



St. Gabriel's Monastery

THE MONASTERY, BRIGHTON. MASS.

August 23, 2016



Entry Facade with Chapel on the right.



Detail of the "front" East Façade. This is an area where the conditions are better than for the rest of the building.



East (entry) Façade with necessary cornice repair due to water damage.
Roof Repair to utilize salvaged material from nurse's wing.
Water damage has manifested itself inside of building.

Drainage caused by water mostly done to missing downspout





Another example of damaged cornice conditions to be restored. All gutters within the cornice need to be replaced. In general, all gutters here failed and approximately 50% of cornice sections have failed.



Various Window types and their relationship to exterior wall.
No rooftop mechanized penetrations. Toro dormers on courtyard elevations will have louvers. Others are restored. All other mechanical louvers are located in basement level openings.



Existing doors and door frames will be reconstructed to match original design

Typical Chapel Window with over clad protective glazing. Stained glass will be restored, protective glazing required.







Challenge with window restoration.



Rear Facade Conditions



The rear elevation includes altered entries. The courtyard elevation is at right in above image.

North Wing to be retained.



Restoring the North Facade

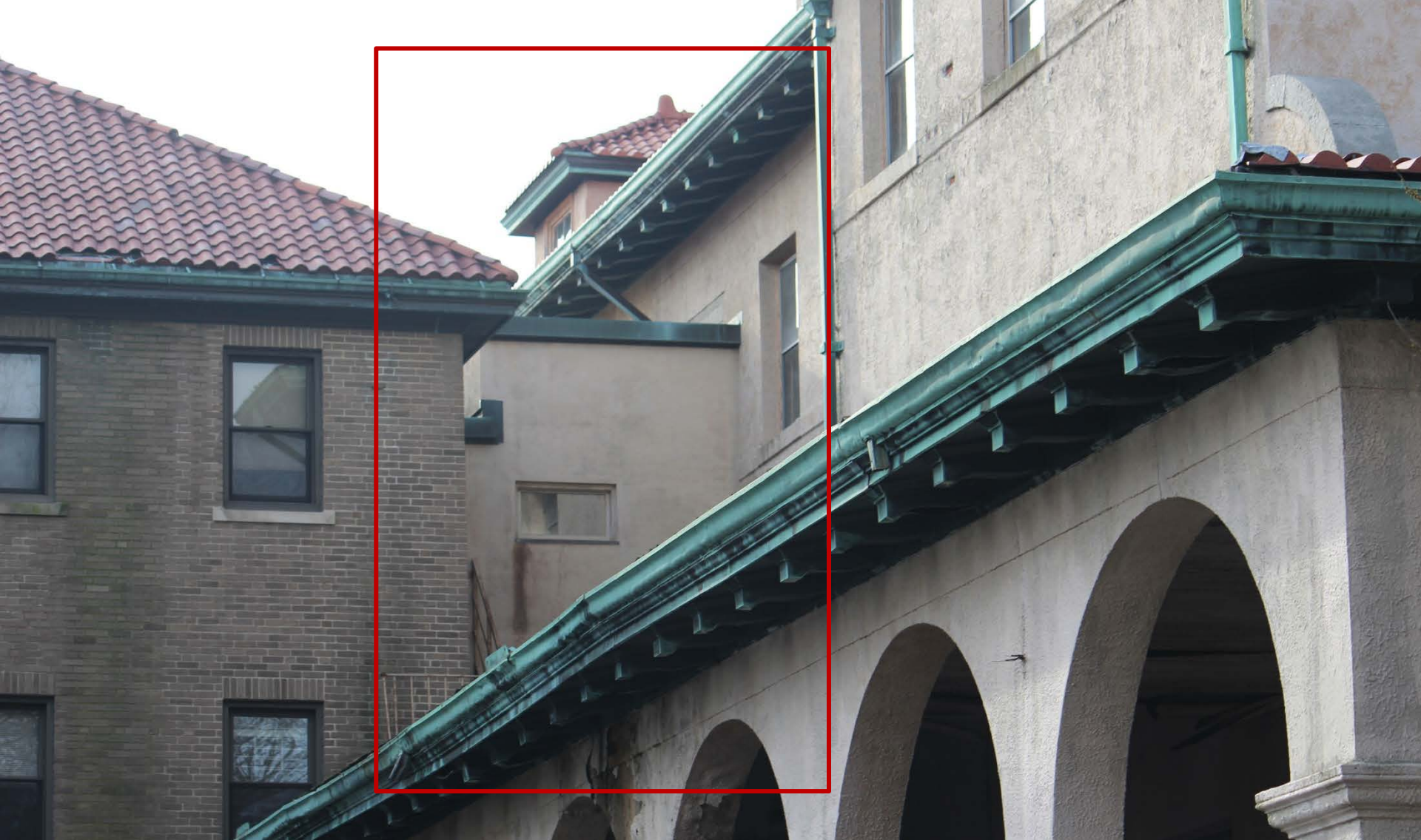




Pruning of "Additions" from Monastery Building will expose proch as it was originally constructed as shown on previous page.



Pruning of "Additions" from Monastery Building and porch treatment. Area where original porch was removed will have porch restored.



Another image showing later addition intruding onto Monastery building and porch.

Accessibility Provisions



Proposed Accessible Ramp location to be concealed from exterior view.

Interior of north porch to be restored due to massive damage caused by water infiltration. Accessible ramp to be concealed in porch at right side of incase.



North porch is not currently accessible and will be made accessible with new ramp concealed in porch



Main entry porch on east façade will be made accessible for those with physical disabilities with a new ramp concealed behind parapet wall



Existing overgrown front entry to Monastery at East Façade is not accessible and will be made accessible. Front Entry doors will be restored.



Existing light well is structurally unsound and is being removed to enable an accessible ramp to be installed to basement level where pet wash, boiler storage and maker space is located.

Stucco Conditions



Stucco Condition visible and implied cracking of underlying stucco layer. Stucco has been coated with uniform color on walls and window sills.



Stucco Conditions: Evidence of Previous Coating



Evidence of above roofline water penetration.

Bottom window of 4 part opening was filled in likely due to water infiltration.

Stucco appears more damaged in areas where wall had opportunity to freeze (areas above heated portions of the roof).

Elevations



East Elevation

0' 20'



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North Elevation



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Elevation showing restored North porch restoring façade to its original condition.



Perspective of proposed entry façade.



Perspective of entry of building.



South Elevation

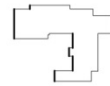


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West Elevation

0' 20'



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St. Gabriel's Monastery Renovation

Brighton, MA

DRAWING LIST

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A602	Door Details Center Courtyard Door
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A610	Window Details Double Hung
A611	Window Details Double Hung with Transom
A612	Window Details Double Hung Dormer
A613	Window Details Tower
A614	Window Details Quatrefoil
A615	Window Details Chapel



FRONT VIEW OF BLESSED GABRIEL'S PASSIONIST MONASTERY, BRIGHTON, MASS



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bh+a

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PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**

185 Dartmouth Street
Boston, MA 02110

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5	_____ DATE

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Cover Sheet

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE

Historic Tax Credit Submission
DESCRIPTION

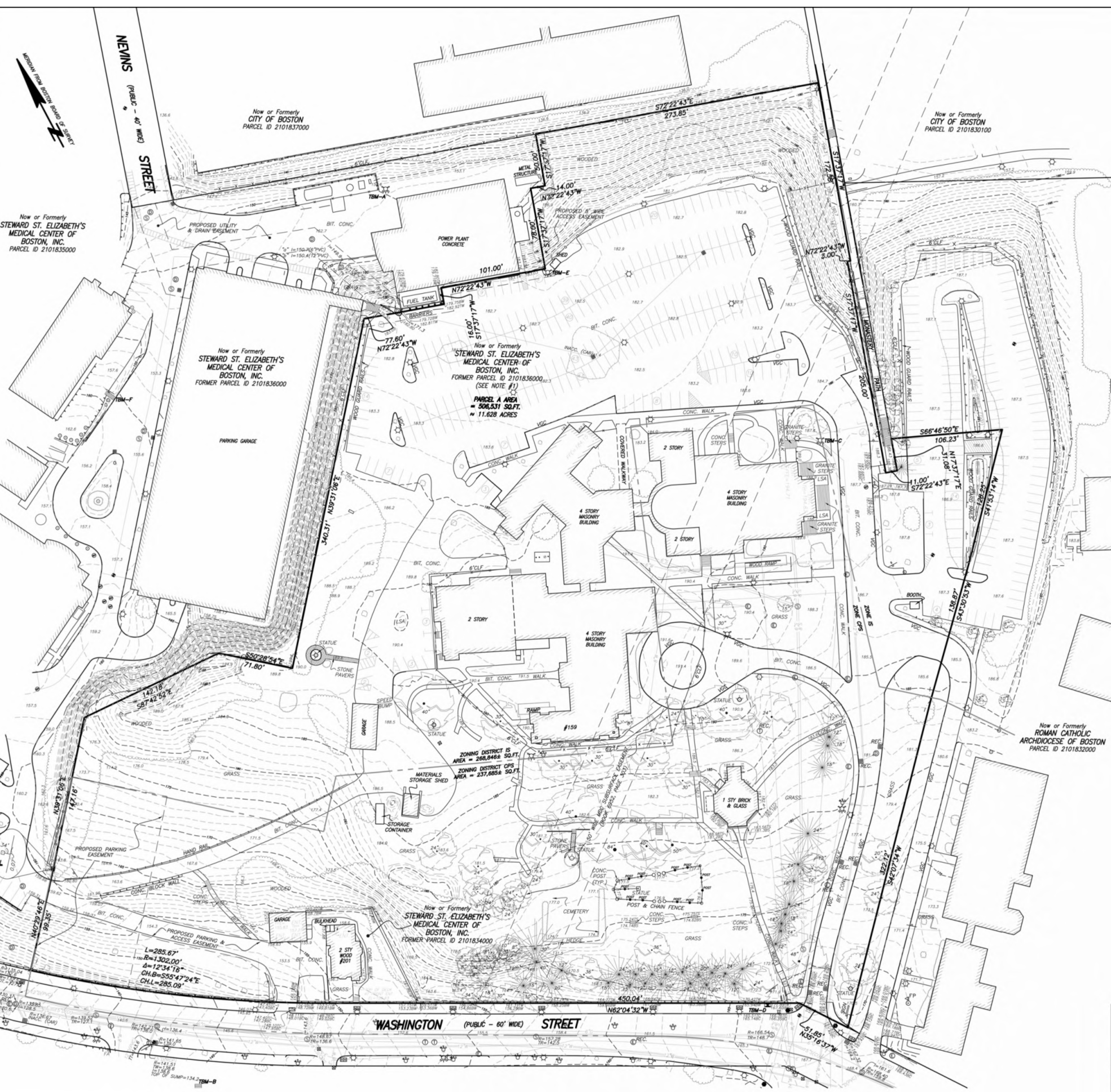
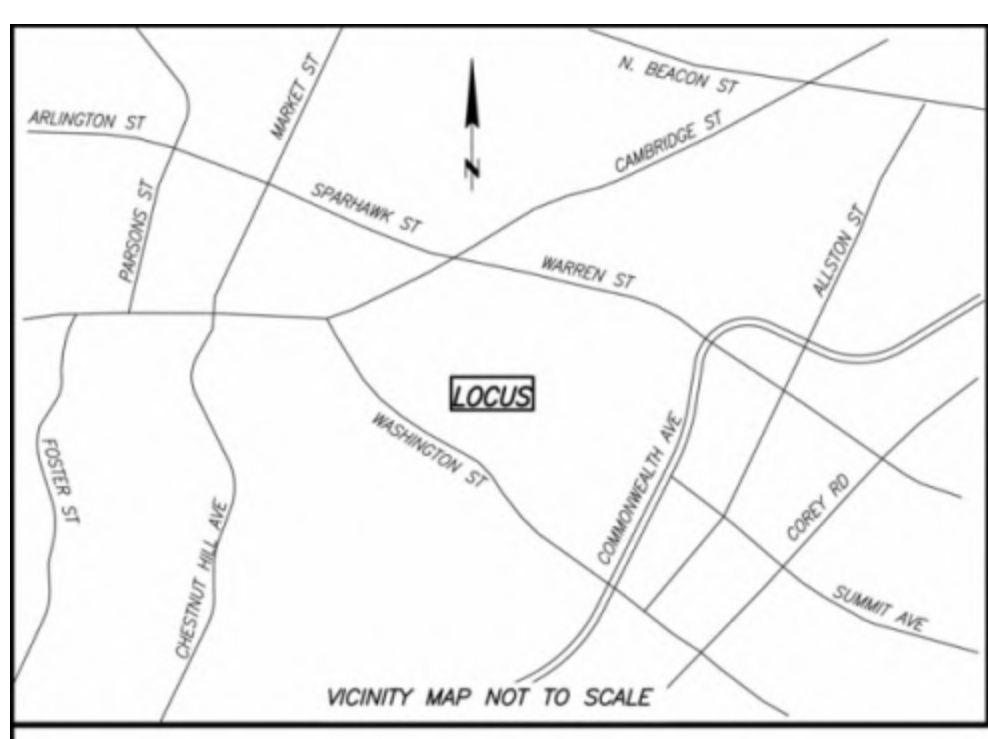
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G000

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- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ WATER MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ CABLE TV MANHOLE
 - ⊙ MBTA MANHOLE
 - ⊙ STEAM MANHOLE
 - ⊙ HYDRANT
 - ⊙ WATER SHUT OFF/WATER GATE
 - ⊙ GAS SHUT OFF/GAS GATE
 - ⊙ BOSTON WATER VALVE
 - ⊙ CATCH BASIN
 - ⊙ TRAFFIC CONTROL BOX
 - ⊙ TRAFFIC SIGNAL
 - ⊙ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC HANDHOLE
 - ⊙ BOLLARD
 - ⊙ SIGN
 - ⊙ FP FLAG POLE
 - ⊙ FA FIRE ALARM
 - ⊙ GM GAS METER
 - ⊙ EM ELECTRIC METER
 - ⊙ HP HANDICAP PARKING SPACE
 - ⊙ DT DECIDUOUS TREE
 - ⊙ CT CONIFEROUS TREE
 - ⊙ HR HANDICAP RAMP
 - ⊙ CR CURB RETURN
 - ⊙ BT BITUMINOUS
 - ⊙ CONC CONCRETE
 - ⊙ FFE FINISH FLOOR ELEVATION
 - ⊙ INV INVERT ELEVATION
 - ⊙ INACC INACCESSIBLE
 - ⊙ M&S MULCH & SHRUBS
 - ⊙ N/F NOW OR FORMERLY
 - ⊙ NTS NOT TO SCALE
 - ⊙ NVP NO VISIBLE PIPES
 - ⊙ Rm RADIUS OR RIM ELEVATION
 - ⊙ REC RECORD
 - ⊙ RET RETAINING
 - ⊙ SQ FT SQUARE FEET
 - ⊙ TBM TEMPORARY BENCH MARK
 - ⊙ TH THRESHOLD
 - ⊙ TR CENTERLINE OF TROUGH
 - ⊙ TT TOP OF TRAP
 - ⊙ TYP TYPICAL
 - ⊙ VCC VERTICAL GRANITE CURB
 - ⊙ C CABLE TELEVISION
 - ⊙ CS COMBINED SEWER
 - ⊙ D DRAIN
 - ⊙ E ELECTRIC
 - ⊙ G GAS
 - ⊙ M MBTA
 - ⊙ OHW OVERHEAD WIRES
 - ⊙ S SEWER
 - ⊙ T TELEPHONE
 - ⊙ W WATER
 - ⊙ X METAL FENCE
 - ⊙ Y EDGE OF WOODS

- REFERENCES**
- COUNTY REGISTRY OF DEEDS
 - BOOK 55541, PAGE 5
 - PLAN NO. 537 OF 2015
 - BOSTON BOARD OF SURVEY
 - PLAN NO. 0-37
 - PLAN NO. 0-38
 - PLAN NO. 0-39
 - PLAN NO. 0-42
 - PLAN NO. 0-43
 - CITY OF BOSTON ENGINEERING DEPARTMENT
 - PLAN NO. L-3623
 - PLAN NO. L-5552
 - PLAN NO. L-5628
 - PLAN NO. L-6866
 - PLAN NO. L-7549
 - PLAN NO. L-9206

- NOTES:**
- 1) BENCH MARK INFORMATION:
BENCH MARK USED:
RIGHT OUTER CORNER LOWER STONE STEP (R.O.C.L.S.S.) AT #1408 COMMONWEALTH AVENUE. ELEVATION=74.61

TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT ON RIGHT FRONT CAP BOLT OF HYDRANT, ELEVATION = 154.60
TBM-B: RIGHT OUTER CORNER OF LOWER STONE STEP AT 212 WASHINGTON STREET. ELEVATION = 144.88
TBM-C: X-CUT ON RIGHT FRONT CAP BOLT OF HYDRANT, ELEVATION = 189.34
TBM-D: NORTHERLY CORNER OF CONCRETE PAD FOR TRAFFIC CONTROL BOX, ELEVATION = 167.02
TBM-E: X-CUT ON LEFT FRONT CAP BOLT OF HYDRANT, ELEVATION = 185.99
TBM-F: LEFT OUTER CORNER OF LOWER STONE STEP, ELEVATION = 156.15
 - 2) ELEVATIONS REFER TO BOSTON CITY BASE.
 - 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25025C00576, CITY OF BOSTON COMMUNITY NUMBER 250285, PANEL NUMBER 00576, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
 - 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORDED PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED BEFORE PLANNING FUTURE CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
 - 6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

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REVISIONS

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DRAWING TITLE
Existing Site Survey

DRAWING INFORMATION

August 8, 2017
 DATE OF ISSUE

Historic Tax Credit Submission
 DESCRIPTION

SCALE: _____ Author
 DRAWN BY

3284 PROJECT # 3284 St Gabriel.ytd
 FILE NAME

DRAWING NUMBER
C001

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EXISTING CONDITIONS PLAN
 159 & 201 WASHINGTON STREET
 BOSTON (BRIGHTON DISTRICT), MASS.

FELDMAN LAND SURVEYORS FEBRUARY 12, 2016
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 www.feldmansurveyors.com

FELDMAN
 LAND SURVEYORS

40 0 20 40 80 160
 SCALE: 1"=40'

RESEARCH	FIELD CHECK AB	PROJ MGR MOS	APPROVED KAM	SHEET NO. 1 OF 1
CALC MOS	CADD MOS	FIELD CHECKED	GRD FILE 14844	JOB NO. 14844

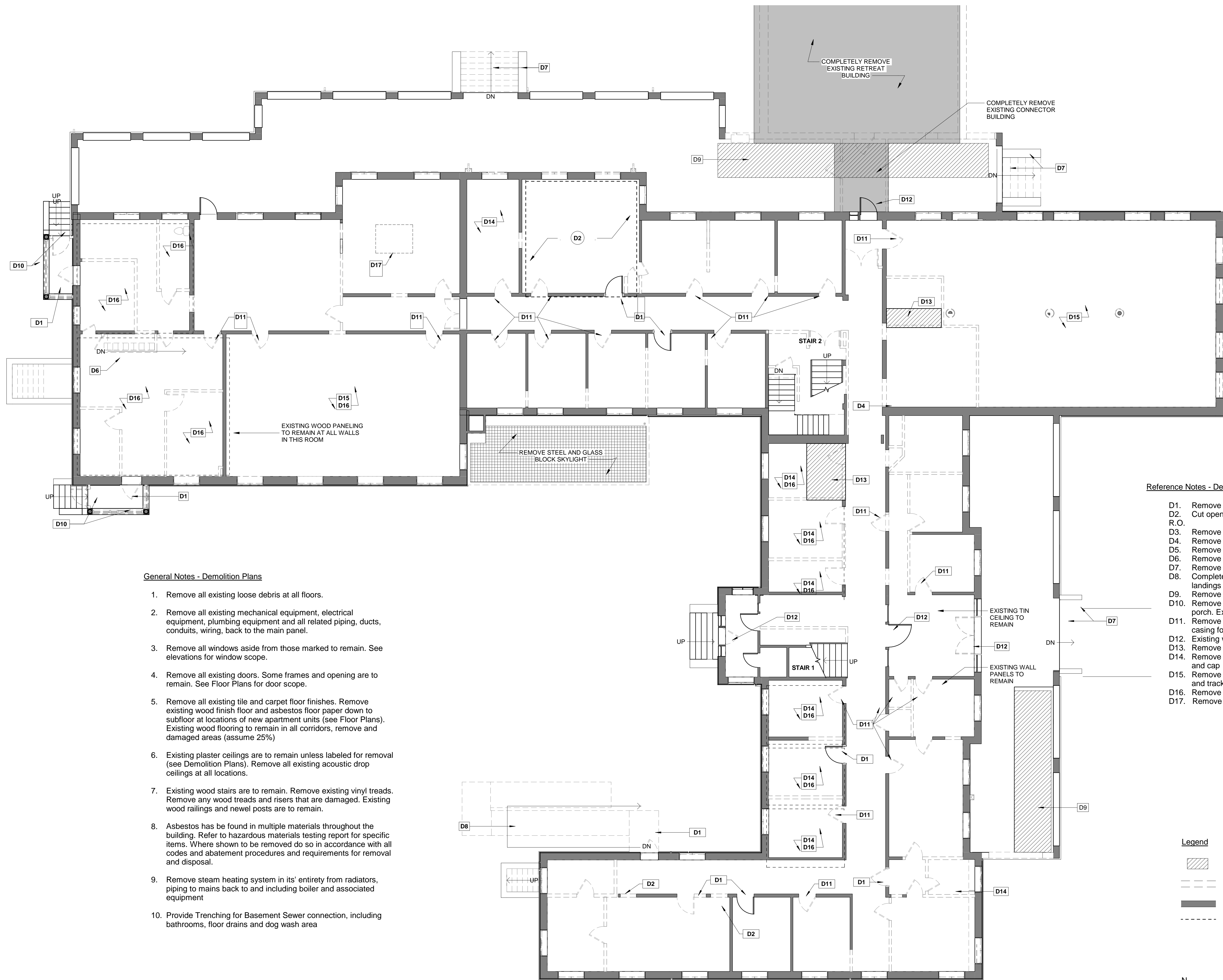
FILENAME: S:\PROJECTS\14900\14900\DWG\14944-EC.dwg

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY, PHOTOGRAMMETRIC MAPPING AND THE LATEST PLANS AND DEEDS OF RECORD.

KARL A. MCCARTHY, PLS (MA# 38714) DATE _____
 kam@feldmansurveyors.com

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 1/12/2017 5:11:26 PM Author

NOT TO SCALE



General Notes - Demolition Plans

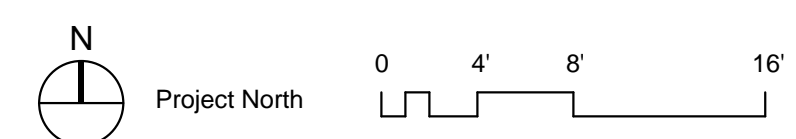
1. Remove all existing loose debris at all floors.
2. Remove all existing mechanical equipment, electrical equipment, plumbing equipment and all related piping, ducts, conduits, wiring, back to the main panel.
3. Remove all windows aside from those marked to remain. See elevations for window scope.
4. Remove all existing doors. Some frames and opening are to remain. See Floor Plans for door scope.
5. Remove all existing tile and carpet floor finishes. Remove existing wood finish floor and asbestos floor paper down to subfloor at locations of new apartment units (see Floor Plans). Existing wood flooring to remain in all corridors, remove and damaged areas (assume 25%)
6. Existing plaster ceilings are to remain unless labeled for removal (see Demolition Plans). Remove all existing acoustic drop ceilings at all locations.
7. Existing wood stairs are to remain. Remove existing vinyl treads. Remove any wood treads and risers that are damaged. Existing wood railings and newel posts are to remain.
8. Asbestos has been found in multiple materials throughout the building. Refer to hazardous materials testing report for specific items. Where shown to be removed do so in accordance with all codes and abatement procedures and requirements for removal and disposal.
9. Remove steam heating system in its' entirety from radiators, piping to mains back to and including boiler and associated equipment
10. Provide Trenching for Basement Sewer connection, including bathrooms, floor drains and dog wash area

Reference Notes - Demolition Plan

- D1. Remove existing door. Frame and opening to remain
- D2. Cut opening in existing wall; oversize openings for door R.O.
- D3. Remove existing equipment
- D4. Remove existing door, enlarge opening
- D5. Remove existing stone stairs
- D6. Remove existing stairs
- D7. Remove existing concrete steps and cheek walls
- D8. Completely remove existing wood ramp, railing and landings
- D9. Remove portion of concrete floor at porch for new ramp
- D10. Remove existing infill windows, doors, and walls at exterior porch. Existing wood columns and stucco walls to remain
- D11. Remove existing door, frame, and casing. Salvage existing casing for reuse
- D12. Existing wood doors and sidelights to remain
- D13. Remove area of flooring and head off joists for new opening
- D14. Remove plumbing fixtures and associated piping to mains and cap
- D15. Remove existing ceiling tiles and/or suspended ceiling tiles and tracks
- D16. Remove existing plaster ceiling and lath to joists
- D17. Remove existing skylight, curbing and flashings

Legend

- Section of floor to be removed
- Element to be removed
- Wall to remain
- Remove existing interior wall finish and plaster to studs

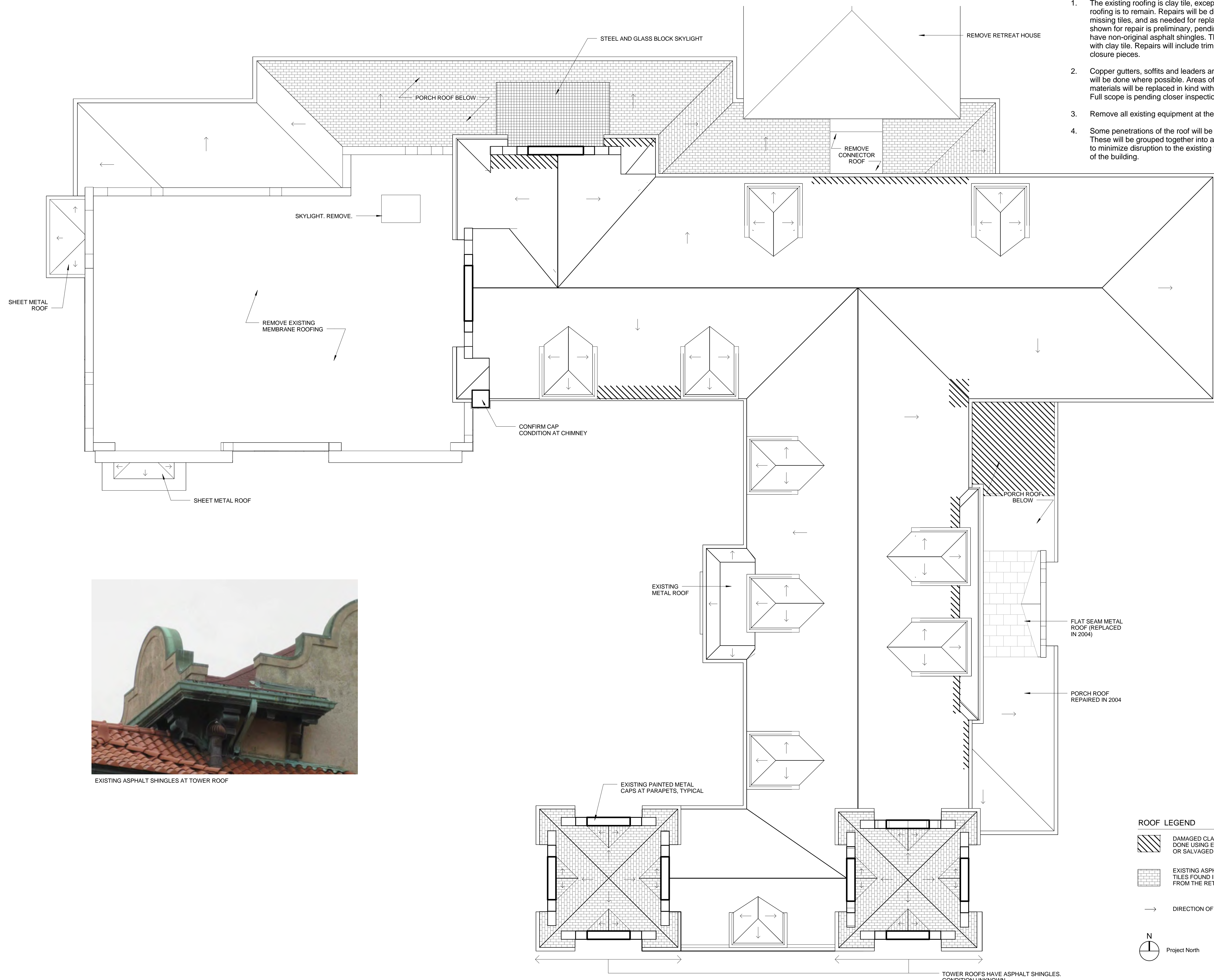


REVISIONS

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DRAWING INFORMATION

August 8, 2017	DATE OF ISSUE
25% Design Development	DESCRIPTION
1/8" = 1'-0"	SCALE
JT	DRAWN BY
3284	PROJECT #
3284_St.Gabriel.rvt	FILE NAME



General Notes - Existing Roof Plan

1. The existing roofing is clay tile, except where noted otherwise. Clay tile roofing is to remain. Repairs will be done at select locations of broken or missing tiles, and as needed for replacement of copper flashings. The areas shown for repair is preliminary, pending inspection with a lift. Some areas have non-original asphalt shingles. There are to be removed and replaced with clay tile. Repairs will include trim pieces such as hip and ridge tiles, and closure pieces.
2. Copper gutters, soffits and leaders are in various states of disrepair. Repairs will be done where possible. Areas of seriously deteriorated or missing materials will be replaced in kind with plain copper, profiles to match existing. Full scope is pending closer inspection with a lift.
3. Remove all existing equipment at the flat roof.
4. Some penetrations of the roof will be needed for plumbing and other venting. These will be grouped together into as few penetrations as possible, in order to minimize disruption to the existing tile, and will be located only at the rear of the building.



EXISTING ASPHALT SHINGLES AT TOWER ROOF

ROOF LEGEND

- DAMAGED CLAY TILE ROOFING. REPAIRS TO BE DONE USING EXTRA TILES FOUND IN THE BASEMENT OR SALVAGED FROM THE RETREAT HOUSE
- EXISTING ASPHALT SHINGLES. REPLACE WITH CLAY TILES FOUND IN THE BASEMENT, OR SALVAGED FROM THE RETREAT HOUSE
- DIRECTION OF ROOF SLOPE

Project North

0 4' 8' 16'

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DRAWING TITLE
Existing Roof Plan

DRAWING INFORMATION

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Historic Tax Credit Submission
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1/8" = 1'-0"
 SCALE

3284
 PROJECT #

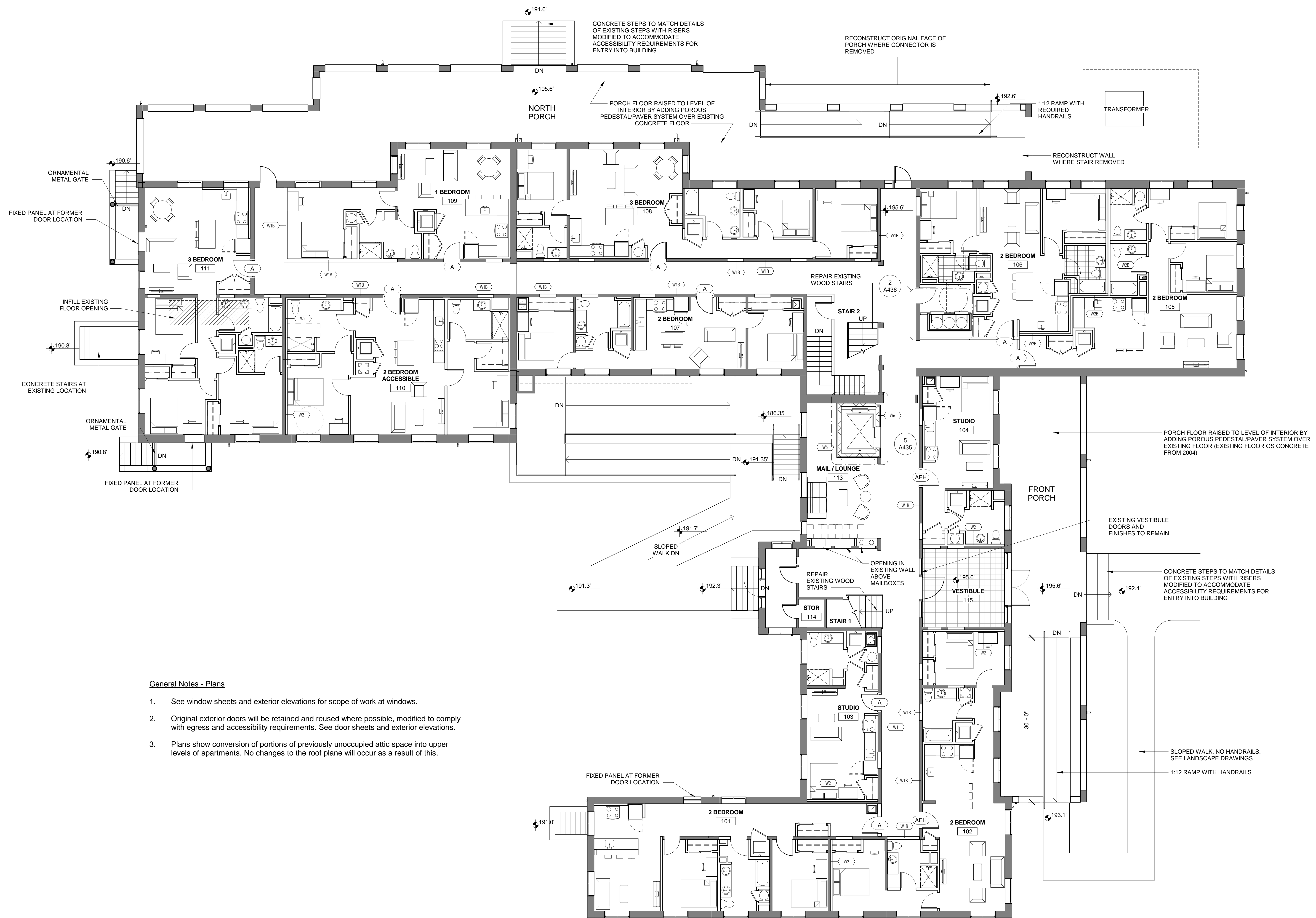
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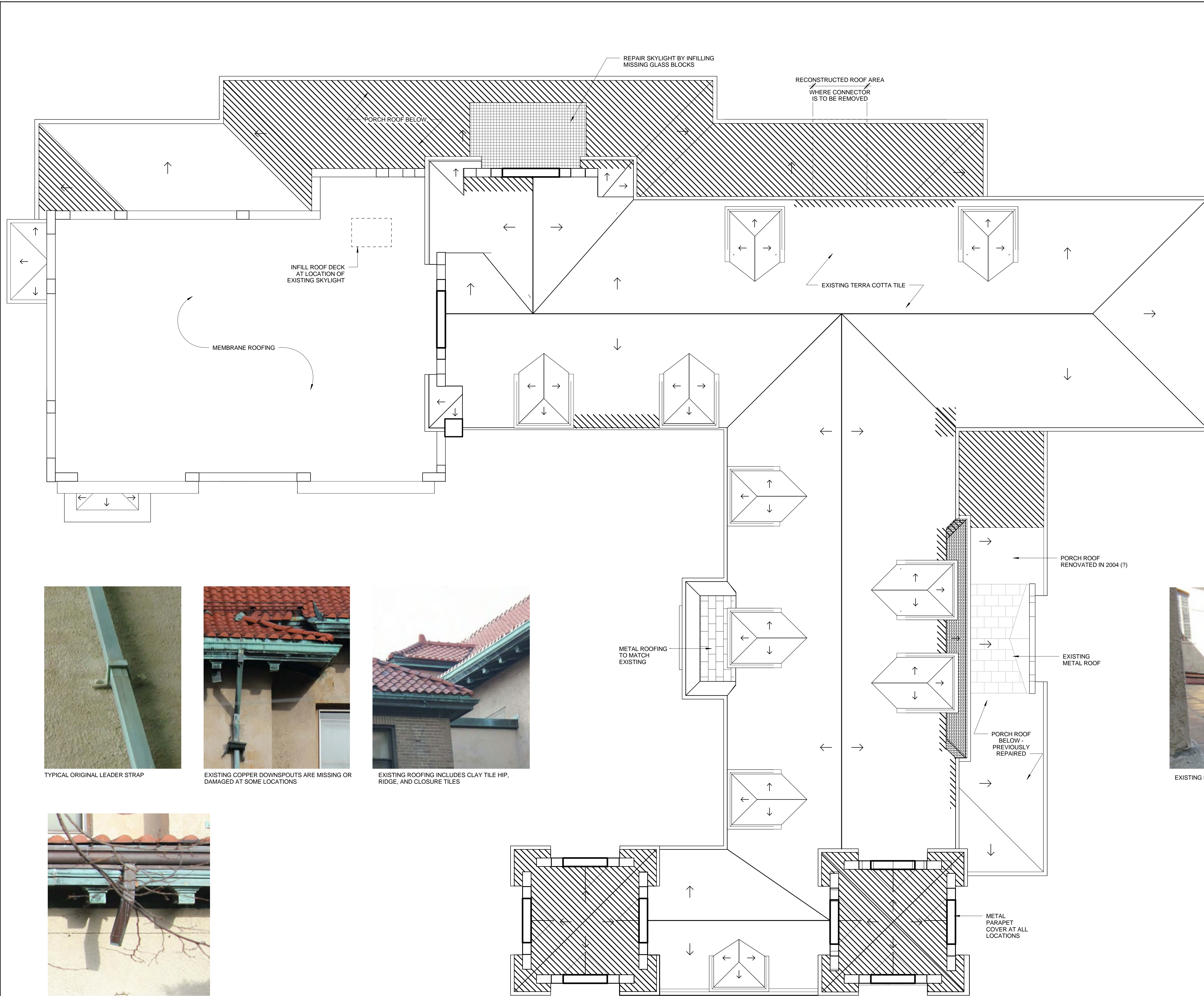
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3284 - St Gabriel.rvt	FILE NAME



General Notes - Plans

1. See window sheets and exterior elevations for scope of work at windows.
2. Original exterior doors will be retained and reused where possible, modified to comply with egress and accessibility requirements. See door sheets and exterior elevations.
3. Plans show conversion of portions of previously unoccupied attic space into upper levels of apartments. No changes to the roof plane will occur as a result of this.



General Notes- Roof Plan and Exterior Reflected Ceiling Plan

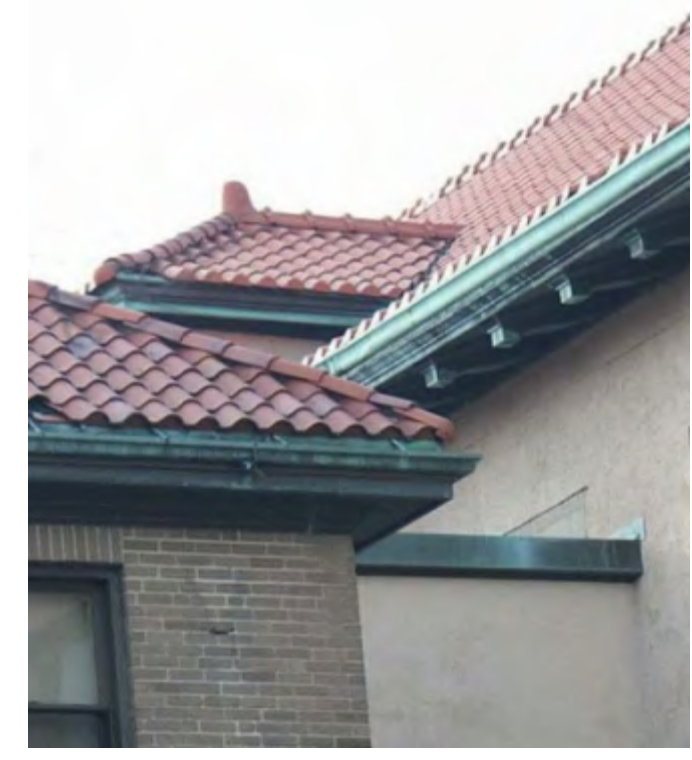
1. The intent is to retain the existing clay tile roof and provide matching tile where repairs are done. Remove any asphalt shingles and replace with clay tile to match original.
2. Repairs were done at the east porch area in 2004. The intent is to retain that work. The full scope of work done at the time is to be confirmed. (That work was done following the Preservation Restriction, so it is assumed all is acceptable and in sound condition.)
3. Stucco parapets appear to have painted metal caps. The condition of these will be confirmed once inspection with a lift is possible. The expectation is all caps will need to be replaced. This will be done in a way that matches the original assembly.
4. The north porch appears to have had a skylight in a portion of the roof. Reconstruction of that will depend on the availability of information as to the details. If that is not available, the roofing will be clay tile with the area evident from the ceiling below. See photos.
5. The decorative copper soffit assembly and gutter is deteriorated at some locations. The intent will be to retain this material where possible. At some areas it is damaged to a point requiring replacement. Replacement will be done with plain (red) copper, matching material thickness and profiles of the existing.
6. Original parapets have been removed at the north porch, courtyard, and chapel addition areas. The project will not reconstruct these items. In the case of the east facade of the chapel, the roof profile has been altered from the original.
7. The mechanical and plumbing systems will be designed in a way that minimizes roof penetrations, though there will be a need for some plumbing vents. The intent is to group any vents together and locate any roof penetrations only at the rear of the building. No rooftop mechanical equipment will be located at the flat roof area.



TYPICAL ORIGINAL LEADER STRAP



EXISTING COPPER DOWNSPOUTS ARE MISSING OR DAMAGED AT SOME LOCATIONS



EXISTING ROOFING INCLUDES CLAY TILE HIP, RIDGE, AND CLOSURE TILES



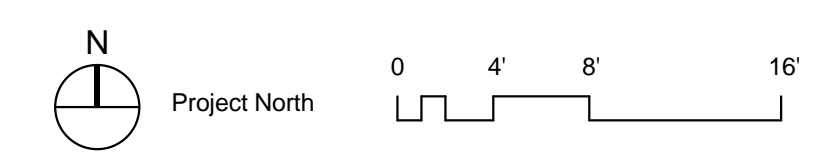
EXISTING REPLACEMENT COPPER TRIM AT PREVIOUS REPAIRS TO FRONT ENTRY PORCH, WITH MISSING DOWNSPOUT



EXISTING METAL ROOF AT EAST PORCH

ROOF LEGEND

- [Hatched Box] AREA OF NEW CLAY TILE ROOFING
- [Arrow] DIRECTION OF ROOF SLOPE



ARCHITECT

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DRAWING TITLE

Roof Plan

DRAWING INFORMATION

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 1/8" = 1'-0" JT
 SCALE DRAWN BY
 3284 St Gabriel.rvt
 PROJECT # FILE NAME

DRAWING NUMBER

A115

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**First Floor
Exterior RCP at
Porches**

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE

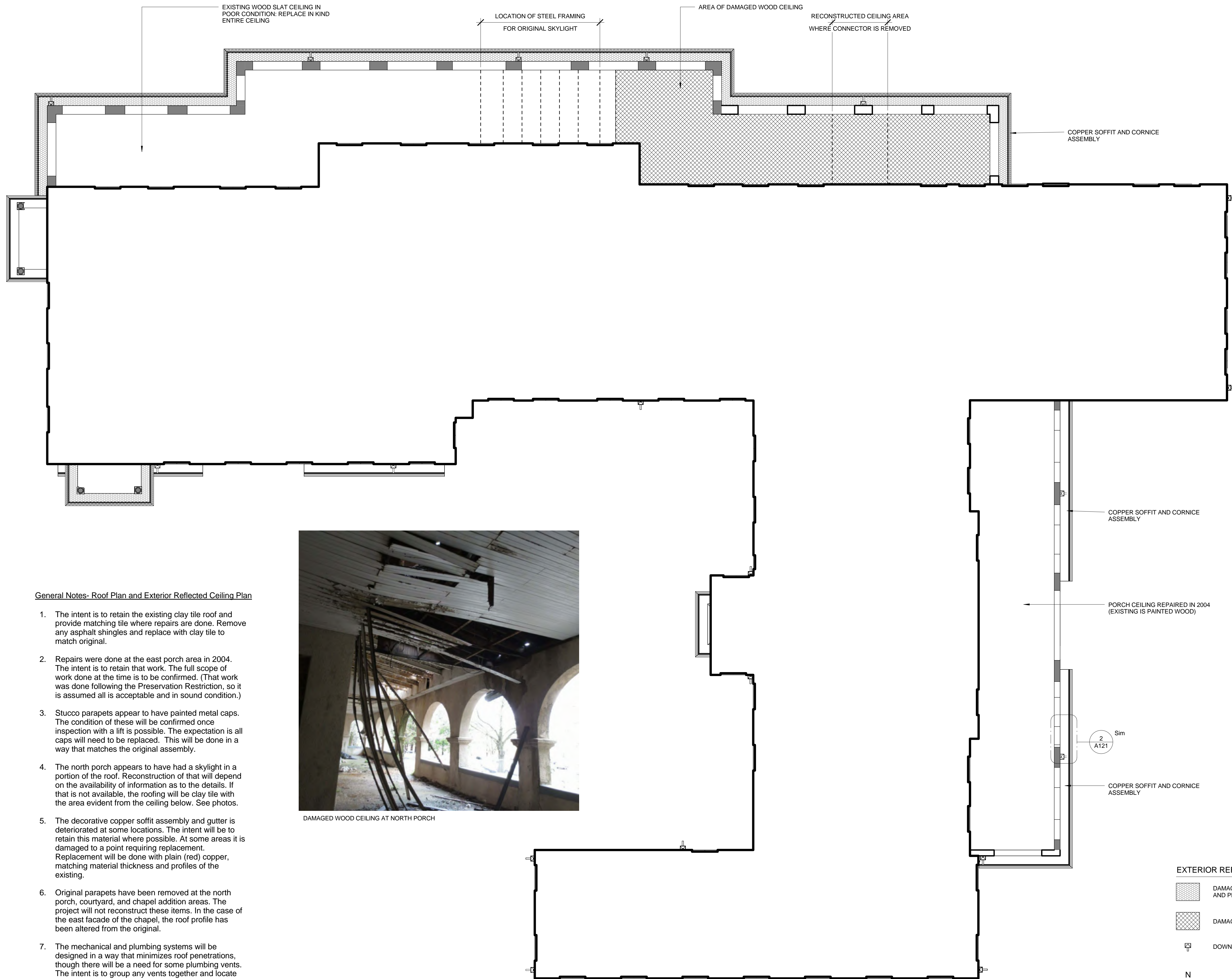
Historic Tax Credit Submission
DESCRIPTION

1/8" = 1'-0" Author
SCALE DRAWN BY

3284 St Gabriel's
PROJECT # FILE NAME

DRAWING NUMBER

A120



DAMAGED WOOD CEILING AT NORTH PORCH

General Notes- Roof Plan and Exterior Reflected Ceiling Plan

1. The intent is to retain the existing clay tile roof and provide matching tile where repairs are done. Remove any asphalt shingles and replace with clay tile to match original.
2. Repairs were done at the east porch area in 2004. The intent is to retain that work. The full scope of work done at the time is to be confirmed. (That work was done following the Preservation Restriction, so it is assumed all is acceptable and in sound condition.)
3. Stucco parapets appear to have painted metal caps. The condition of these will be confirmed once inspection with a lift is possible. The expectation is all caps will need to be replaced. This will be done in a way that matches the original assembly.
4. The north porch appears to have had a skylight in a portion of the roof. Reconstruction of that will depend on the availability of information as to the details. If that is not available, the roofing will be clay tile with the area evident from the ceiling below. See photos.
5. The decorative copper soffit assembly and gutter is deteriorated at some locations. The intent will be to retain this material where possible. At some areas it is damaged to a point requiring replacement. Replacement will be done with plain (red) copper, matching material thickness and profiles of the existing.
6. Original parapets have been removed at the north porch, courtyard, and chapel addition areas. The project will not reconstruct these items. In the case of the east facade of the chapel, the roof profile has been altered from the original.
7. The mechanical and plumbing systems will be designed in a way that minimizes roof penetrations, though there will be a need for some plumbing vents. The intent is to group any vents together and locate any roof penetrations only at the rear of the building. No rooftop mechanical equipment will be located at the flat roof area.

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
Boston, MA 02110

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Structural Engineer

McNamara + Salvia
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REVISIONS

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3	
4	
5	DATE

DRAWING TITLE

**Upper Level
Exterior RCP at
Roof**

DRAWING INFORMATION

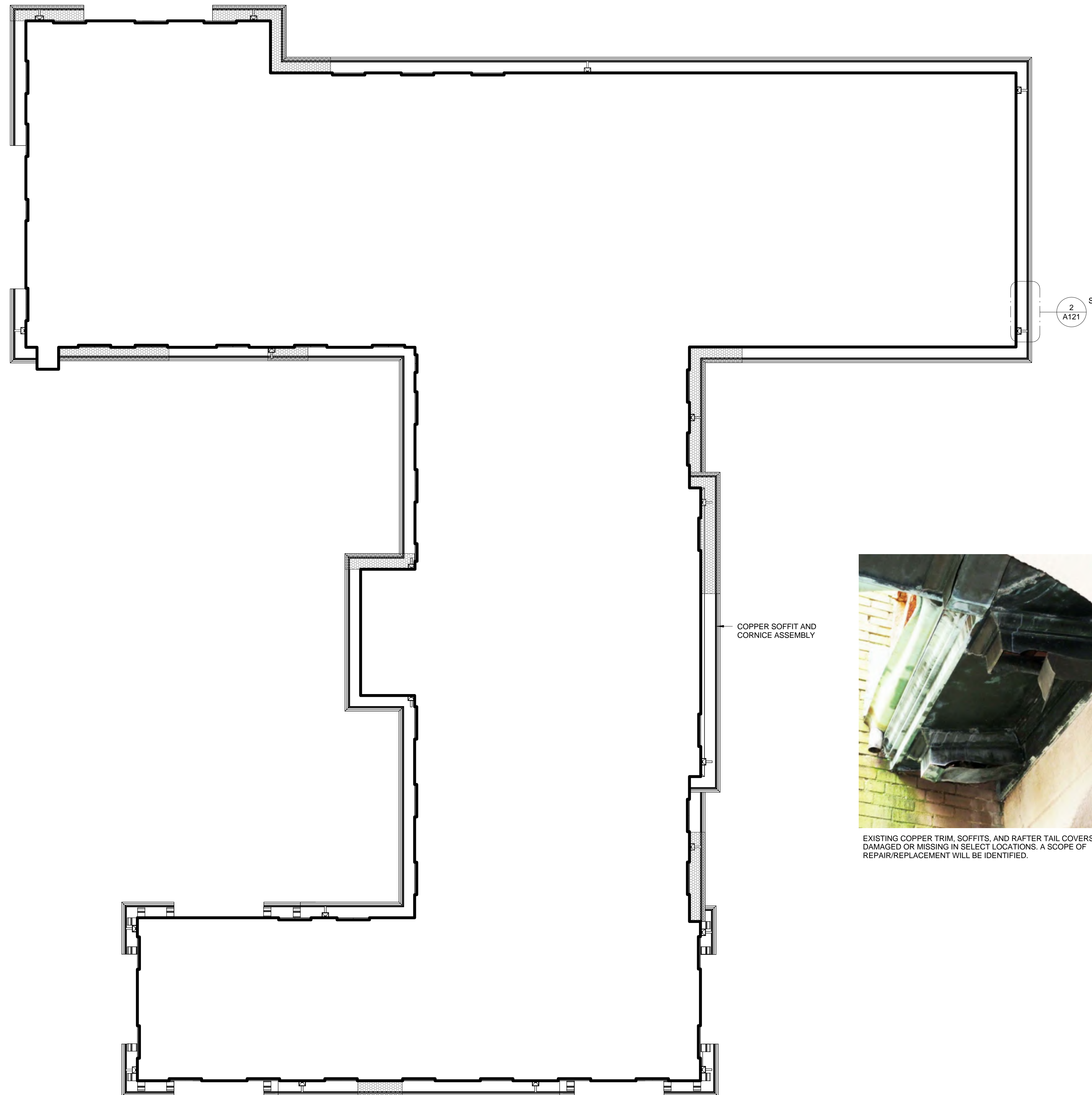
August 8, 2017	Author
DATE OF ISSUE	DRAWN BY
Historic Tax Credit Submission	As Indicated
DESCRIPTION	SCALE
	PROJECT #
	FILE NAME

DRAWING NUMBER

A121

General Notes- Roof Plan and Exterior Reflected Ceiling Plan

1. The intent is to retain the existing clay tile roof and provide matching tile where repairs are done. Remove any asphalt shingles and replace with clay tile to match original.
2. Repairs were done at the east porch area in 2004. The intent is to retain that work. The full scope of work done at the time is to be confirmed. (That work was done following the Preservation Restriction, so it is assumed all is acceptable and in sound condition.)
3. Stucco parapets appear to have painted metal caps. The condition of these will be confirmed once inspection with a lift is possible. The expectation is all caps will need to be replaced. This will be done in a way that matches the original assembly.
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2 Typical Enlarged Detail at Underside of Soffit
3/4" = 1'-0"

EXTERIOR REFLECTED CEILING PLAN LEGEND

- DAMAGED COPPER SOFFIT, REMOVE EXISTING AND PROVIDE NEW TO MATCH
- DAMAGED WOOD CEILING
- DOWNSPOUT AND LEADER BOX LOCATION



General Notes - Elevations

1. These existing exterior elevations have been produced based on plan drawings provided by the owner, from previous studies, and by approximating heights from photos. The level of accuracy of the plan drawings has not yet been confirmed. Select dimensions have been verified in the field. Further confirmation of dimensions and adjustment of drawings will be done as part of the design process.
2. Elevations include "existing" rather than "demolition" drawings because the scope of work involves mostly repair rather than removal. The scope of repair work is noted on the existing elevations.
3. See window and door sheets for scope of work related to those elements. Most windows will be removed (including frames, moldings, and casings, and new windows provided. See typical window details for details showing stucco returns at jambs and for details of granite sills.
4. Provide mineral-based coating at all stucco elements. Specific product to be determined based on manufacturer's testing during design. This testing will confirm existing coating and help identify whether or not the existing paint is to be removed completely or to have only loose material removed and the sound existing coating covered over.
5. Elevations do not indicate locations where louvers will be added. The addition of louvers will be done in a way that reuses existing window openings at basement and attic, rather than creating new openings.
6. See Roof Plan for scope relating to roofing.



THE INTENT WILL BE TO RE-COAT TO PROVIDE UNIFORM APPEARANCE.



STUCCO HAS AREAS OF WATER DAMAGE AND MISSING MATERIAL, BUT GENERALLY SOUND.



EAST SIDE OF CONNECTOR



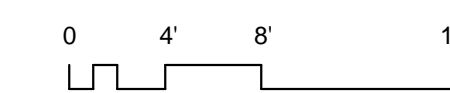
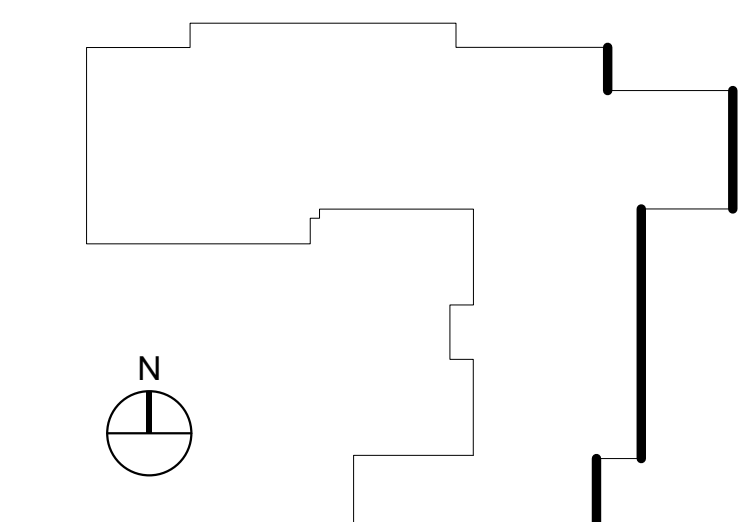
2 Proposed East Elevation
1/8" = 1'-0"



1 Existing East Elevation
1/8" = 1'-0"

LEGEND

- [Cross-hatched pattern] DAMAGED OR MISSING STUCCO. REPAIR.
- [Wavy line] REPAIR CRACK IN STUCCO
- [Dashed line] REMOVE ELEMENT



REVISIONS

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2	
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5	DATE

DRAWING TITLE

East Elevations

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE
Historic Tax Credit Submission
DESCRIPTION
As Indicated JT DRAWN BY
SCALE
3284 PROJECT #
3284 St Gabriel.rvt
FILE NAME

DRAWING NUMBER

A201

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**

185 Dartmouth Street
Boston, MA 02110

PROJECT TEAM

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Bohler Engineering
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(617) 849-8040

MEP/FP Engineer

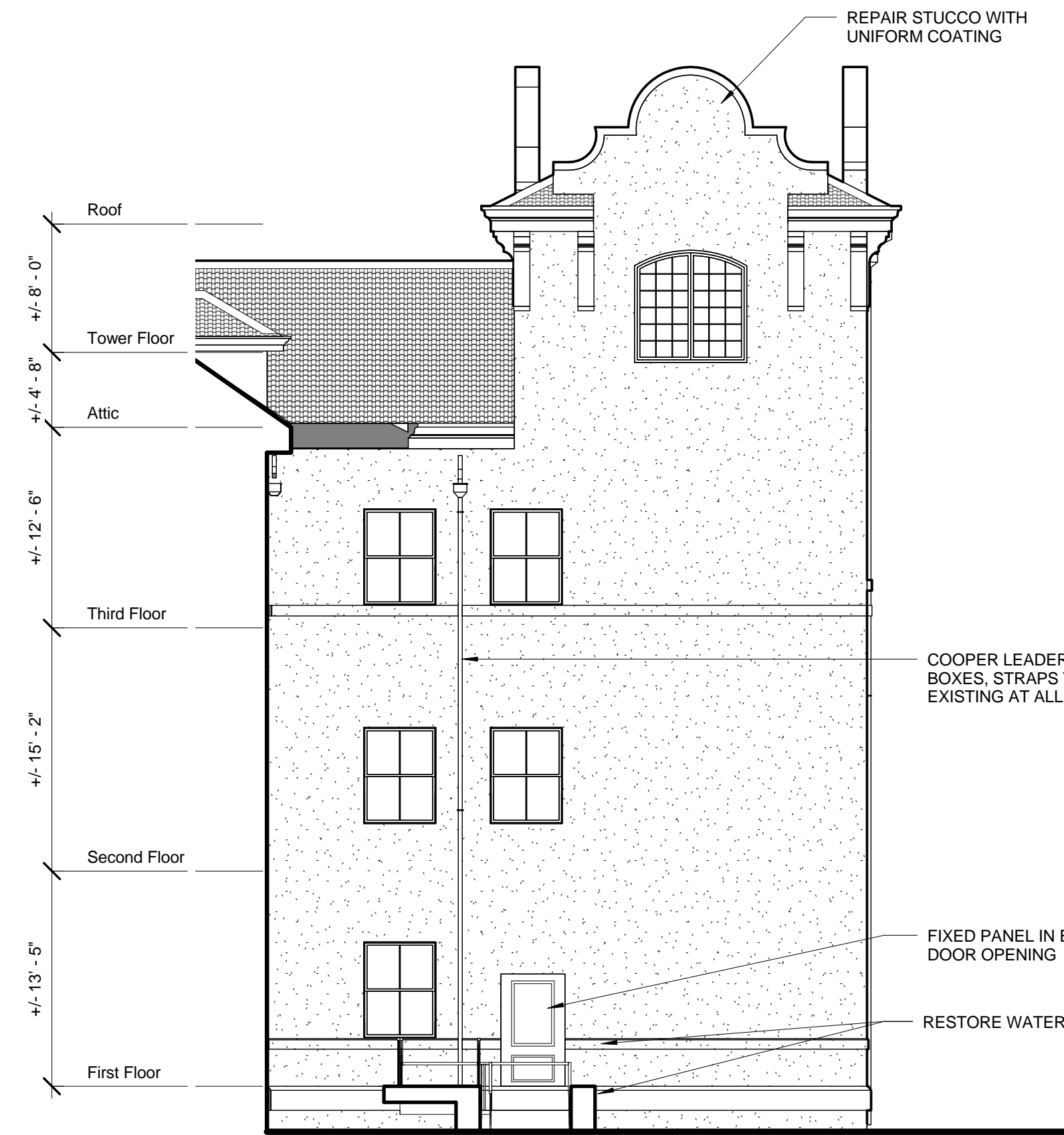
Allied Consulting Engineer
215 Boston Post Road
Sudbury, MA 01776
(978) 443-7888 x122

Structural Engineer

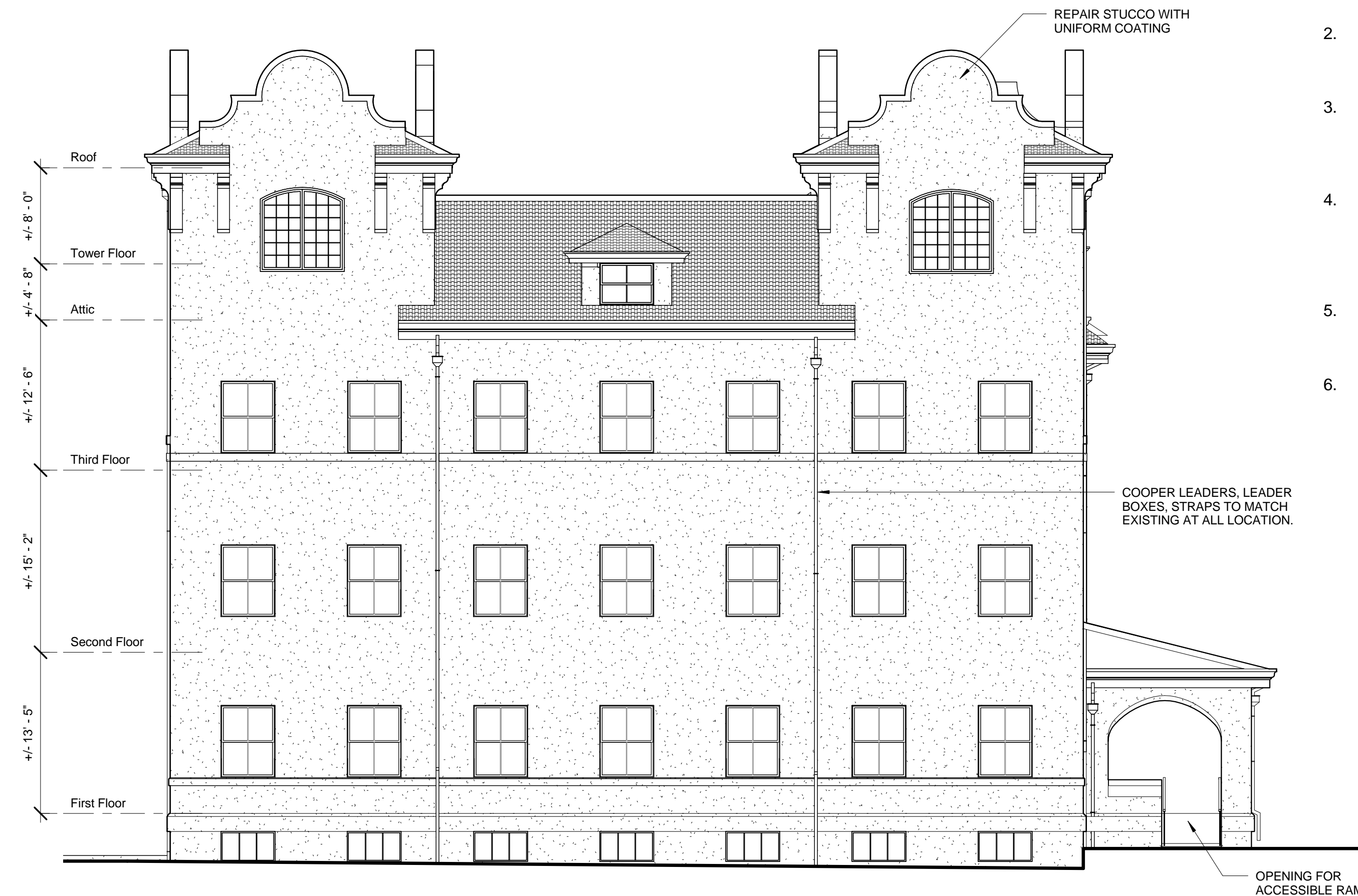
McNamara + Salvia
101 Federal Street, 11th Floor
Boston, MA 02110
(617) 850-4101

General Notes - Elevations

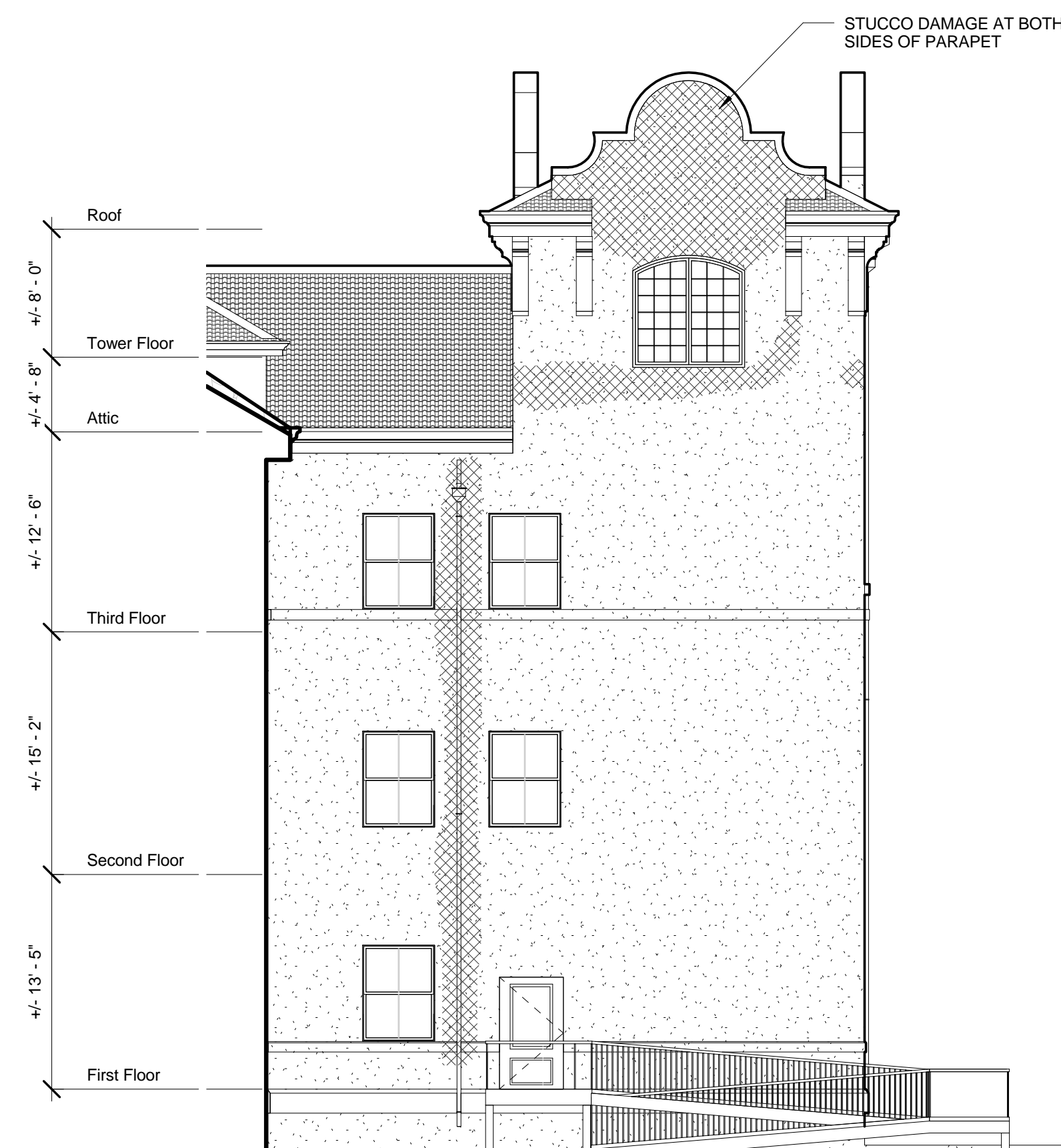
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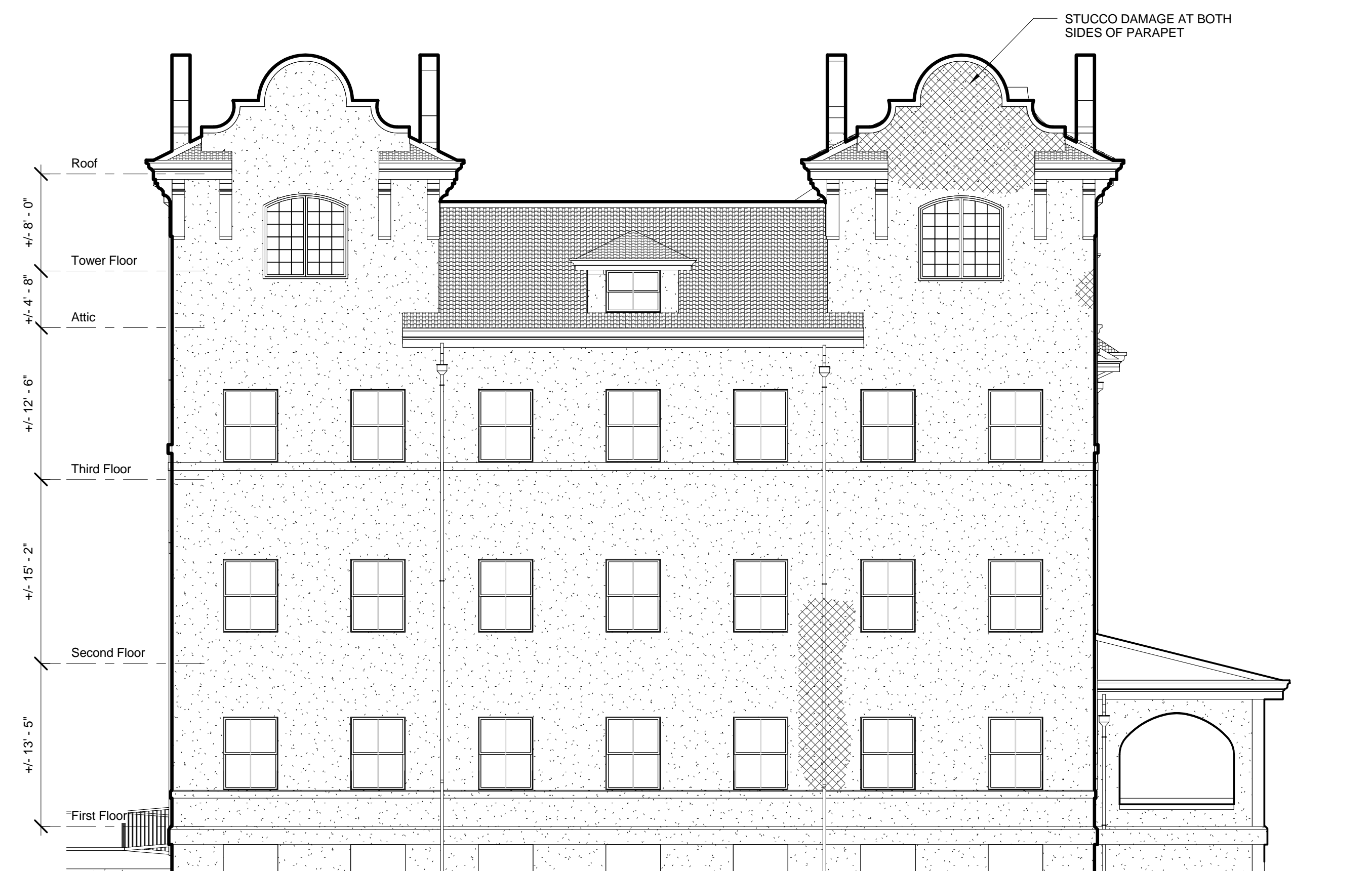
4 Proposed South Courtyard Elevation
1/8" = 1'-0"



2 Proposed South Elevation
1/8" = 1'-0"



3 Existing South Courtyard Elevation
1/8" = 1'-0"



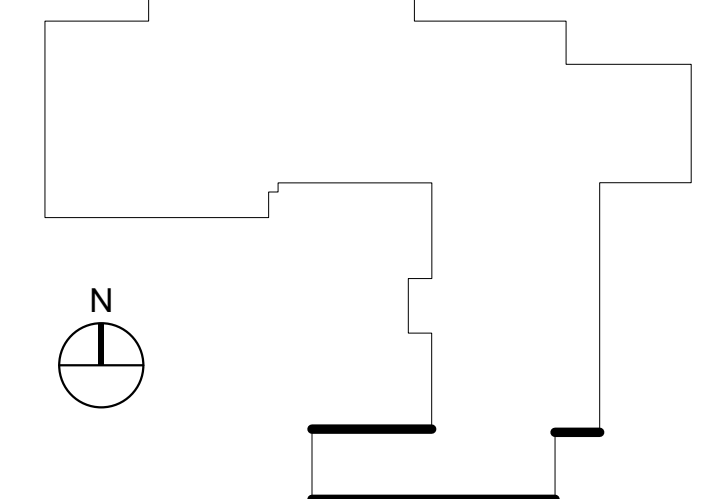
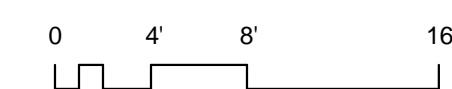
1 Existing South Elevation
1/8" = 1'-0"



EXISTING COPPER BRACKETS, CORNICE, AND GUTTERS CAN LIKELY BE RETAINED.

LEGEND

- DAMAGED OR MISSING STUCCO. REPAIR.
- REPAIR CRACK IN STUCCO
- REMOVE ELEMENT



REVISIONS

1	
2	
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4	
5	DATE

DRAWING TITLE

**South and
South
Courtyard
Elevations**

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE
Historic Tax Credit Submission
DESCRIPTION
As Indicated JT DRAWN BY
SCALE PROJECT # 3284 St Gabriel.rvt
PROJECT # FILE NAME

DRAWING NUMBER

A202

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**

185 Dartmouth Street
Boston, MA 02110

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6. See Roof Plan for scope relating to roofing.



2 Proposed West Elevation
1/8" = 1'-0"



1 Existing West Elevation
1/8" = 1'-0"



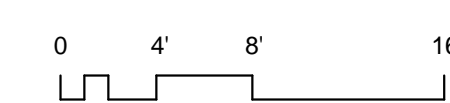
SMALL ENTRIES WERE ORIGINALLY OPEN PORCHES, AT SOME POINT ENCLOSED WITH WINDOWS AND DOORS.

LEGEND

[Cross-hatched box] DAMAGED OR MISSING STUCCO. REPAIR.

[Wavy line] REPAIR CRACK IN STUCCO

[Dashed line] REMOVE ELEMENT



REVISIONS

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DRAWING TITLE

West Elevations

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE

Historic Tax Credit Submission
DESCRIPTION

As Indicated JT
SCALE DRAWN BY

3284 PROJECT # 3284 St Gabriel.rvt
FILE NAME

DRAWING NUMBER

A203

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5	DATE

August 8, 2017	DATE OF ISSUE
Historic Tax Credit Submission	DESCRIPTION
As Indicated	SCALE
JT	DRAWN BY
3284	PROJECT #
3284 St Gabriel.rvt	FILE NAME



2 Proposed North Courtyard Elevation

1/8" = 1'-0"



1 Existing North Courtyard Elevation

1/8" = 1'-0"



TYPICAL METAL CORNICE WITH PEELING PAINT AT COURTYARD ENTRY PORTICO AND ROOF



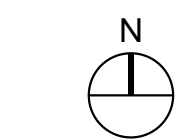
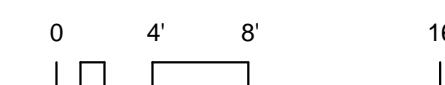
EXISTING SKYLIGHT AT COURTYARD

General Notes - Elevations

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6. See Roof Plan for scope relating to roofing.

LEGEND

- DAMAGED OR MISSING STUCCO. REPAIR.
- REPAIR CRACK IN STUCCO
- REMOVE ELEMENT





NORTH PORCH HAS DAMAGED CEILING.



DETAIL VIEW OF DAMAGED CEILING, SHOWING WOOD AND METAL FRAMING (ORIGINAL SKYLIGHT?).



EXISTING CONNECTOR

General Notes - Elevations

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ARCHITECT

bh+a

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617 350-0450 Tel

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
Boston, MA 02110

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Structural Engineer

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(617) 850-4101

REVISIONS

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5	DATE

DRAWING TITLE

**North
Elevations**

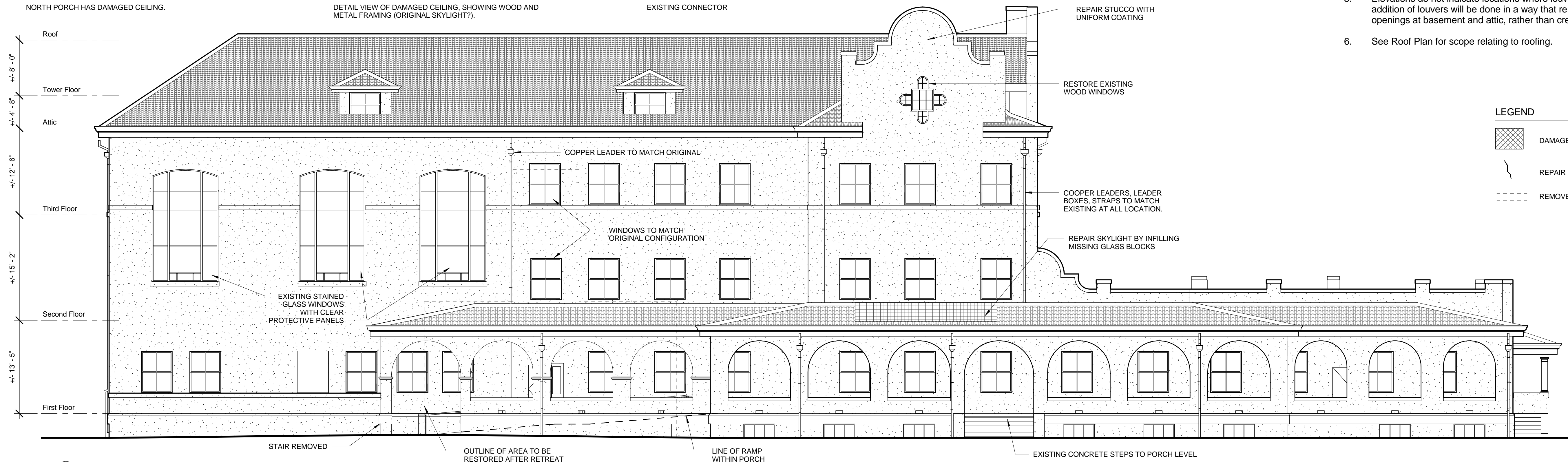
DRAWING INFORMATION

August 8, 2017	DATE OF ISSUE
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SCALE	FILE NAME
3284	3284_St Gabriel's
PROJECT #	FILE NAME

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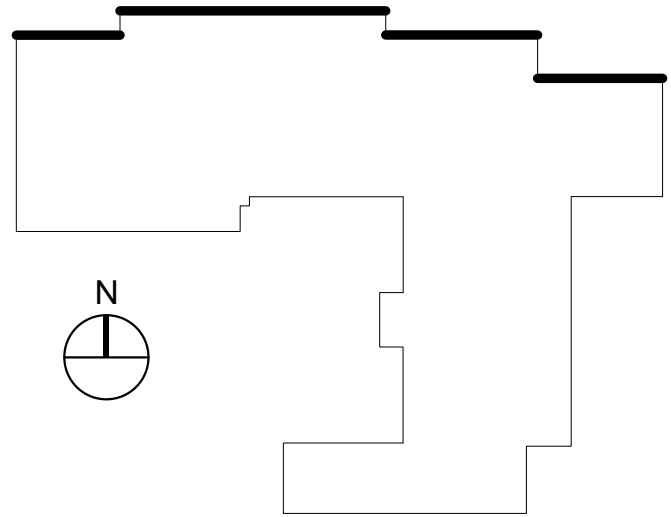
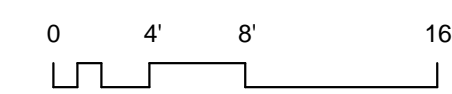
A205

Copyright BH+A, Inc.



LEGEND

[Cross-hatched pattern]	DAMAGED OR MISSING STUCCO. REPAIR.
[Wavy line]	REPAIR CRACK IN STUCCO
[Dashed line]	REMOVE ELEMENT



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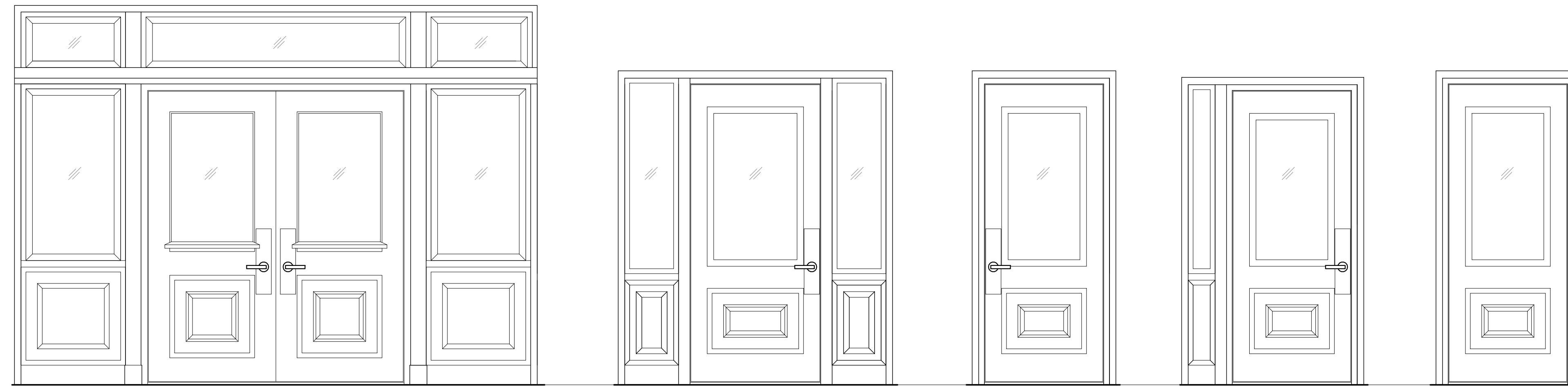
Allied Consulting Engineer
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(978) 443-7888 x122

Structural Engineer

McNamara + Salvia
101 Federal Street, 11th Floor
Boston, MA 02110
(617) 850-4101

General Notes - Exterior Doors

1. The intent is to retain and reuse existing original doors where possible. See door types sheet for all exterior door types and clarification of which are original.
2. Some doors require modifications in order to comply with egress requirements for direction of swing. Those modifications will be done in a way that does not alter the appearance of the doors.
3. All doors that are to remain operable and as entry doors to the building are required to have MAAB-compliant opening widths and hardware. New hardware will be selected to best fit with the exterior appearance of the building.
4. Provide weatherstripping hardware where applicable. Existing doors with single glazing will retain single glazing. New doors to have insulating glass.
5. Some existing original doors are stained and some painted. The intent will be to match the original appearance. All doors will be stripped and refinished.



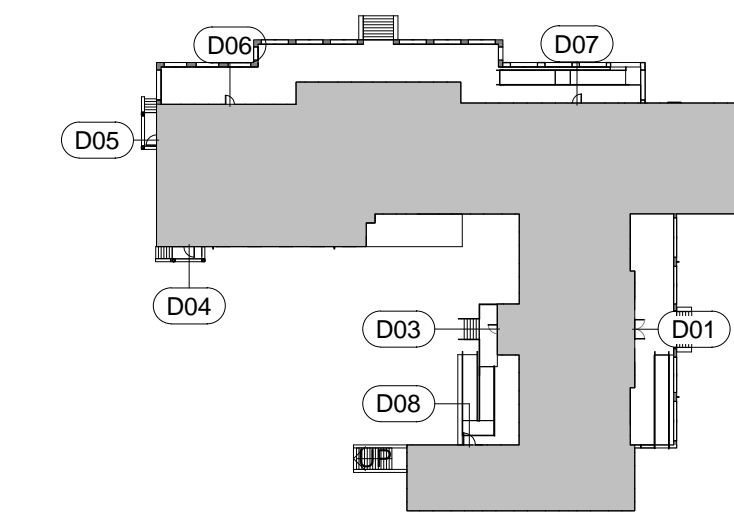
DOOR D01
EXISTING DOOR TO REMAIN, IN-SWING CHANGE TO OUT-SWING

DOOR D03
EXISTING DOOR TO REMAIN, IN-SWING
CHANGE TO OUT-SWING

DOORS D04, D05, & D06
SIMILAR DETAILS TO
ORIGINAL DOORS.
GLASS AND HARDWARE
WILL BE DEPENDANT ON
FINAL USE OF INTERIOR
SPACES

DOOR D07
EXISTING DOOR TO REMAIN

DOOR D08
EXISTING DOOR TO REMAIN.
DOOR TO BE FIXED IN PLACE
AND BECOME INOPERABLE



DOOR KEY PLAN

1 DOOR TYPES



2 PHOTO MAIN ENTRY DOOR D01, EXTERIOR



3 PHOTO MAIN ENTRY DOOR D01, INTERIOR



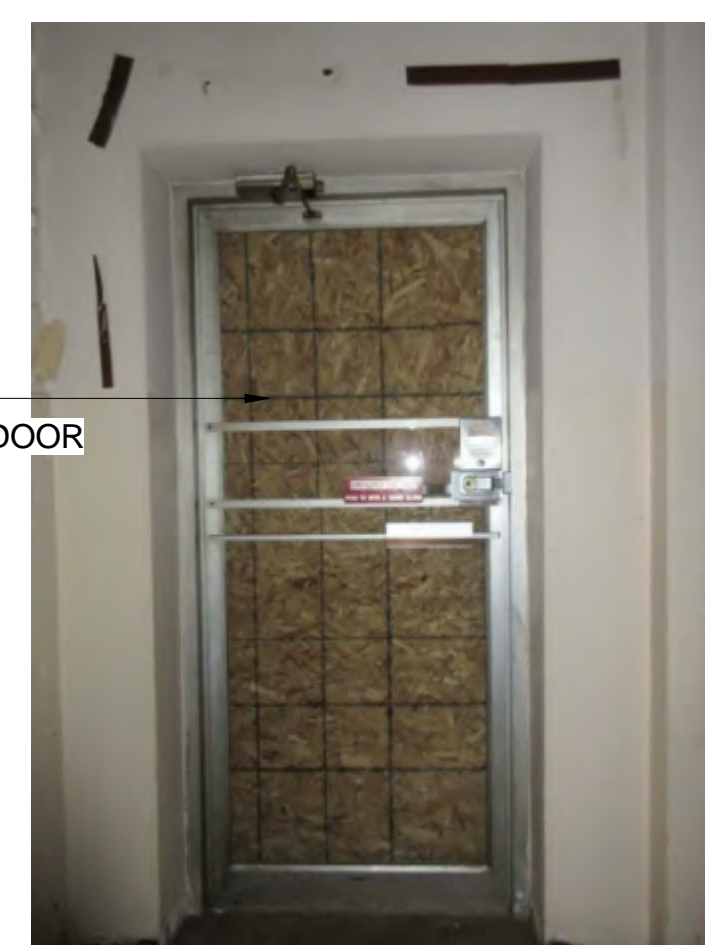
4 PHOTO CENTER COURTYARD DOOR D03



5 PHOTO NORTH COURTYARD DOOR D04



6 PHOTO AT WEST WING DOOR D05



7 PHOTO AT NORTH PORCH WEST WING DOOR D06, INTERIOR



8 PHOTO AT NORTH PORCH WEST WING DOOR D06, EXTERIOR



9 PHOTO AT NORTH PORCH EAST SIDE DOOR D07, INTERIOR



10 PHOTO AT COURTYARD DOOR D08 AT EXISTING RAMP
12" = 1'-0"

REVISIONS

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5	DATE

DRAWING TITLE

**Door Types and
General Notes**

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE
Historic Tax Credit Submission
DESCRIPTION
As Indicated Author
SCALE DRAWN BY
3284 St Gabriel.rvt
PROJECT # FILE NAME

DRAWING NUMBER

A600

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
Boston, MA 02110

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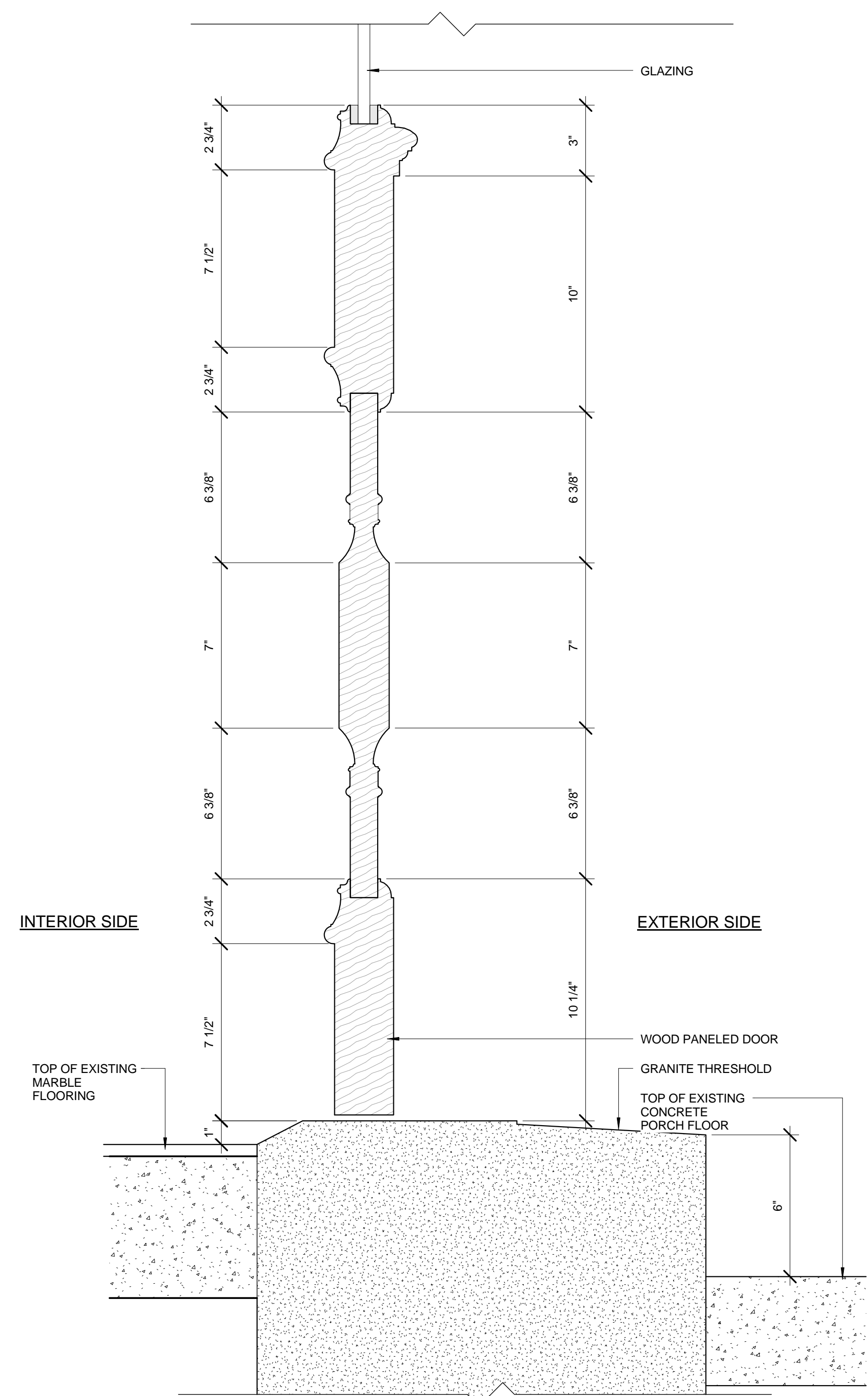
**Door Details
Main Entry Door**

DRAWING INFORMATION

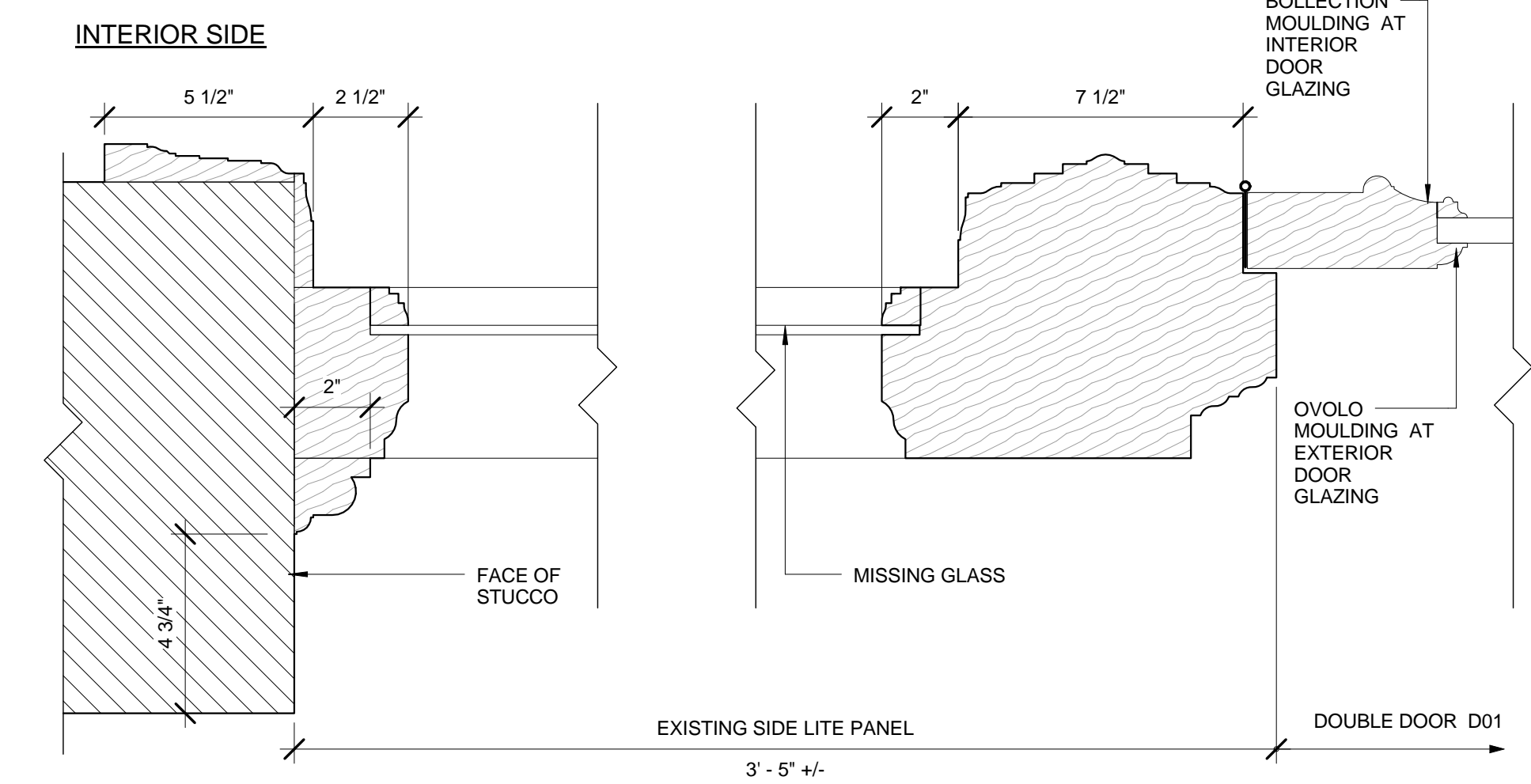
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3284	3284_St Gabriel.rvt
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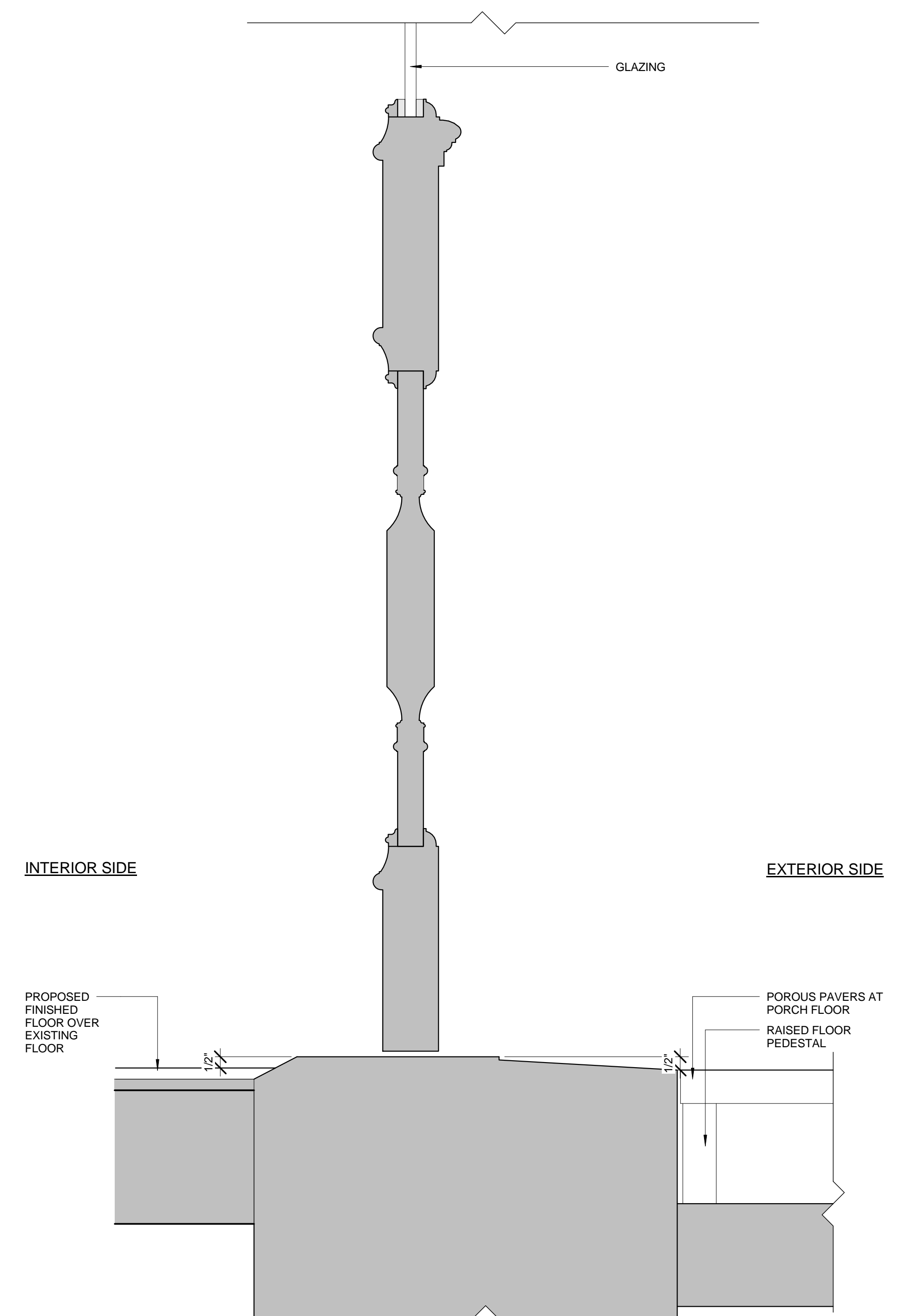
A601



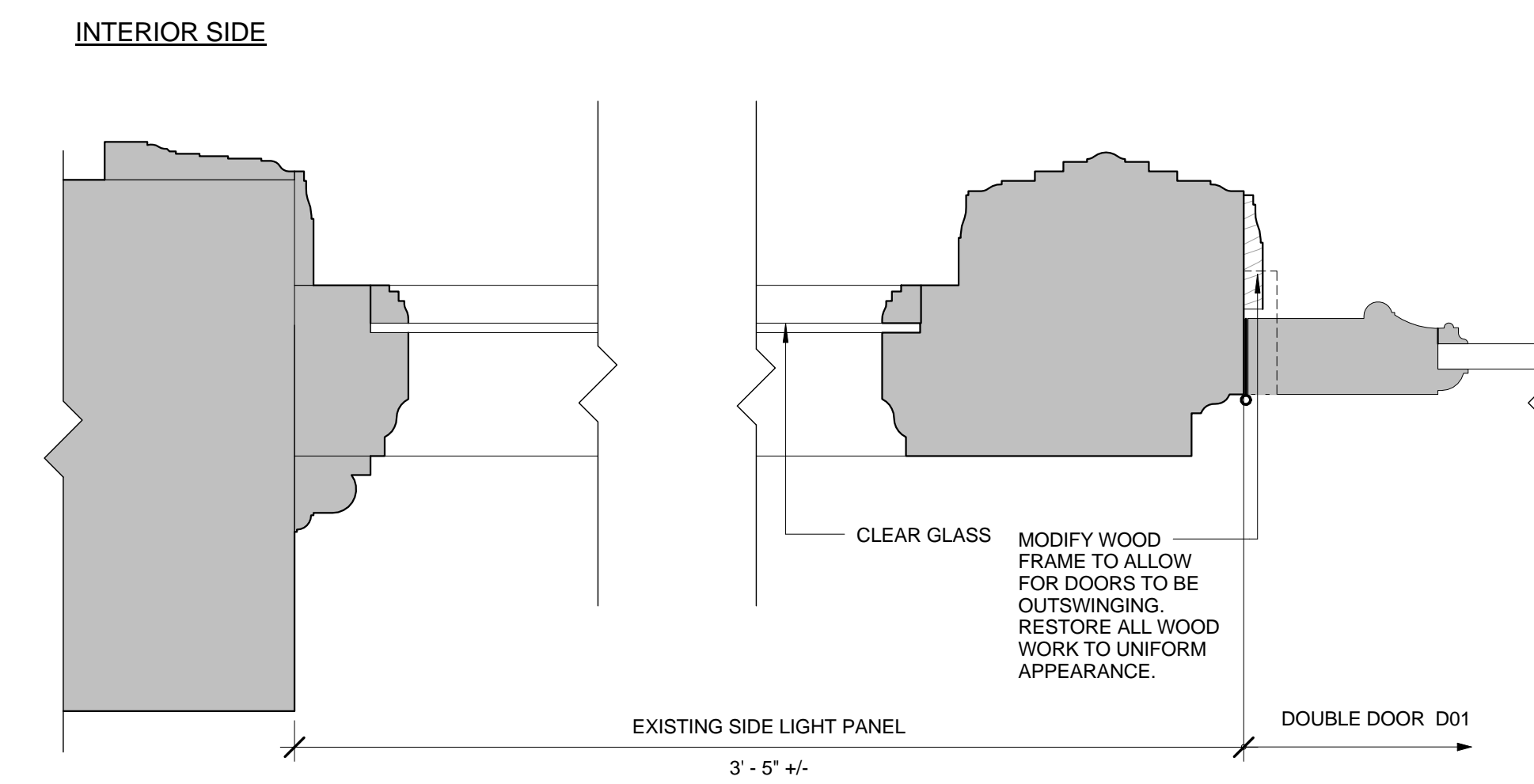
1 EXISTING SECTION DETAIL
3" = 1'-0"



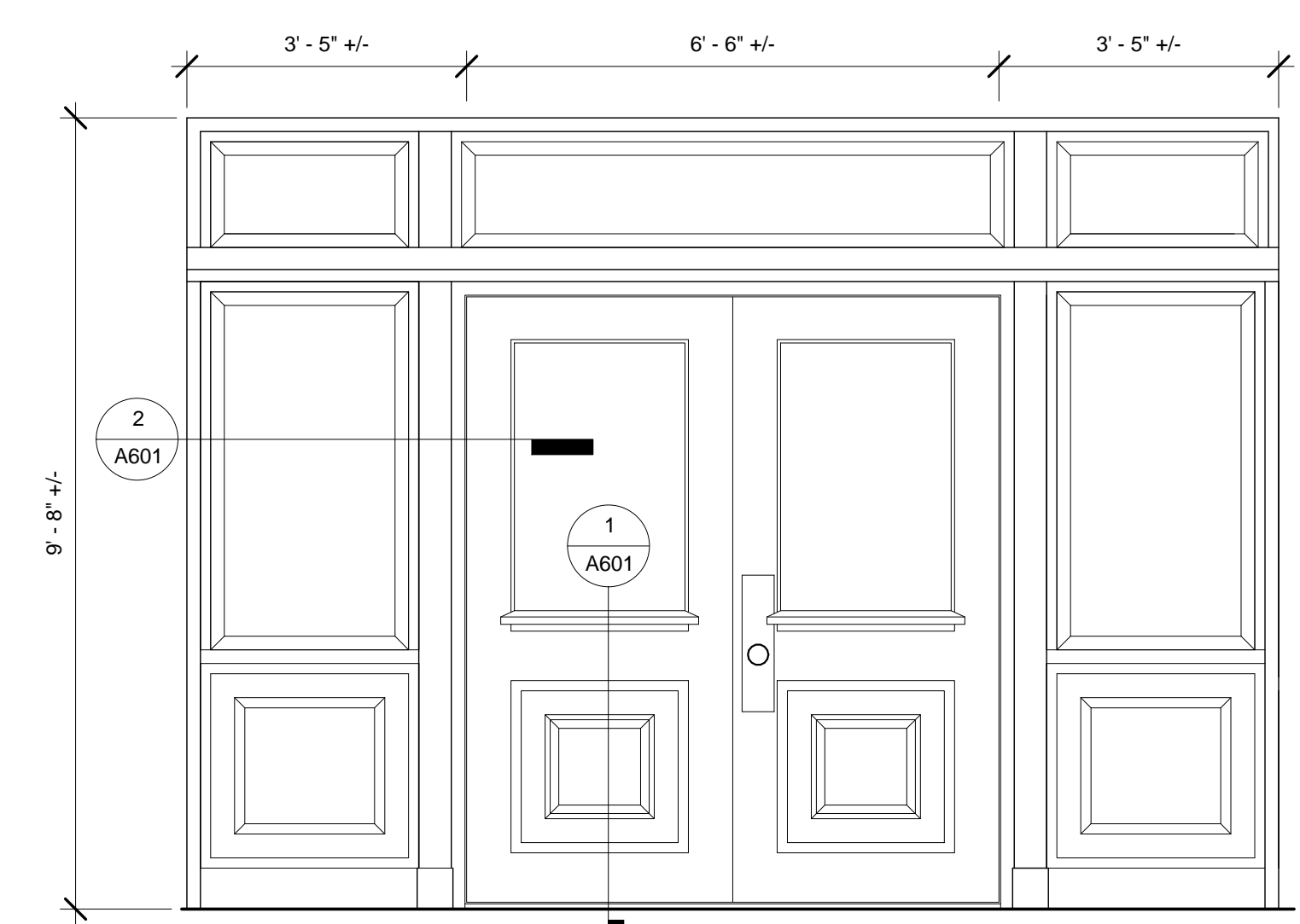
2 EXISTING PLAN DETAIL
3" = 1'-0"



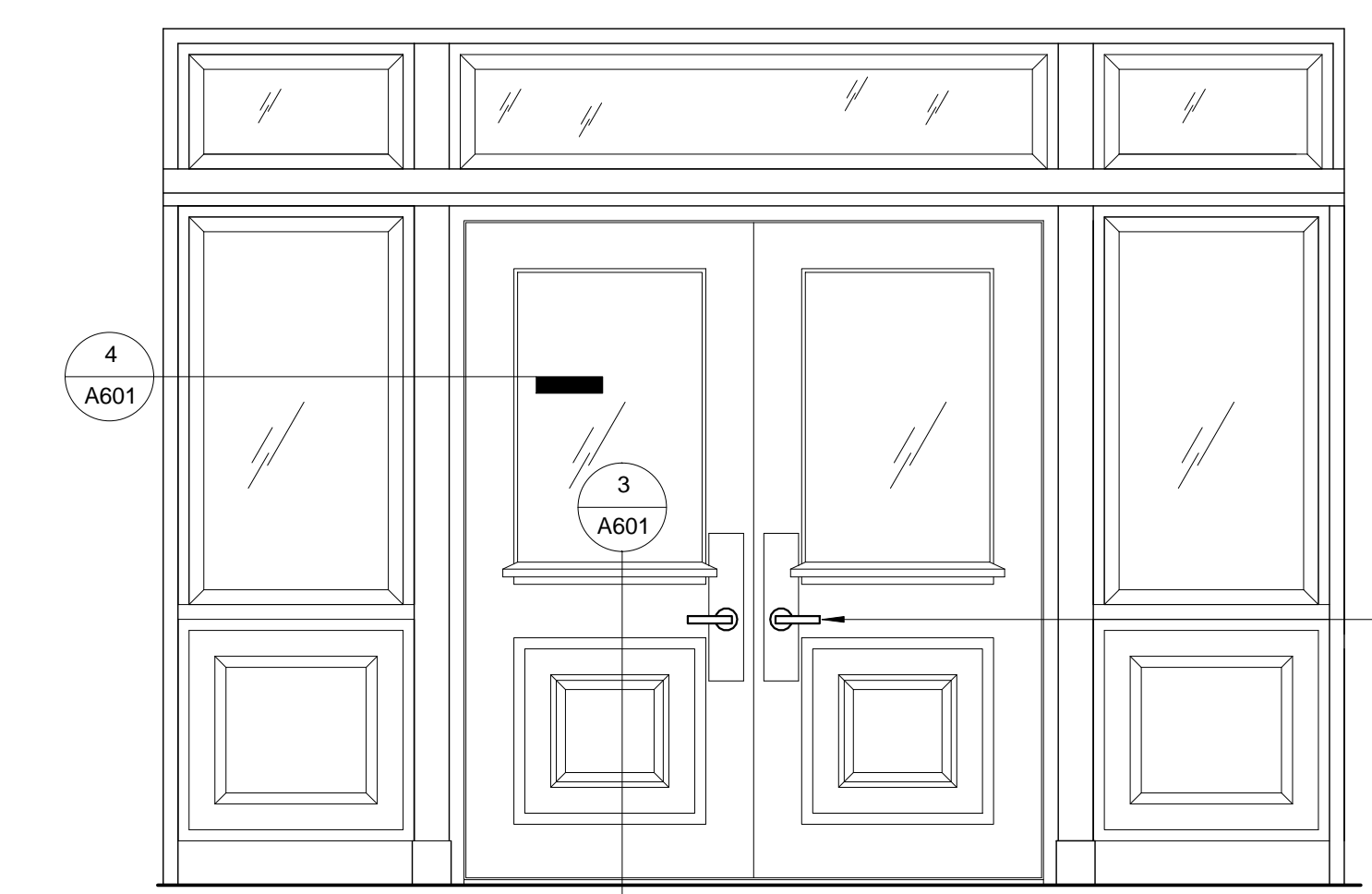
3 PROPOSED SECTION DETAIL
3" = 1'-0"



4 PROPOSED PLAN DETAIL
3" = 1'-0"



5 ELEVATION, DOOR D01, EXISTING
1/2" = 1'-0"



6 ELEVATION, DOOR D01, PROPOSED
1/2" = 1'-0"

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
Boston, MA 02110

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Structural Engineer

McNamara + Salvia
101 Federal Street, 11th Floor
Boston, MA 02110
(617) 850-4101

REVISIONS

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5	DATE

DRAWING TITLE

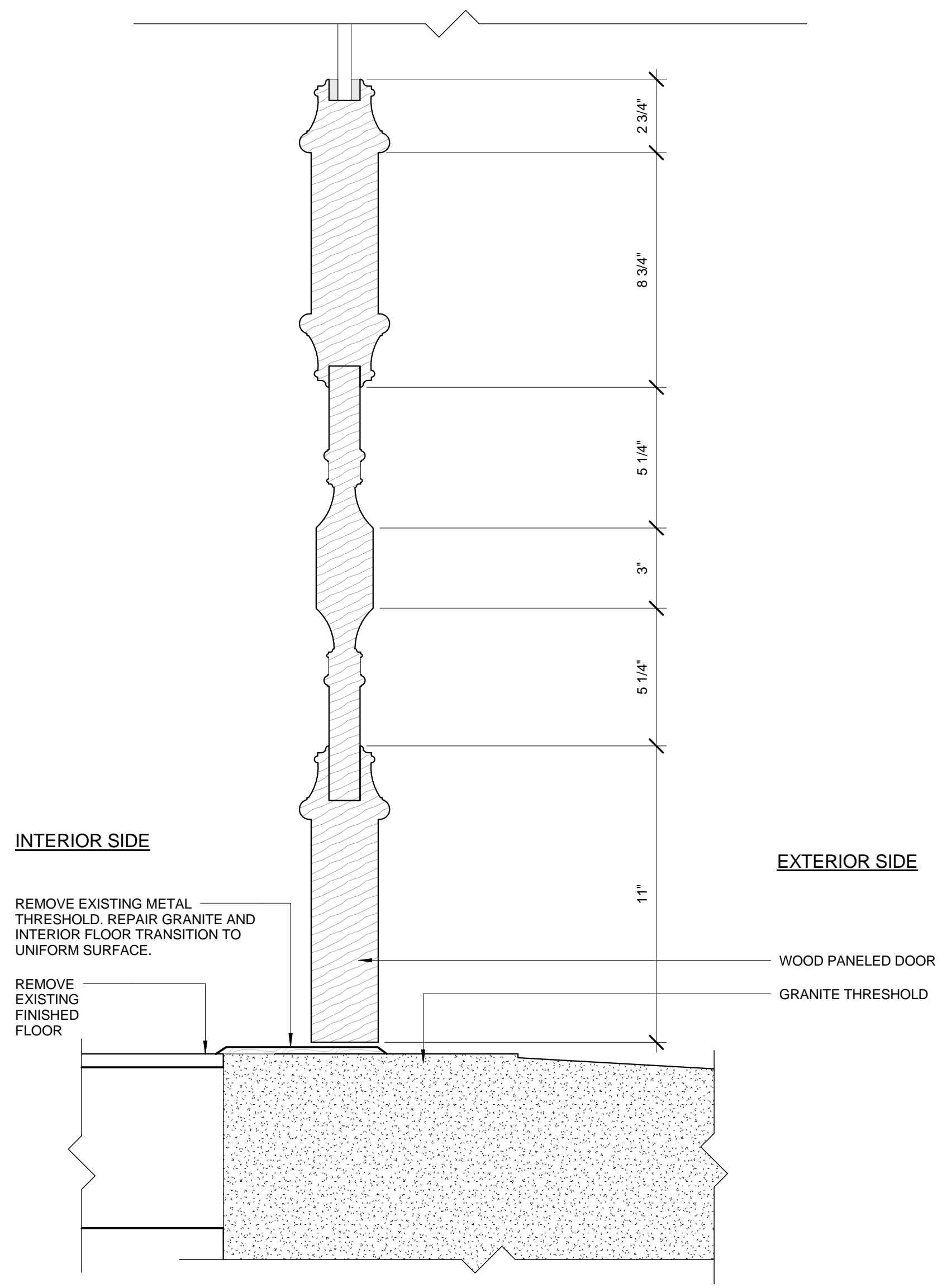
**Door Details
Center
Courtyard Door**

DRAWING INFORMATION

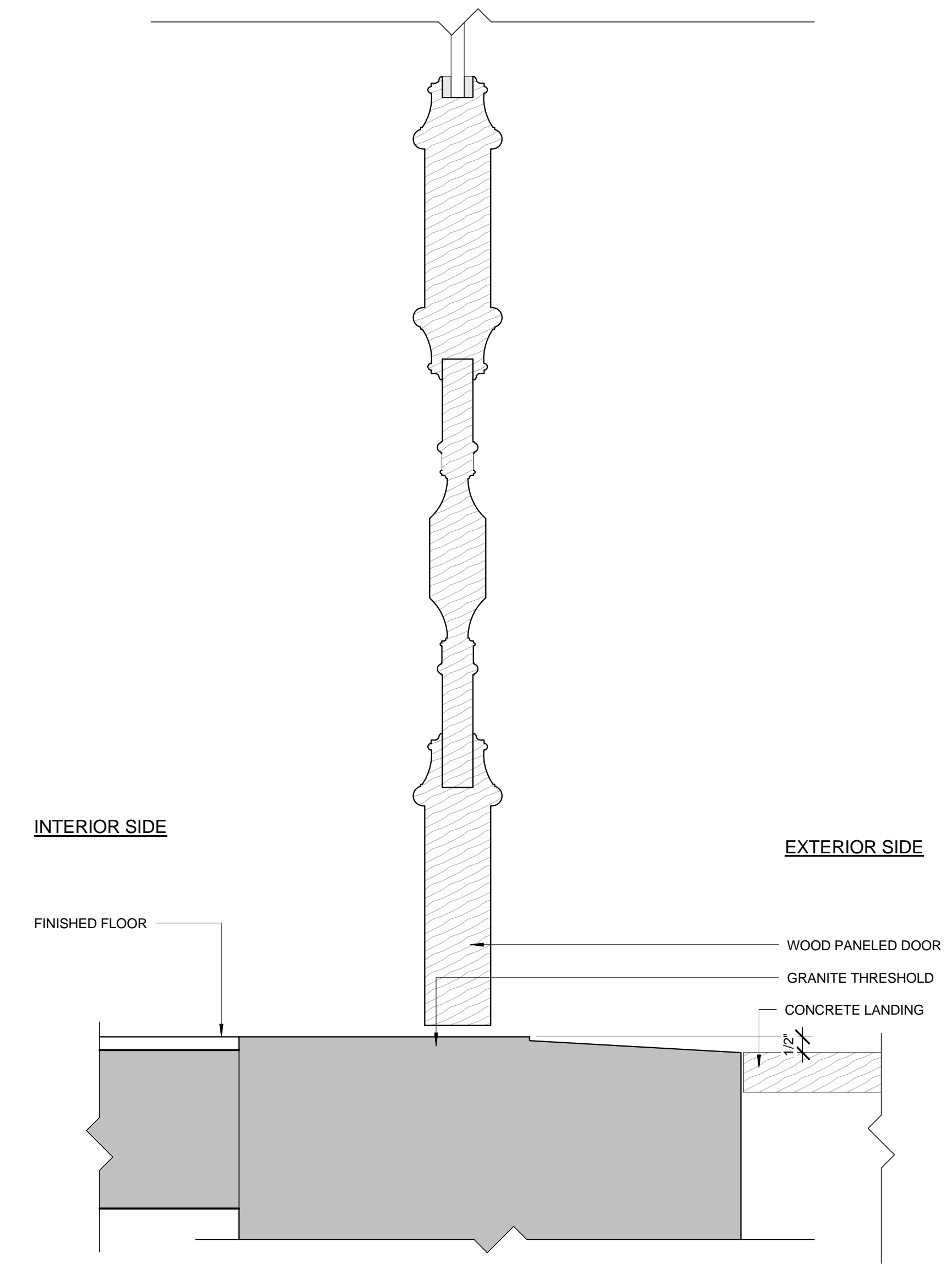
August 8, 2017	DATE OF ISSUE
Historic Tax Credit Submission	DESCRIPTION
As Indicated	Author
SCALE	DRAWN BY
3284	3284_St Gabriel.rvt
PROJECT #	FILE NAME

DRAWING NUMBER

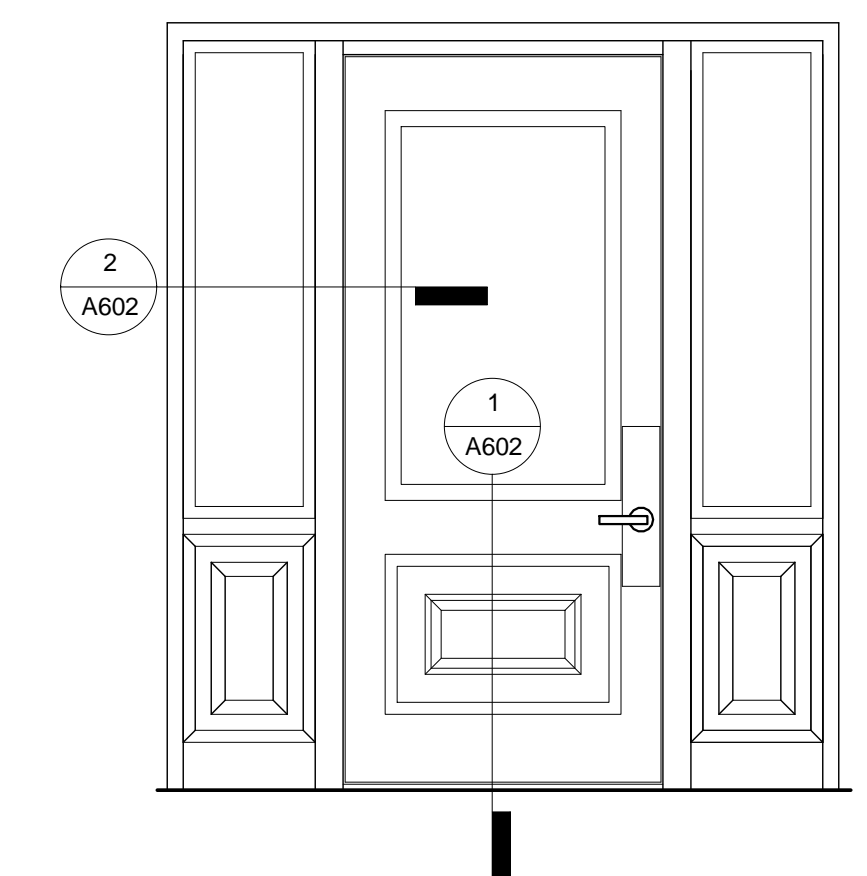
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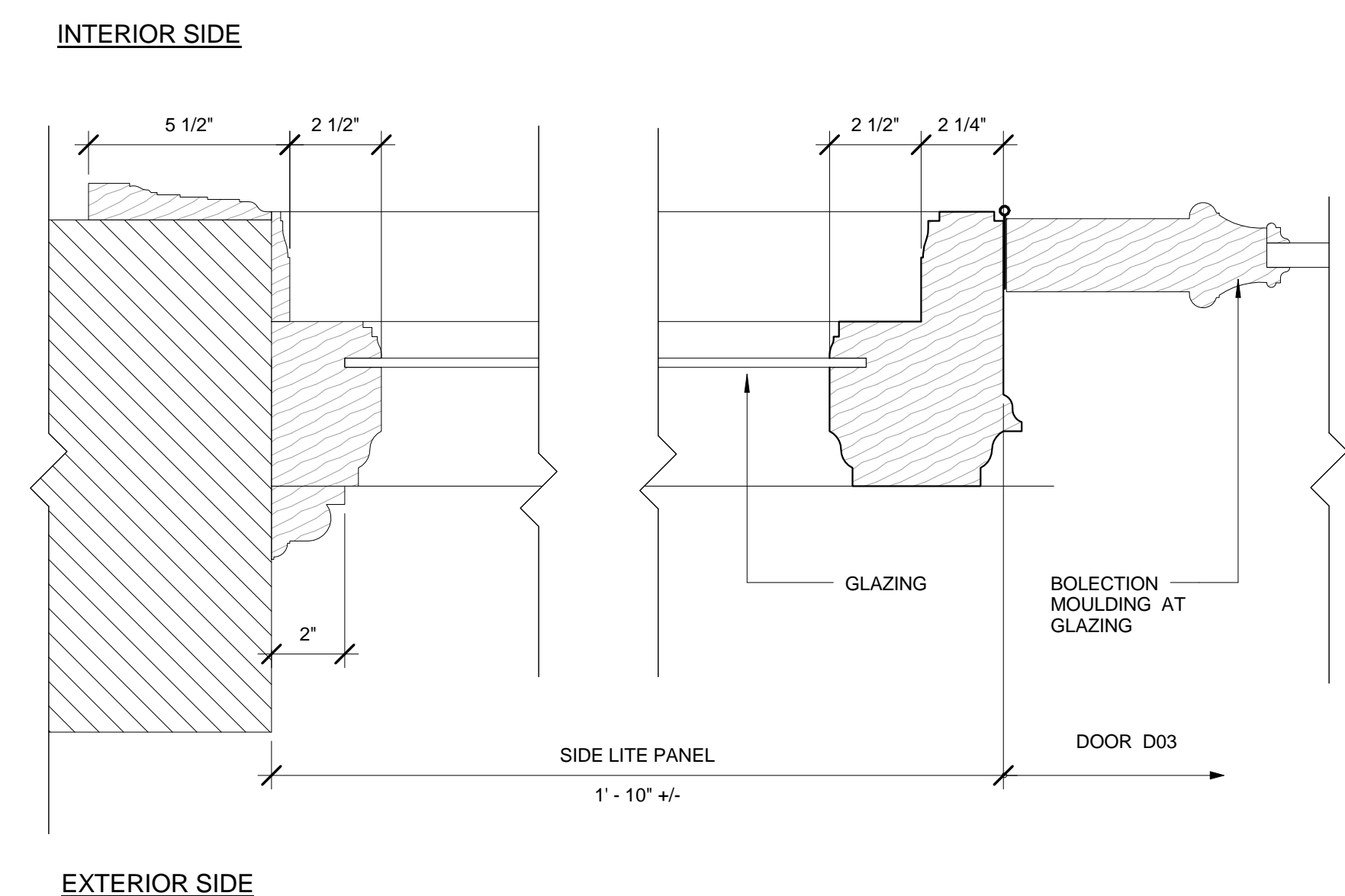
1 SECTION DETAIL, DOOR D03, EXISTING
3" = 1'-0"



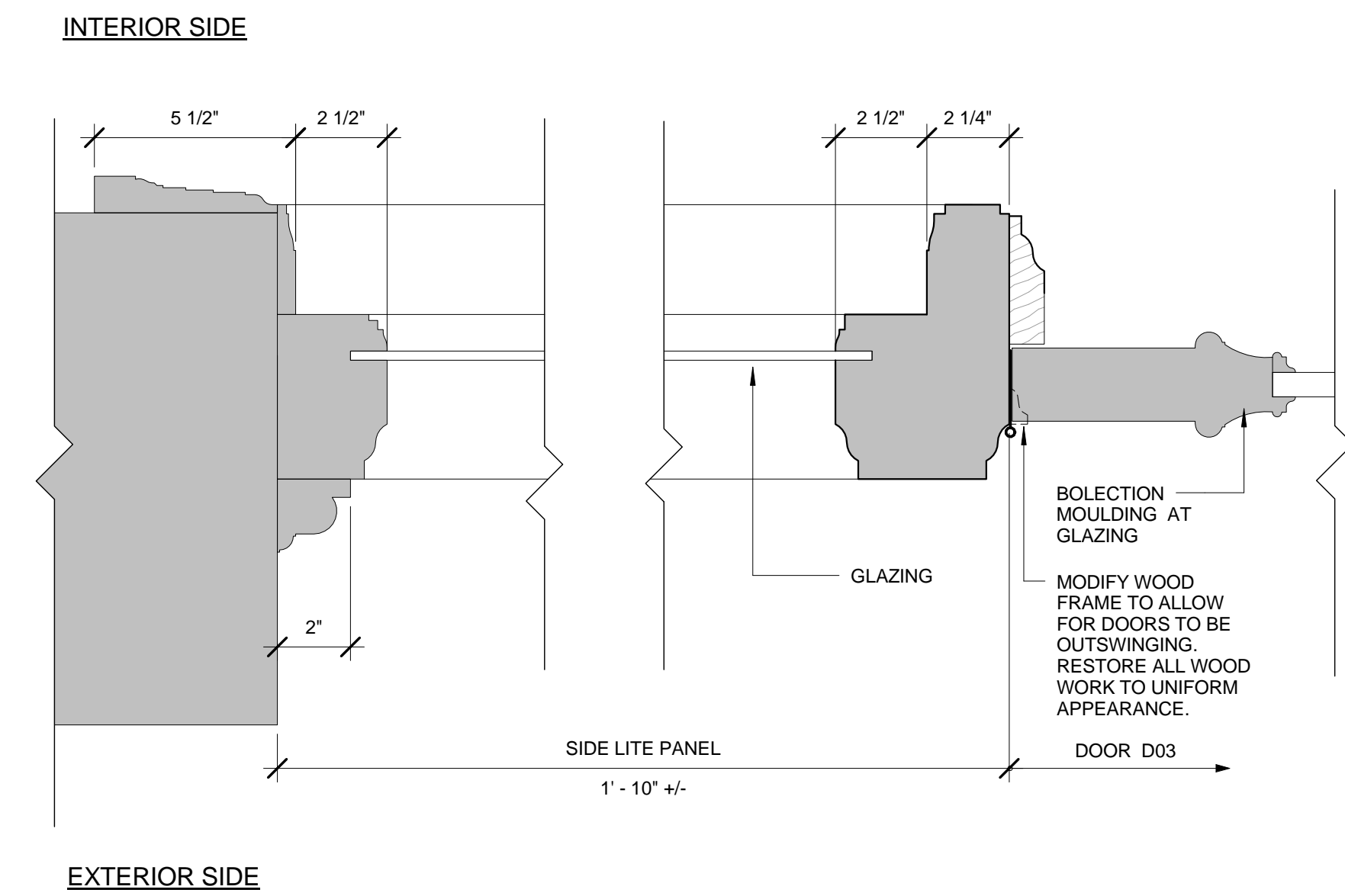
3 SECTION DETAIL, DOOR D03, PROPOSED
3" = 1'-0"



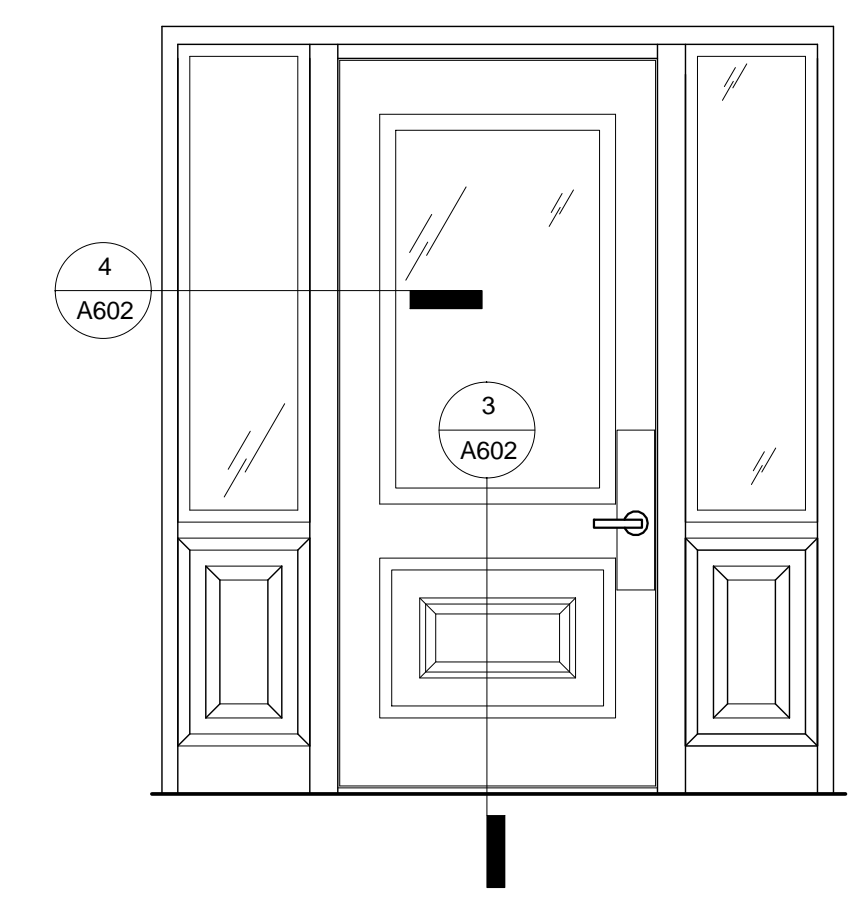
5 ELEVATION, DOOR D03, EXISTING
1/2" = 1'-0"



2 PLAN DETAIL, DOOR D03, EXISTING
3" = 1'-0"



4 PLAN DETAIL, DOOR D03, PROPOSED
3" = 1'-0"



6 ELEVATION, DOOR D03, PROPOSED
1/2" = 1'-0"

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
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185 Dartmouth Street
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**Door Details
West**

DRAWING INFORMATION

August 8, 2017
DATE OF ISSUE

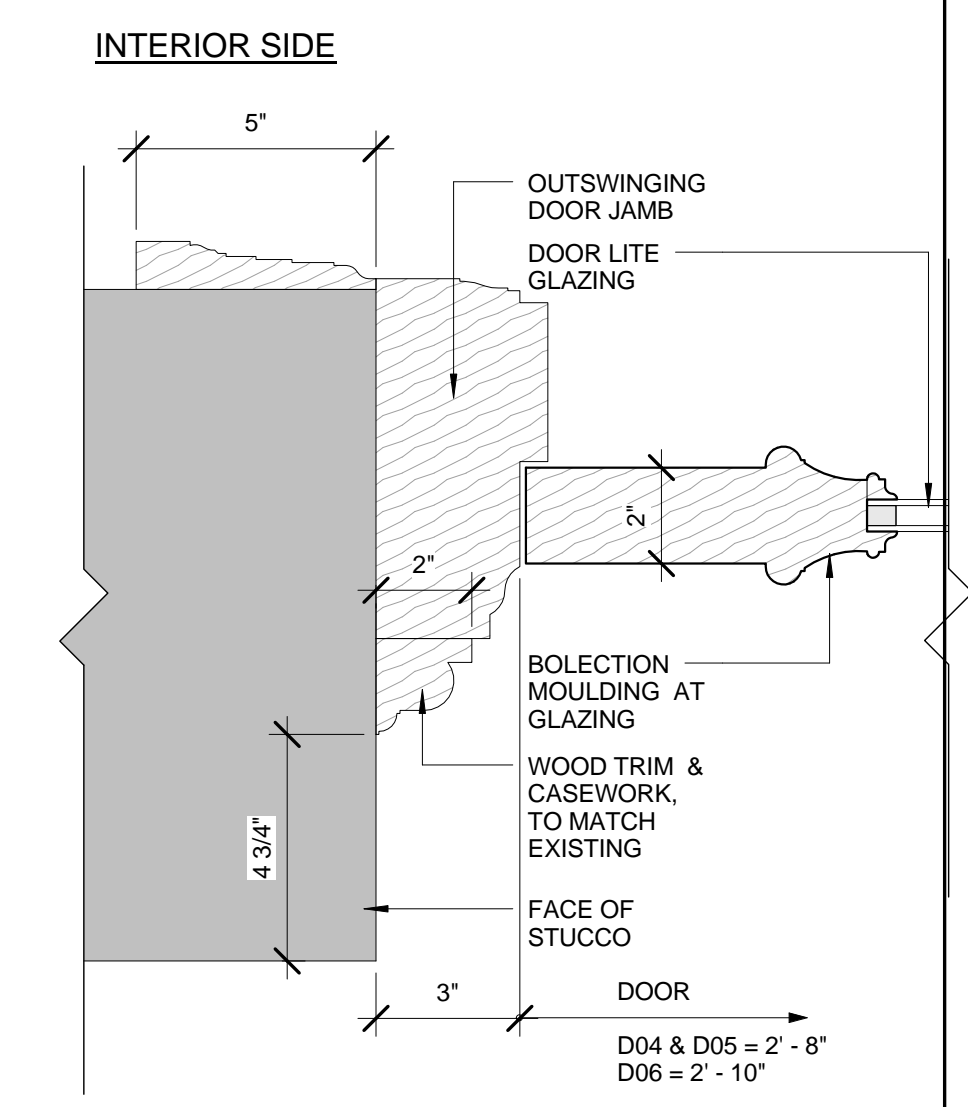
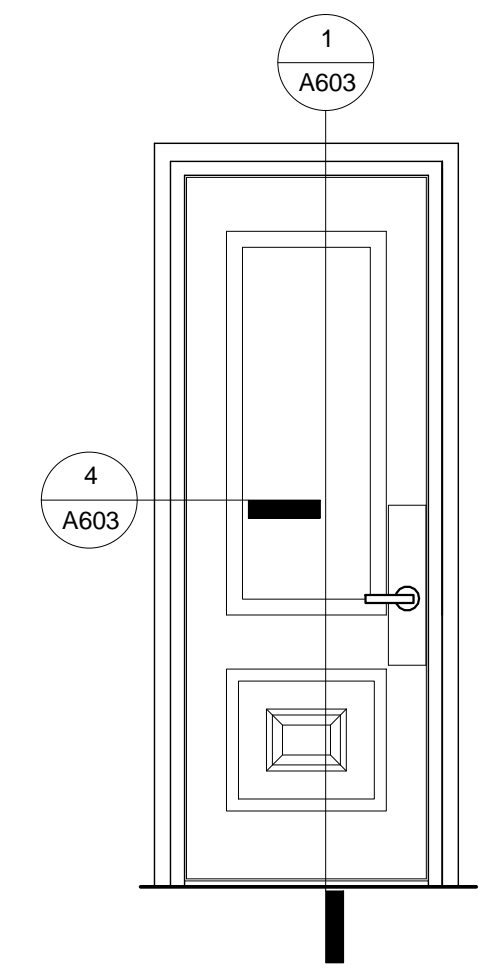
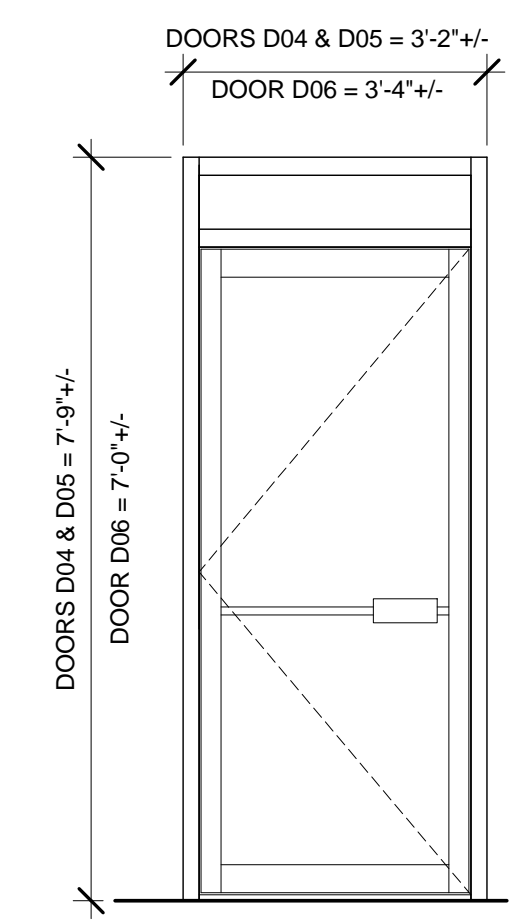
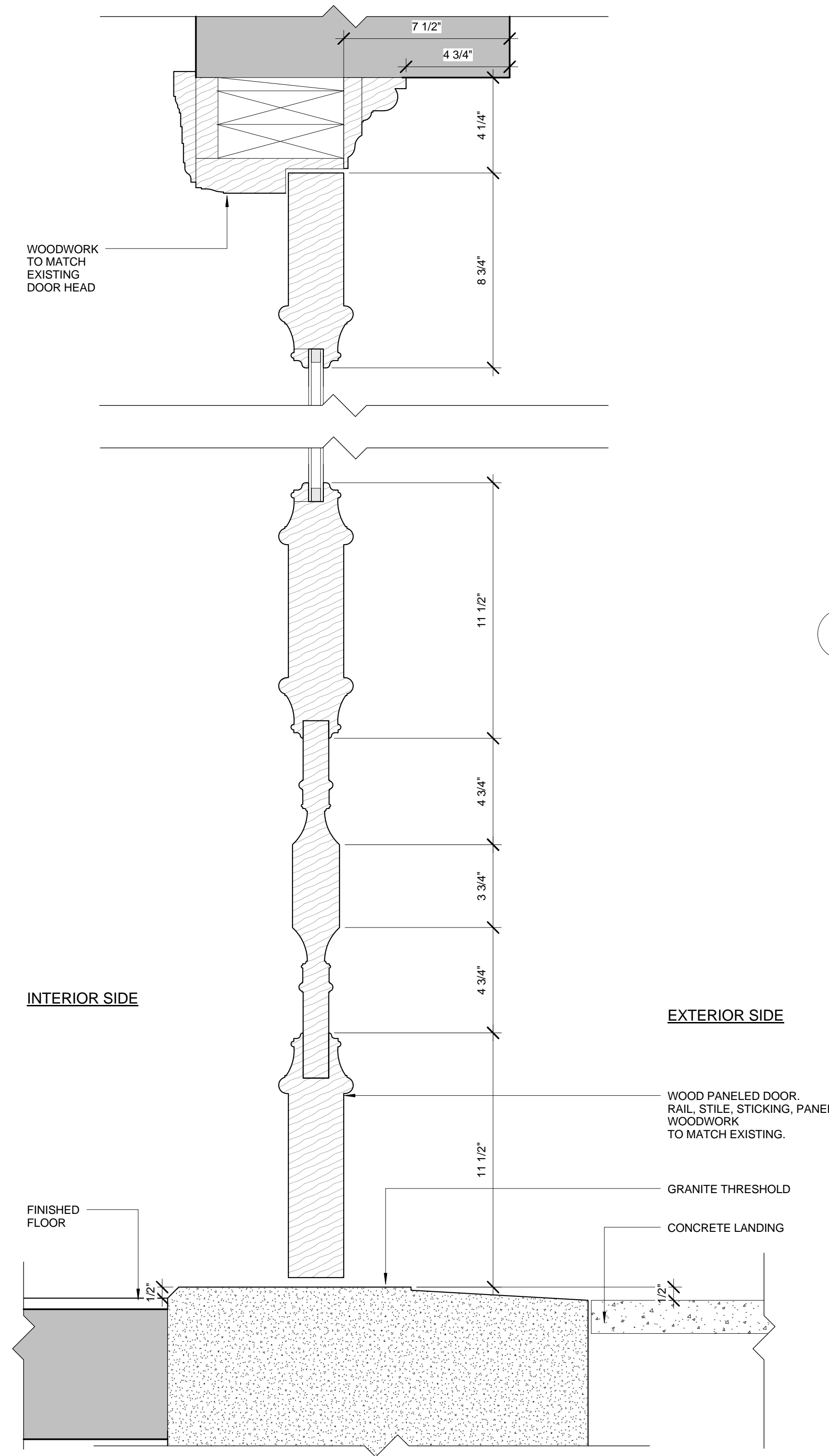
Historic Tax Credit Submission
DESCRIPTION

As Indicated Author
SCALE DRAWN BY

3284 St Gabriel.rvt
PROJECT # FILE NAME

DRAWING NUMBER

A603



PROJECT NAME

**St. Gabriel's
 Monastery
 Renovation**

159 Washington Street
 Brighton, MA 02135

CLIENT

**Cabot, Cabot,
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5	DATE

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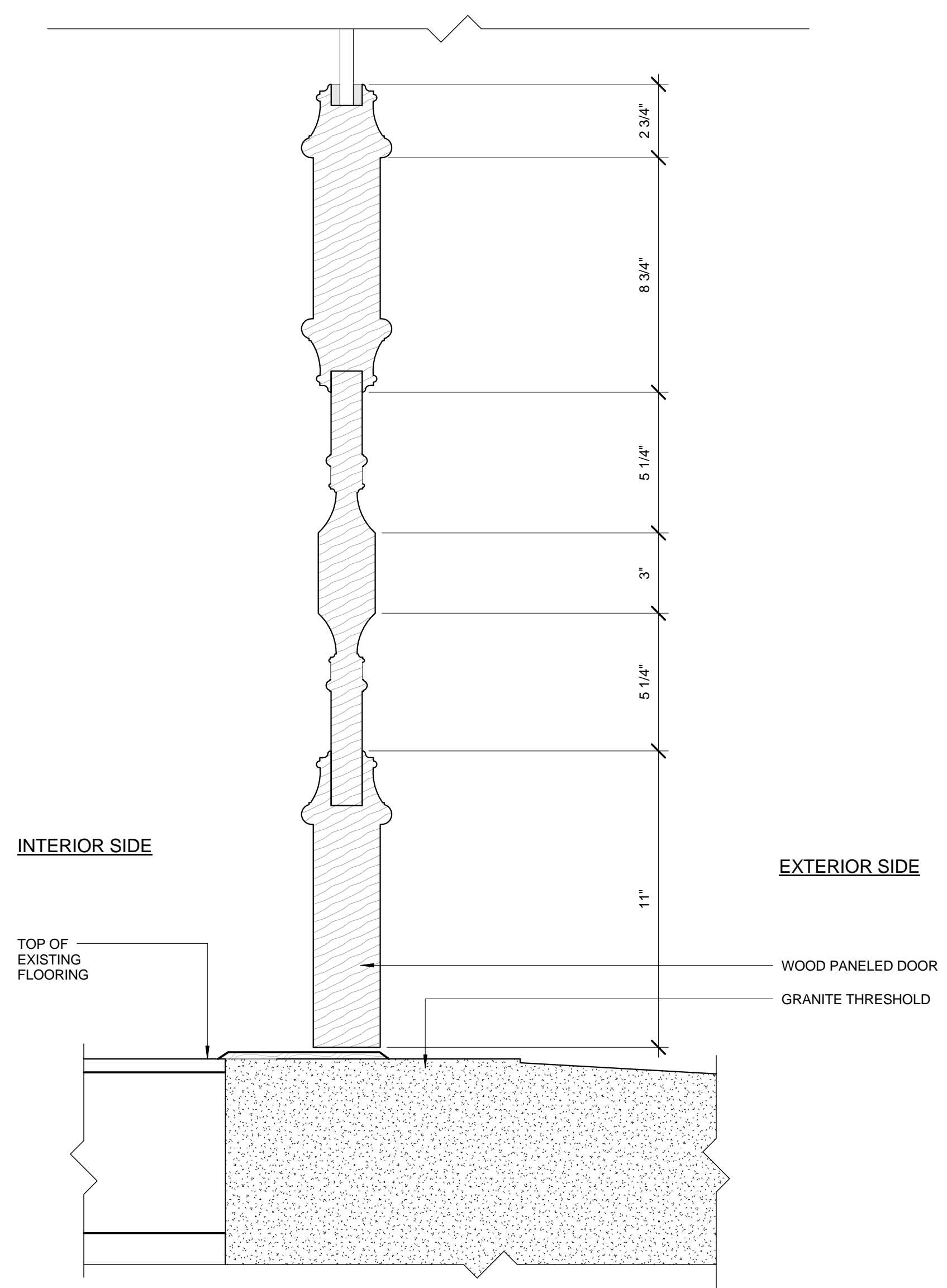
**Door Details
 North Entry**

DRAWING INFORMATION

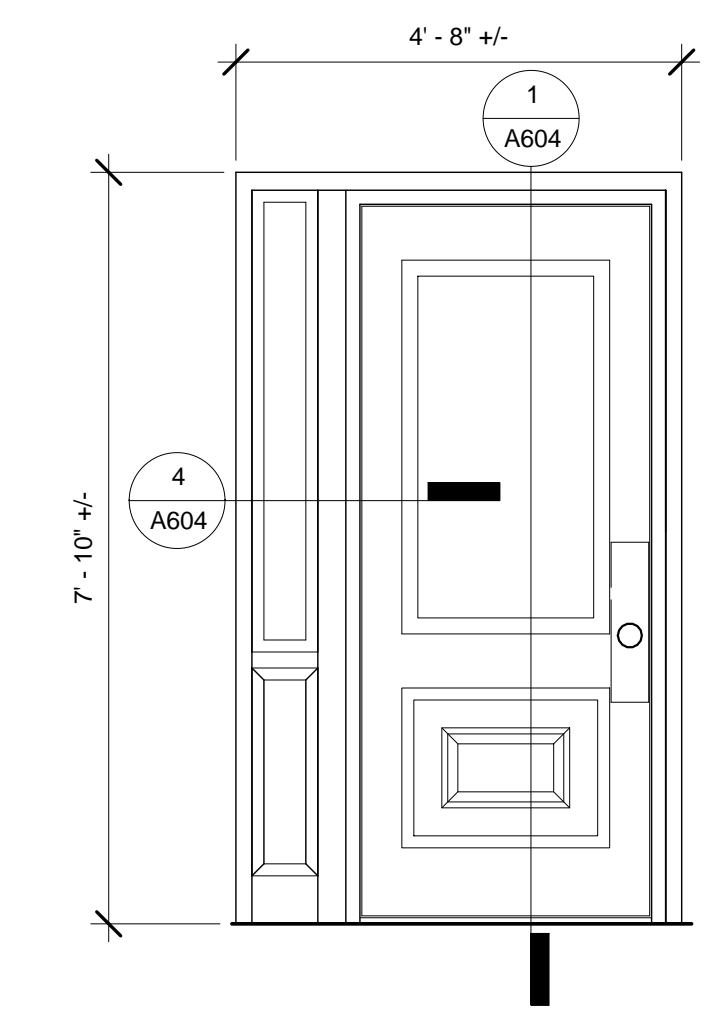
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DATE OF ISSUE	DRAWN BY
Historic Tax Credit Submission	
DESCRIPTION	
As Indicated	Author
SCALE	DRAWN BY
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PROJECT #	FILE NAME

DRAWING NUMBER

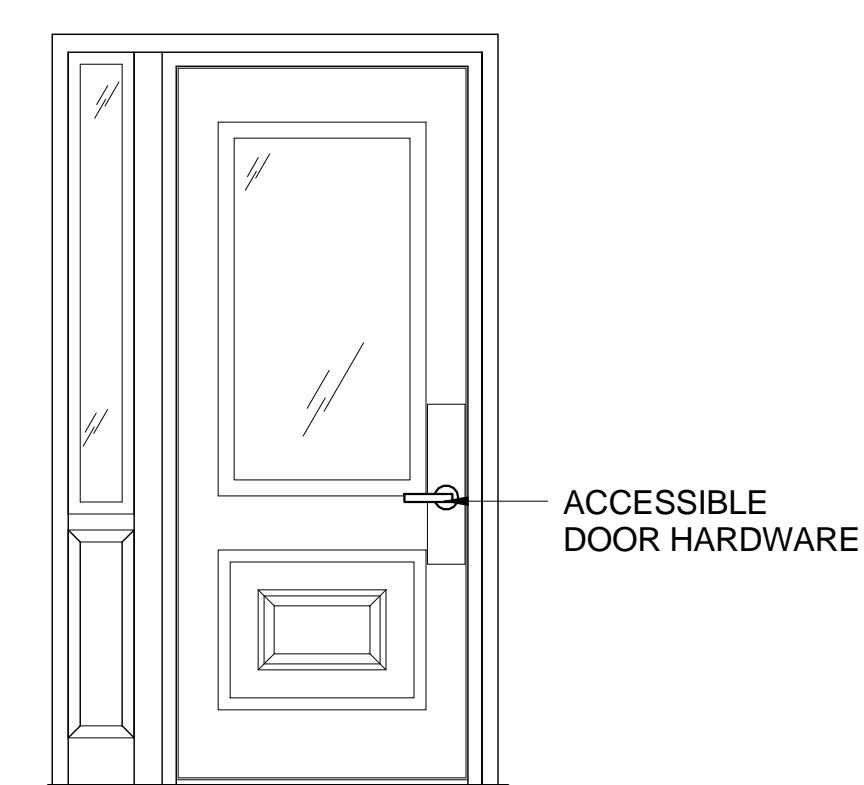
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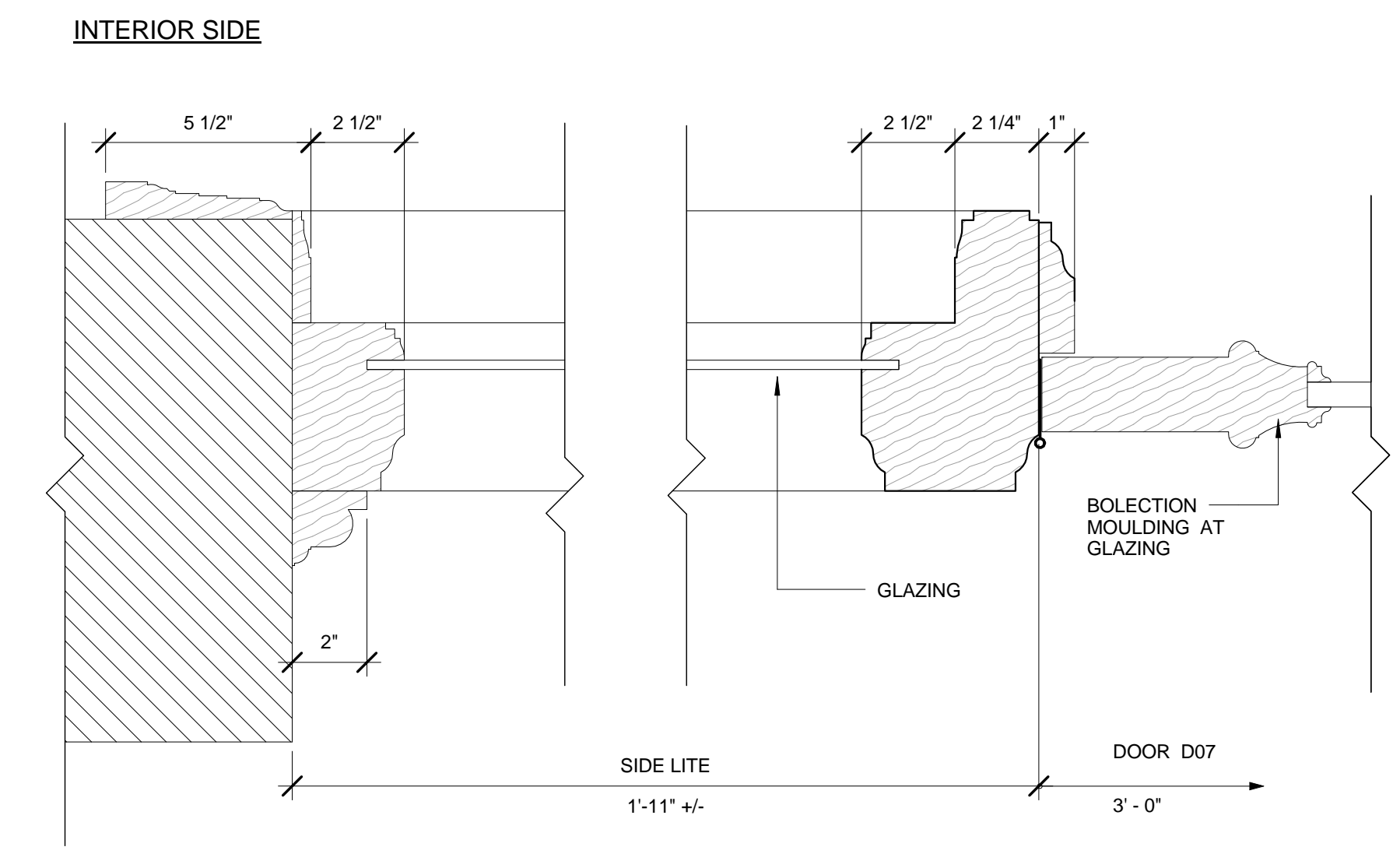
1 SECTION DETAIL, DOOR D07, EXISTING
 3" = 1'-0"



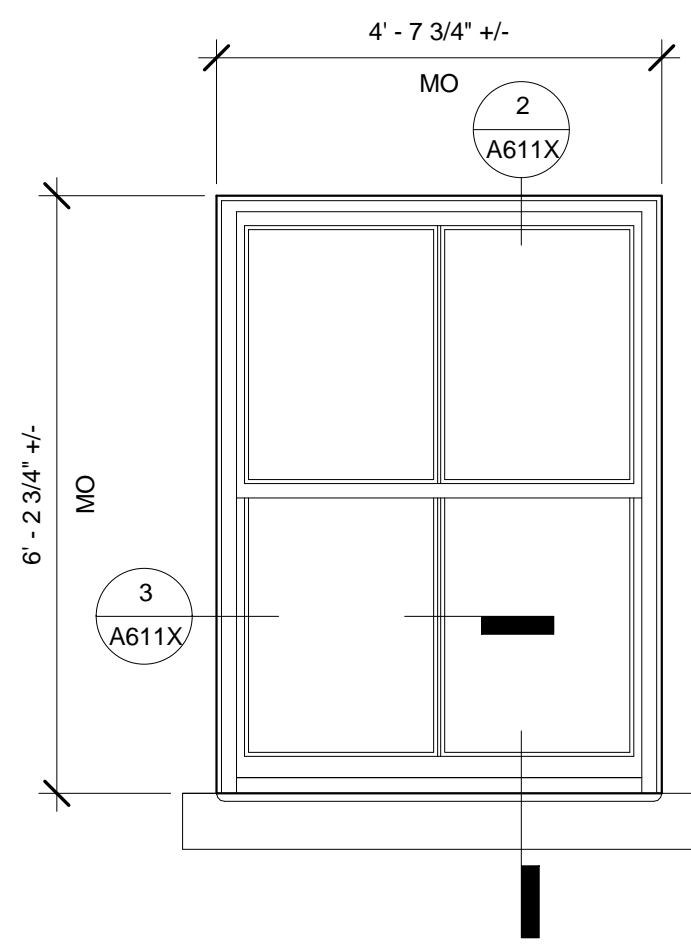
2 ELEVATION, DOOR D07, EXISTING
 1/2" = 1'-0"



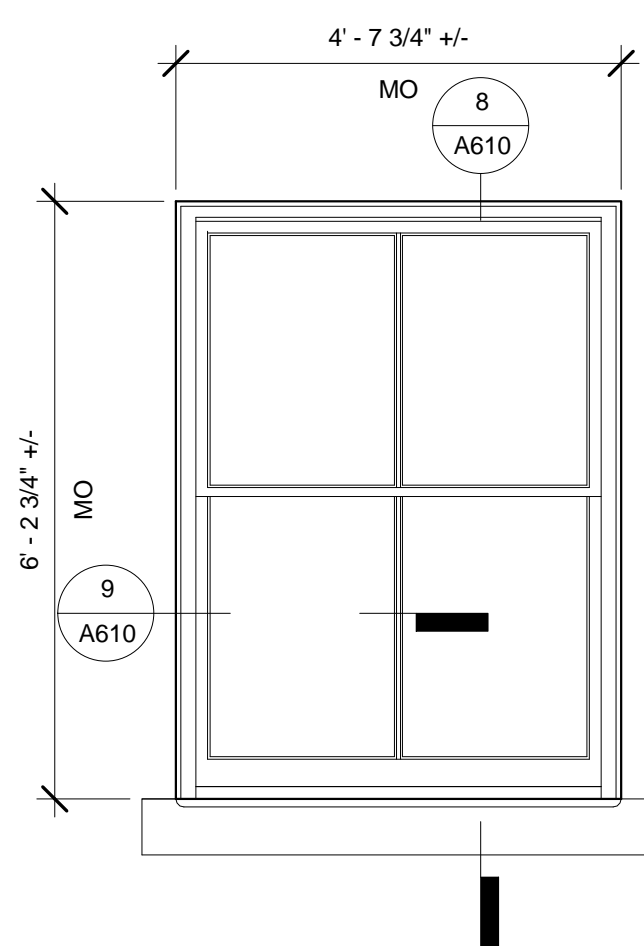
3 ELEVATION, DOOR D07, PROPOSED
 1/2" = 1'-0"



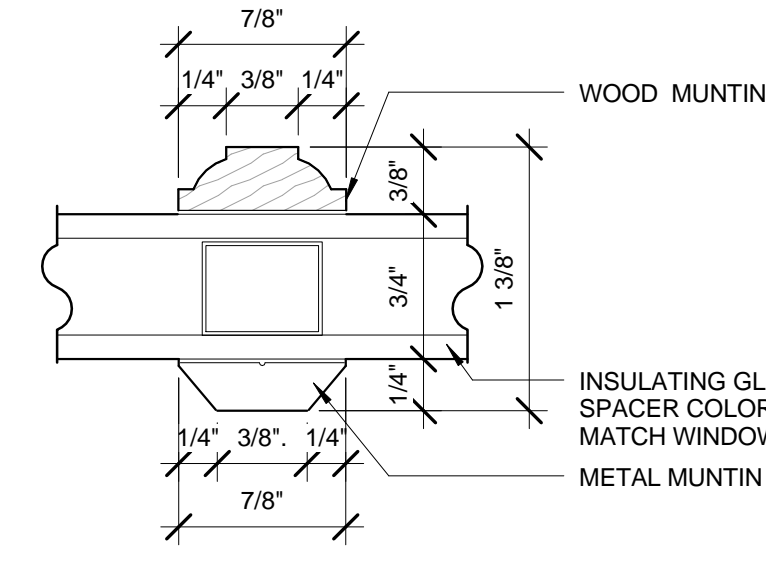
4 PLAN DETAIL, DOOR D07, EXISTING
 3" = 1'-0"



1 Existing Typical Double Hung Window Exterior Elevation
1/2" = 1'-0"

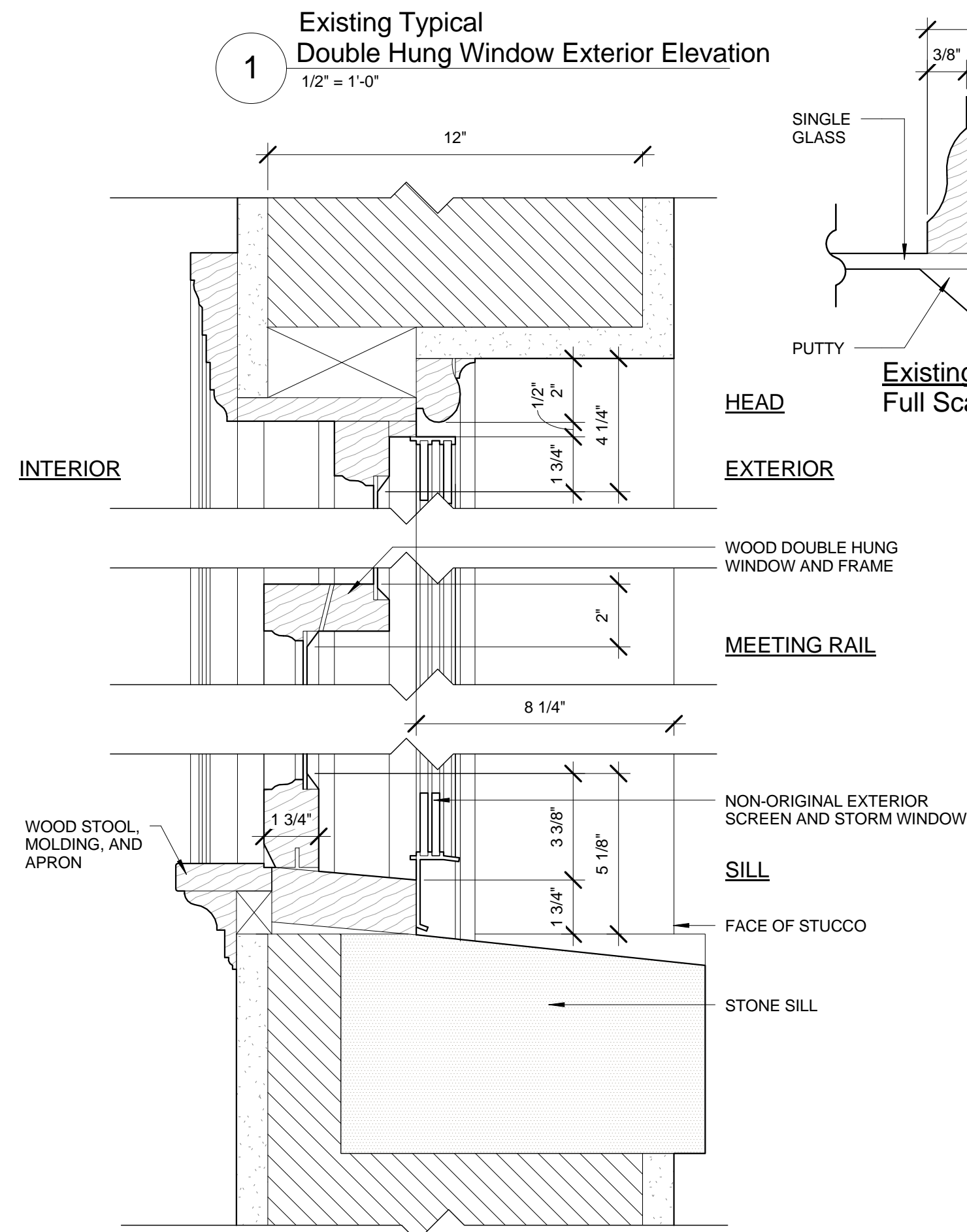


7 Clad Wood Double Hung Window Exterior Elevation
1/2" = 1'-0"

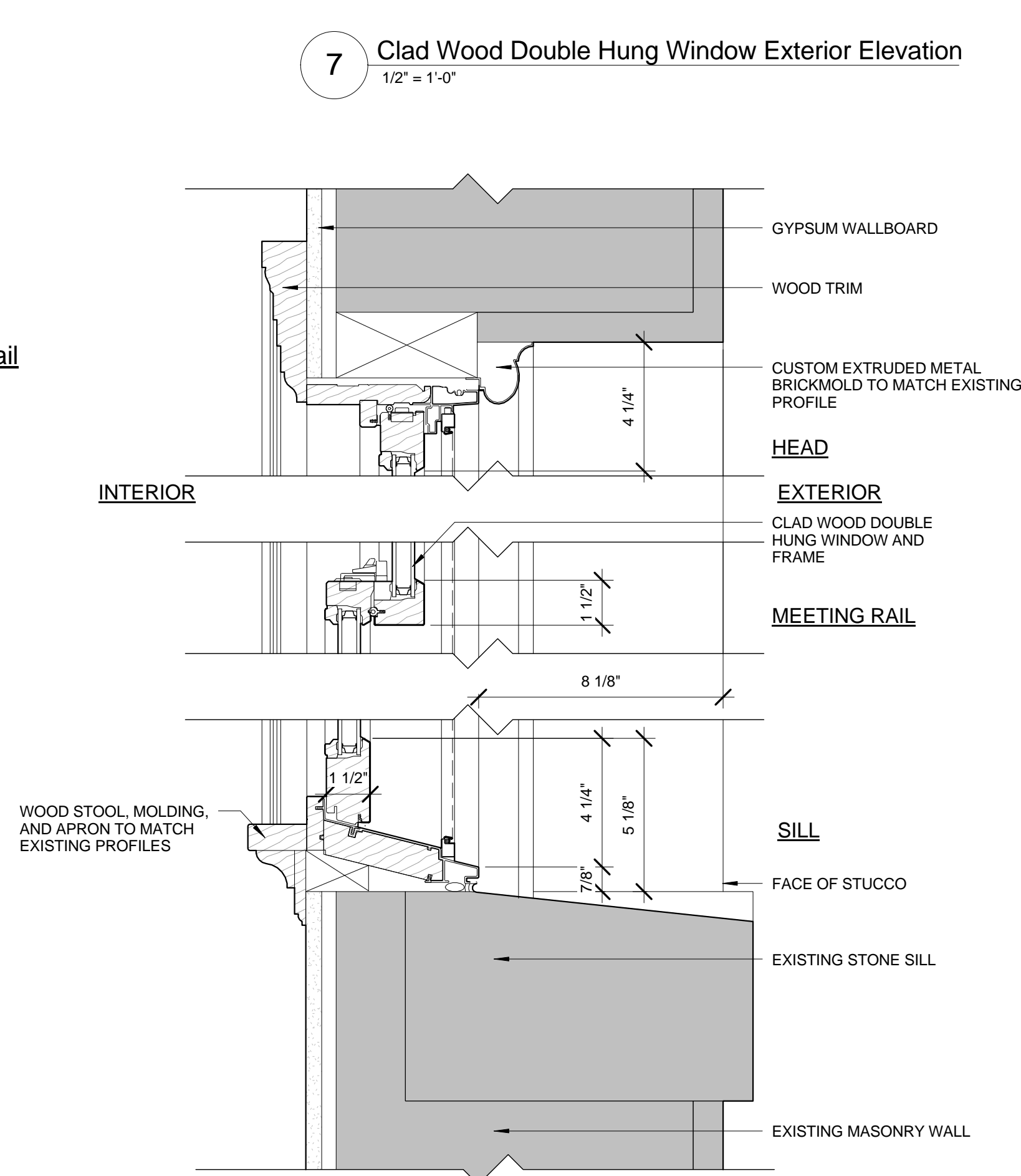


Muntin Detail Full Scale

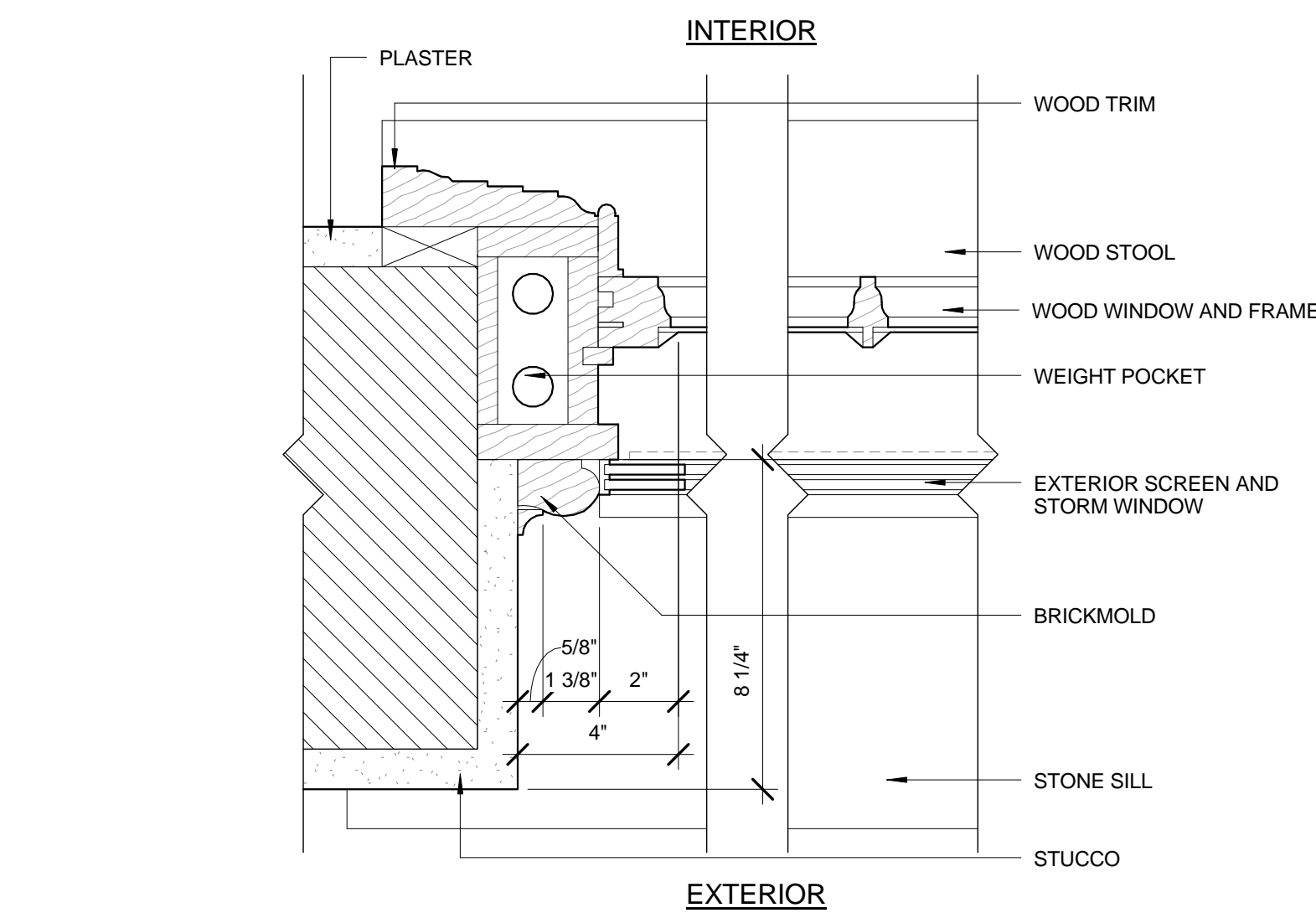
NOTE: IT IS NOT POSSIBLE TO EXACTLY MATCH EXISTING PROFILES WITH MANUFACTURER'S DETAILS FOR SOME COMPONENTS, SUCH AS MEETING RAIL AND SILL. CUSTOM PROFILES CAN BE DONE FOR BRICKMOLD.



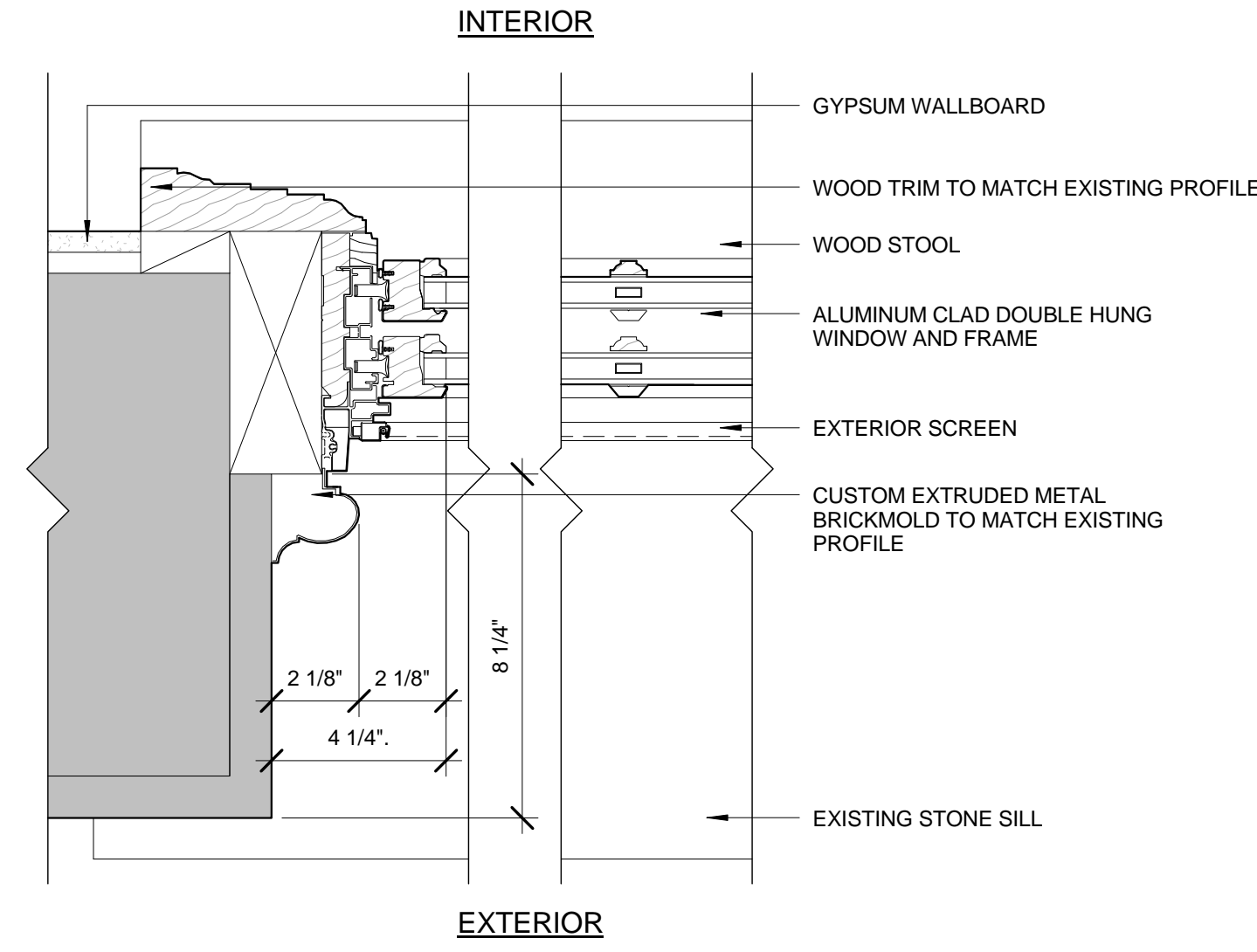
2 Existing Typical Double Hung Window Section
3" = 1'-0"



8 Clad Wood Double Hung Window Section
3" = 1'-0"



3 Existing Typical Double Hung Window Jamb Detail
3" = 1'-0"



9 Clad Wood Double Hung Window Jamb Detail
3" = 1'-0"

General Notes - Double Hung Windows

1. The scope of work is to remove all existing double hung window, the majority of which have been determined to be in 'poor' condition. Removal includes frames, sash, exterior storm windows, and interior casings. Replacement windows will be aluminum-clad wood.
2. Select ground floor and other windows will have obscure glass at bathroom locations. Some dormer windows will be incorporated into apartments at some locations. See floor plans for locations.
3. Some basement and attic windows will need to have louvers, rather than windows, in order to accommodate the mechanical systems. Louvers will be located on the courtyard side. Louver colors to match windows.
4. The color of the original windows has not been confirmed. The window color will match the original color once that has been identified.

ARCHITECT

bh+a

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617 350-0450 Tel

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
Boston, MA 02110

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Structural Engineer

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Boston, MA 02110
(617) 850-4101

REVISIONS

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DRAWING TITLE

**Window Details
Double Hung**

DRAWING INFORMATION

August 8, 2017

DATE OF ISSUE

Historic Tax Credit Submission

DESCRIPTION

As Indicated

SCALE

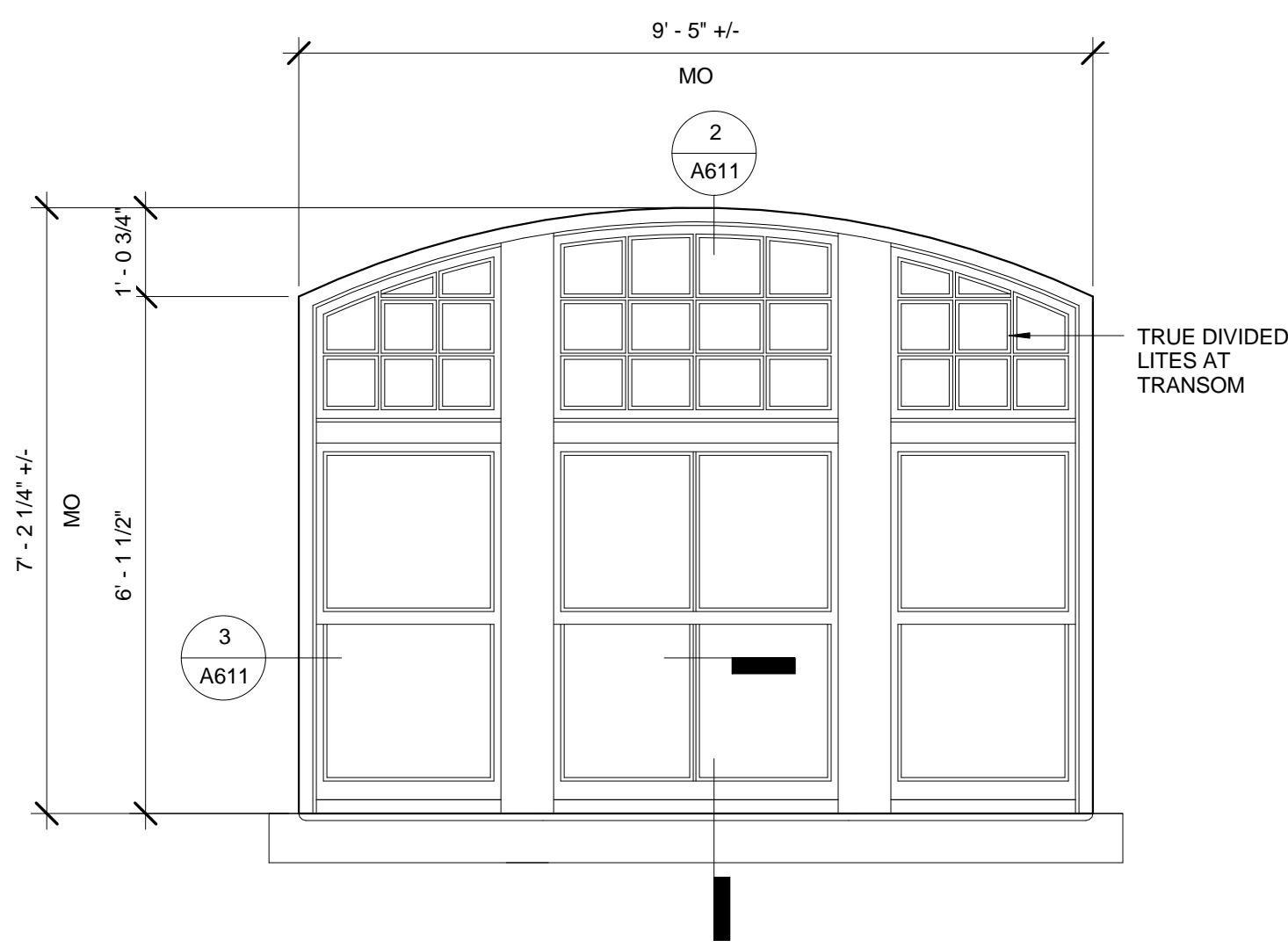
PROJECT #

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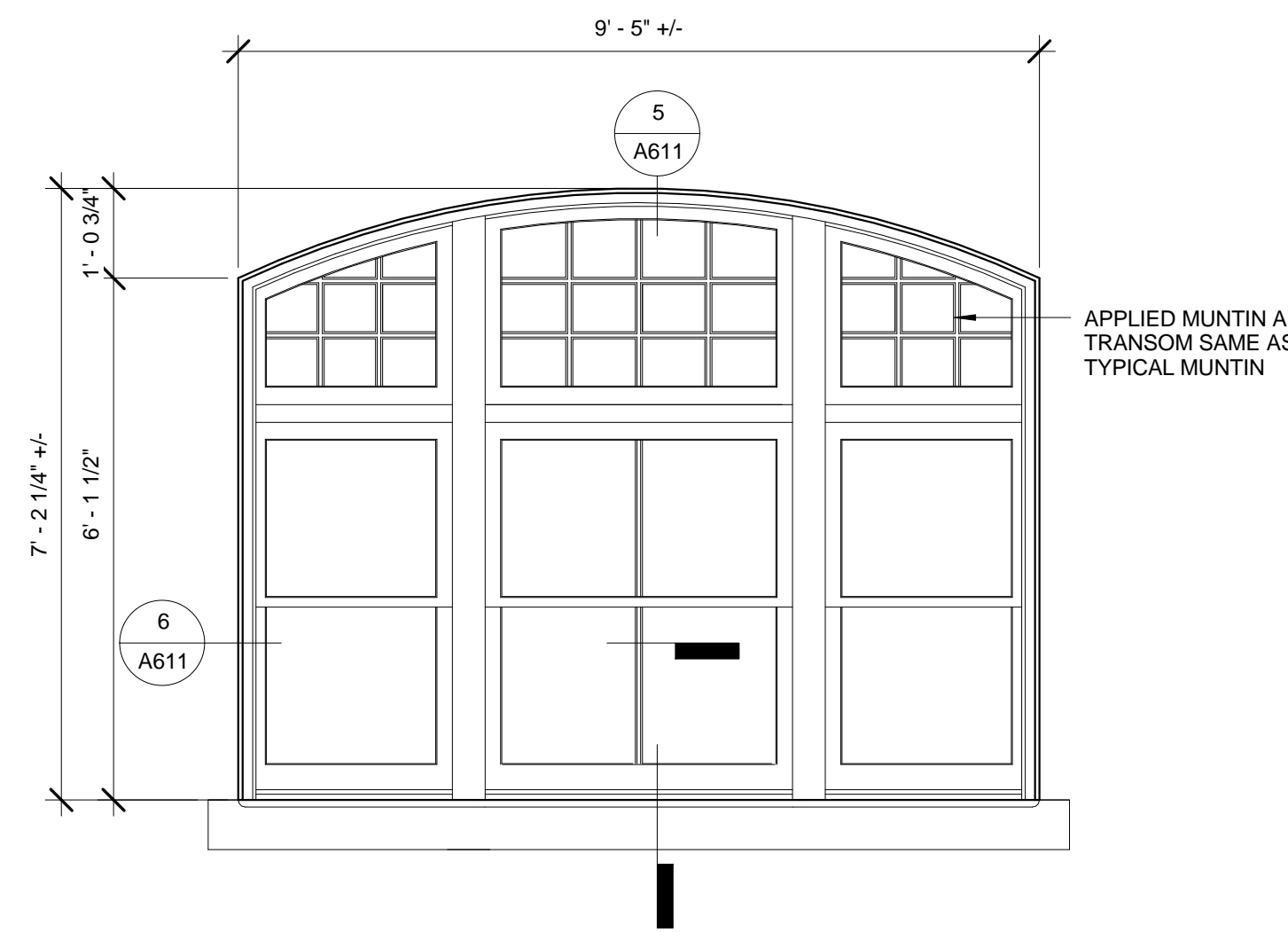
FILE NAME

A610

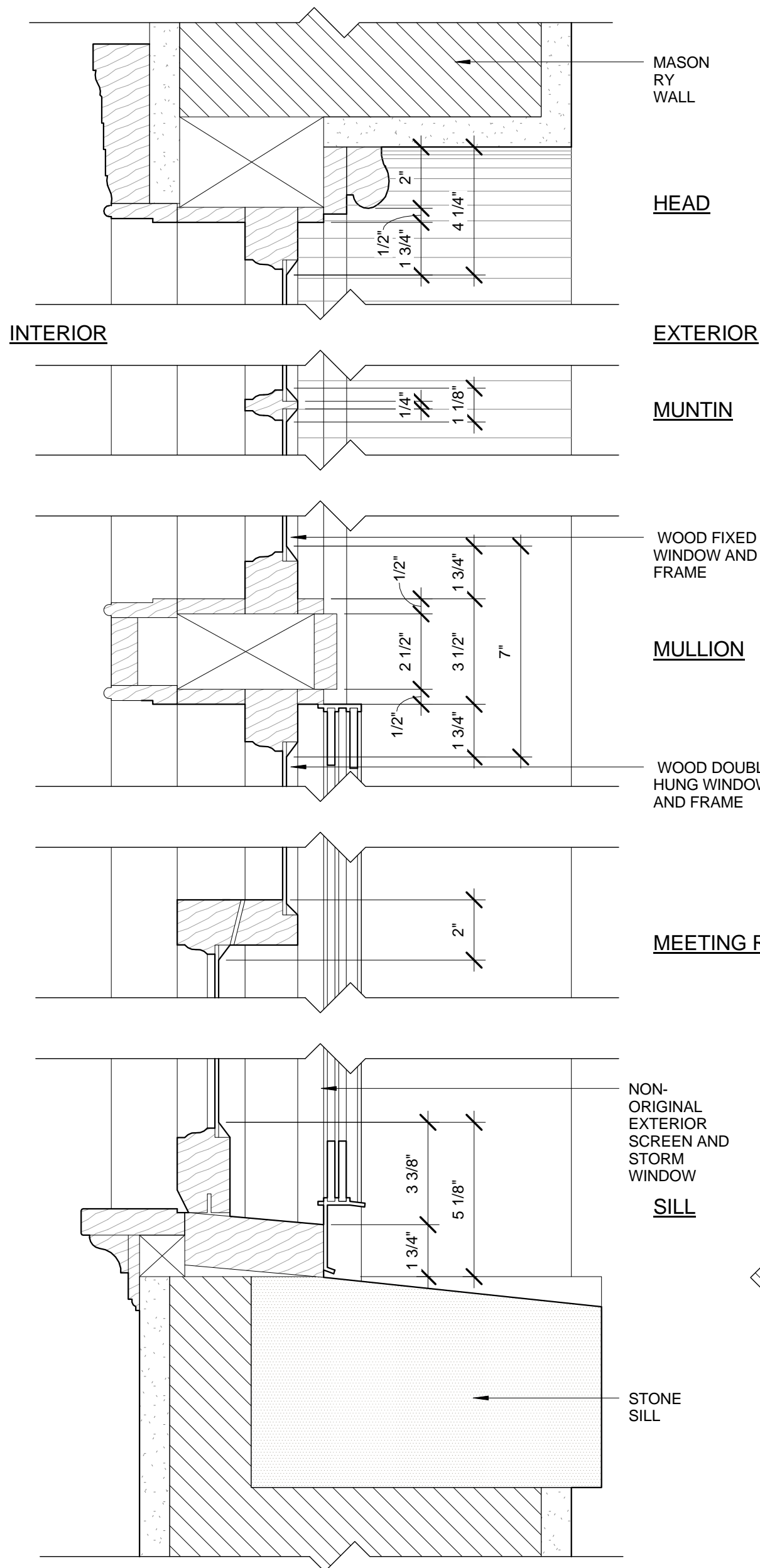
Copyright BH+A, Inc.



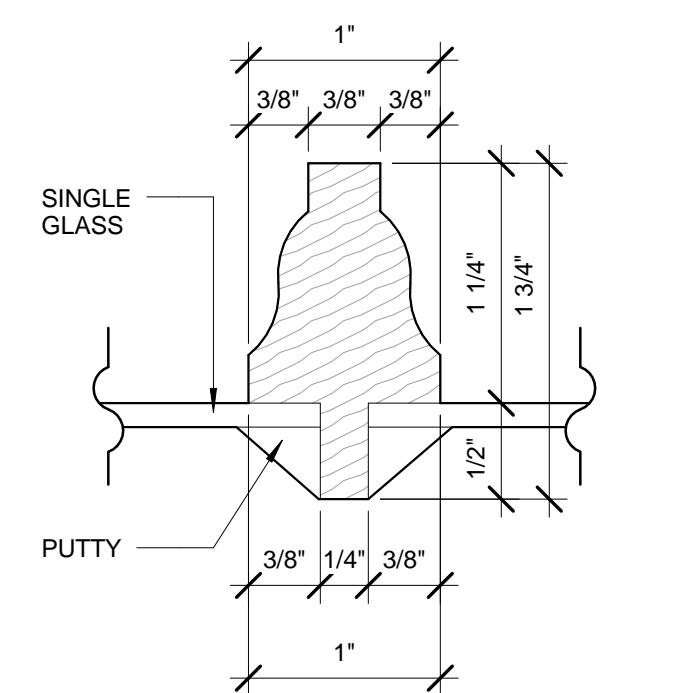
1 Existing Double Hung Window With Transom Exterior Elevation
1/2" = 1'-0"



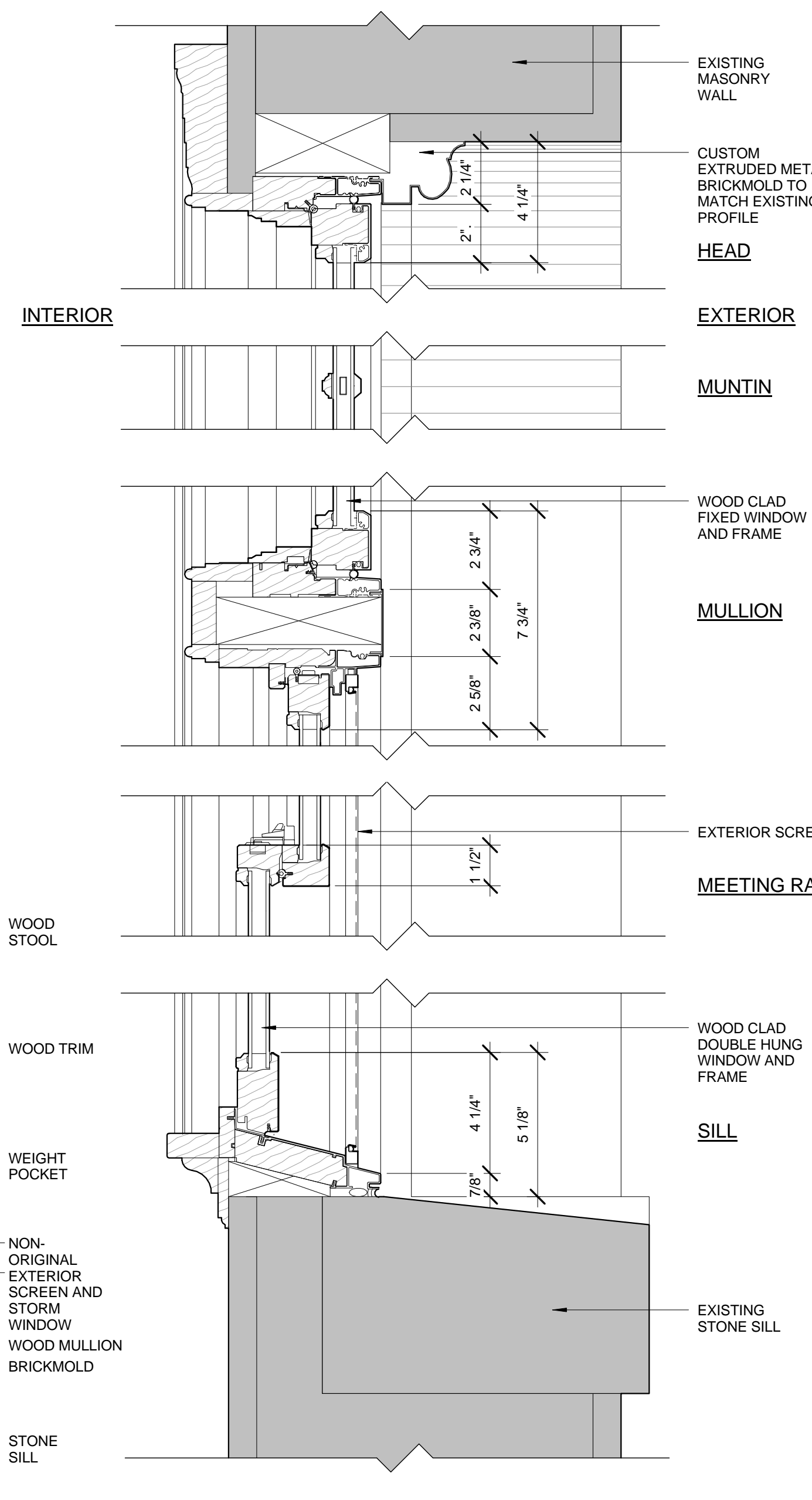
4 Wood Clad Double Hung Window With Transom Exterior Elevation
1/2" = 1'-0"



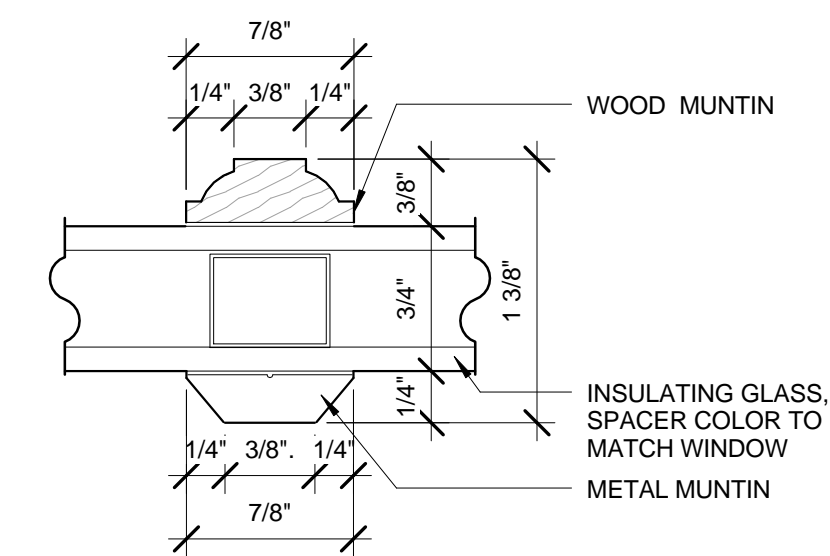
2 Existing Double Hung Window With Transom Section
3" = 1'-0"



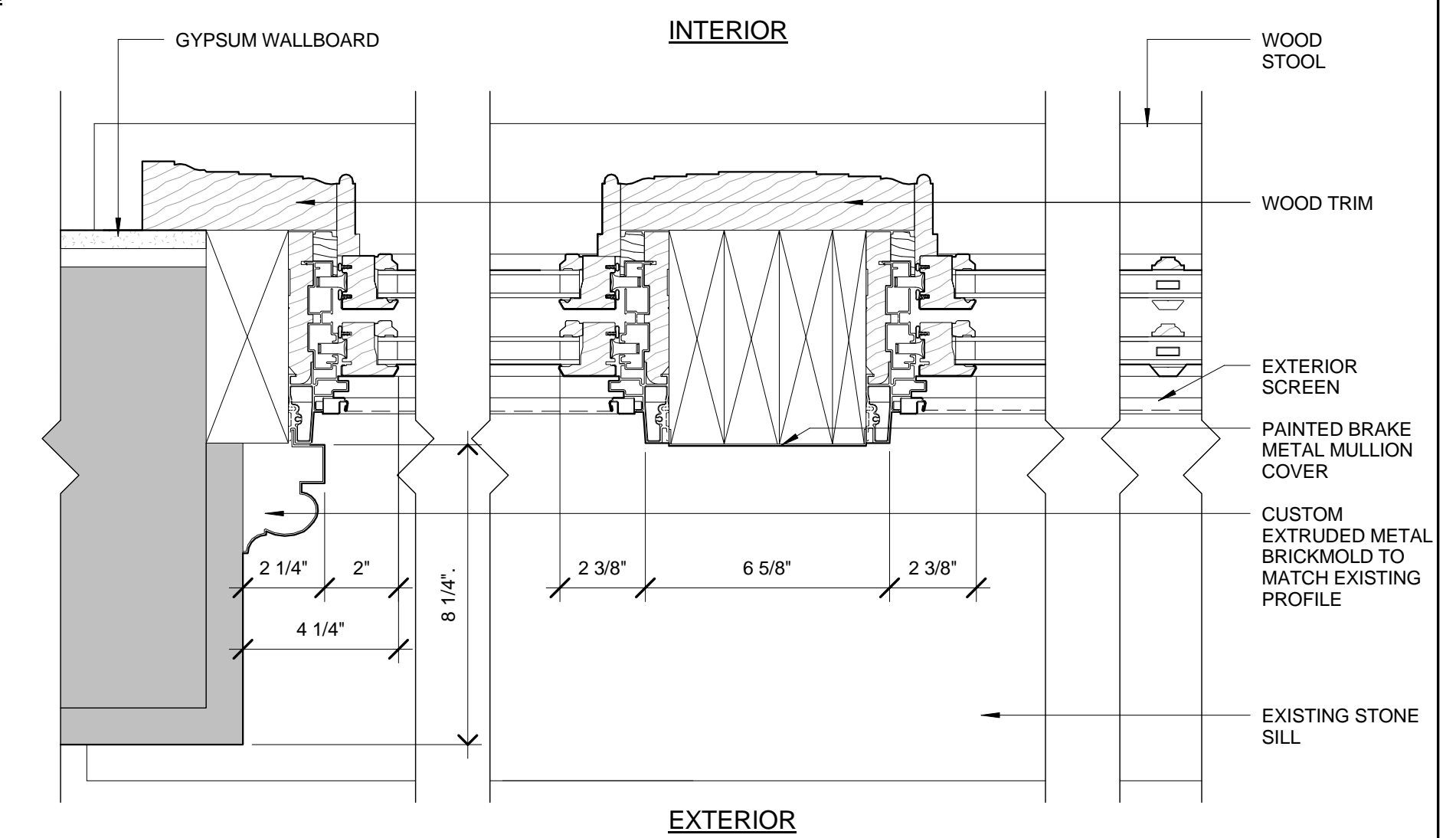
Existing Typical Muntin Detail Full Scale



5 Wood Clad Double Hung Window With Transom Section
3" = 1'-0"



Muntin Detail Full Scale



6 Wood Clad Double Hung Window With Transom Jamb Detail
3" = 1'-0"

General Notes - Double Hung Windows

- The scope of work is to remove all existing double hung wood windows, the majority of which have been determined to be in 'poor' condition. Removal includes frames, sash, exterior storm windows, and interior casings. Replacement windows will be aluminum-clad wood.
- Select ground floor and other windows will have obscure glass at bathroom locations. Some dormer windows will be incorporated into apartments at some locations. See floor plans for locations.
- Some basement and attic windows will need to have louvers, rather than windows, in order to accommodate the mechanical systems. Louvers will be located on the courtyard side. Louver colors to match windows.
- The color of the original windows has not been confirmed. The window color will match the original color once that has been identified.

REVISIONS

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DRAWING TITLE

Window Details Double Hung with Transom

DRAWING INFORMATION

August 6, 2017	DATE OF ISSUE
Historic Tax Credit Submission	DESCRIPTION
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SCALE	DRAWN BY
3284	3284 St Gabriel.rvt
PROJECT #	FILE NAME

DRAWING NUMBER

A611

PROJECT NAME

**St. Gabriel's
Monastery
Renovation**

159 Washington Street
Brighton, MA 02135

CLIENT

**Cabot, Cabot,
and Forbes**
185 Dartmouth Street
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REVISIONS

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DRAWING TITLE

**Window Details
Double Hung
Dormer**

DRAWING INFORMATION

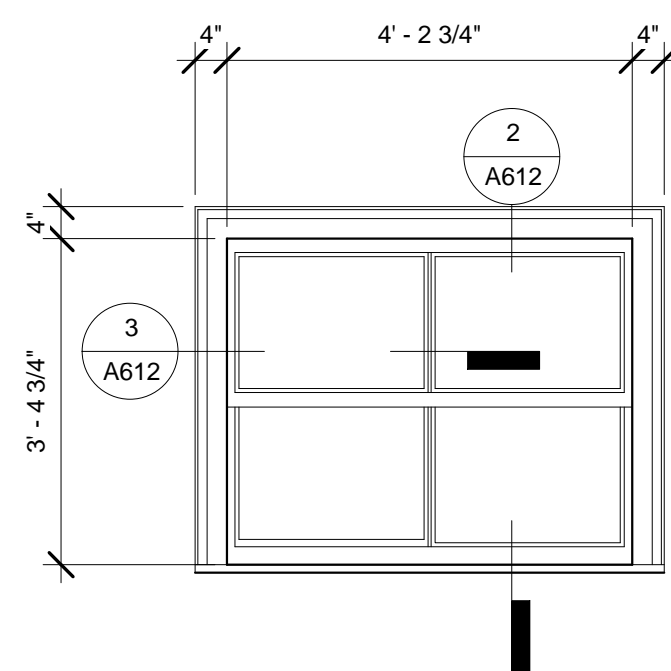
August 8, 2017
DATE OF ISSUE
Historic Tax Credit Submission
DESCRIPTION
As Indicated
SCALE
PROJECT #
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DRAWN BY
3284 St Gabriel.rvt
FILE NAME

DRAWING NUMBER

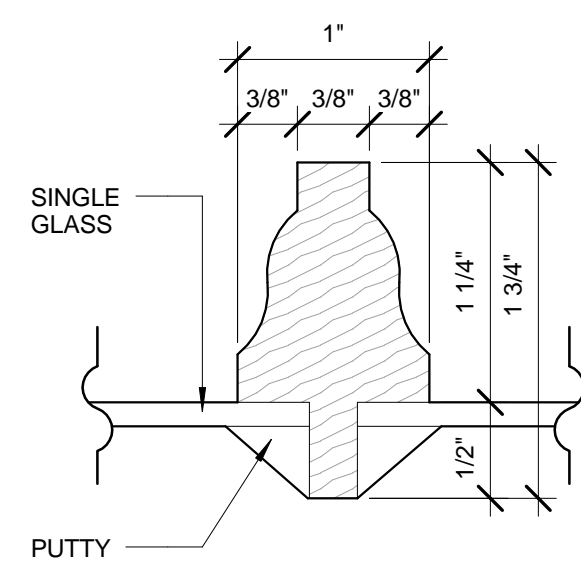
A612

General Notes - Double Hung Windows

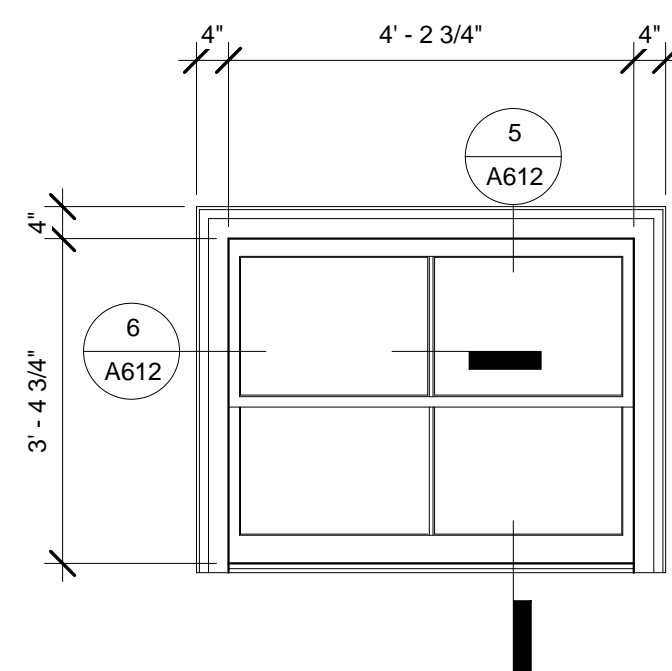
1. The scope of work is to remove all existing double hung windows, the majority of which have been determined to be in 'poor' condition. Removal includes frames, sash, exterior storm windows, and interior casings. Replacement windows will be aluminum-clad wood.
2. Select ground floor and other windows will have obscure glass at bathroom locations. Some dormer windows will be incorporated into apartments at some locations. See floor plans for locations.
3. Some basement and attic windows will need to have louvers, rather than windows, in order to accommodate the mechanical systems. Louvers will be located on the courtyard side. Louver colors to match windows.
4. The color of the original windows has not been confirmed. The window color will match the original color once that has been identified.



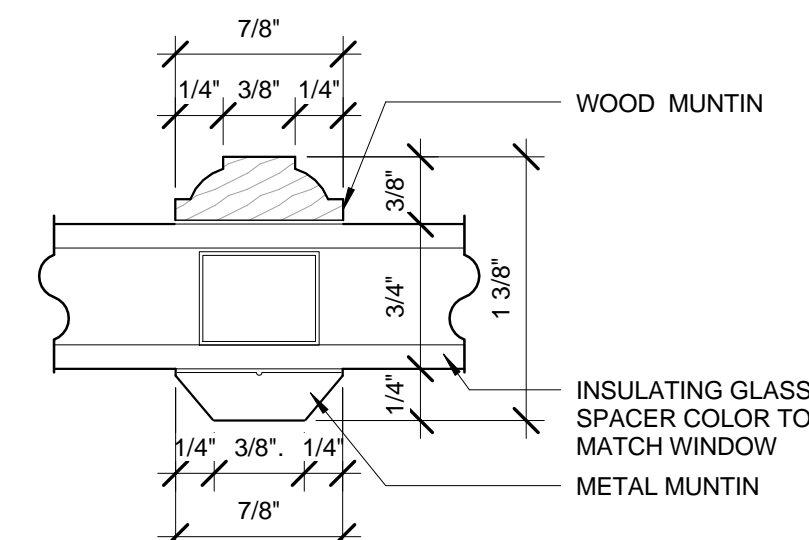
1 Existing Dormer Window Exterior Elevation
1/2" = 1'-0"



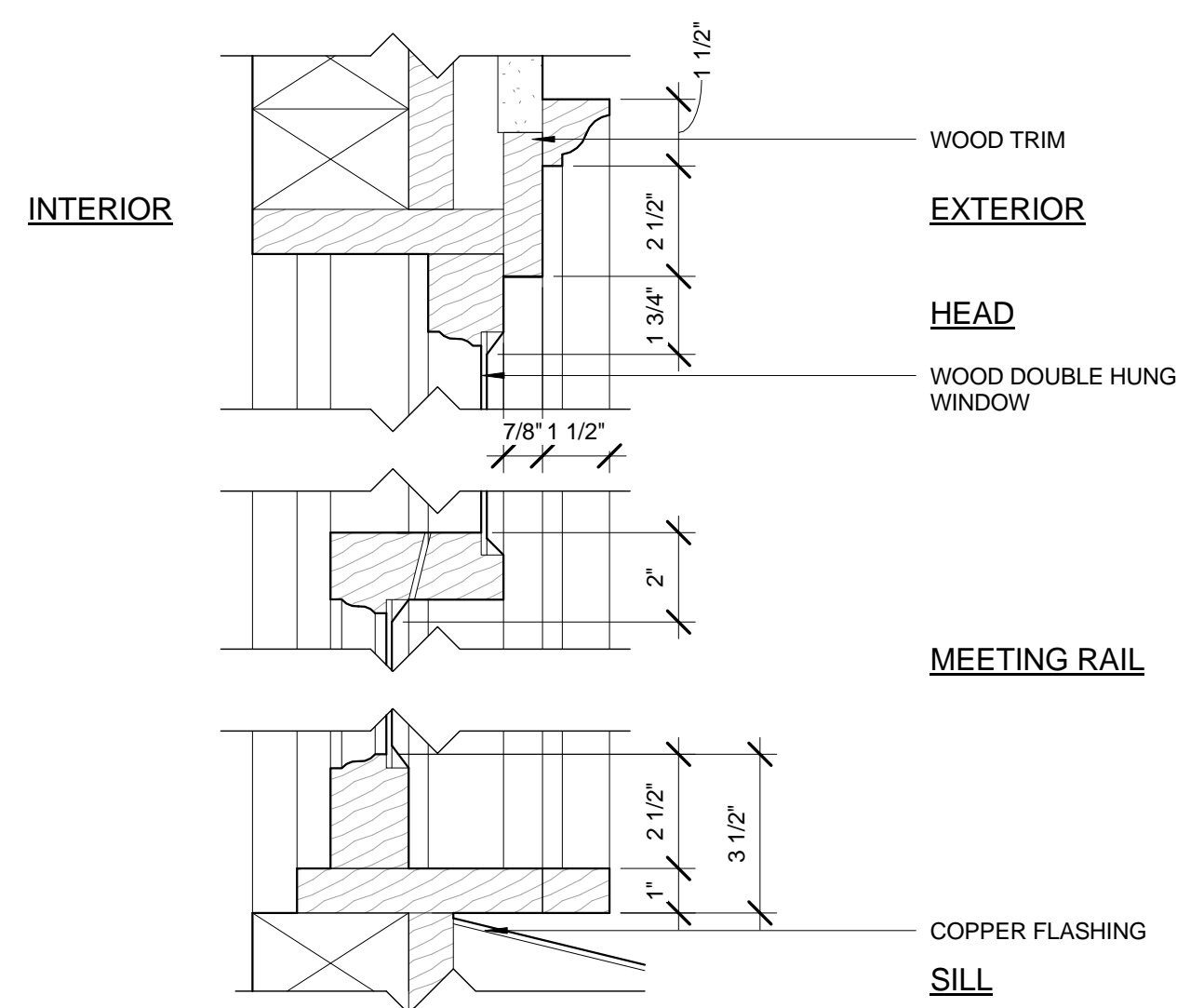
Existing Typical Muntin Detail
Full Scale



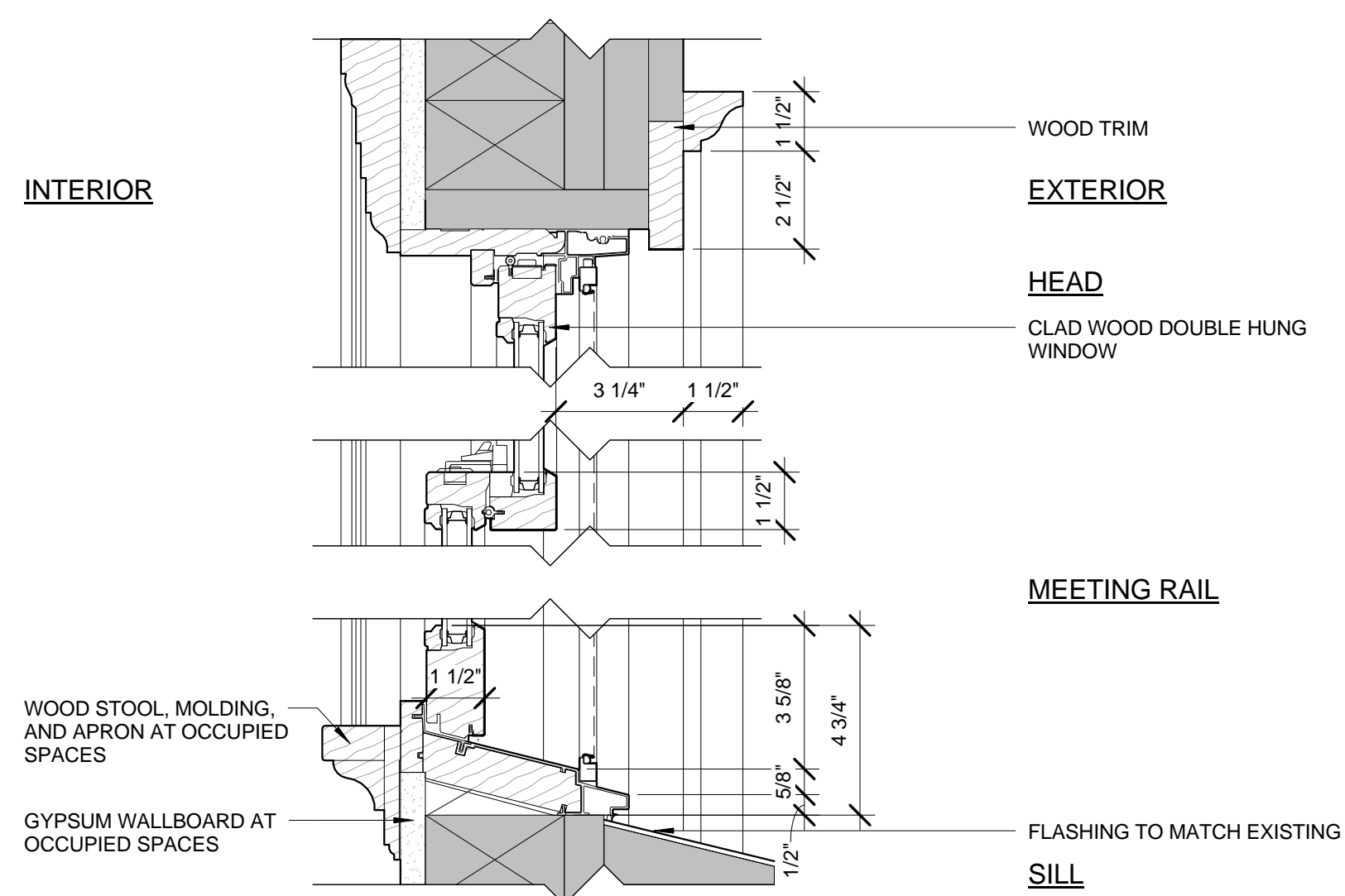
4 Clad Wood Dormer Window Exterior Elevation
1/2" = 1'-0"



Muntin Detail
Full Scale

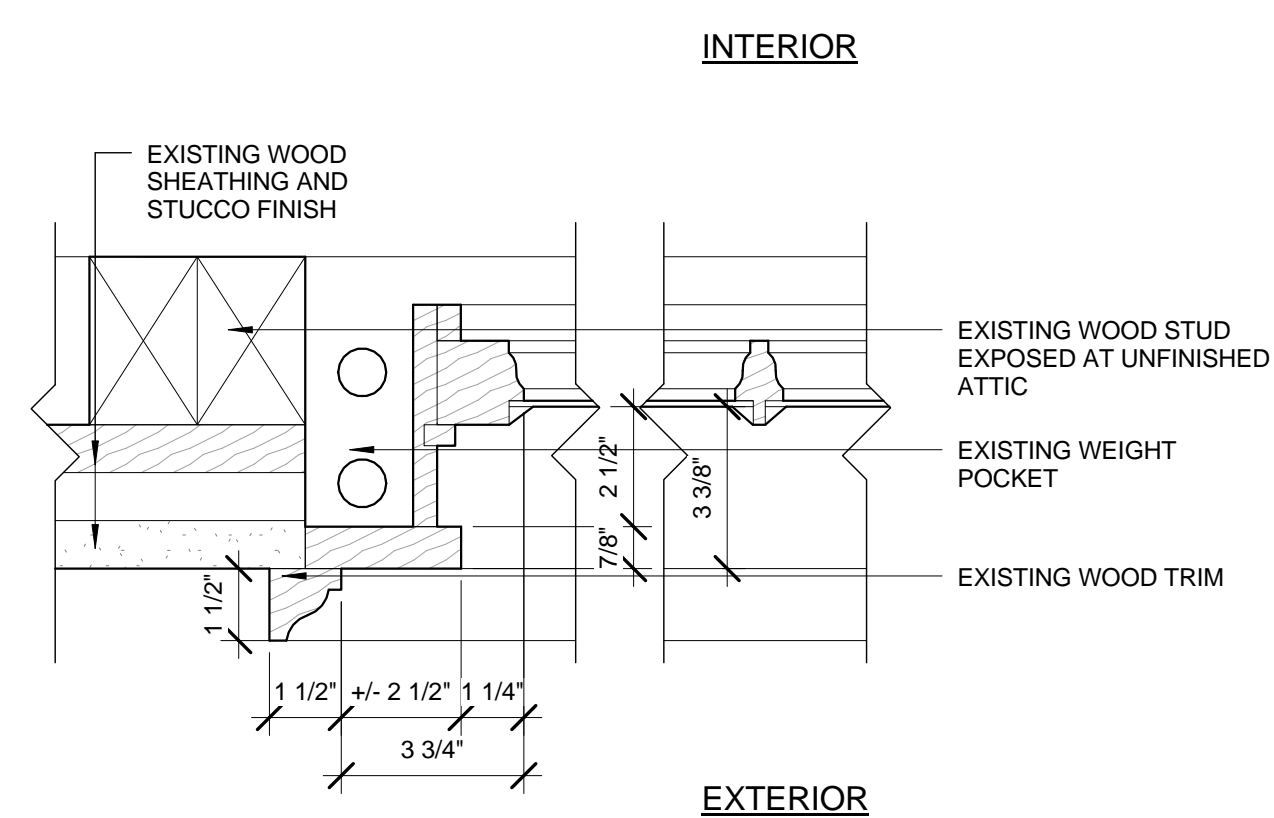


2 Existing Dormer Window Section
3" = 1'-0"

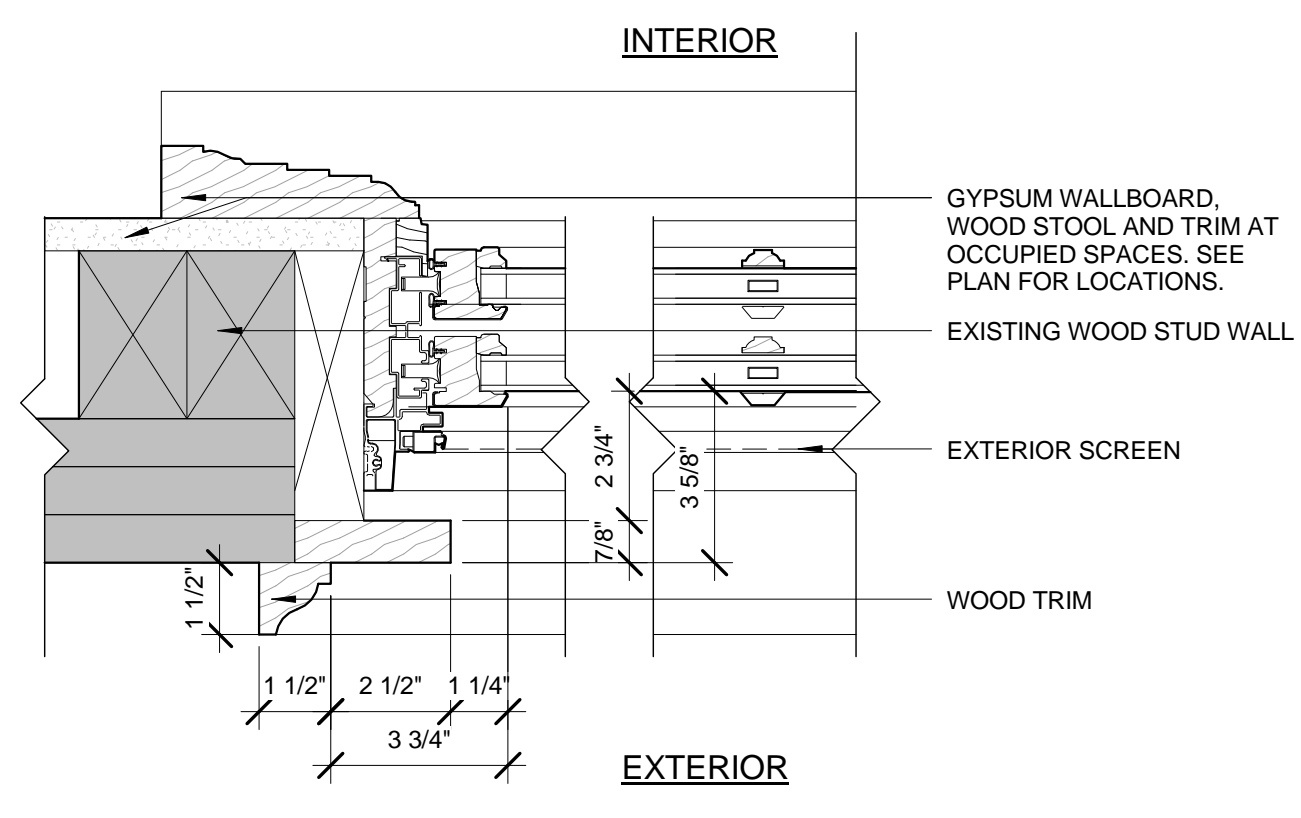


5 Clad Wood Dormer Window Section
3" = 1'-0"

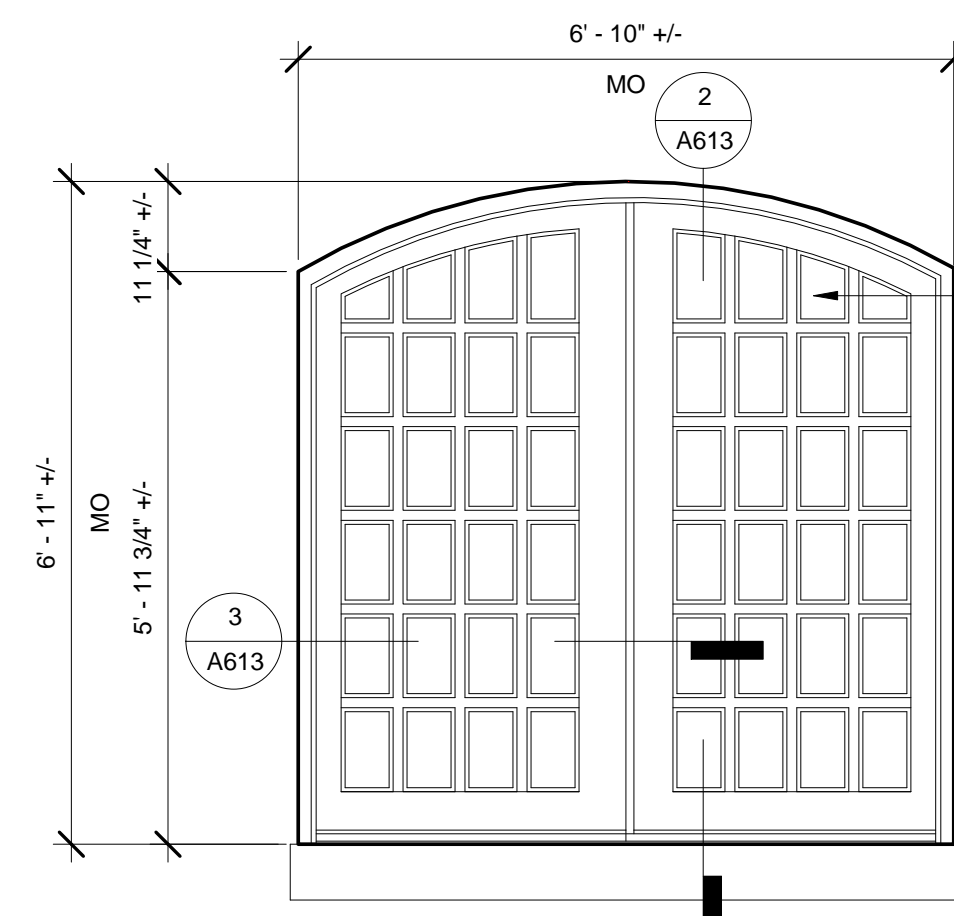
NOTE: IT IS NOT POSSIBLE TO EXACTLY MATCH EXISTING PROFILES WITH MANUFACTURER'S DETAILS FOR SOME COMPONENTS, SUCH AS MEETING RAIL AND SILL. CUSTOM PROFILES CAN BE DONE FOR BRICKMOLD.



3 Existing Dormer Window Jamb Detail
3" = 1'-0"

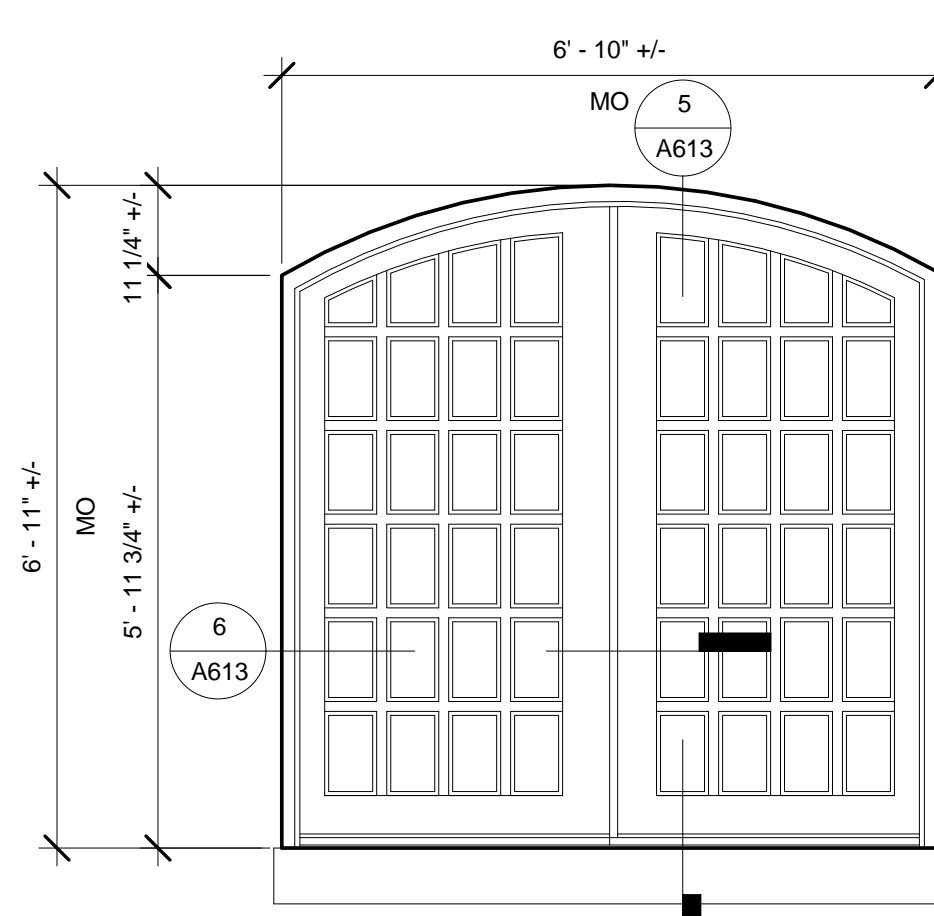


6 Clad Wood Dormer Window Jamb Detail
3" = 1'-0"



WINDOW ORIGINALLY WAS AN OUTSWINGING CASEMENT. CURRENTLY THERE IS NO HARDWARE AND WINDOWS ARE FIXED SHUT WITH 2X4S AT THE INTERIOR.

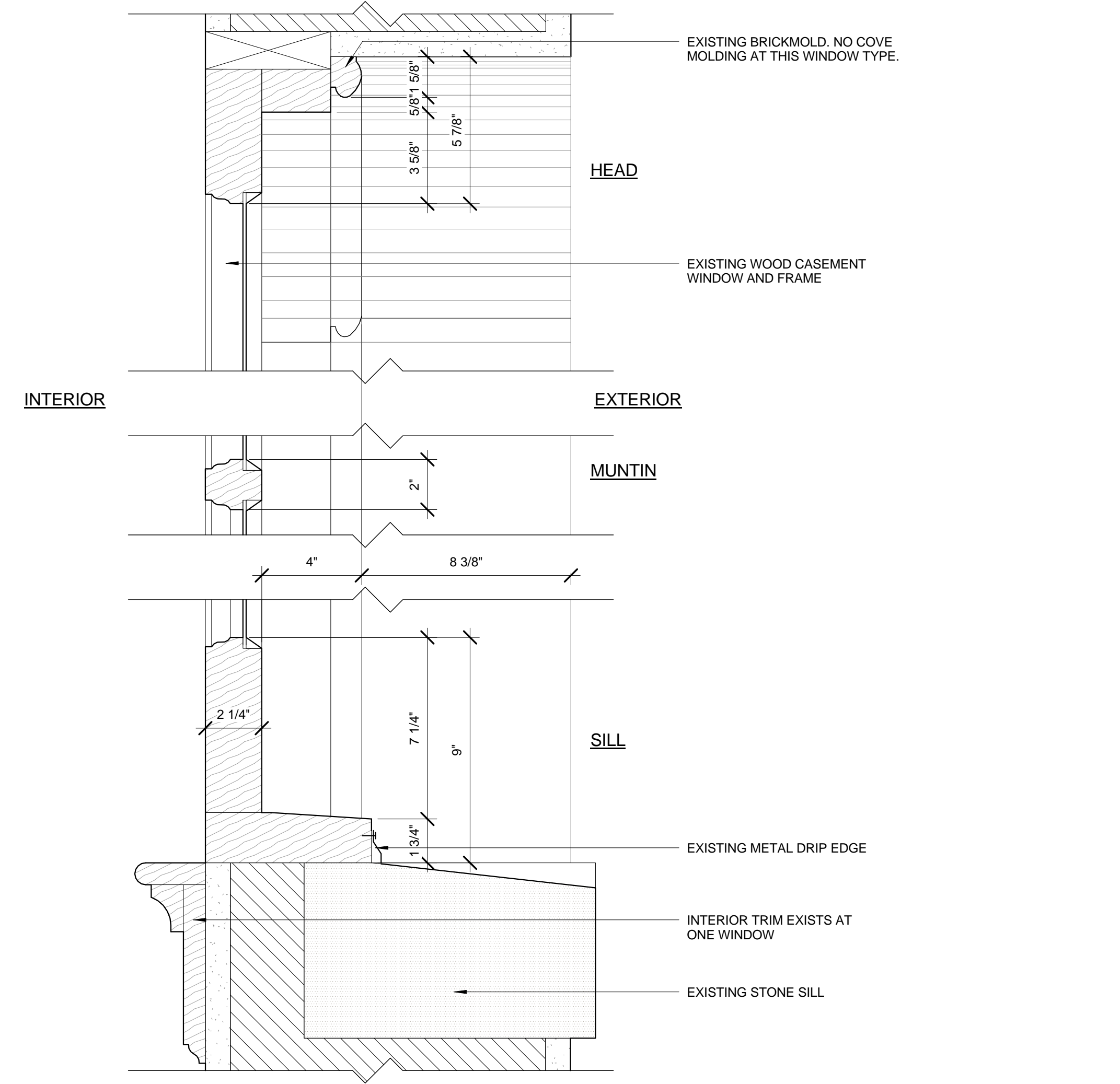
1 Existing Tower Window Exterior Elevation
1/2" = 1'-0"



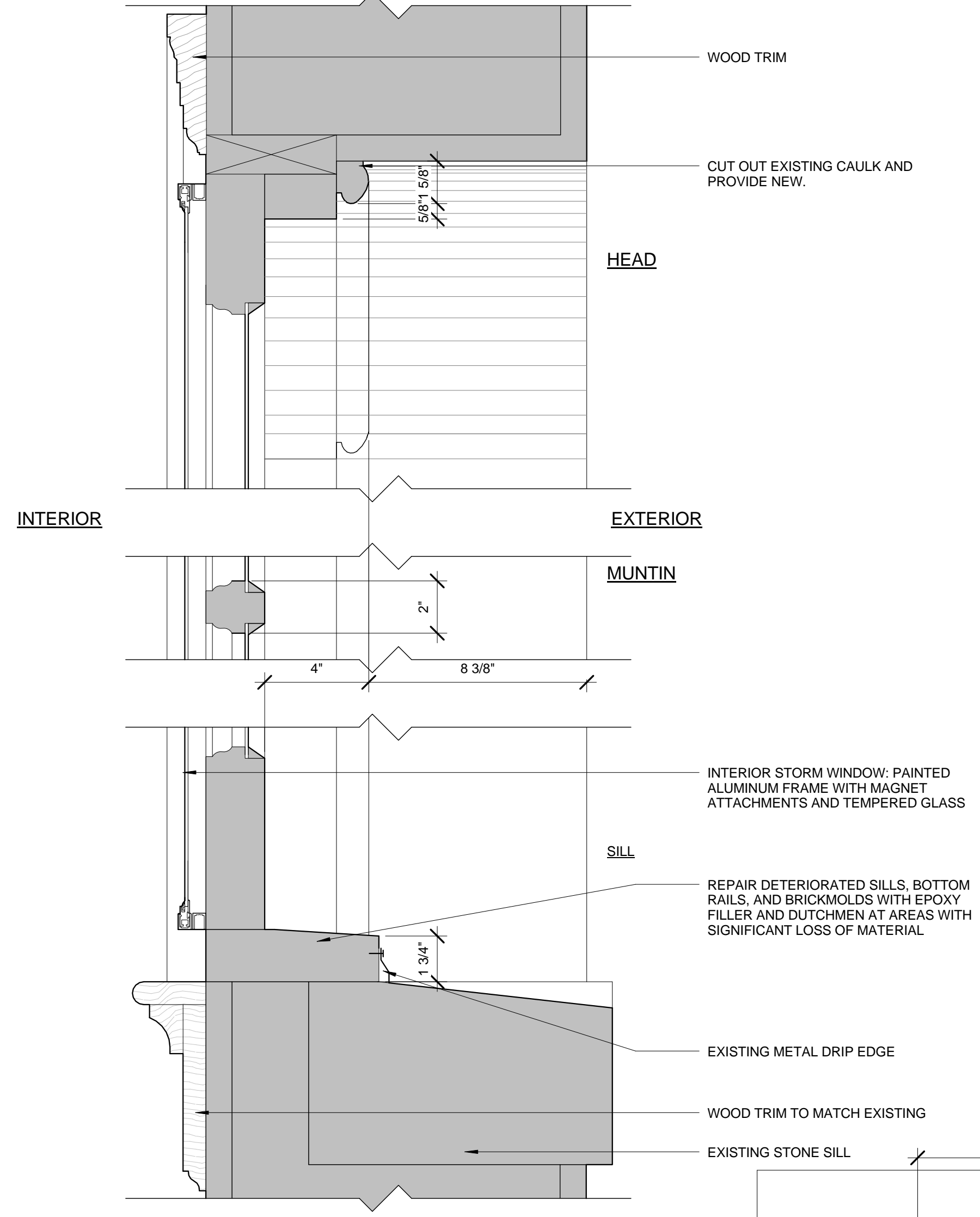
4 Tower Window Exterior Elevation
1/2" = 1'-0"

General Notes - Quatrefoil and Tower Casement Windows

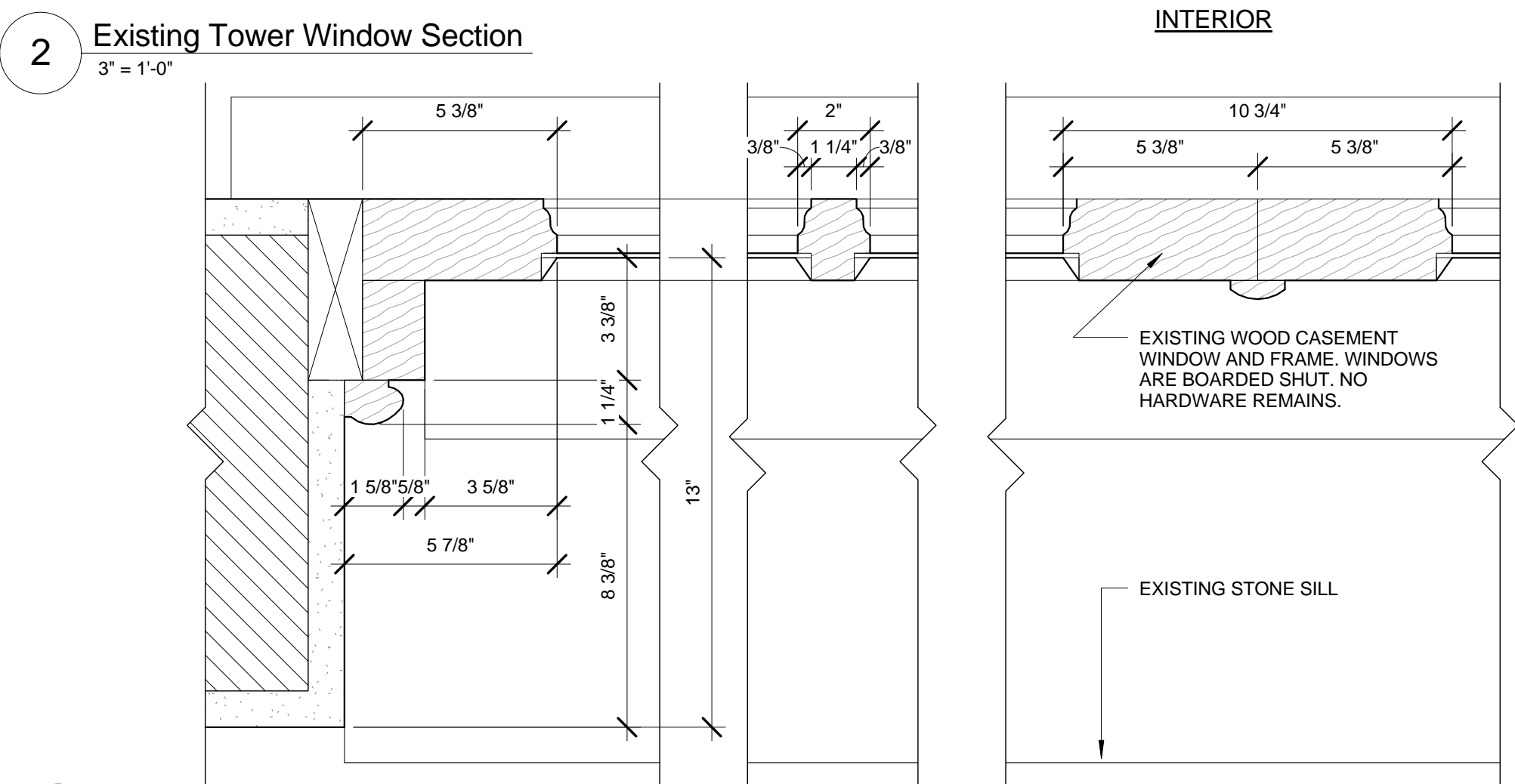
- The scope of work is to keep the existing wood quatrefoil and casement windows and retain and restore them. Windows will be repaired using Dutchmen, epoxy, and consolidant products. Windows at bedrooms will be made operable, per code requirements. See floor plans for bedroom locations.
- Some attic windows will need to have louvers, rather than windows, in order to accommodate the mechanical systems. Louvers will be located on the courtyard side. Louver colors to match windows.
- The color of the original windows has not been confirmed. The window color will match the original color once that has been confirmed.



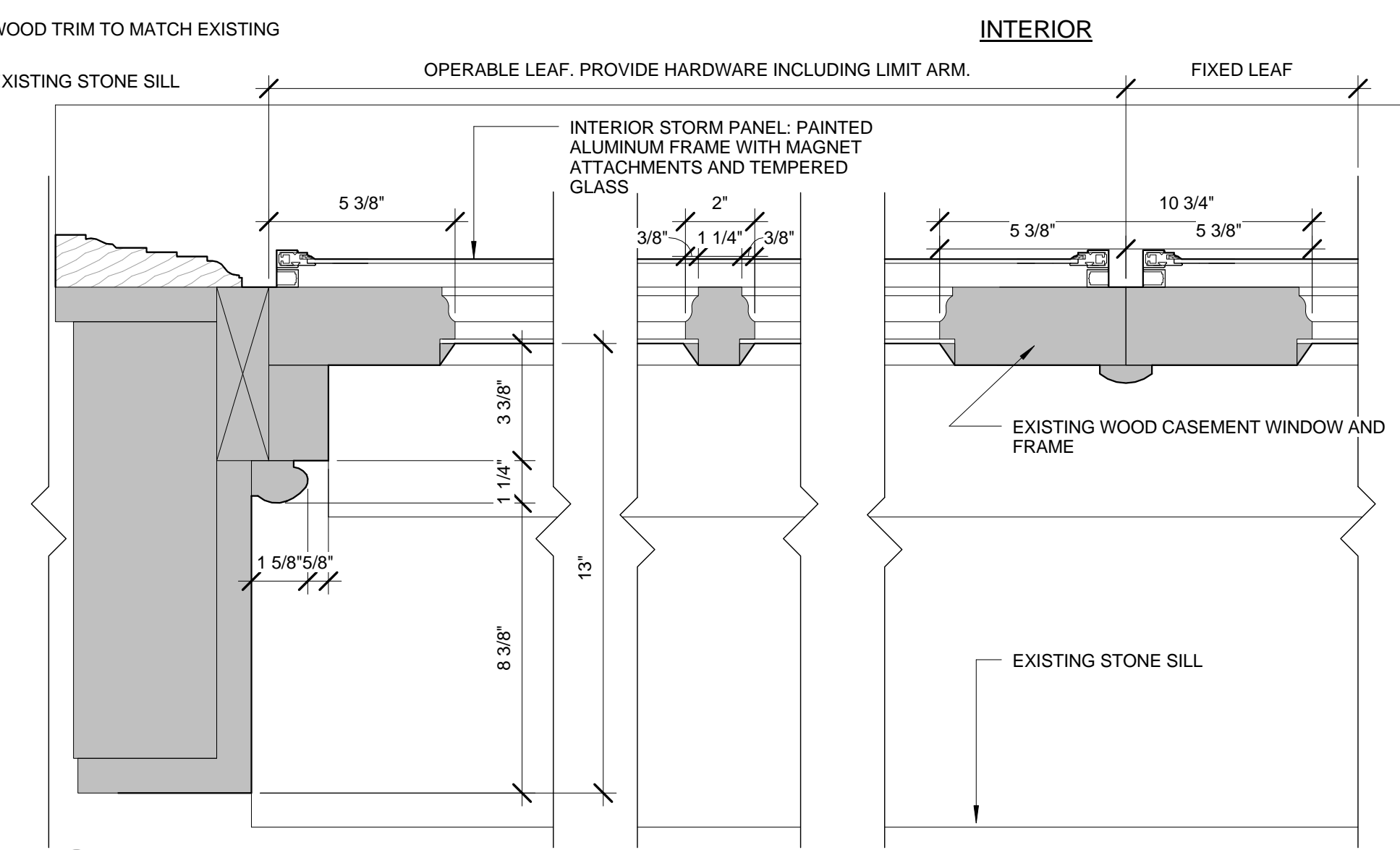
2 Existing Tower Window Section
3" = 1'-0"



5 Tower Window Section
3" = 1'-0"



3 Existing Tower Window Jamb Detail
3" = 1'-0"



6 Tower Window Jamb Detail
3" = 1'-0"

ARCHITECT



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617 350-0450 Tel

PROJECT NAME

St. Gabriel's
Monastery
Renovation

159 Washington Street
Brighton, MA 02135

CLIENT

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Structural Engineer

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REVISIONS

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5	DATE

DRAWING TITLE

Window Details
Tower

DRAWING INFORMATION

August 8, 2017	DATE OF ISSUE
Historic Tax Credit Submission	DESCRIPTION
As Indicated	RY
SCALE	DRAWN BY
3284	3284 St Gabriel.rvt
PROJECT #	FILE NAME

DRAWING NUMBER

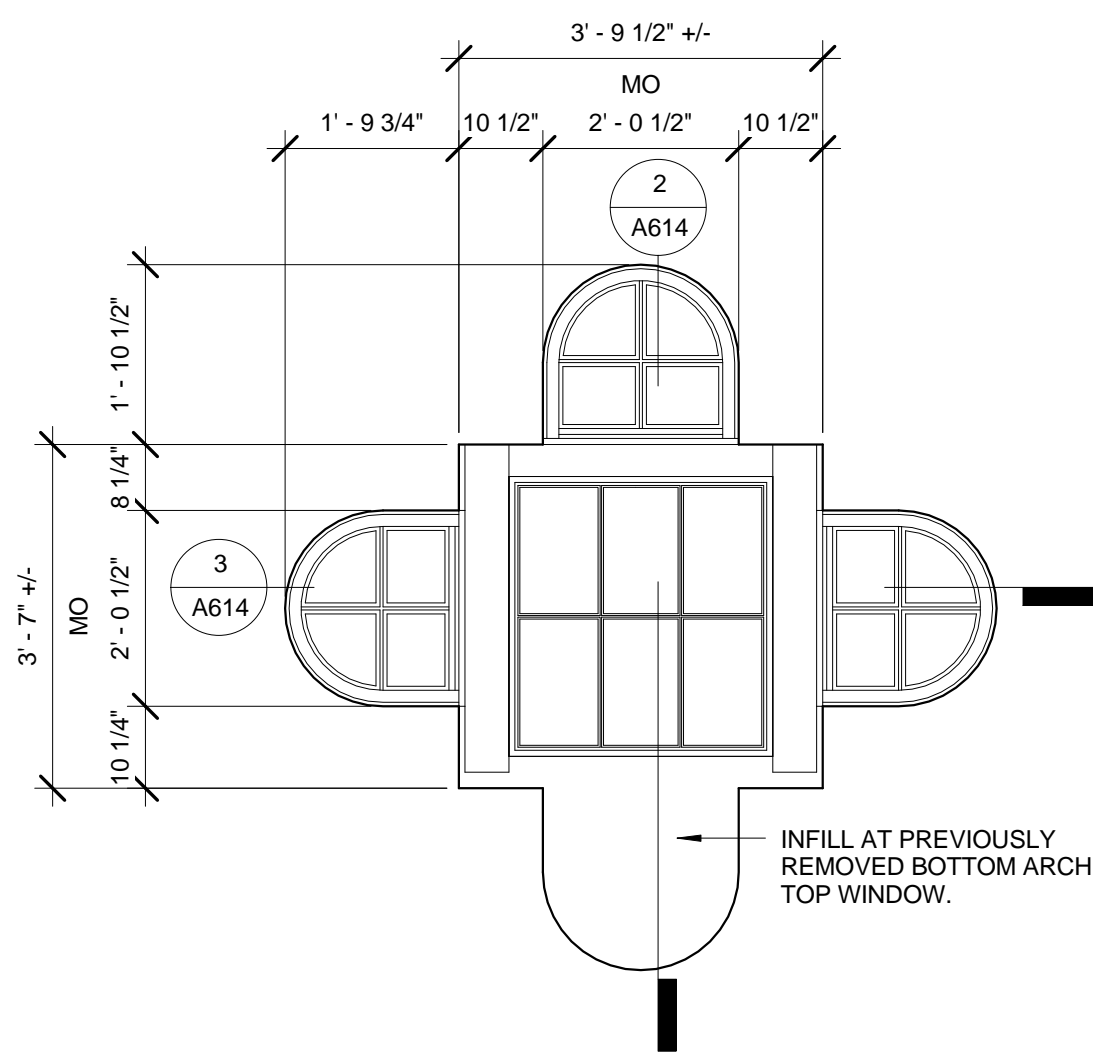
A613

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5	DATE

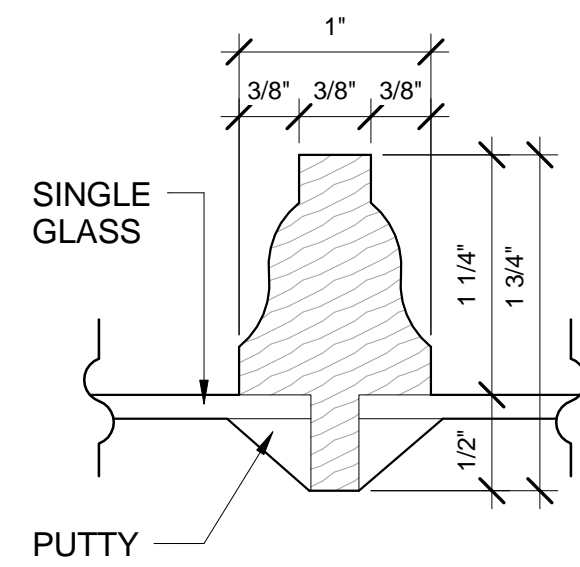
August 8, 2017	DATE OF ISSUE
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SCALE	DRAWN BY
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PROJECT #	FILE NAME

General Notes - Quatrefoil and Tower Casement Windows

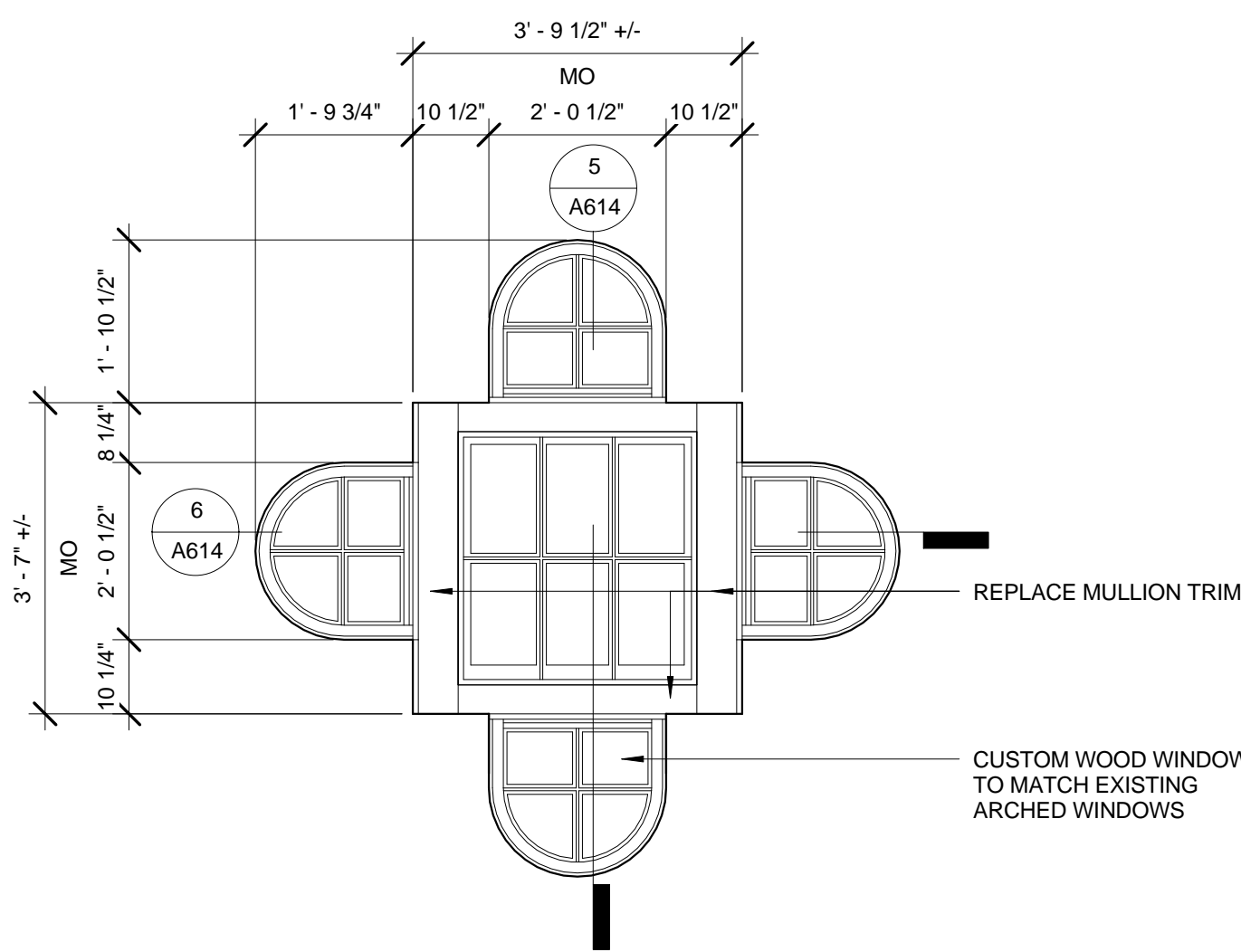
- The scope of work is to keep the existing wood quatrefoil and casement windows and retain and restore them. Windows will be repaired using Dutchmen, epoxy, and consolidant products. Windows at bedrooms will be made operable, per code requirements. See floor plans for bedroom locations.
- Some attic windows will need to have louvers, rather than windows, in order to accommodate the mechanical systems. Louvers will be located on the courtyard side. Louver colors to match windows.
- The color of the original windows has not been confirmed. The window color will match the original color once that has been confirmed.



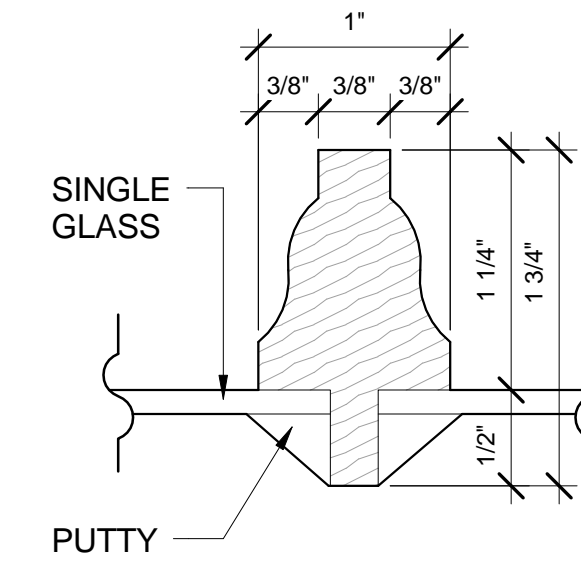
1 Existing Quatrefoil Window Exterior Elevation
1/2" = 1'-0"



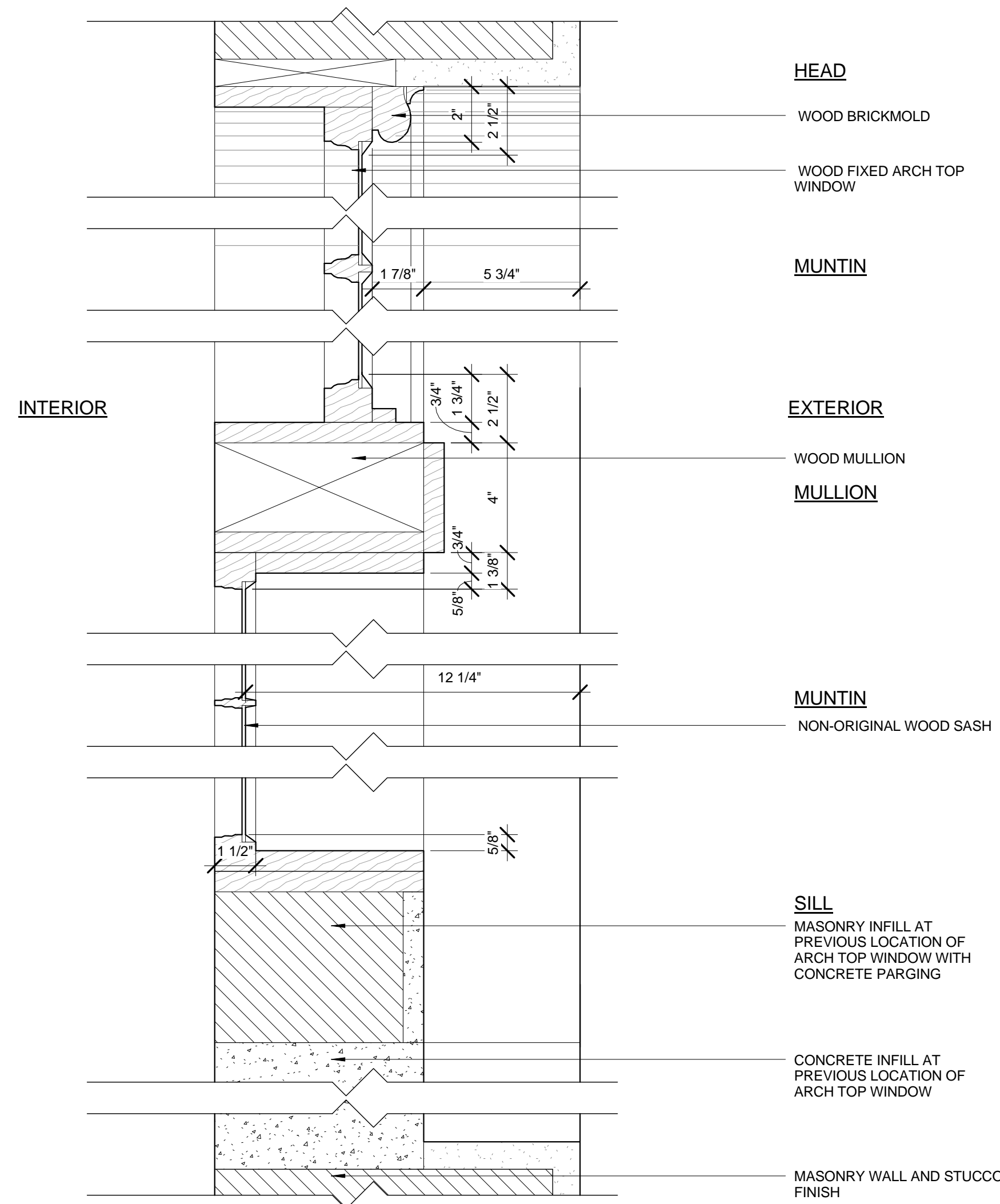
Existing Typical Muntin Detail
Full Scale



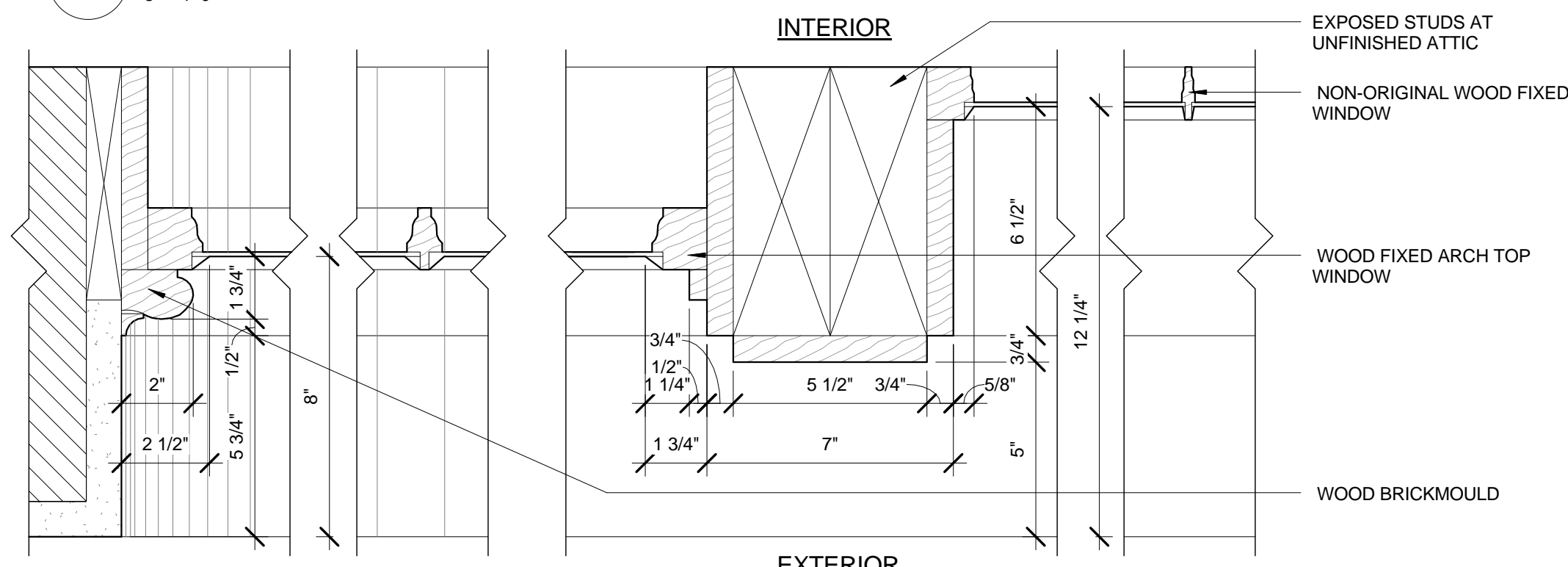
4 Proposed Quatrefoil Wood Window Exterior Elevation
1/2" = 1'-0"



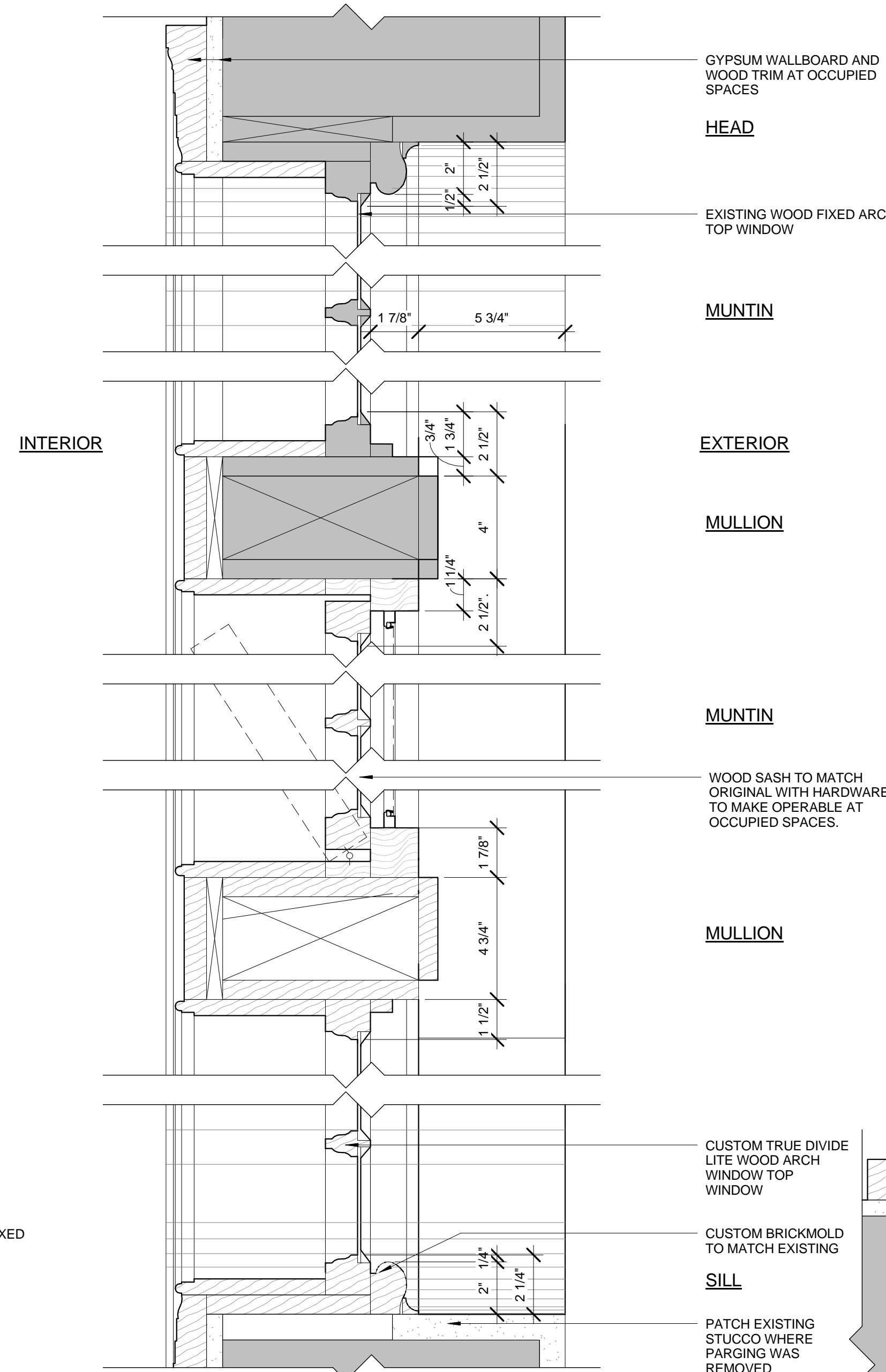
Muntin Detail
Full Scale



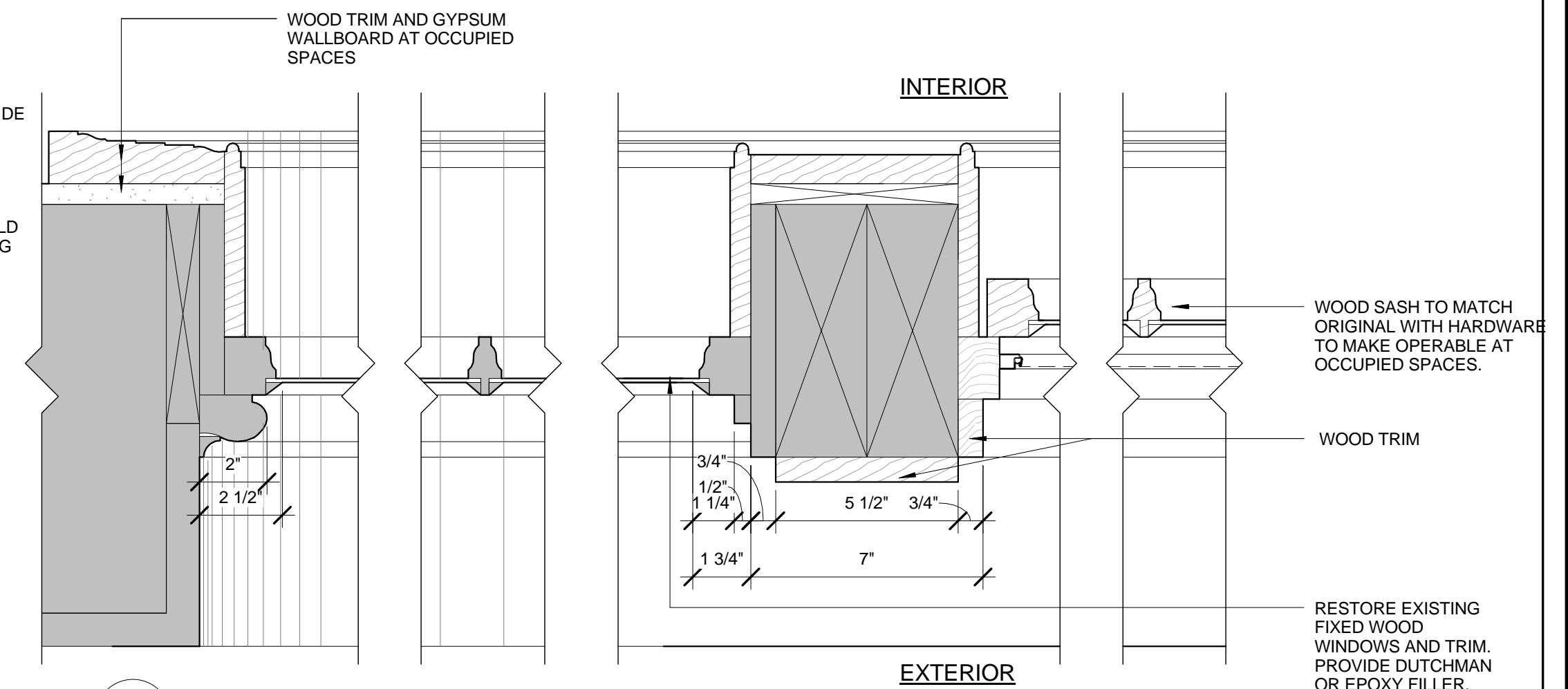
2 Existing Quatrefoil Window Section
3" = 1'-0"



3 Existing Quatrefoil Window Jamb Detail
3" = 1'-0"



5 Proposed Quatrefoil Wood Window Section
3" = 1'-0"



6 Proposed Quatrefoil Wood Window Jamb Detail
3" = 1'-0"

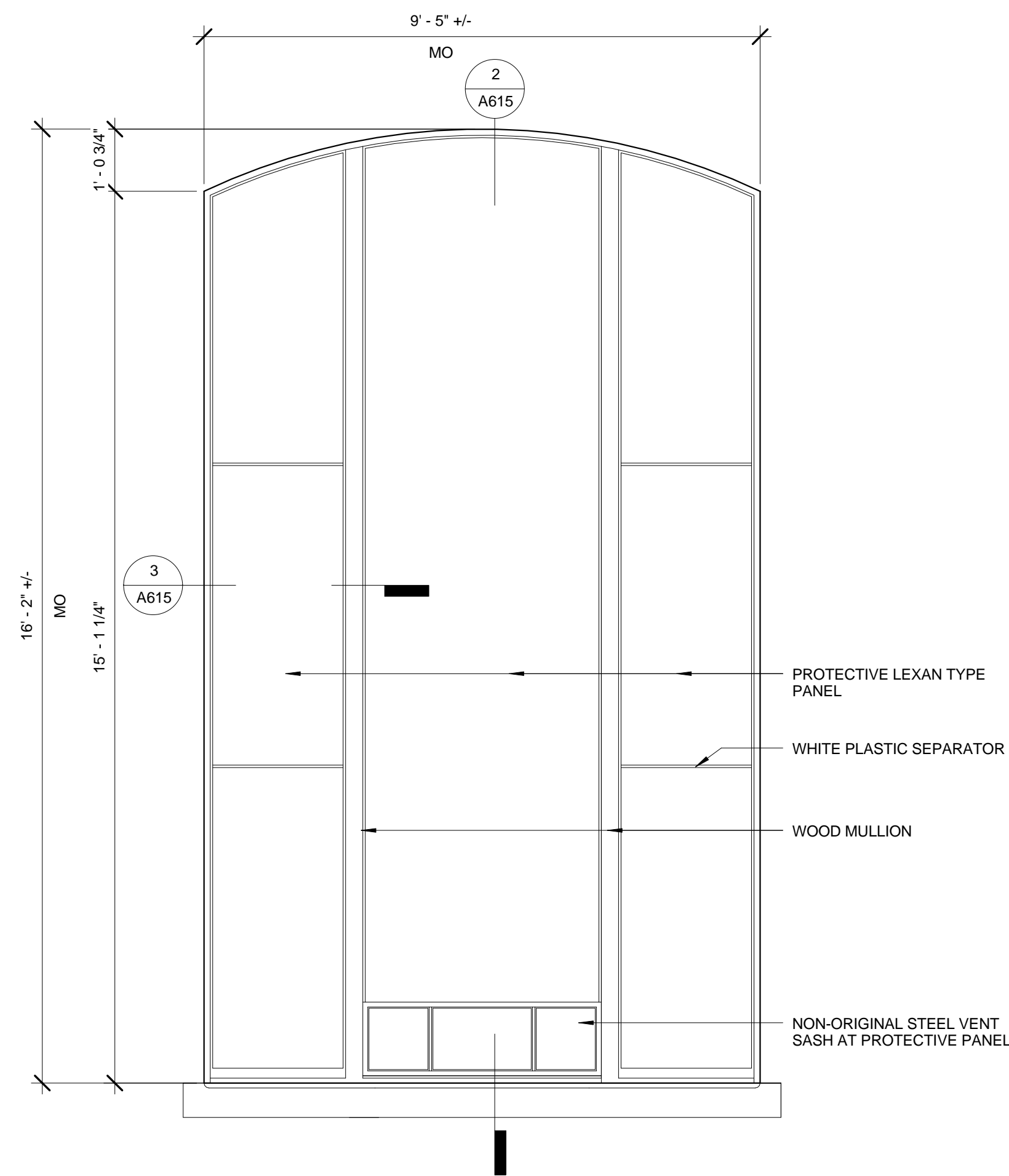


Photo showing exterior profiles of window and protective panel

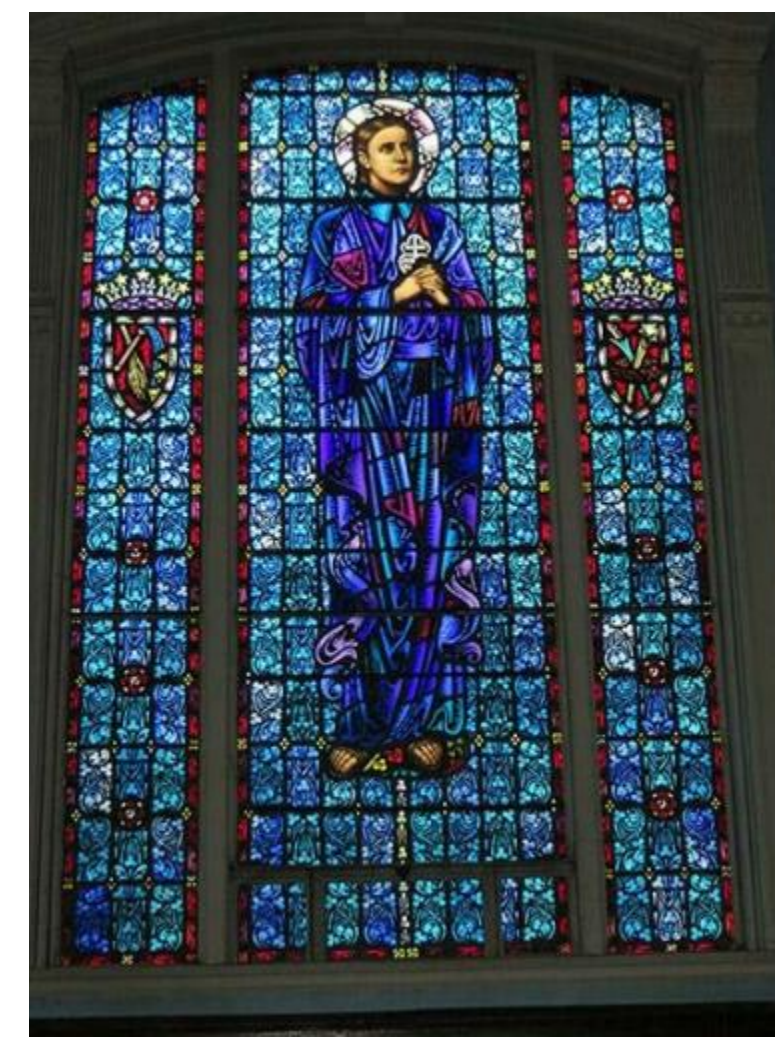
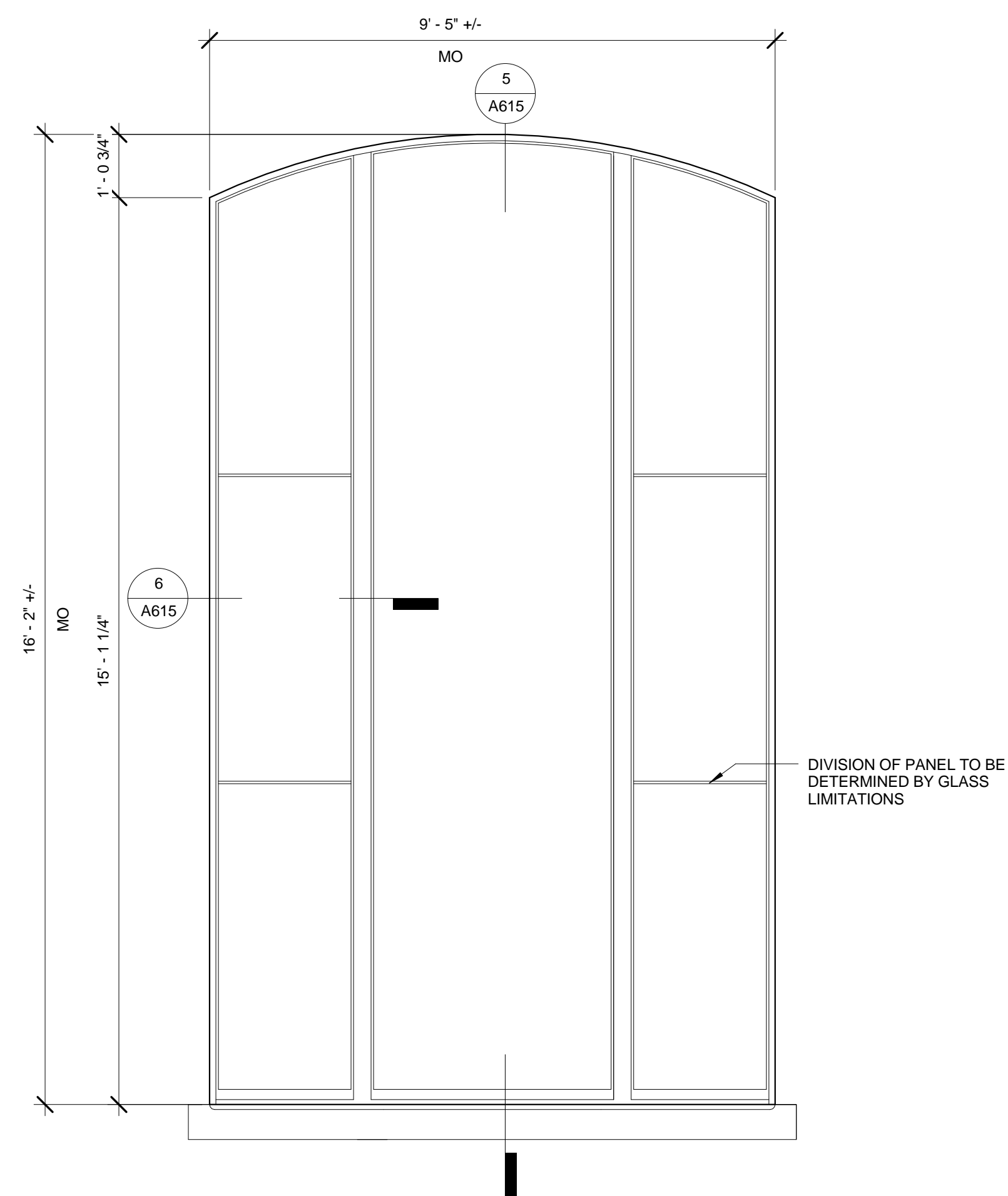
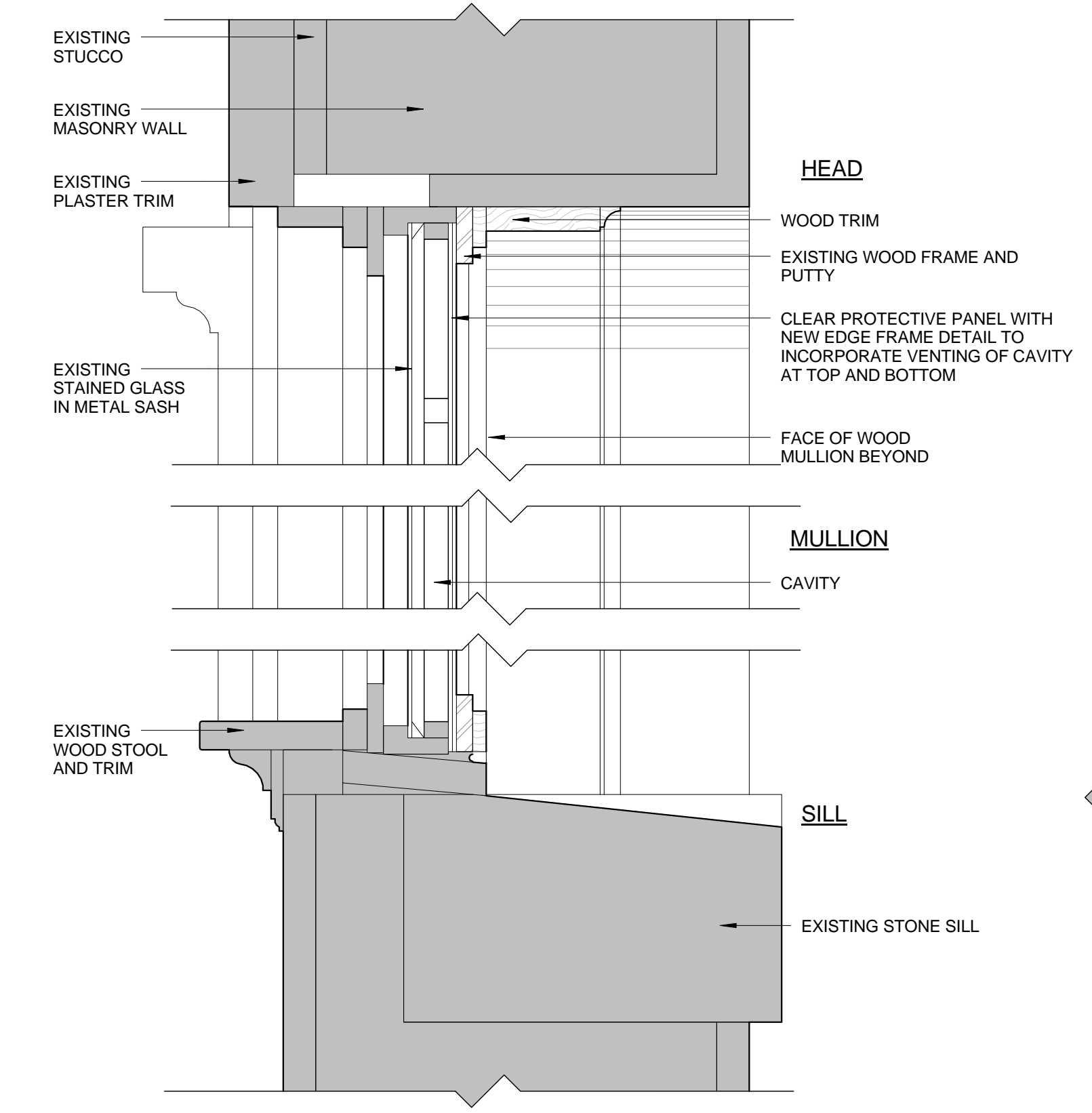
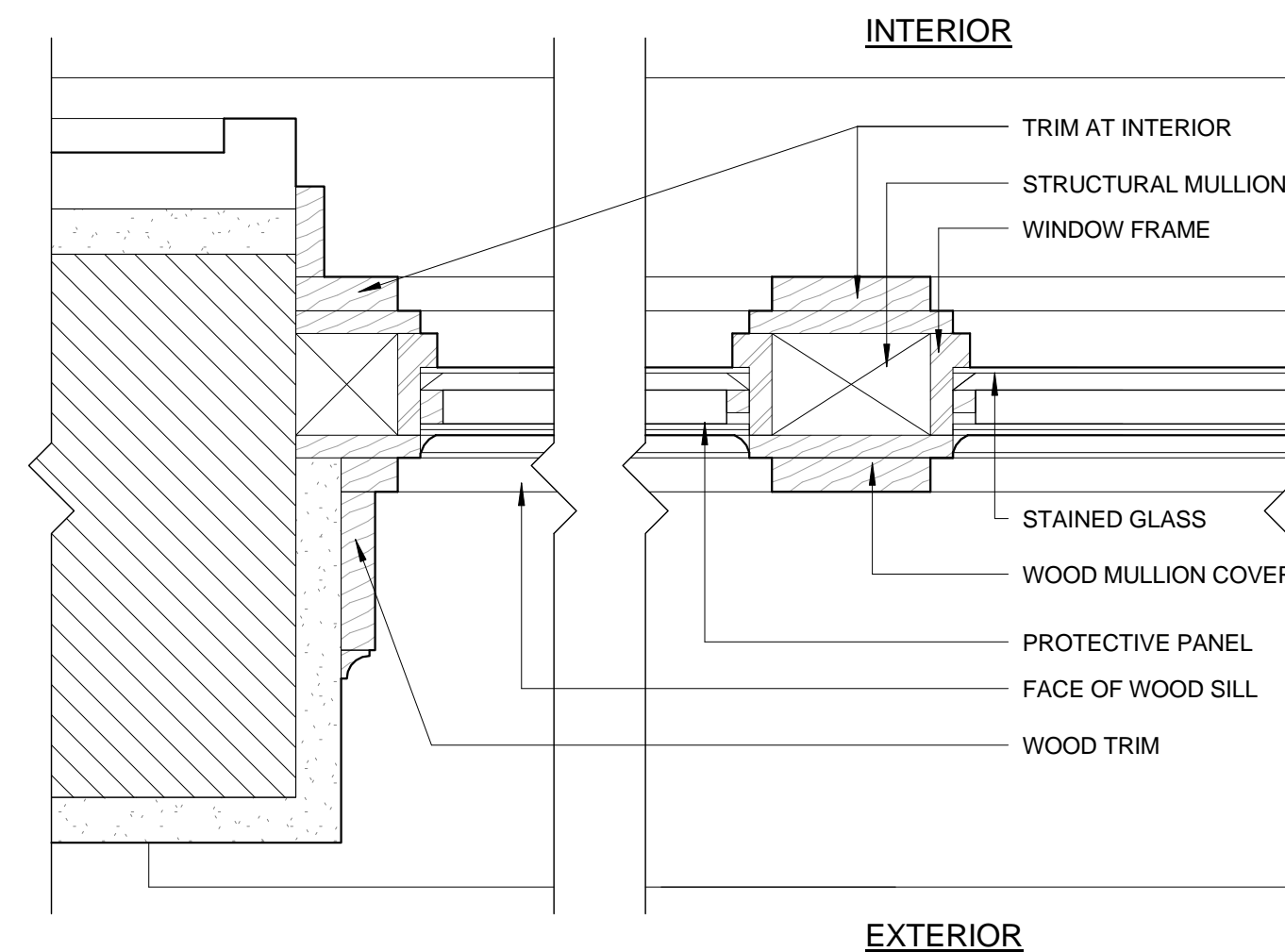
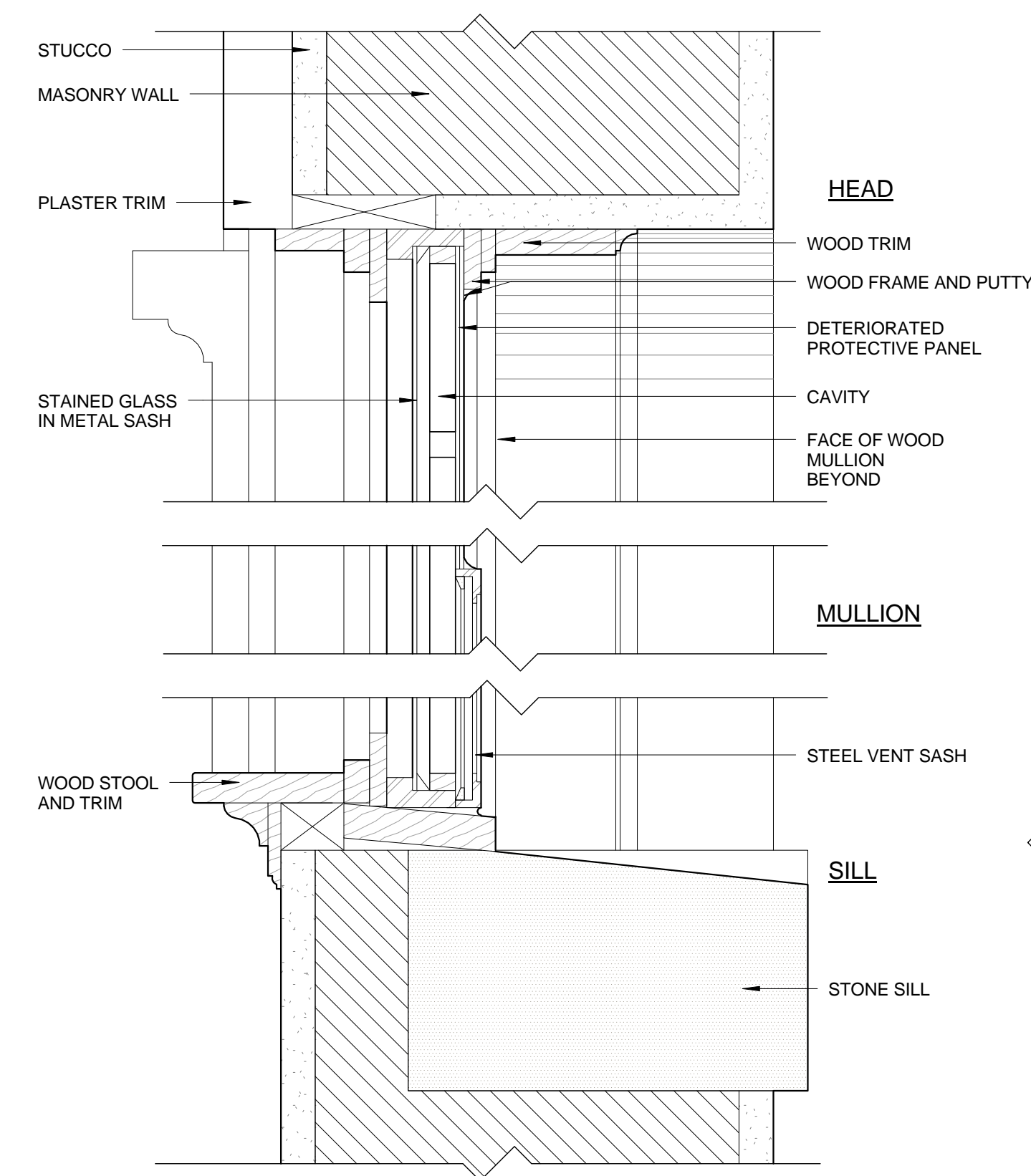


Photo showing window interior with vertical mullions and stained glass



1 Existing Chapel Window Exterior Elevation
1/2" = 1'-0"

4 Chapel Window Exterior Elevation
1/2" = 1'-0"



2 Existing Chapel Window Section Through Pivot Vent
3" = 1'-0"

3 Existing Chapel Window Jamb Detail
3" = 1'-0"

5 Chapel Window Section
3" = 1'-0"

6 Chapel Window Jamb Detail
3" = 1'-0"

General Notes - Chapel Windows

1. Chapel windows are not original to the building and are assumed to have been installed at the time the chapel was extended to the east, in the early twentieth century.
2. The scope of work is to retain the stained glass panels which look to be in good condition and to replace the retrofit (date unknown) Lexan-type panels with clear glazing that incorporates appropriate venting. Exterior wood elements to remain will be repaired and repainted.
3. The color of the original windows has not been confirmed. New/repainted exterior components will match the original once that has been determined.
4. The Contractor is to provide access at the start of construction, and remove the protective panel so that the condition of the stained glass can be evaluated and details for the new protective panel can be fine-tuned by the Architect.

ARCHITECT

bh+a

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CLIENT

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(617) 850-4101

REVISIONS

1	
2	
3	
4	
5	DATE

DRAWING TITLE

Window Details
Chapel

DRAWING INFORMATION

August 8, 2017	RY
DATE OF ISSUE	DRAWN BY
Historic Tax Credit Submission	DESCRIPTION
As Indicated	SCALE
3284	PROJECT #
3284_St Gabriel.rvt	FILE NAME

DRAWING NUMBER

A615

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