



**PROJECT DESCRIPTION**

- EXTERIOR RESTORATION OF #16 PINCKNEY STREET
- REPLACE WINDOWS WITH JB SASH WOOD, DOUBLE HUNG, TDL WITH CLEAR GLASS, 6/6 TO MATCH EXISTING.
- REPLACE EXTERIOR WINDOW TRIM WITH NEW WOOD TRIM TO MATCH EXISTING, PAINTED BLACK
- RESTORE WOOD FRONT DOOR SLAB, PAINTED BLACK
- DEMO EXISTING ROOF AND DORMER DUE TO POOR STRUCTURAL CONDITIONS OF THE FRAMING AND DETERIORATION OF THE UPPER PORTION OF THE FRONT AND REAR WALL WALLS, NEW ROOF AND DORMER TO MATCH EXISTING ROOF IN PITCH, SIZE AND TRIM DETAILS, PAINTED BLACK
- NEW BLACK SLATE ROOF WITH COPPER FLASHING AND DRIP EDGE
- NEW 6" HALF ROUND COPPER GUTTER AND DOWNSPOUT
- DEMO EXISTING CHIMNEY AND REBUILD USING ORIGINAL BRICK: SIZE, LOCATION AND DETAILS TO MATCH EXISTING
- REPAIR MASONRY AT TOP OF WALL, MATCH EXISTING CORBEL DETAIL
- REPOINT MASONRY WITH CEMENT, LIME, AND SAND MIX, COLOR TO MATCH EXISTING, STRUCK TO MATCH EXISTING
- NEW BRICK WALL TO CLOSE OFF PASSAGE WAY TO REAR YARD, SET 36" BACK FROM FRONT FACADE, BRICK AND GRANITE TO MATCH EXISTING, ADDING WALL TO EXPAND FIRST FLOOR FOOTPRINT
- REPAIR AND REPAINT EXISTING PASSAGE WAY GATE
- REPLACE CELLAR SASH WINDOW, REPLACE COAL CHUTE DOOR WITH NEW WOODEN TO MATCH, PAINTED BLACK
- ALL RESTORATION AND REPLACEMENT WORK TO MATCH EXISTING CONDITIONS WITH THE EXCEPTION OF THE NEW BRICK WALL AT WALK-WAY

**DATE:**  
9/27/17

**REV:**  
10/19/17

**SCALE:**

**#16 PINCKNEY STREET  
BOSTON, MA 02114**

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FRONT ELEVATION



FRONT ELEVATION



FRONT ELEVATION (ENTRY AND WALK-WAY)



RECESSED ENTRY



DOOR PANEL



ENTRY WALL PANEL



CRACKING AND LEANING  
VISIBLE IN CHIMNEY

CHIMNEY: CRACKED AND LEANING



SHED DORMER



SHED DORMER & CHIMNEY



ROOF/WALL INTERSECTION



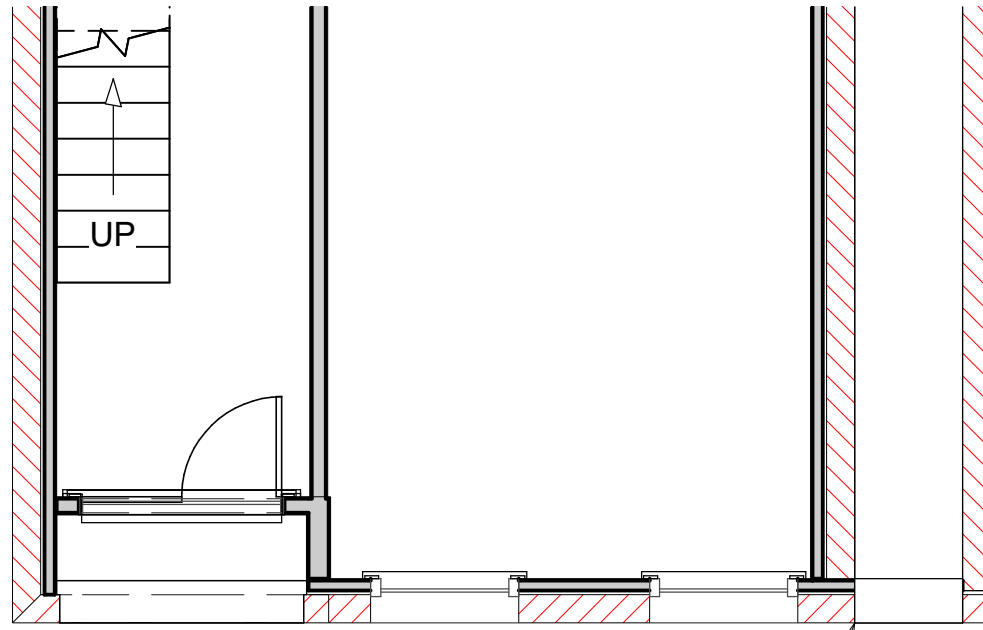
ROOF/WALL INTERSECTION



ROOF AT FRONT DORMER

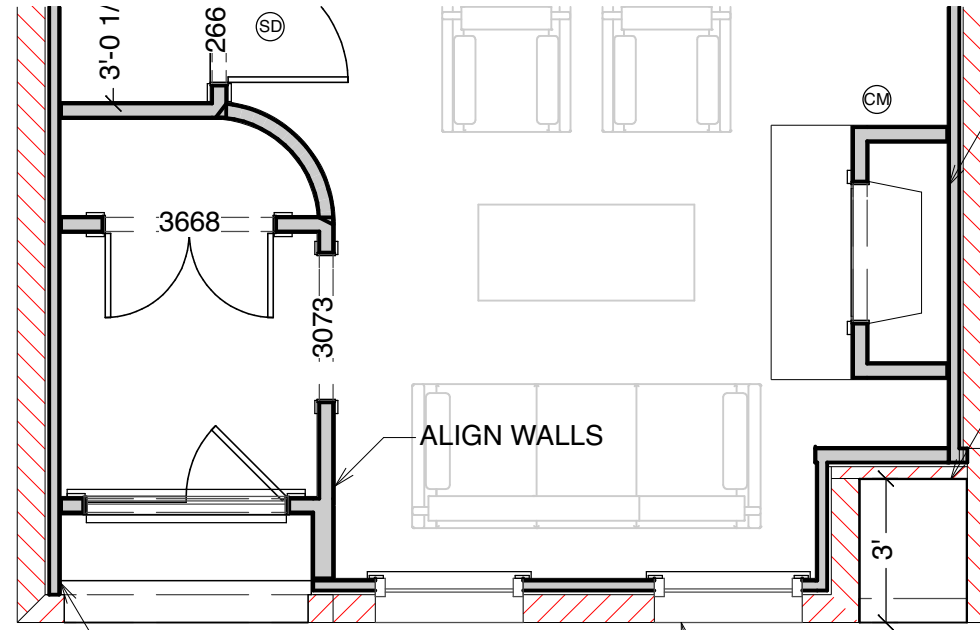


ROOF AT FRONT CHIMNEY



PASSAGE WAY TO REAR YARD

EXISTING PLAN



RESTORE FRONT DOOR AND RECESSED VESTIBULE MILLWORK, PAINT BLACK

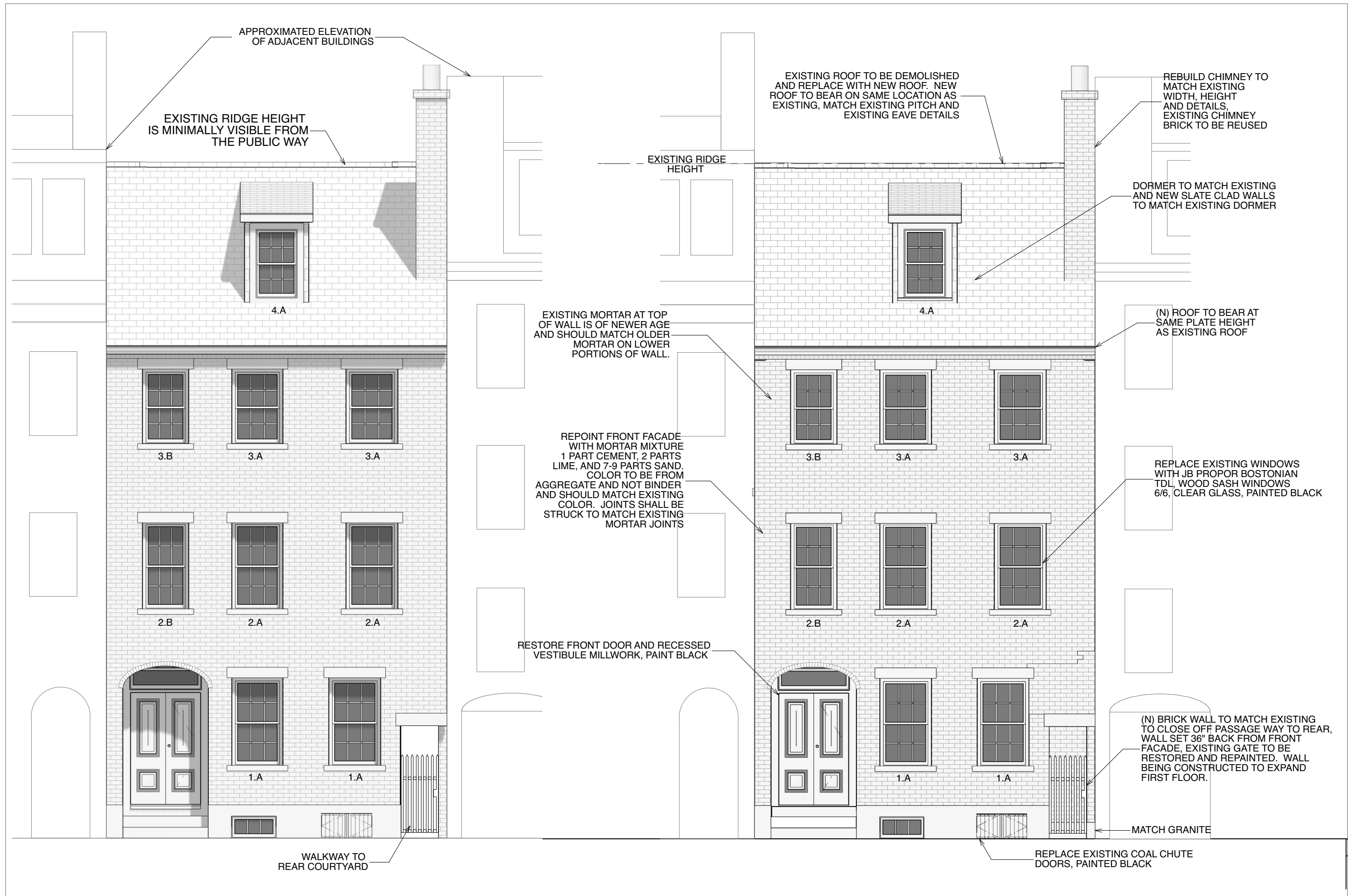
REPLACE WINDOWS WITH JB SASH PROPER BOSTONIAN WOOD, TDL, DOUBLE HUNG WINDOWS, NEW BRICK MOLDING TO MATCH EXISTING, PAINTED BLACK

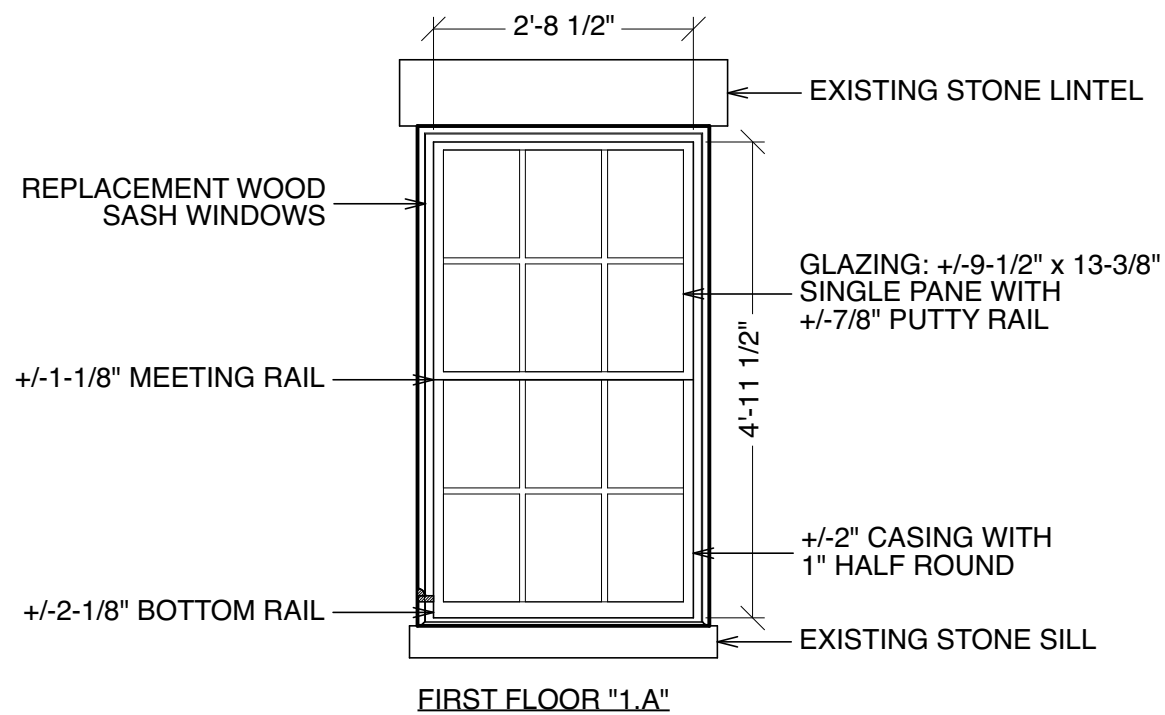
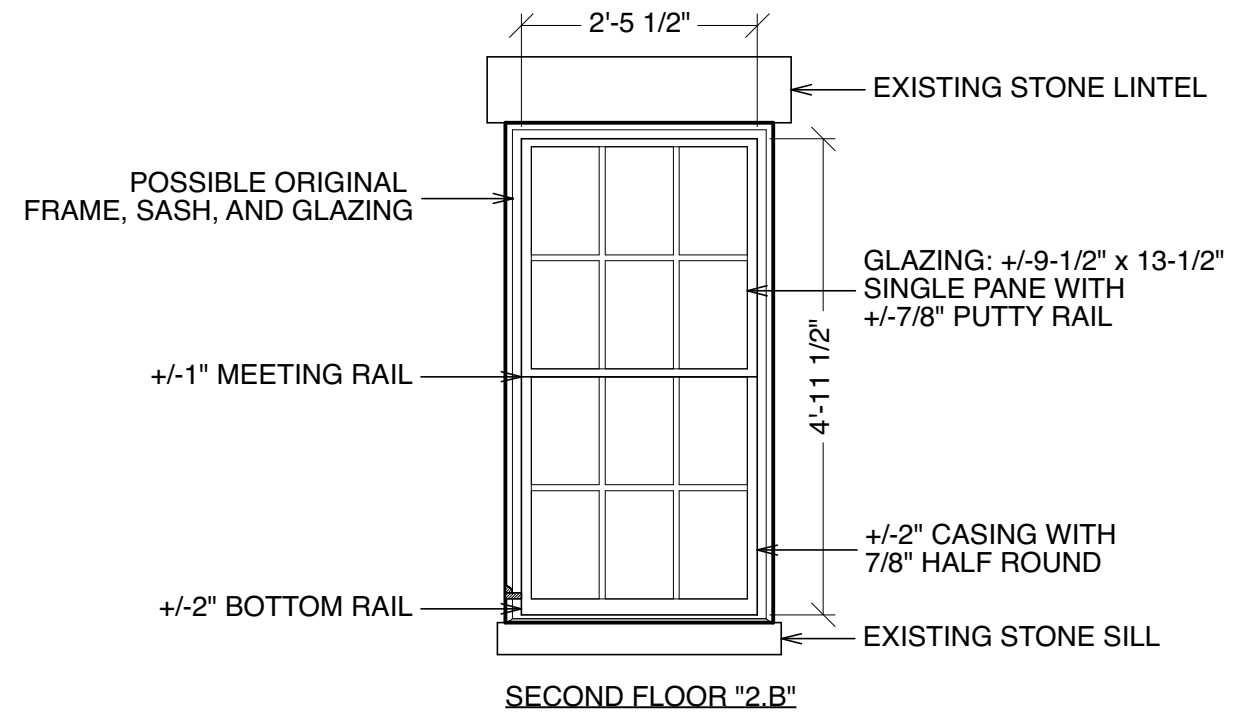
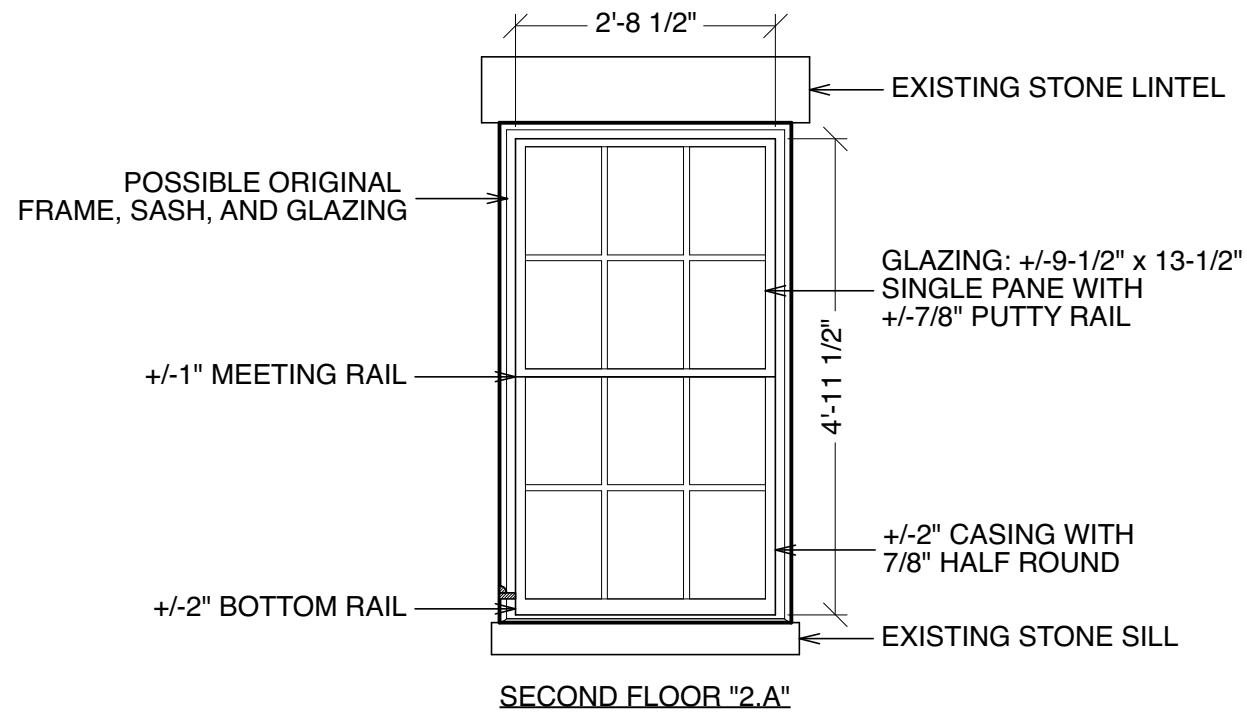
ALIGN WALLS

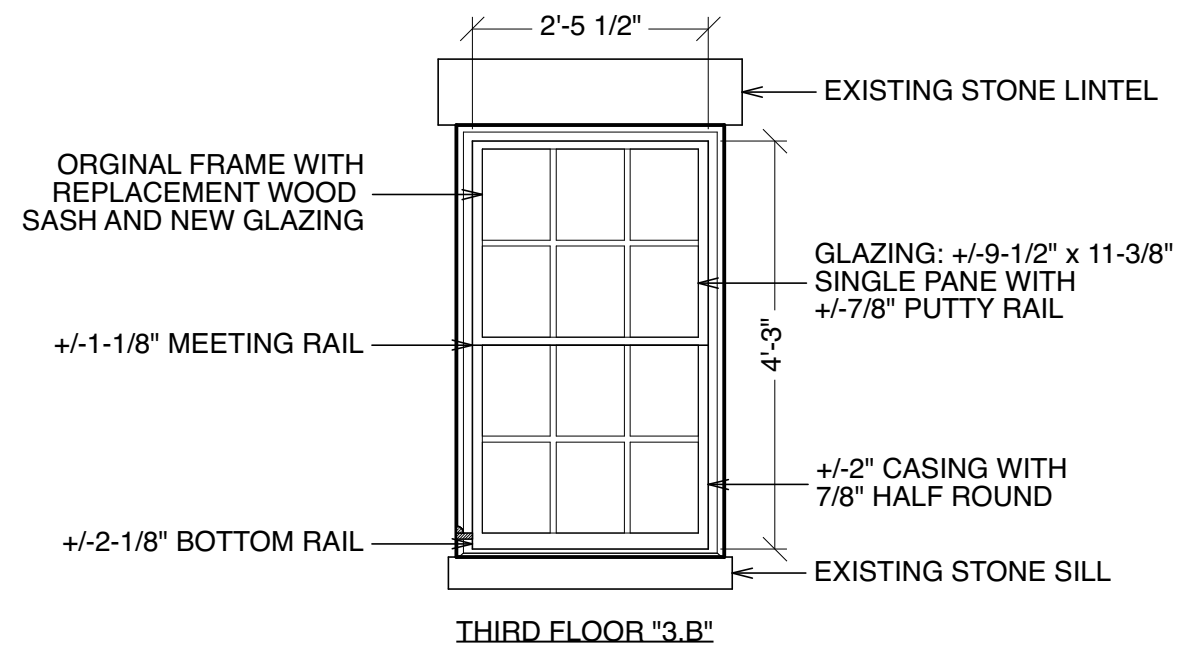
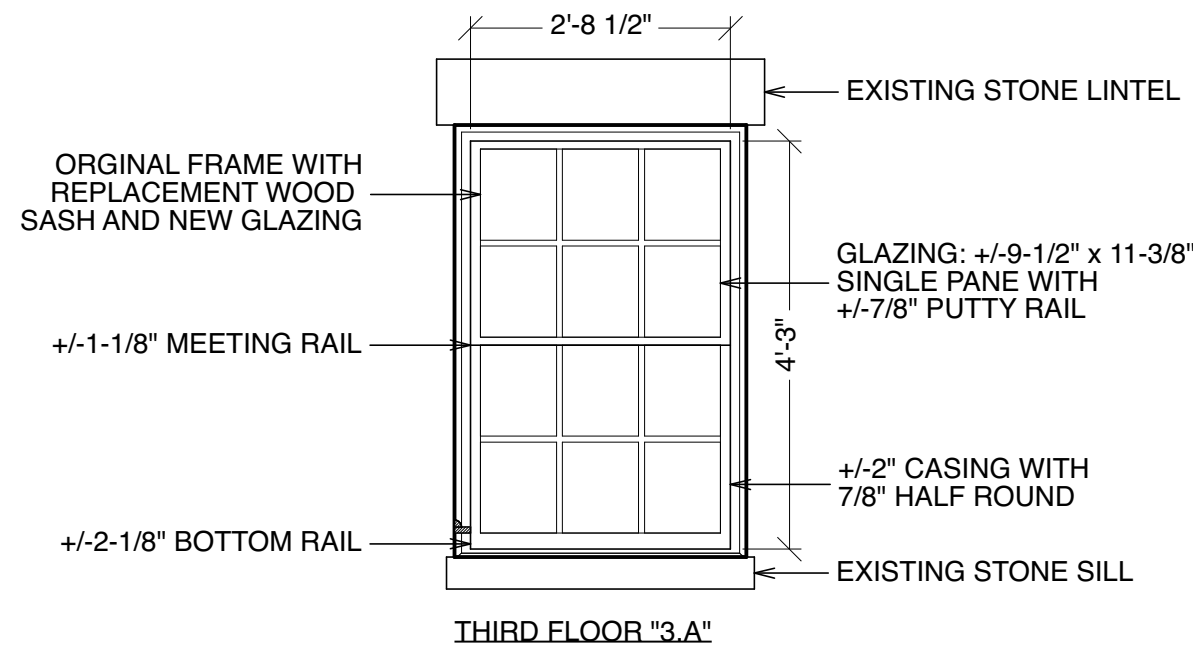
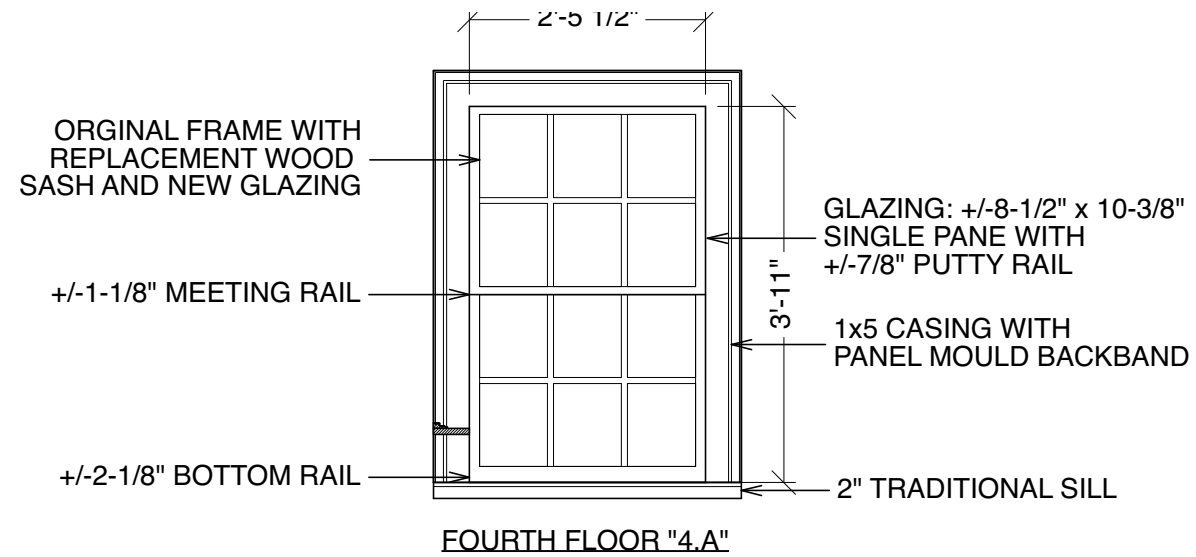
GAS FIREPLACE

(N) BRICK WALL TO MATCH EXISTING TO CLOSE OFF PASSAGE WAY TO REAR, WALL SET 36" BACK FROM FRONT FACADE, EXISTING GATE TO BE RESTORED AND REPAINTED. WALL BEING CONSTRUCTED TO EXPAND FIRST FLOOR.

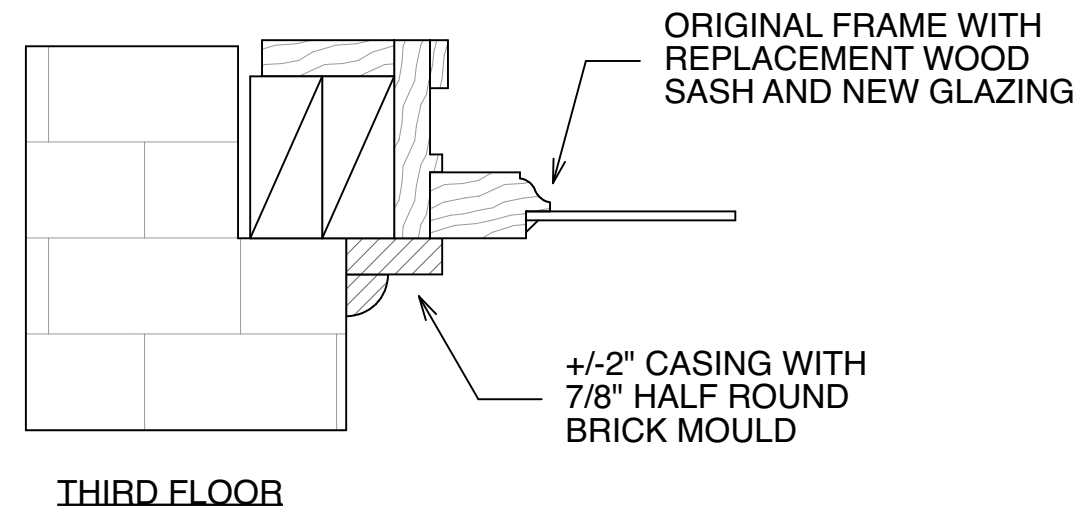
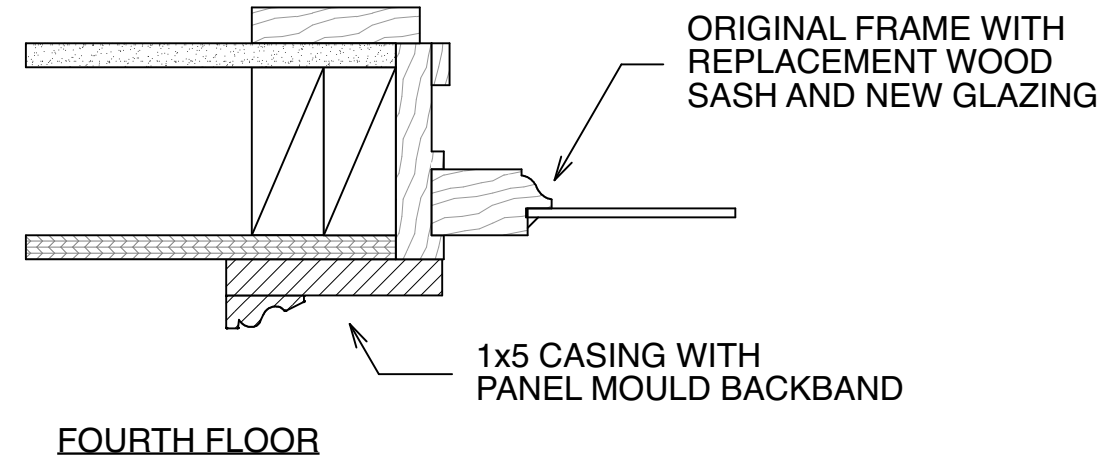
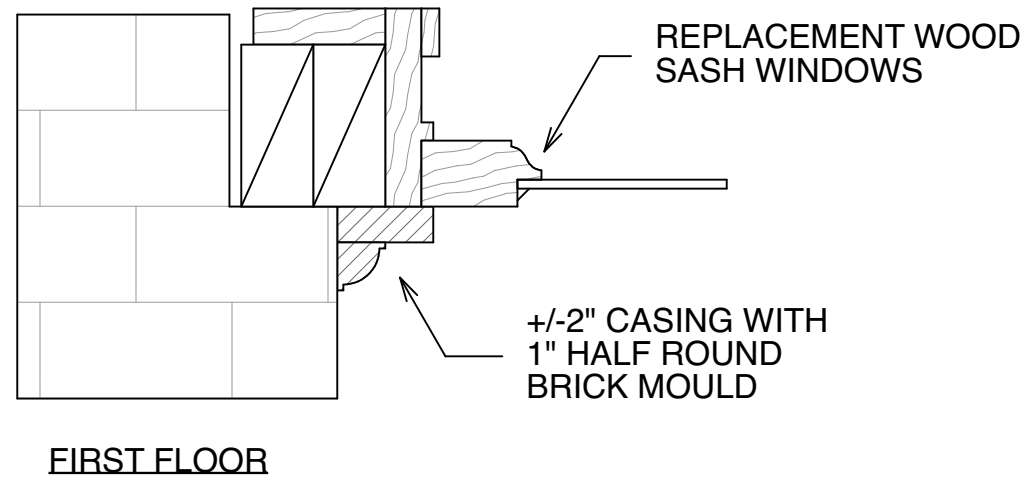
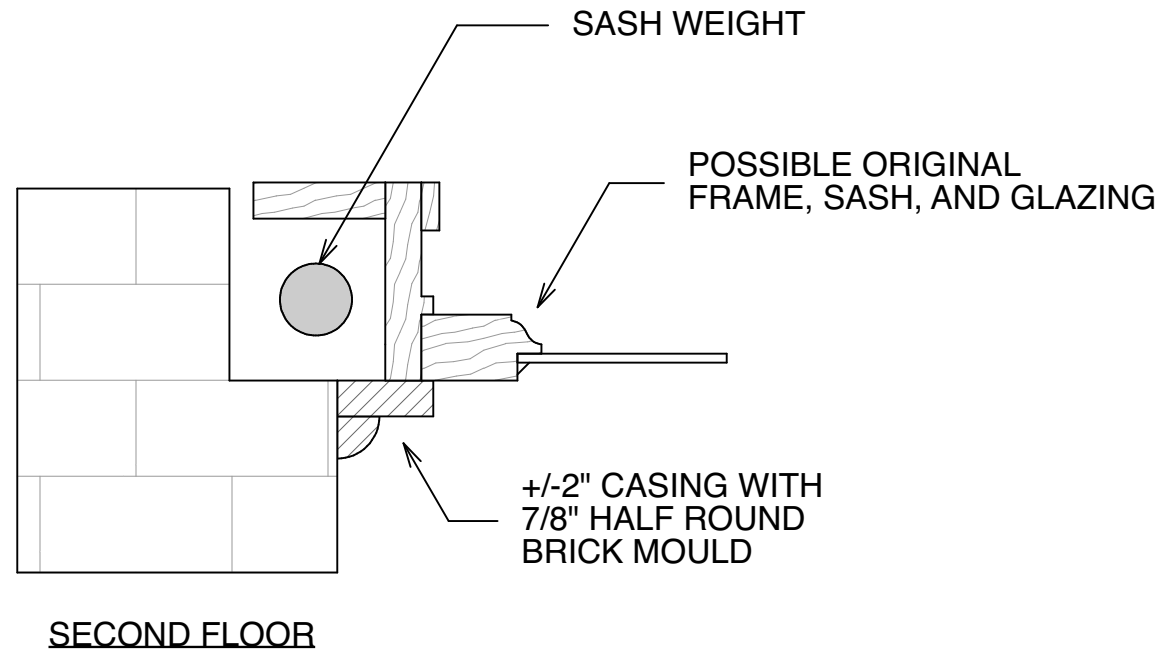
PROPOSED PLAN

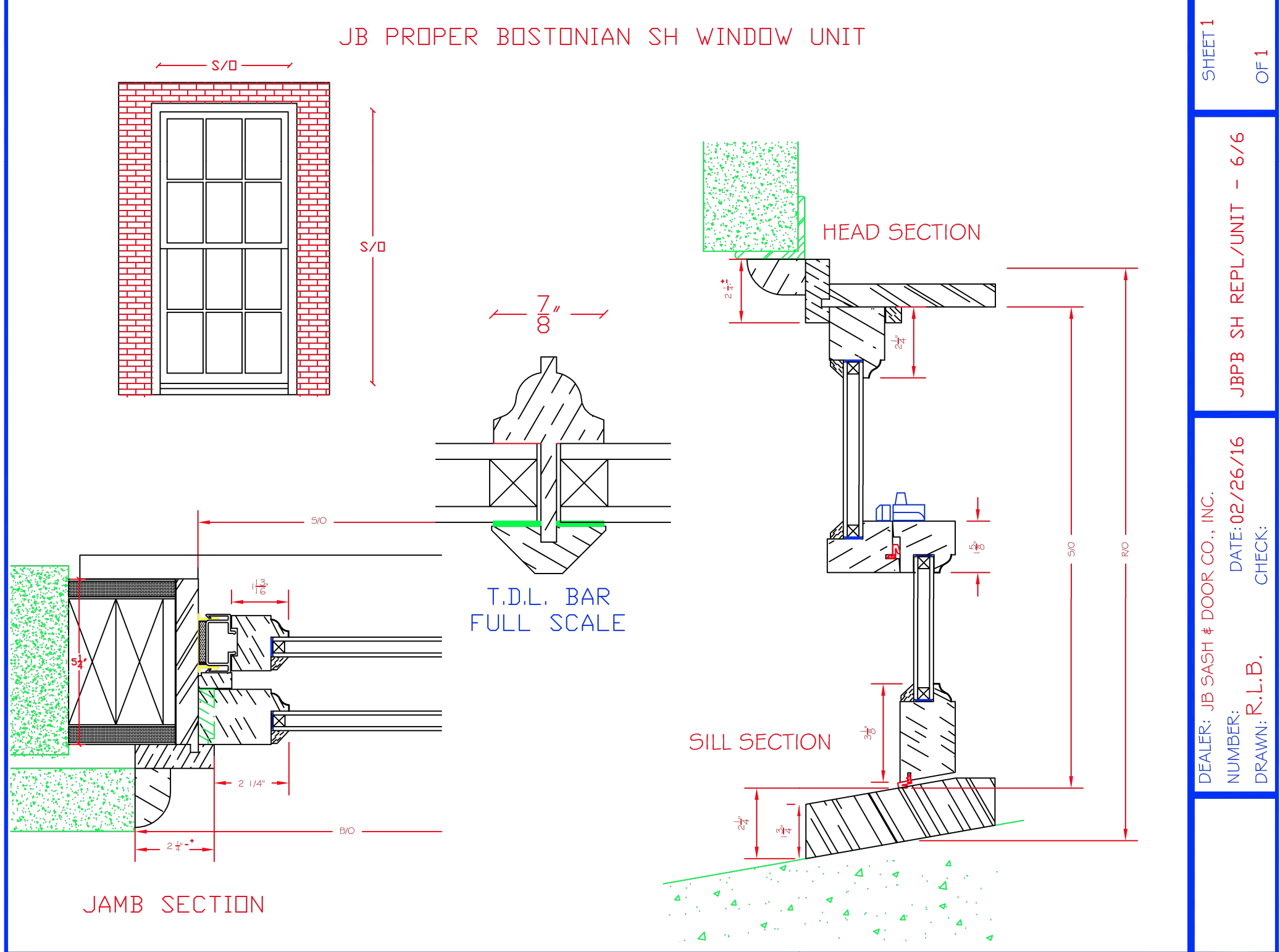












PROPOSED WOOD, TDL WINDOW  
(PAINTED BLACK, CASINGS TO MATCH EXISTING)

DEALER: JB SASH & DOOR CO., INC.	JBPB SH REPL/UNIT - 6/6	SHEET 1
NUMBER: R.L.B.	DATE: 02/26/16	OF 1
DRAWN: R.L.B.	CHECK:	

SECOND FLOOR WINDOWS



POSSIBLE ORIGINAL SASH AND FRAME IN DISREPAIR



POSSIBLE ORIGINAL SASH AND FRAME IN DISREPAIR



POSSIBLE ORIGINAL SASH AND FRAME IN DISREPAIR



WINDOW CASING

FIRST FLOOR WINDOWS



EXISTING REPLACEMENT WINDOWS



EXISTING REPLACEMENT WINDOWS



FIRST FLOOR WINDOW CASING



WINDOW CASING

FOURTH FLOOR WINDOWS



NEWER SASH AND STOPS



NEWER SASH AND STOPS



PUTTY RAIL



WINDOW CASING

THIRD FLOOR WINDOWS



ORIGINAL FRAME WITH  
REPLACEMENT WOOD  
WINDOW SASH



ORIGINAL FRAME WITH  
REPLACEMENT WOOD  
WINDOW SASH, NEW STOPS



ORIGINAL FRAME WITH  
REPLACEMENT WOOD  
WINDOW SASH



WINDOW CASING



FRONT DOOR



FRONT ENTRY



FRONT ENTRY



FRONT ENTRY



PASSAGE WAY TO REAR COURTYARD (SHED BLOCKED VIEW)



SHED AT REAR WHICH PREVIOUSLY BLOCKED VIEW FROM PINCKNEY TO COURTYARD



FRONT DOOR AND PASSAGE WAY GATE

MORTAR COLOR AND JOINTS  
TO BE MATCHED



EXISTING BRICKS AND  
MORTAR JOINTS

LIGHTER MORTAR AT TOP OF WALL  
INDICATES PREVIOUS SPOT POINTING  
OF WALL, DOES NOT MATCH OLDER  
MORTAR ON LOWER WALL



EXISTING BRICKS AND  
MORTAR JOINTS



EXISTING BRICK FACADE

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**DNA**  
ARCHITECTURE

**A14**