

# 361 Beacon Street

Boston Massachusetts

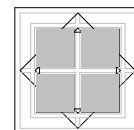
## ZONING SUMMARY (PROPOSED)

H-3-65	ALLOWED:	ACTUAL:
LOT SIZE		3136 SF
FRONT SETBACK	20.0'	22.0'
SIDE SETBACK	NA	NA
REAR SETBACK	28'	28.8'
MIN. OPEN SPACE	250 (50SF X 5 UNITS)	1388 SF
BUILDING HEIGHT	65'	64.25'
FAR 2.8	9408 SF (3136 X 3)	8790 SF
PARKING SPACES	3 (.6 PER UNIT x 5 UNITS)	5

October 11, 2017

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ARCHITECTURE ◦ INTERIORS

396 COMMONWEALTH AVENUE BOSTON, MASSACHUSETTS 02215



MMXVII

**EXISTING LEGEND**

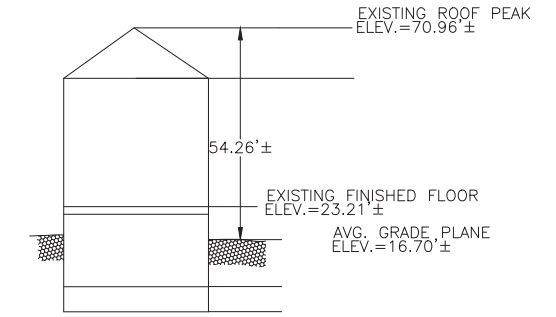
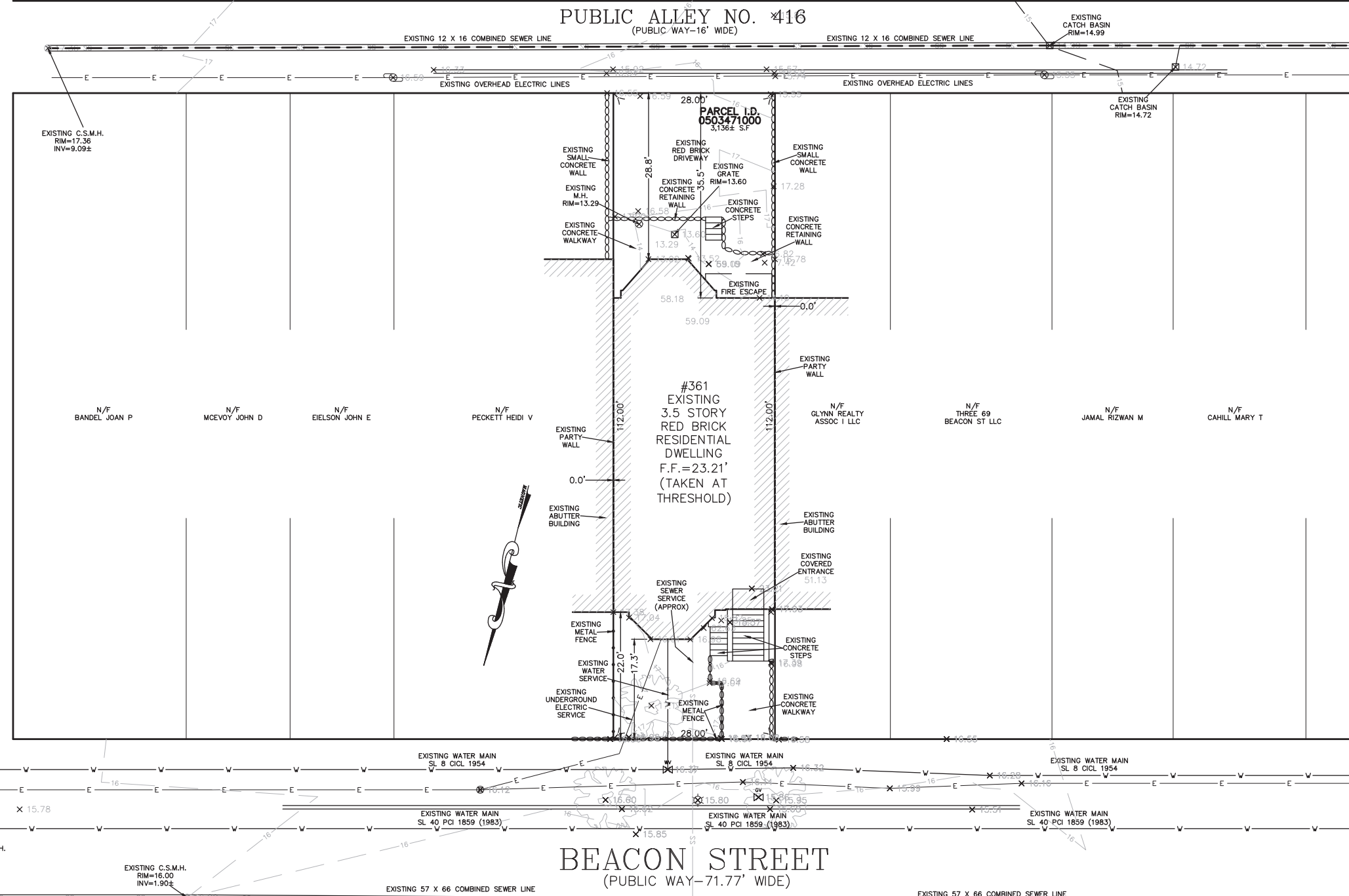
SS	SEWER LINE
⊙	SEWER MANHOLE
V	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
⊕	WATER VALVE
□	CATCH BASIN
○	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊕	DRAIN MANHOLE
⊕	HYDRANT
⊕	TREE

**ZONING LEGEND**

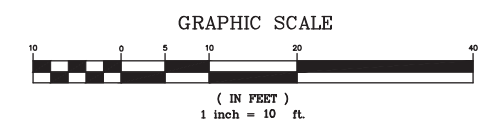
ZONING DISTRICT: H-3-65 (APARTMENT RESIDENTIAL)		
	REQUIRED	EXISTING
MIN. AREA	-	-
MIN. FRONTAGE	50'	28'
MIN. YARD FRONT	20'	17.3'
SIDE	12.7'	0.0'
REAR	28'	28.8'
REAR YARD OCC.	40%	0.0%
USABLE OPEN SPACE PER DWELLING UNIT	50 S.F.	502.72 S.F. ±
MIN. LOT WIDTH	-	-
MAX. BLDG. HEIGHT	65'	54.26'±
MAX. STORIES	-	-
MAX. F.A.R.	3.0	-

NOTES:

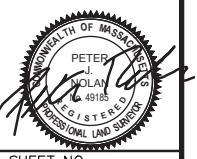
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 8-15-2017.
2. DEED REFERENCE BOOK 13652 PAGE 54, SUFFOLK COUNTY REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARDOUS ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0077J, PANEL NUMBER 0077J, COMMUNITY NUMBER: 250286, DATED MARCH 16, 2016.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.



EXISTING PROFILE  
NOT TO SCALE



SCALE 1"=10'	REV	DATE	REVISION	BY
DATE 8/16/2017				
SHEET 1	361 BEACON STREET BOSTON MASSACHUSETTS			
PLAN NO. 1 OF 1	EXISTING CONDITIONS SITE PLAN			
CLIENT:	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com			
DRAWN BY	SHEET NO. <b>1</b>			
CHKD BY P.J.N.				
APPD BY P.J.N.				





# 361 Beacon Street

Boston • Massachusetts

September 19, 2017

## Block Plan

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View Looking Southeast



View Looking Southwest

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## Beacon Street Views

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## Public Alley 416

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Front



Rear

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## Existing Elevation Photos

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View Looking East



View Looking West



View Looking South



View Looking Southeast

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## Public Alley 416 Views

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View of Existing Dormer/Front of Roof Looking East



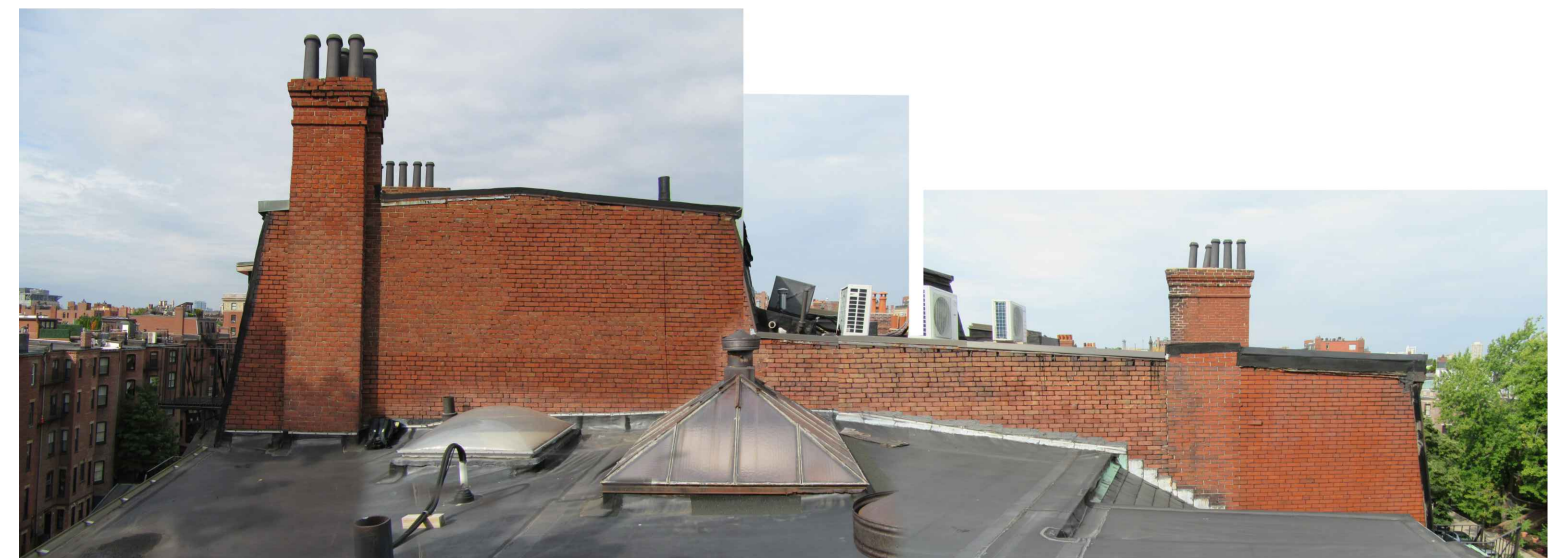
View Looking North



View Looking South



View Looking East



View Looking West

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## Roof Views

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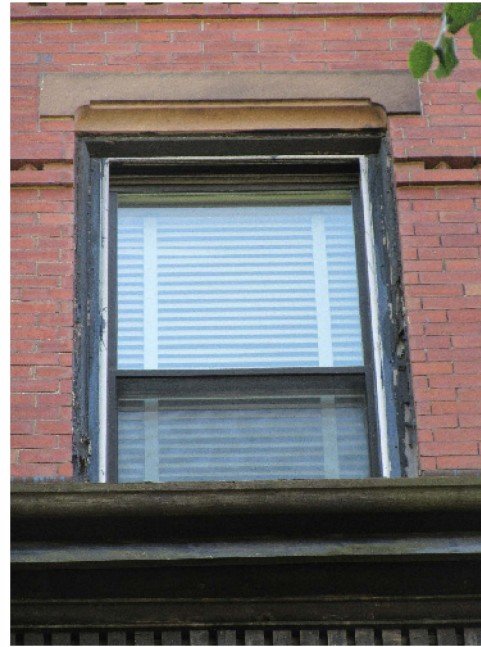
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Front Window at Lower Bay



Front Window at Upper Bay



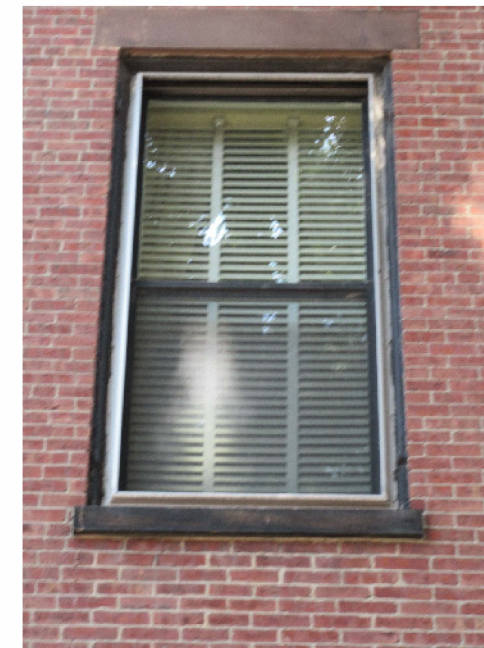
Front Window Above Entry Door



Rear Window at Lower Bay



Rear Window at Middle Bay



Rear Window at Upper Bay

ALL EXISTING WINDOWS ARE HISTORICALLY INAPPROPRIATE ALUMINUM DOUBLE HUNG REPLACEMENT WINDOWS WITH ALUMINUM STORM WINDOWS. PROPOSED WINDOWS ARE DOUBLE HUNG WOOD, PAINTED BLACK. STORM WINDOWS TO BE REMOVED (SEE WINDOW DETAIL SHEET FOR ADDITIONAL INFORMATION).

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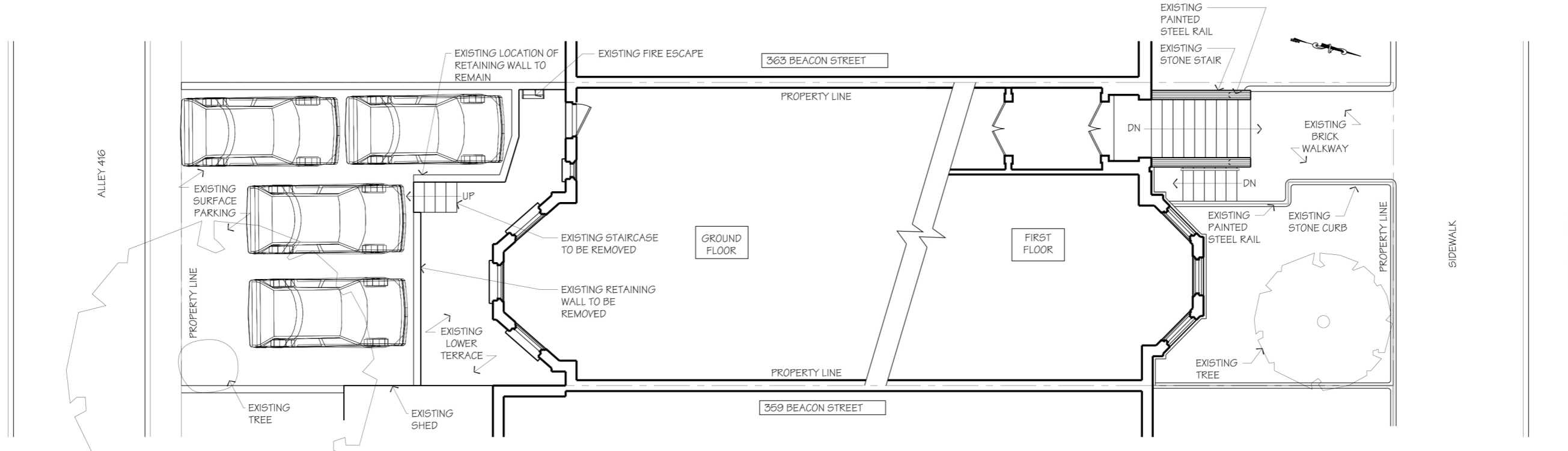
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Typical Existing Windows

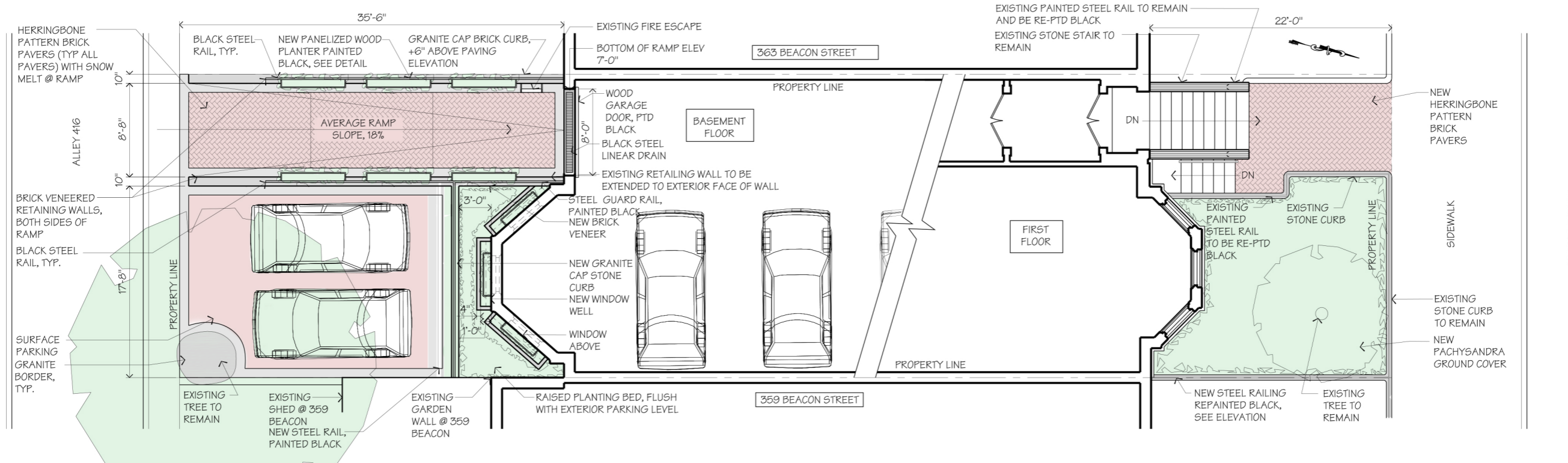
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Existing



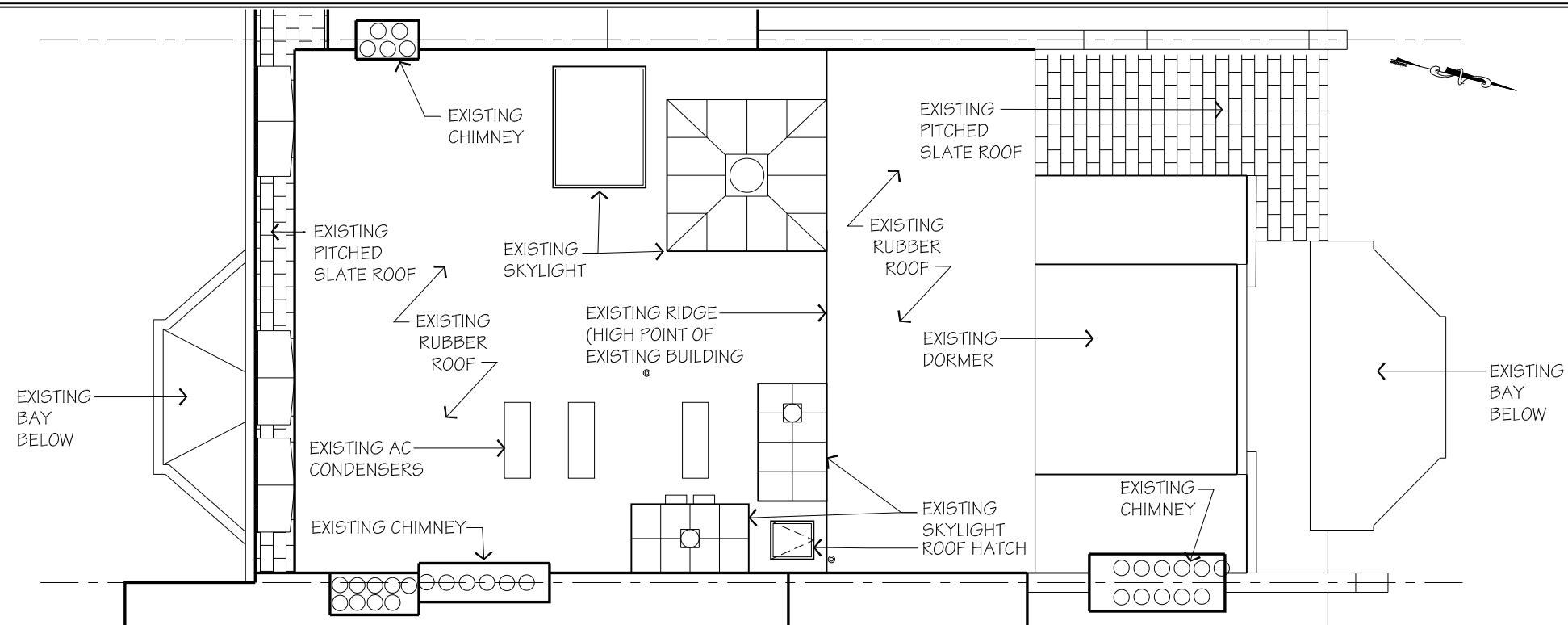
Proposed

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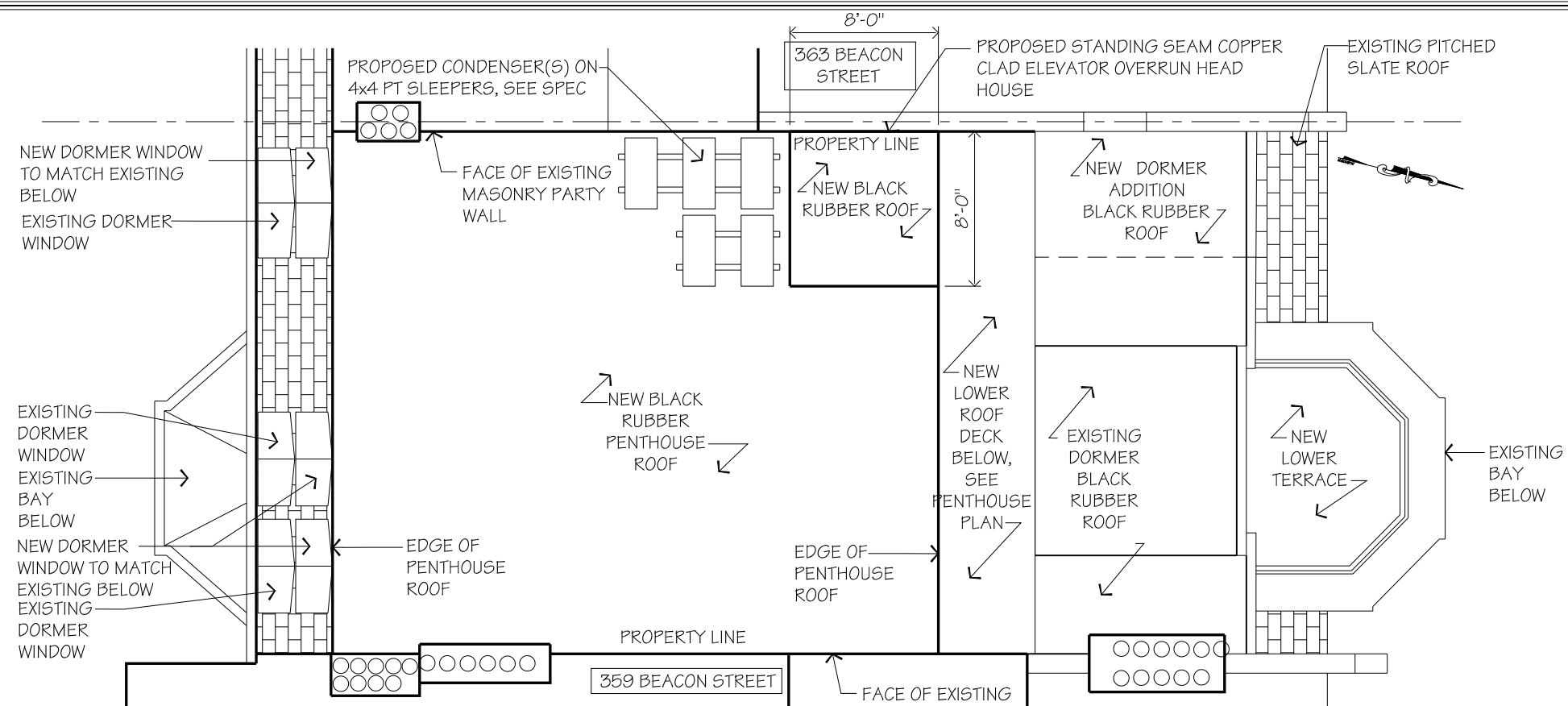
**Site Plan**  
 Scale: 3/32" = 1'-0"

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Existing



Proposed

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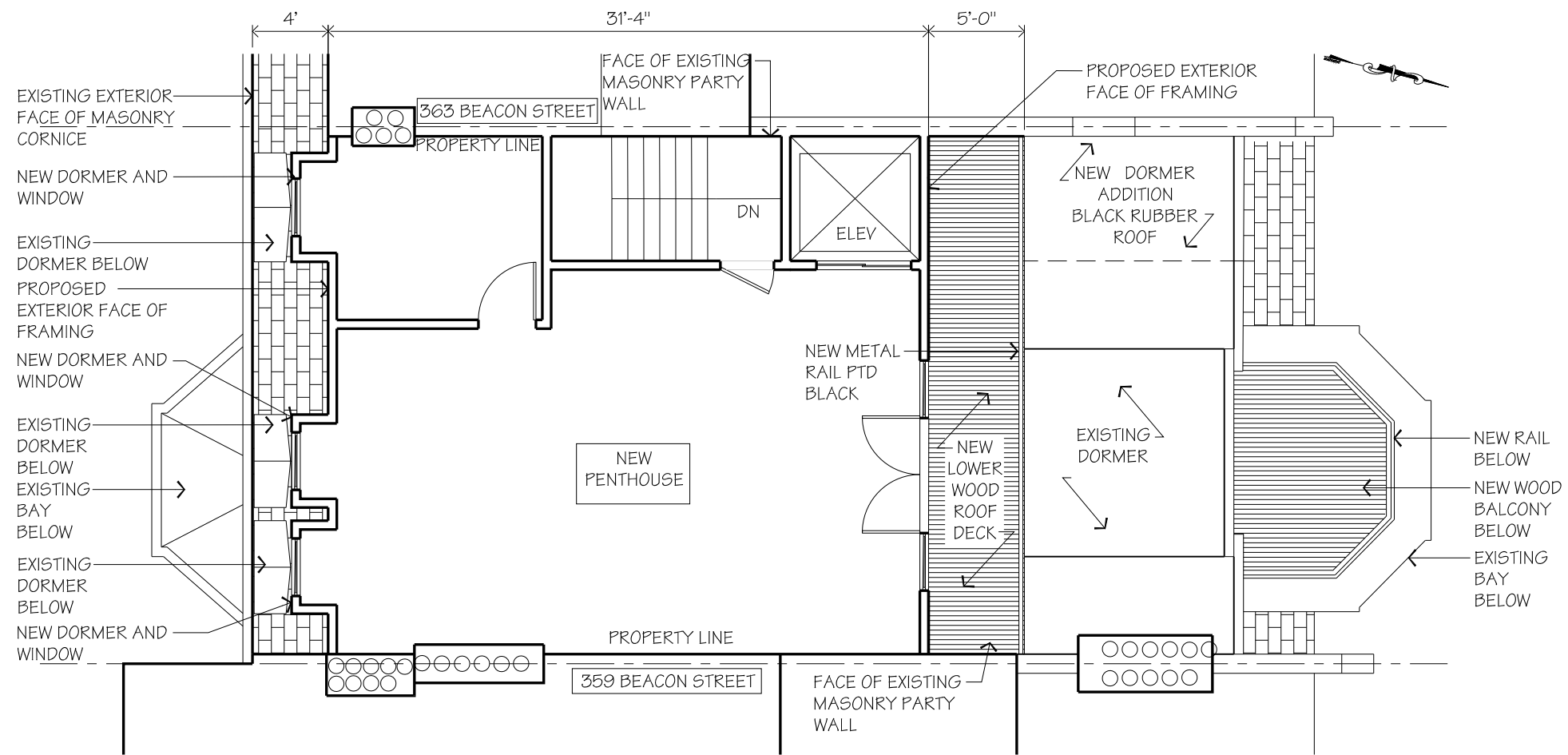
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# Roof Plans

Scale: 1/8" = 1'-0"

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Proposed

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# Penthouse Plan

Scale: 1/8" = 1'-0"

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EXISTING SKYLIGHTS  
TO BE REMOVED

EXISTING PITCHED  
RUBBER ROOF TO BE  
REMOVED, SEE  
SECTION

REMOVE EXISTING  
WINDOW

REMOVE EXISTING  
COPPER GUTTERS

REMOVE EXISTING  
FLUTED LEADER

ROOF

FOURTH FLOOR

THIRD FLOOR

SECOND FLOOR

FIRST FLOOR

AVERAGE GRADE

BASEMENT FLOOR

Existing

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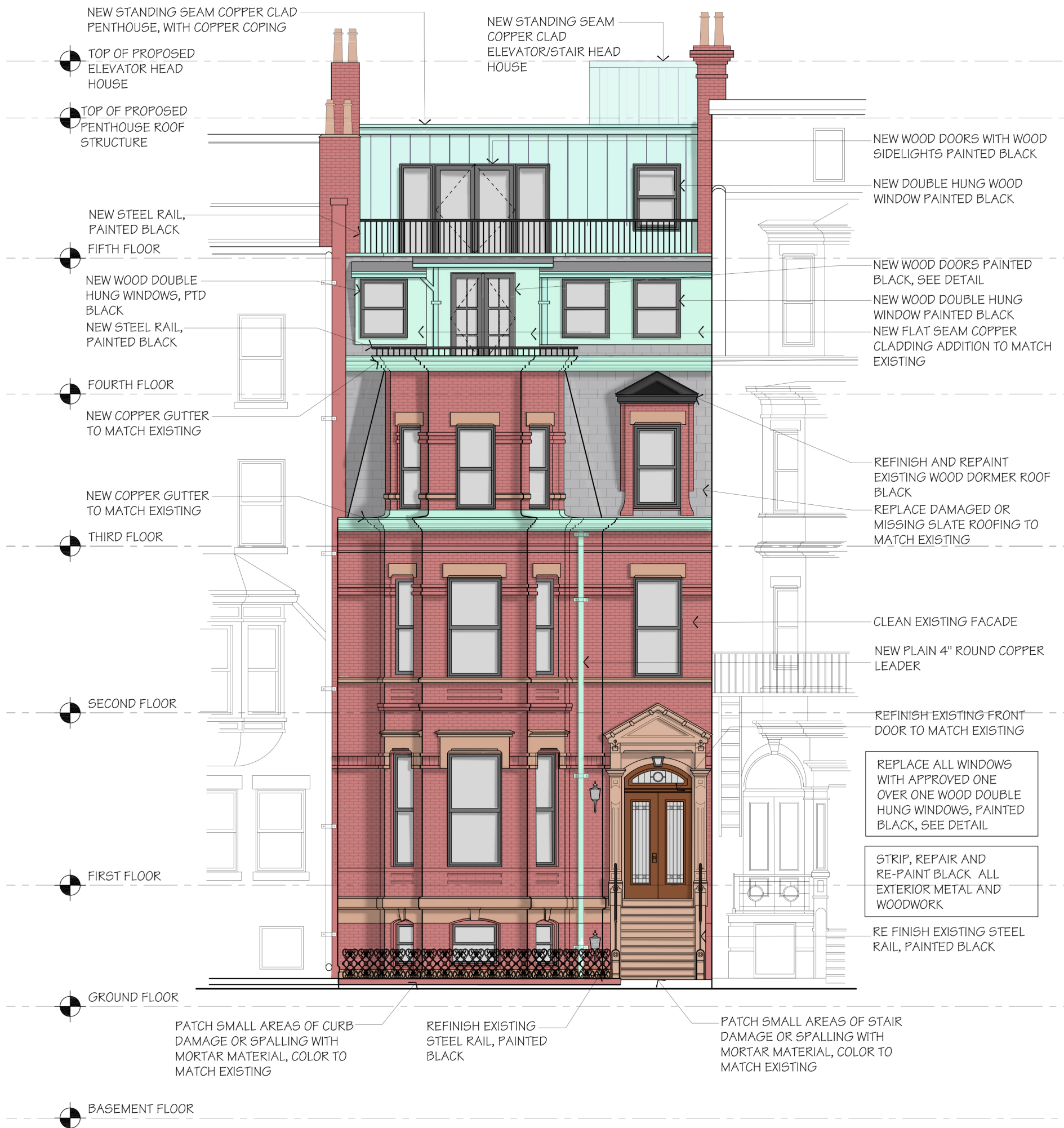
Existing Front Elevation

Scale: 1/8" = 1'-0"

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**MASONRY REPOINTING NOTES:**

- REPLACE MISSING OR DAMAGED BRICK TO MATCH EXISTING TYPE AND COLOR.
- REPOINT ELEVATION WITH HIGH SAND AND LIME CONTENT MORTAR. COLOR TO MATCH EXISTING.
- JOINTS TO BE "RAKED" TYPE.
- REMOVE EXCESS MORTAR FROM JOINTS.

Proposed

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Proposed Front Elevation

Scale: 1/8" = 1'-0"

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Existing

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## Existing Rear Elevation

Scale: 1/8" = 1'-0"

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**MASONRY REPOINTING NOTES:**

- REPLACE MISSING OR DAMAGED BRICK TO MATCH EXISTING TYPE AND COLOR.
- REPOINT ELEVATION WITH HIGH SAND AND LIME CONTENT MORTAR. COLOR TO MATCH EXISTING.
- JOINTS TO BE "RAKED" TYPE.
- REMOVE EXCESS MORTAR FROM JOINTS.

REPLACE ALL WINDOWS WITH APPROVED ONE OVER ONE WOOD DOUBLE HUNG WINDOWS, PAINTED BLACK, SEE DETAIL

Proposed

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Proposed Rear Elevation

Scale: 1/8" = 1'-0"

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Front



Rear

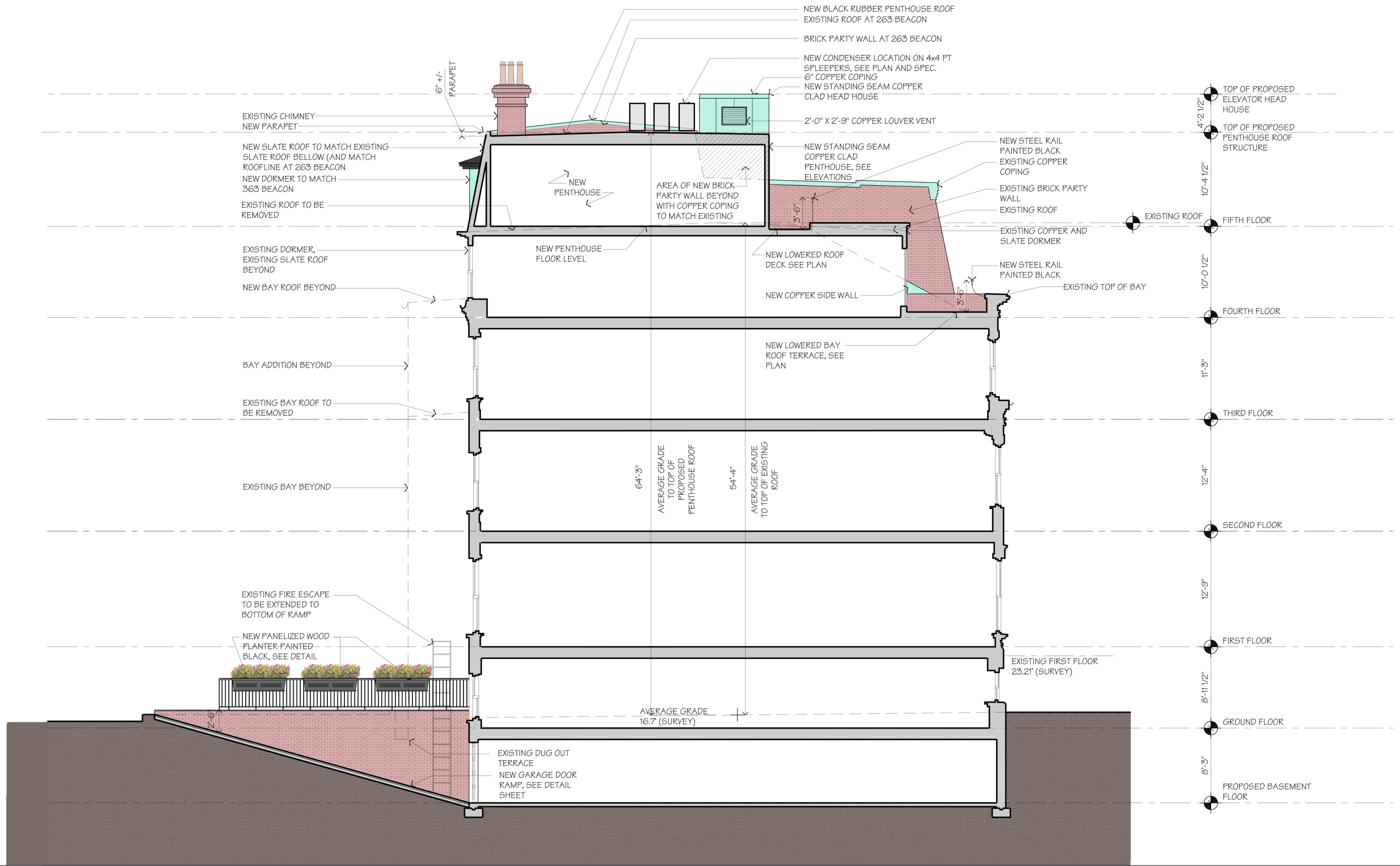
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# Proposed Penthouse Elevations

Scale: 1/4" = 1'-0"

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# Proposed Building Section And West Elevation

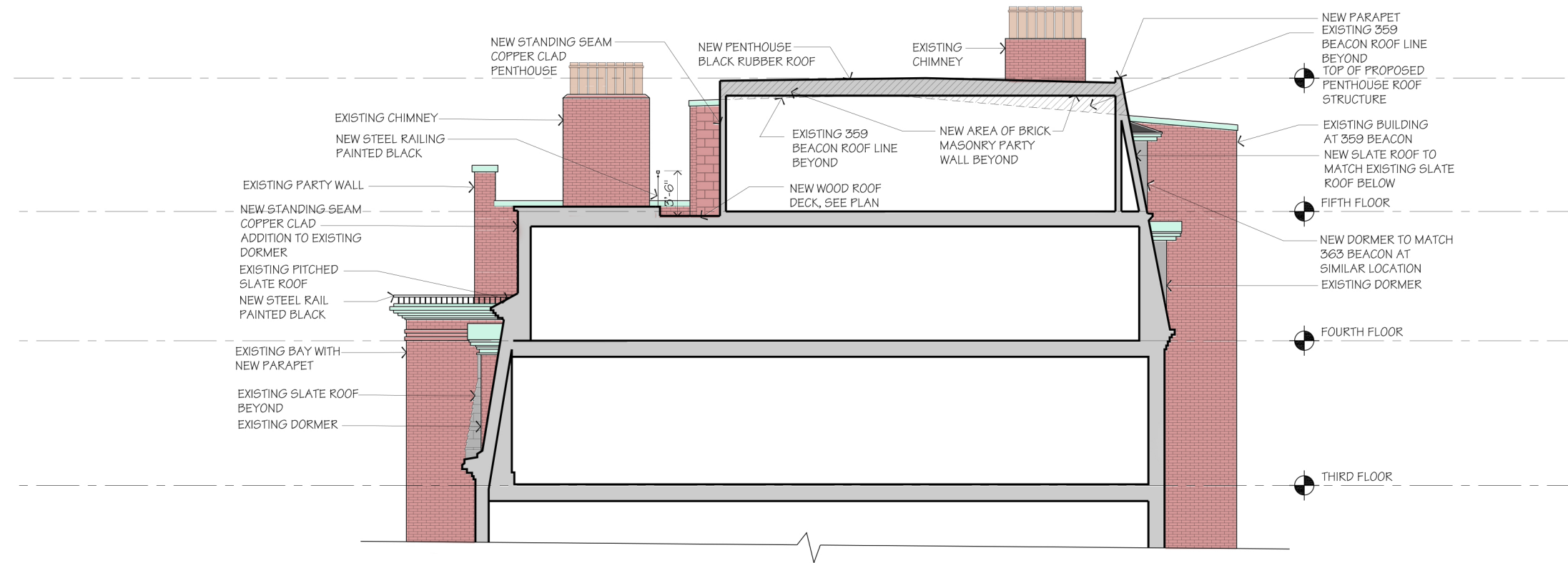
Scale: 3/32" = 1'-0"

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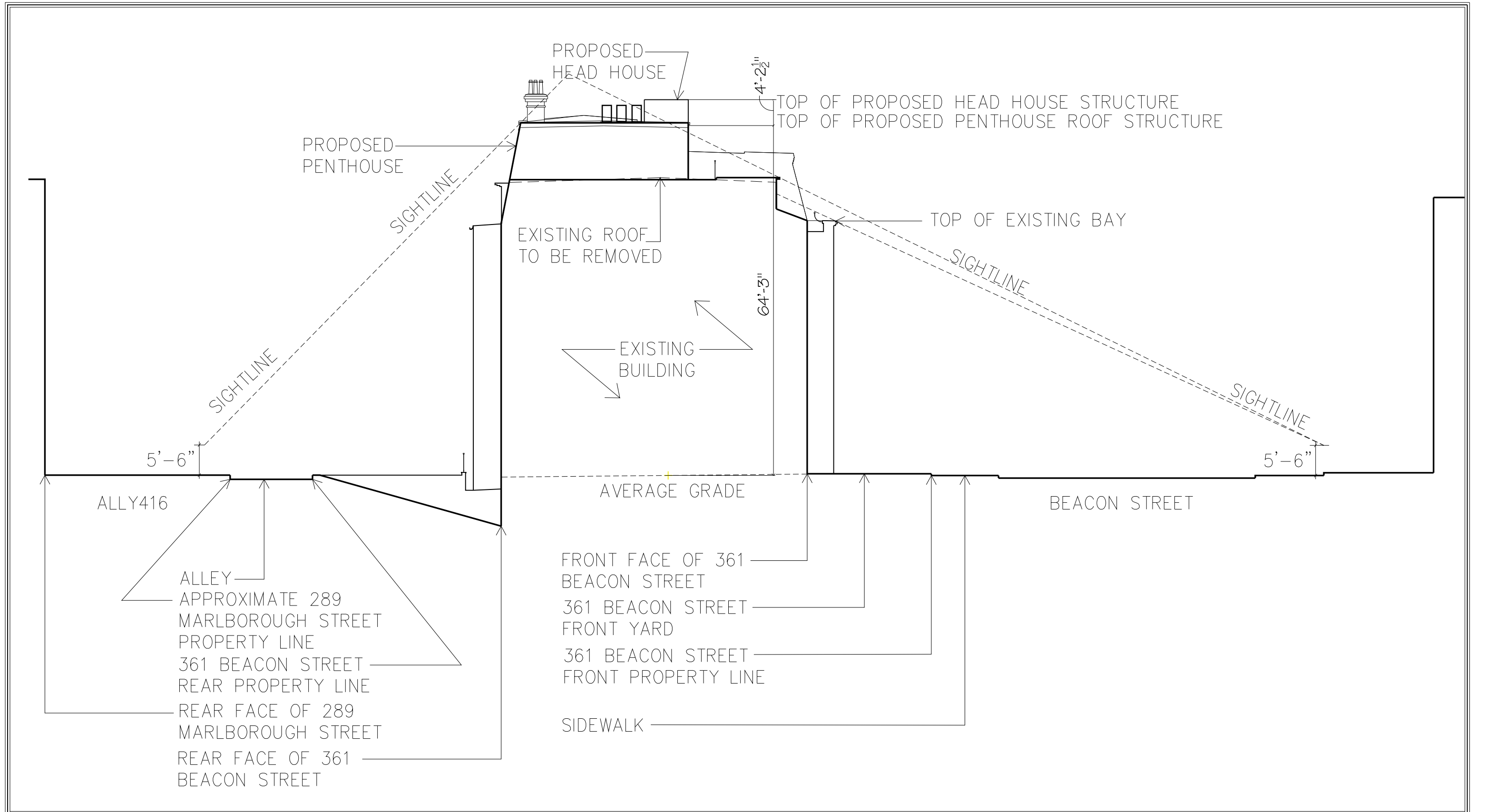
## Proposed Building Section And East Elevation

Scale: 3/32" = 1'-0"

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Proposed

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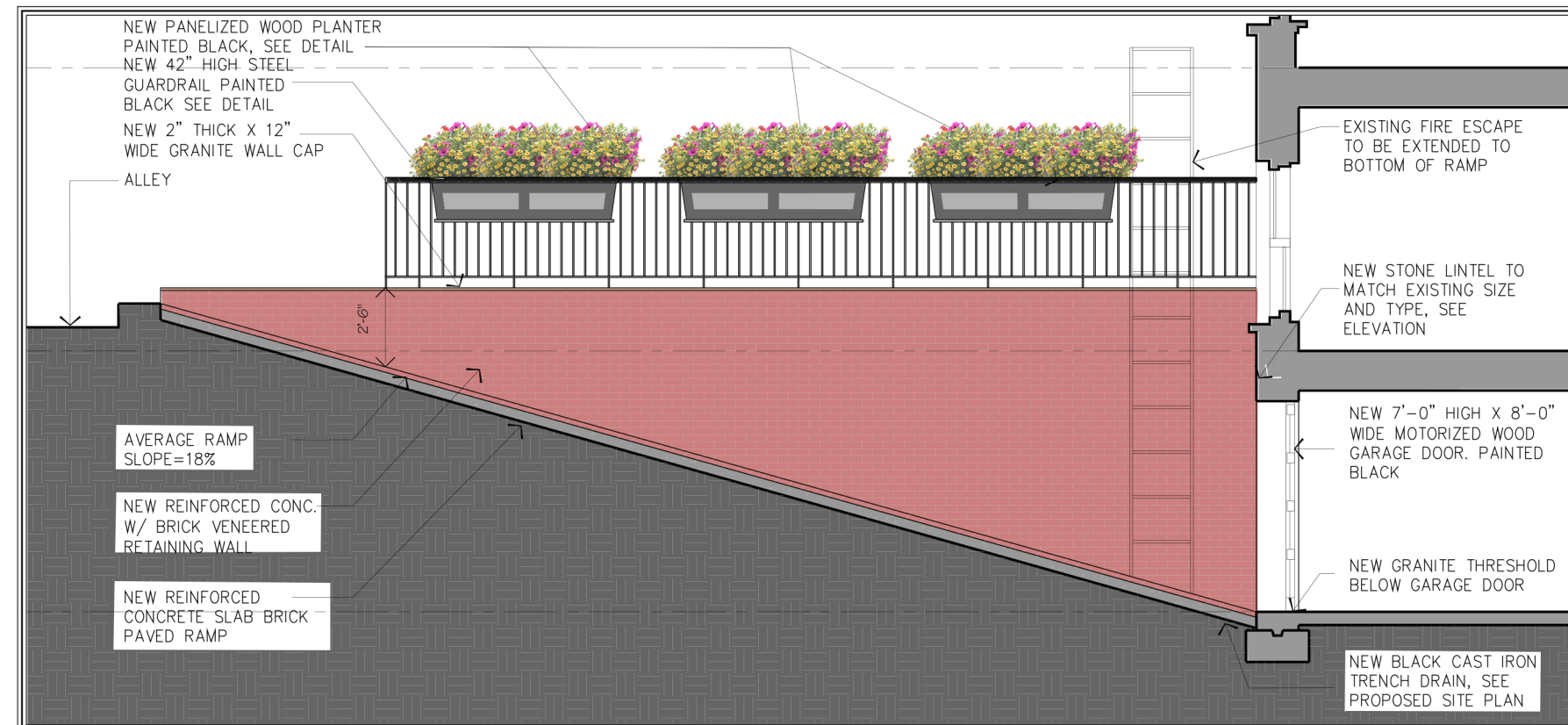
October 11, 2017

## Sightline Diagram

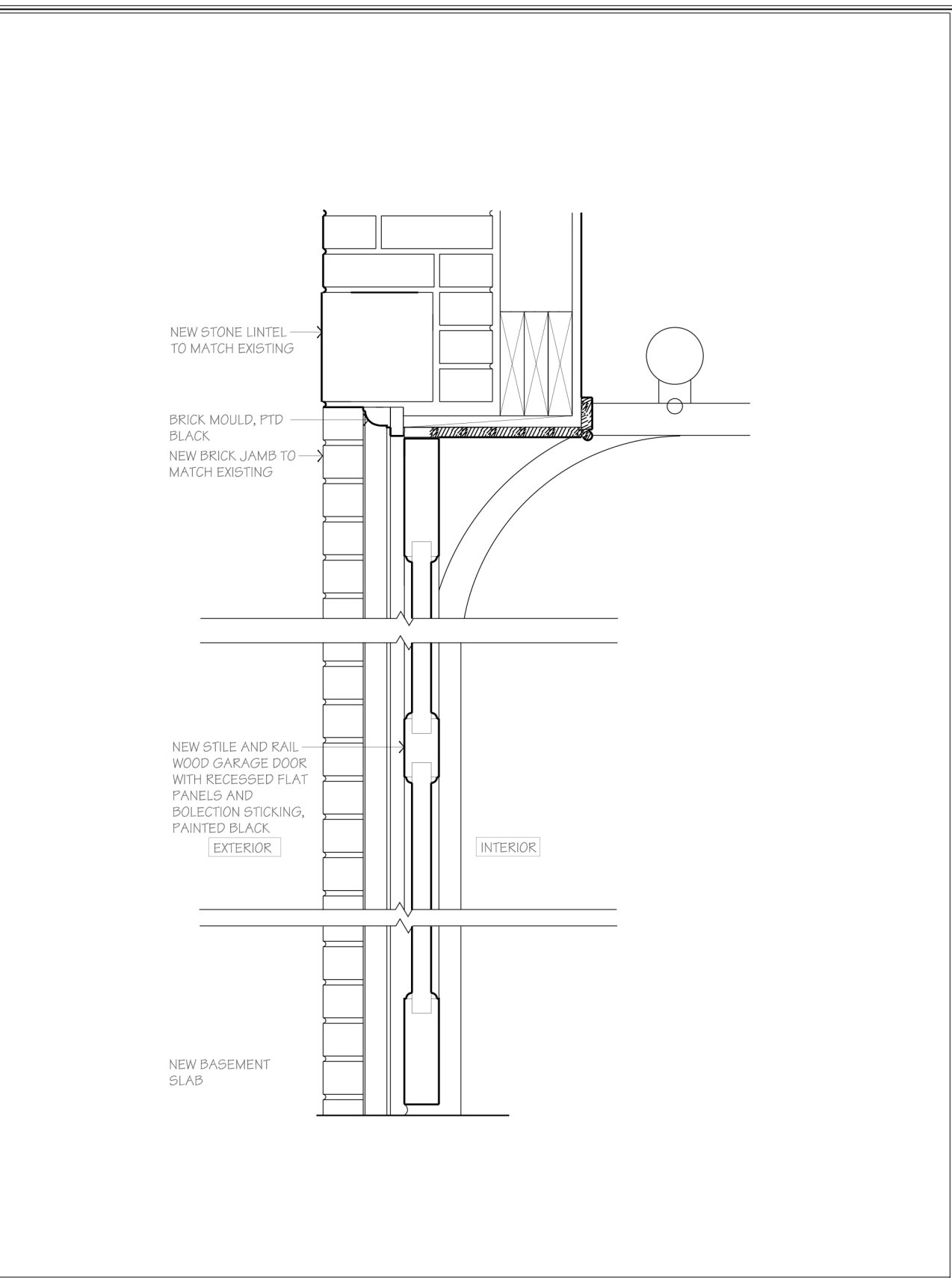
Not to Scale

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Garage Door Section and Ramp Elevation



GARAGE DOOR SECTION



Garage Door Elevation

# Proposed Garage Door

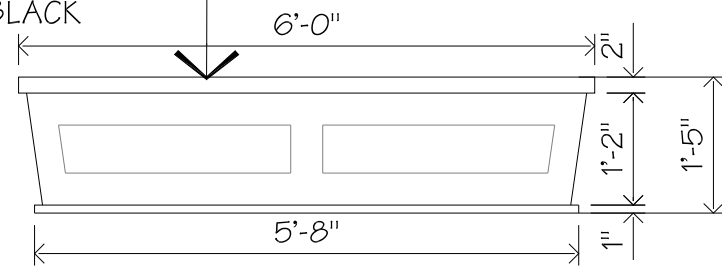
As Noted

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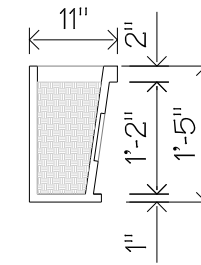
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NEW PANELIZED  
WOOD PLANTER  
PAINTED BLACK

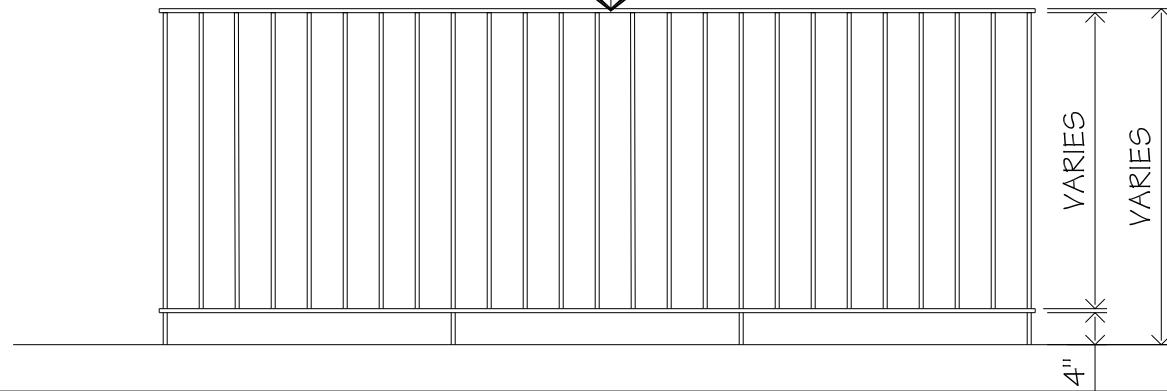


Typical Window Box Front Elevation

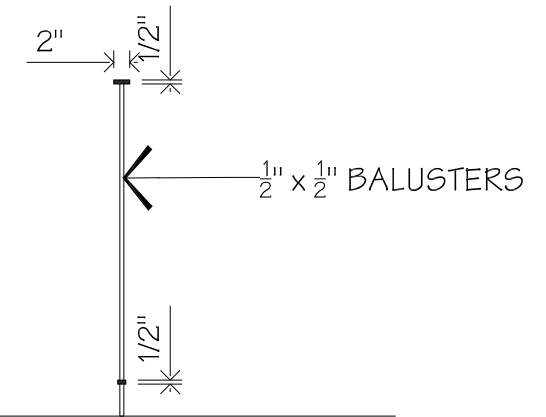


Typical Window Box Side Elevation

STEEL RAILING  
PAINTED BLACK

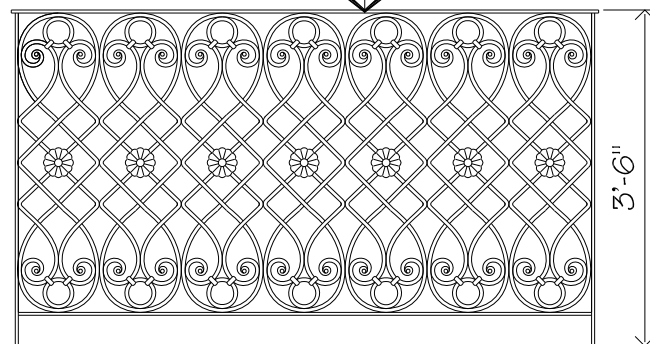


Typical Railing Front Elevation

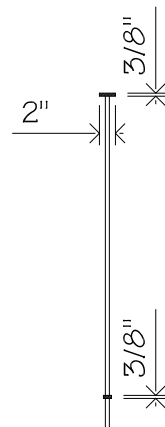


Typical Railing Side Elevation

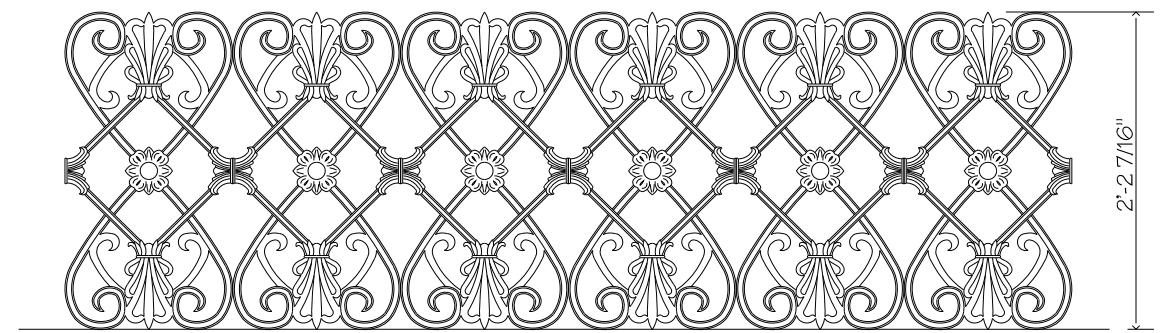
STEEL RAILING  
PAINTED BLACK



Typical Balcony Railing Front Elevation



Typical Balcony Railing Side Elevation



Typical Front Garden Rail

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Rail Details

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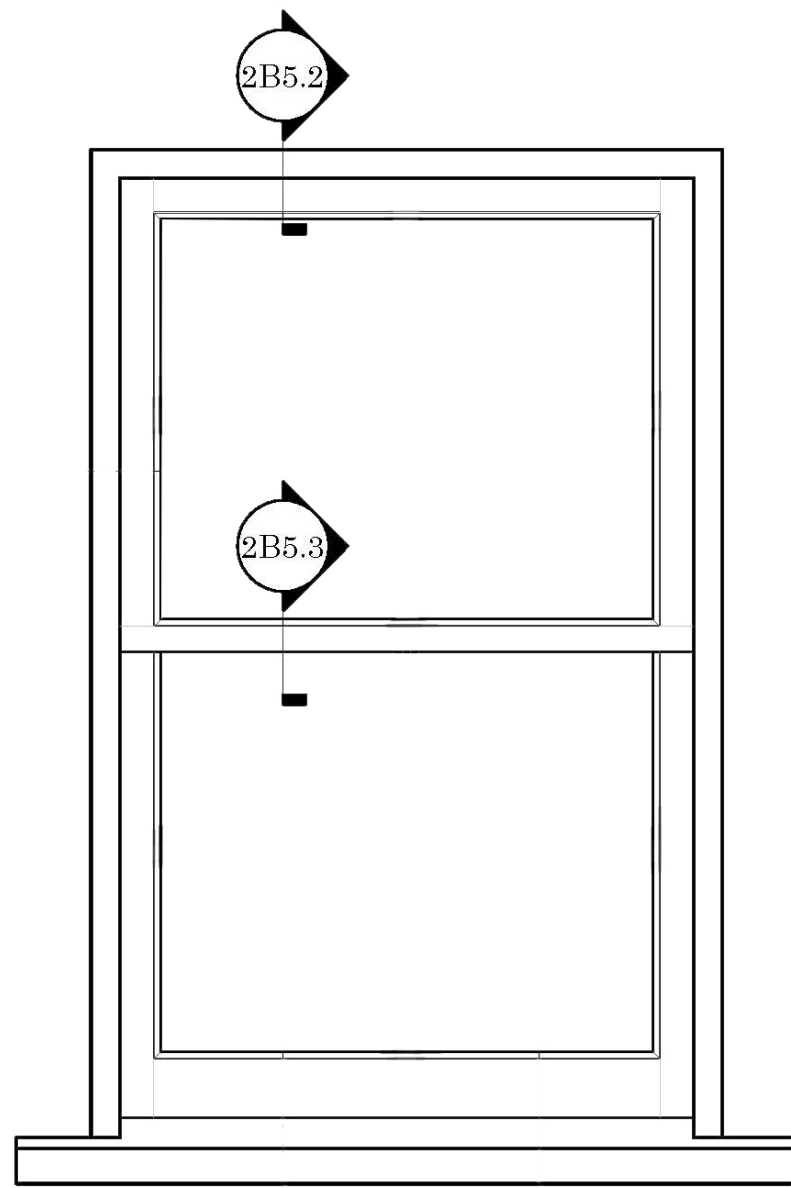
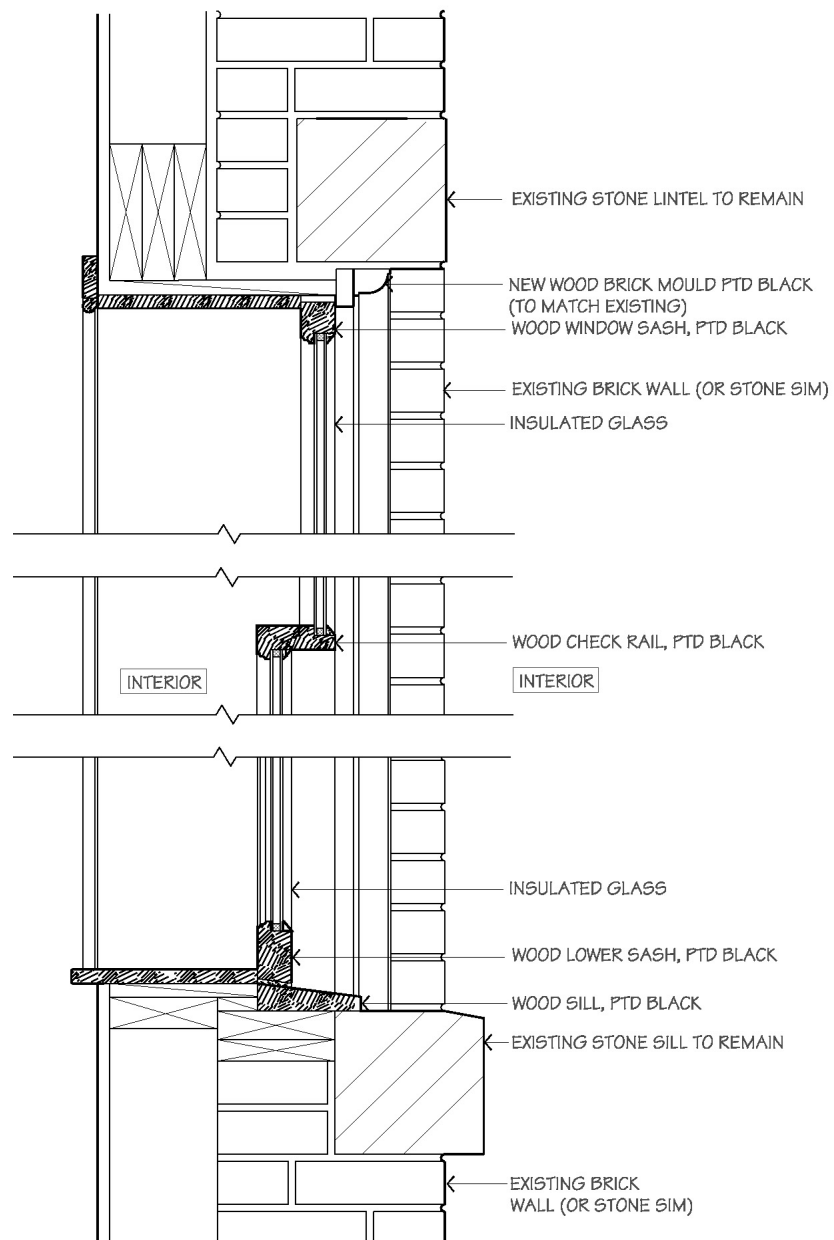
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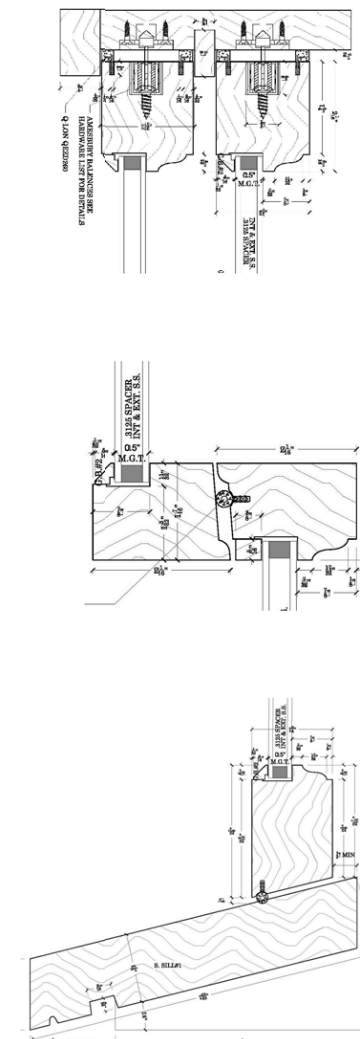
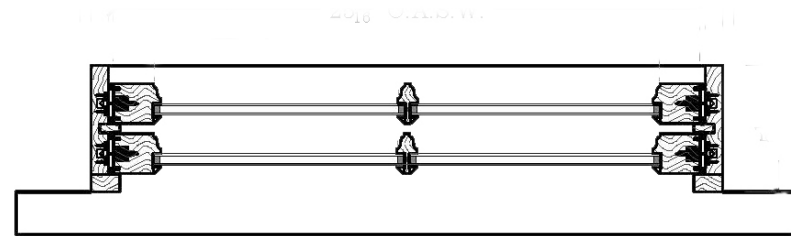
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ONE OVER ONE DOUBLE HUNG WINDOWS, PAINTED BLACK, TYPICAL ALL NEW WINDOWS



Straight Sash Detail

Typical Brick Wall Window Detail

Straight Sash Detail

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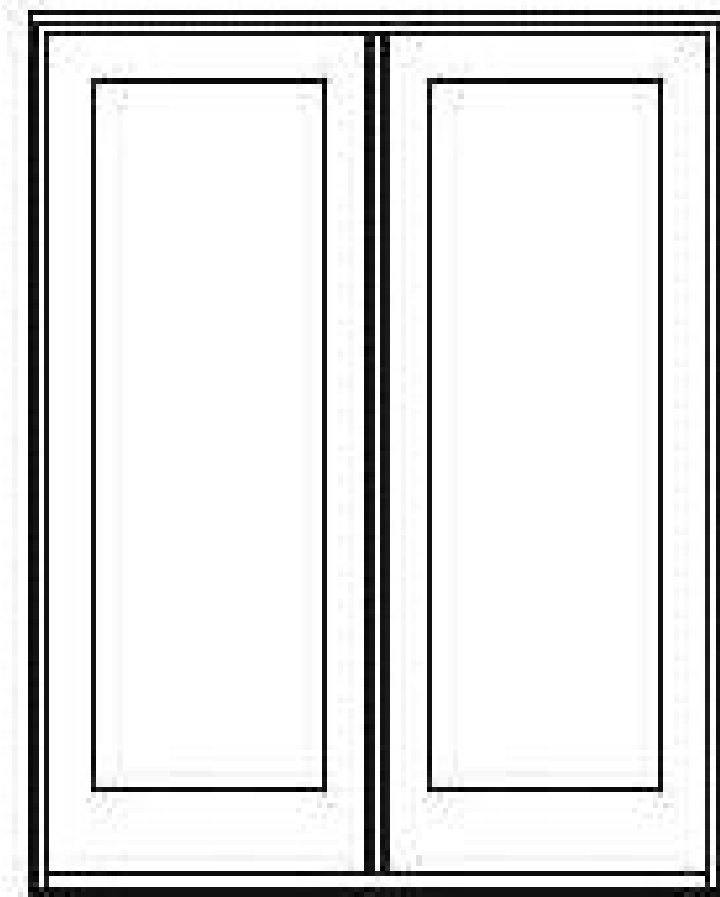
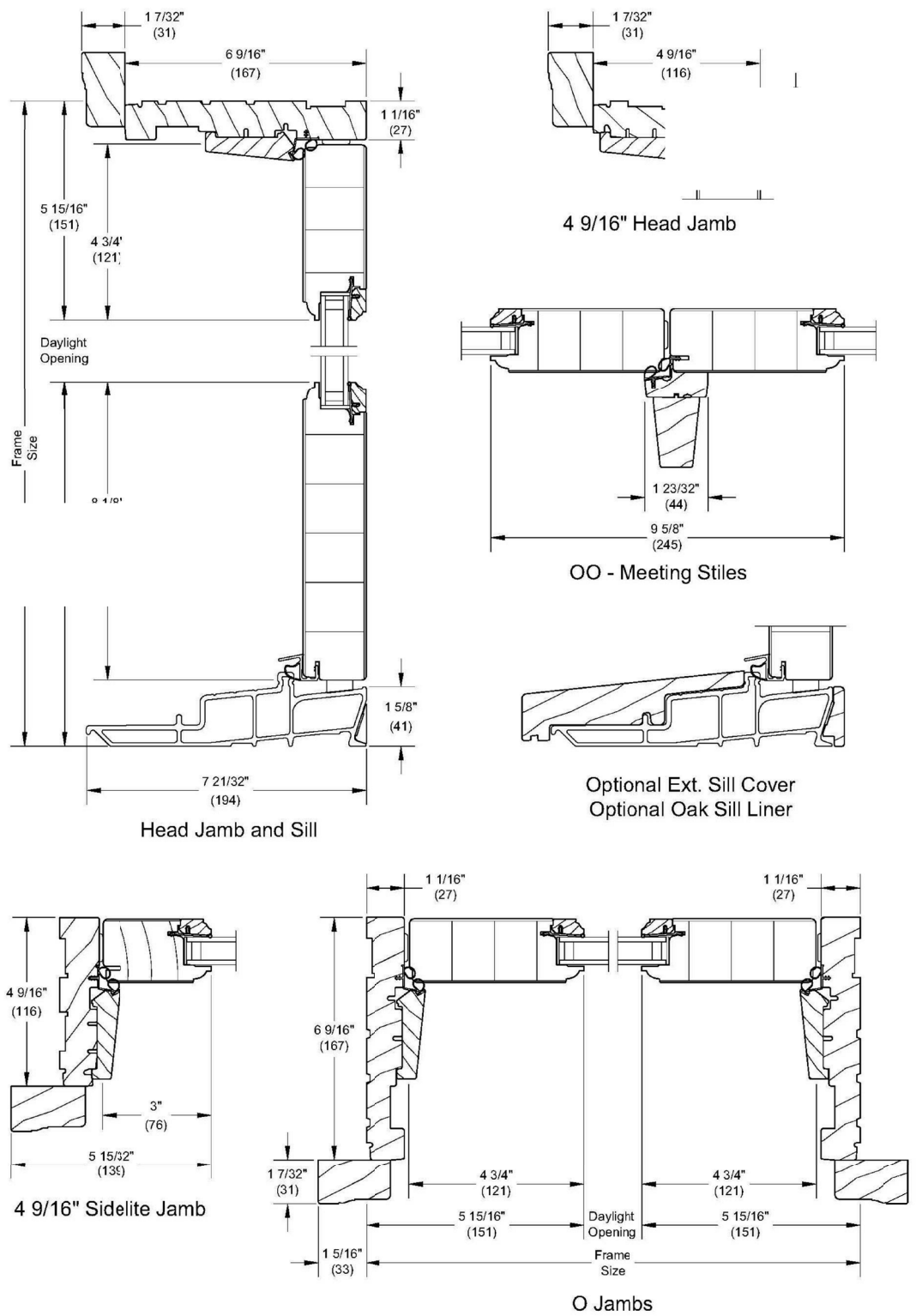
August 22, 2017

# Window Details

1 1/2" = 1' Scale

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WOOD STILE AND RAIL (AND GLASS) DOORS, PAINTED BLACK. TYPICAL ALL NEW DOORS

Wood Door Details

Wood Door Elevation

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# Door Details

1 1/2" = 1' Scale

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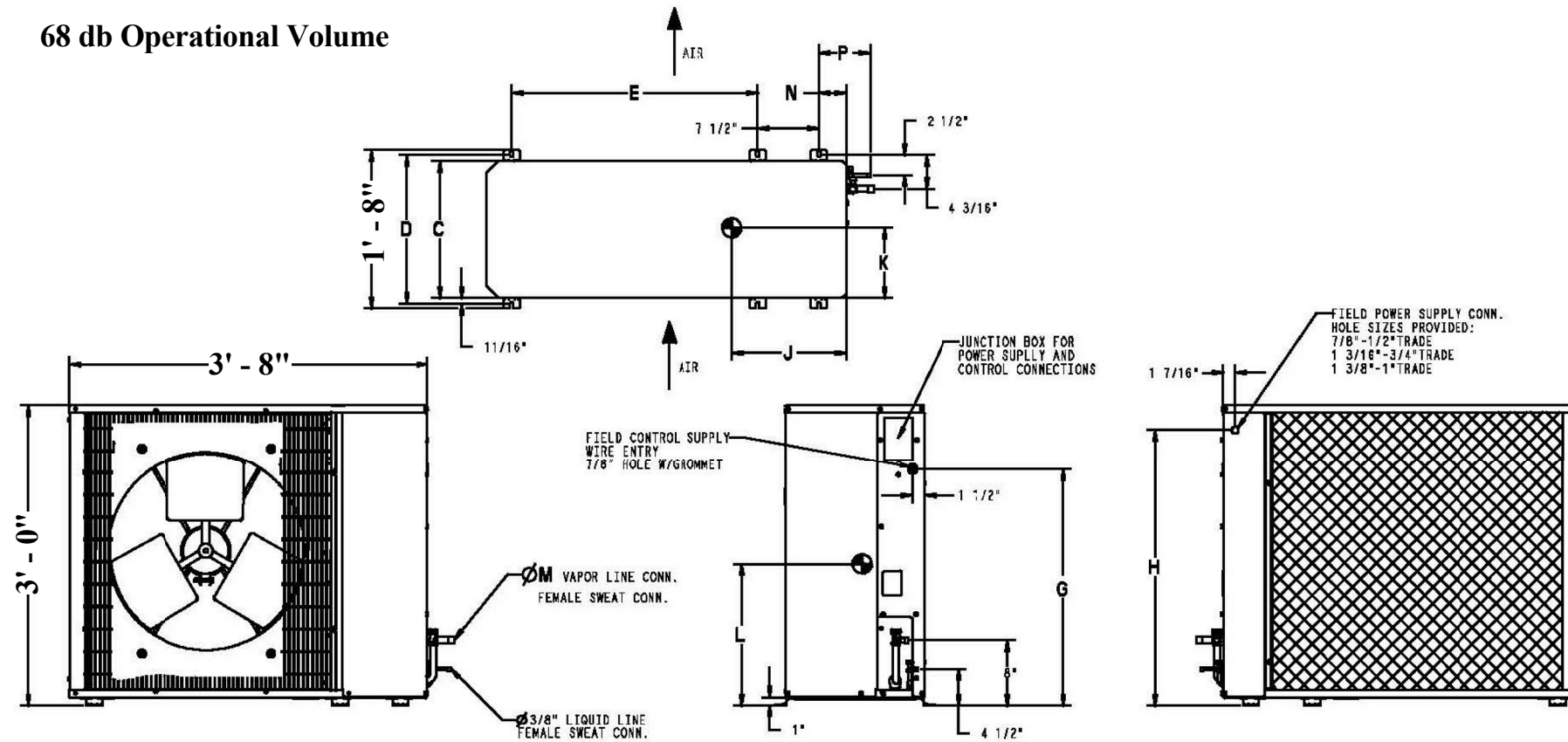
**38HDR**  
**Performance™ Series Air Conditioner**  
 with Puron® Refrigerant  
 1-1/2 to 5 Nominal Tons



## Product Data



**68 db Operational Volume**



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## Rooftop Air Conditioner Units

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