE D R.O. 31.5"x78"
- TYPE E R.O. 30"x78"
- TYPE F R.O. 41.5"x78"
- TYPE G R.O. 66"x40.5"

2. CUT AND REPOINT BRICK MASONRY (HATCHED AREAS SHOWN).
3. BROWNSTONE CRACK REPAIR.
4. BROWNSTONE SPALL REPAIR.
5. RECONSTRUCT SAGGING ROOF CORNICE. REMOVE AND REPLACE COPPER SKIRT ROOF. REFRAME CORNICE ROOF. REMOVE AND REPLACE TEN DETERIORATED DENTIL BLOCKS. PROVIDE NEW 20 OZ. COPPER CLADDING WITH FLAT, SOLDERED SEAMS AND INTEGRAL GUTTER.
6. POWERWASH AND RE-COAT ENTIRE FRONT FACADE WITH CONPROCO ELASTOMERIC WATERPROOF COATING. NOTE EXISTING COATING PRESENT.
7. PATCH SPALLS AND CRACKS AT ENTRY STEPS AND LOWER PATIO RETAINING WALLS. CLEAN AND REPAIR ALL METAL RAILINGS AT STEPS AND WALLS.
8. RESTORE CAST IRON LIGHT WELL MEDALIONS AT BASEMENT VAULT.

DRAWING TITLE:

ELEVATIONS

PROJECT NO: 17051

DRAWN BY: EK

CHECKED BY: LER

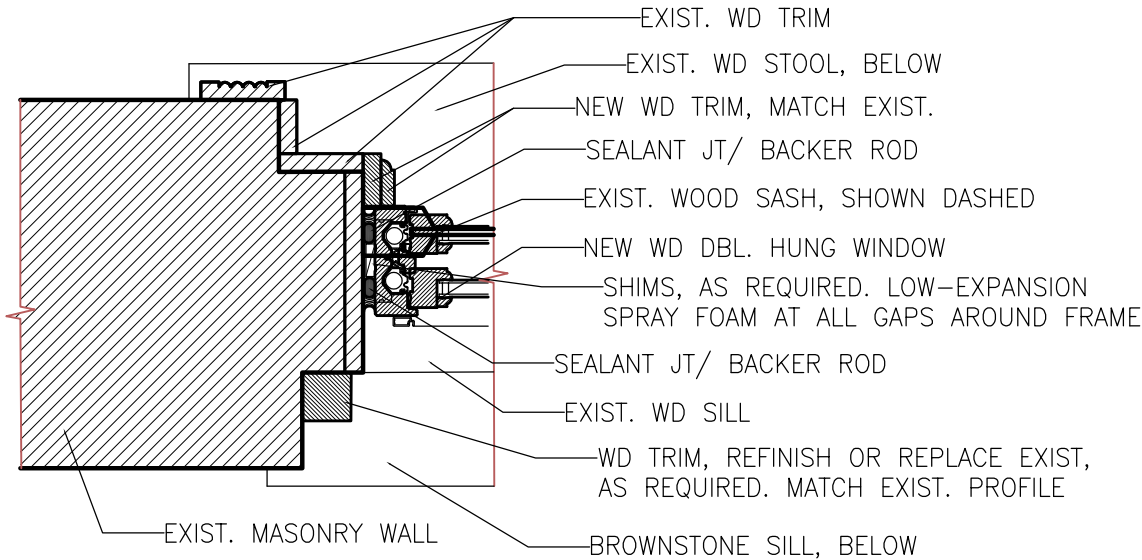
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SCALE: AS SHOWN

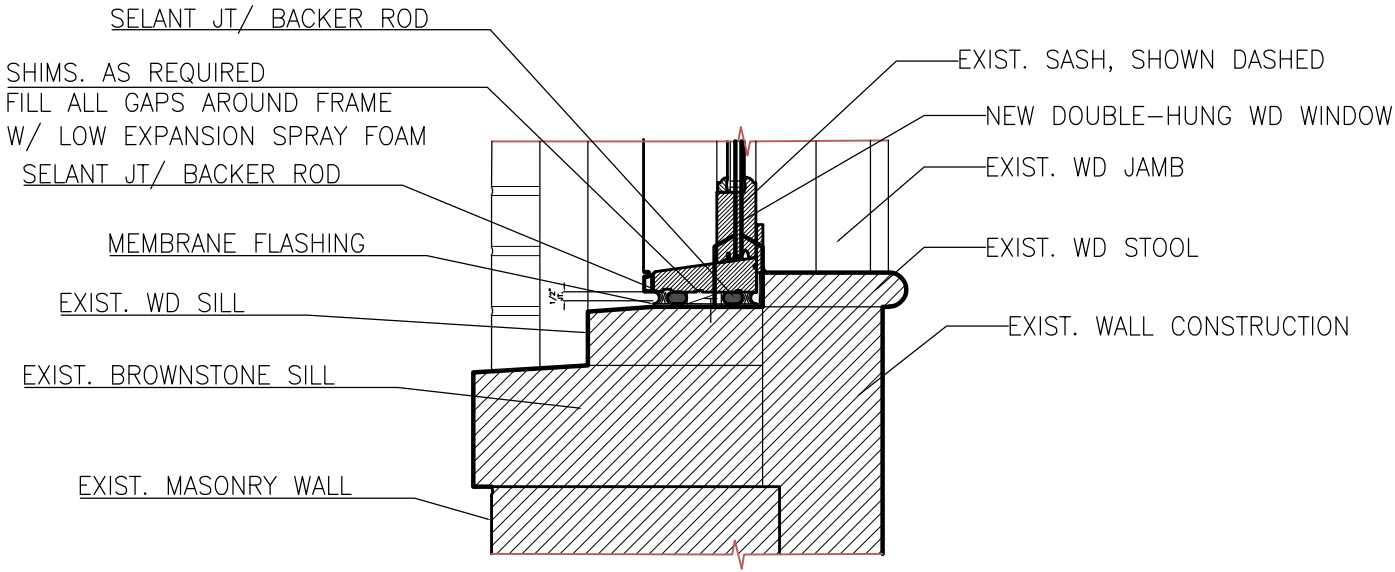
DATE: 11/29/2017

DRAWING NUMBER:

A-102



1 WINDOW JAMB @ REAR ELEVATION MASONRY
SCALE : 1.5" = 1'-0"



2 WINDOW SILL @ REAR ELEVATION MASONRY
SCALE : 1.5" = 1'-0"