



PROPOSED
DOOR HERE

PROPOSED
DECK ON
ROOF OF
ELL

REAR VIEW FROM NEWLAND ST.

441 SHANMUT AVE

8.14.17

PHOTO 1 of 3



Proposed
Deck on
Roof of
ELL

REAR FROM NEWLAND ST. LOOKING EAST

441 SHAWMUT AVE

8.14.17

PHOTO 2 of 3



PROPOSED
DECK ON
ROOF OF
ELL

REAR FROM NEWLAND ST. LOOKING WEST

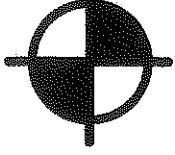
441 SHAWMUT AVE

8.14.17

PHOTO: 3 of 3

MORTGAGE INSPECTION PLAN

17-02651



BOSTON

SURVEY, INC.

P.O. BOX 290220
CHARLESTOWN, MA 02129
T (617) 242-1313; F (617) 242-1616
WWW.BOSTONSURVEYINC.COM

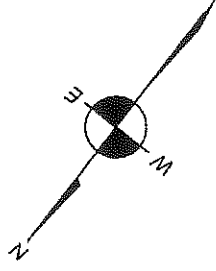
LOCATION: 441 SHAWMUT AVENUE

CITY, STATE: BOSTON, MA

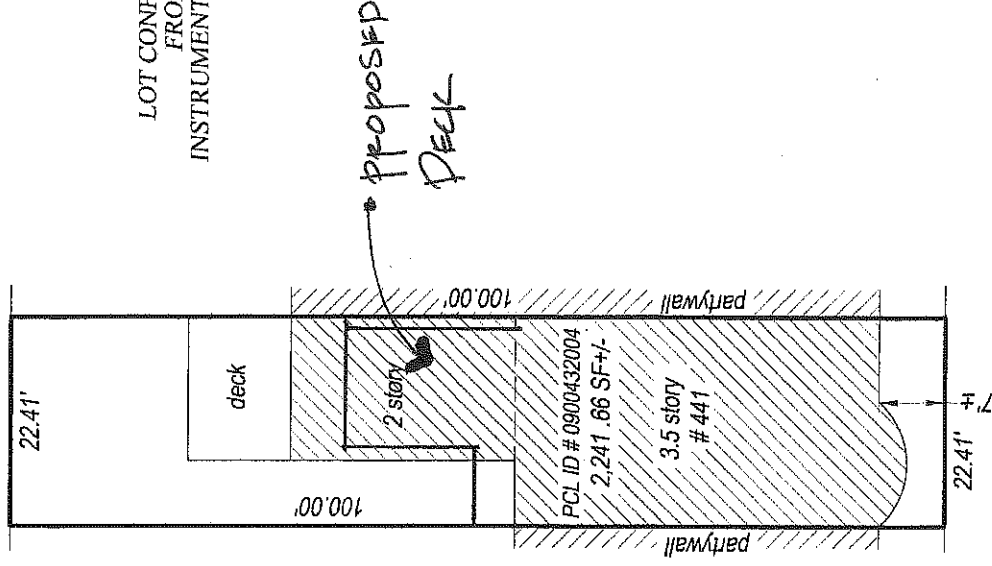
APPLICANT:

CERTIFIED TO:

DATE: 02-22-2017



NEWLAND STREET



LOT CONFIGURATION WAS BASED
FROM ASSESSORS MAP
INSTRUMENT SURVEY IS RECOMMENDED

SHAWMUT AVENUE

FIELD WORK WAS COMPLETED DURING
SNOW COVERAGE AND SETBACKS
ARE APPROXIMATE

SCALE : 1" = 20'

FLOOD DETERMINATION

According to Federal Emergency Management Agency maps, the major improvements on this property fall in as area designated as

ZONE: X

COMMUNITY PANEL No. 25025C0079J

EFFECTIVE DATE: 3/16/2016

REFERENCES

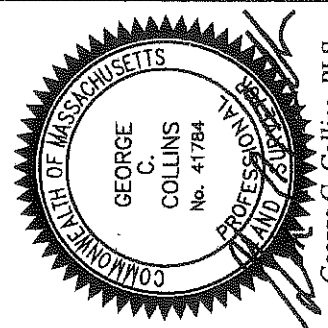
DEED: 11183/197

PLAN: 11183/197

NOTE: To show an accurate scale this plan must be printed on legal sized paper (8.5" x 14")

The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that are no encroachments of major improvements across property lines except as shown and noted hereon.

This is not a boundary or title insurance survey. This plan should not be used for construction, recording purposes or verification of property lines.



George C. Collins, PLS

BRUCE MILLER
ARCHITECTURE + INTERIORS

46 WALTHAM STREET #215
BOSTON, MA 02118

617.338.3933

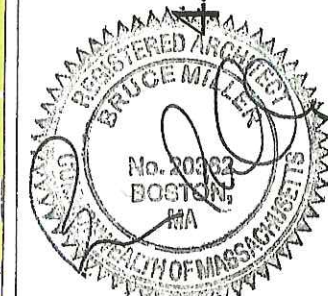
DOWLING ROOF DECK

441 SHAWMUT AVENUE, APT 2, BOSTON, MASSACHUSETTS

BRUCE MILLER
ARCHITECTURE + INTERIORS

46 WALTHAM STREET, BOSTON, MA 02118
617-338-3933

DOWLING ROOF DECK
441 SHAWMUT AVE, APT. #2
 BOSTON, MASSACHUSETTS



DATE:
2.15.17

TITLE SHEET

REVISIONS	DRAWING SYMBOLS	GENERAL NOTES	DRAWING INDEX	VICINITY MAP																		
<ul style="list-style-type: none"> Above-Finish Floor Board Bottom Brick Ceiling Clear (ance) Concrete Continuous Ceramic Tile Diameter Downspout Detail Dishwasher Drawing Each Electrical Elevation Equal Equipment Existing Floor Drain Finished Floor Floor (ing) Face of Finish Face of Stud Footing General Contractor Gypsum Board Maximum Mechanical Manufacturer Minimum Mirror Masonry Opening Not in Contract Not to Scale On Center Opposite Plywood Pressure Treated Riser Refrigerator Required Roof Drain Room Rough Opening Square Footage Similar Stainless Steel Tread Telephone Top of Beam Top of Concrete Television Typical Vinyl Composition Tile Verify in Field With Water Closet 	<p>DRAWING LABEL</p> <p>Drawing Title: SECOND FLOOR PLAN</p> <p>Drawing Number on Sheet: 101-10</p> <p>Scale: 1/4" = 1'-0"</p> <table border="1"> <tr> <th>DETAIL</th> <th>PLAN DETAIL</th> <th>SECTION</th> </tr> <tr> <td>Detail Number: 7B Sheet that detail is located on: A-3 Direction of view: </td> <td>Detail Number: 8 Sheet that detail is located on: A-3 Area detailed: </td> <td>Section Number: 8 Direction of view: A-3 Sheet that section is located on: A-3 Section cut-line: </td> </tr> </table> <table border="1"> <tr> <th>ELEVATION MARKER</th> <th>INTERIOR ELEVATION</th> <th>EXTERIOR ELEVATION</th> </tr> <tr> <td>TOP OF SLAB ELEV = 25'-0"</td> <td>Single elevation: Elevation group: 1 Sheet number: A-3</td> <td>Elevation number: 1 Sheet number: A-3</td> </tr> </table> <table border="1"> <tr> <th>WINDOW SYMBOL</th> <th>DOOR SYMBOL</th> <th>REVISION</th> </tr> <tr> <td>Window designation corresponds to window schedule: </td> <td>Door designation corresponds to door schedule: </td> <td>Area revised: Revision series corresponds to revision date in title block: </td> </tr> </table> <ul style="list-style-type: none"> Center Line Angle Roof Pitch Sealant Diameter 	DETAIL	PLAN DETAIL	SECTION	Detail Number: 7B Sheet that detail is located on: A-3 Direction of view:	Detail Number: 8 Sheet that detail is located on: A-3 Area detailed:	Section Number: 8 Direction of view: A-3 Sheet that section is located on: A-3 Section cut-line:	ELEVATION MARKER	INTERIOR ELEVATION	EXTERIOR ELEVATION	TOP OF SLAB ELEV = 25'-0"	Single elevation: Elevation group: 1 Sheet number: A-3	Elevation number: 1 Sheet number: A-3	WINDOW SYMBOL	DOOR SYMBOL	REVISION	Window designation corresponds to window schedule:	Door designation corresponds to door schedule:	Area revised: Revision series corresponds to revision date in title block:	<p>1: All construction work, Architectural, Structural, Mechanical, Electrical, etc., shall conform to the Massachusetts State Codes and any other applicable Codes and Regulations. All finish materials must meet all applicable fire, life safety and building codes.</p> <p>2: The contractor shall verify all dimensions in the field.</p> <p>3: If any work shown is unclear or ambiguous, contact the Architect for clarification before proceeding with that portion of the work.</p> <p>4: Contractor shall secure all permits, approvals and inspections required for construction.</p> <p>5: Work not included is noted "NOT IN CONTRACT" or "NIC"</p> <p>6: All dimensions are from finish to finish unless noted otherwise.</p> <p>7: All work listed, shown or implied on any Construction Documents shall be supplied and installed by the General Contractor, unless noted otherwise.</p> <p>8: The Contractor shall install and clean all equipment, materials, and appliances specified according to manufacturer's instructions and specifications. The Contractor shall verify that all clear opening dimensions in cabinetry adequately accommodate the specified equipment and shall notify the Architect of any discrepancies prior to installation. Contractor to verify that every place of equipment and every appliance is in perfect working order.</p> <p>9: The Contractor shall provide all necessary blocking, stiffeners, bracing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items in this contract and for NIC items specifically noted. All necessary wood blocking to be fire-retardant as required by the State Building Code.</p> <p>10: "ALIGN" shall mean to accurately locate finish faces in the same plane.</p> <p>11: "TYPICAL" or "TYP." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. All details and references are usually keyed and noted once, when they first appear, but are typically ("TYP") for similar conditions elsewhere, unless noted otherwise.</p> <p>12: "SIM" means comparable characteristics for the conditions noted. Verify dimensions and orientation on plans.</p> <p>13: "CLEAR" or "CLR" dimensions shall be maintained and shall allow for thickness of all finishes; including carpet & pad, ceramic tile, VCT, etc.</p>	<p>TITLE SHEET</p> <p>SITE PLAN</p> <p>A-1 THIRD FLOOR PLAN</p> <p>A-2 EXISTING REAR ELEVATION</p> <p>A-3 PROPOSED REAR ELEVATION</p> <p>PROJECT DIRECTORY</p> <p>OWNERS: Kerry Dowling 441 Shawmut Ave Boston, MA 02118</p> <p>ARCHITECT: Bruce Miller 46 Waltham Street, suite 215 Boston, MA 02118 tele: 617-338-3933</p> <p>CONTRACTOR: TBD</p> <p>STRUCTURAL ENGINEER: TBD</p>	<p>441 Shawmut Avenue</p>
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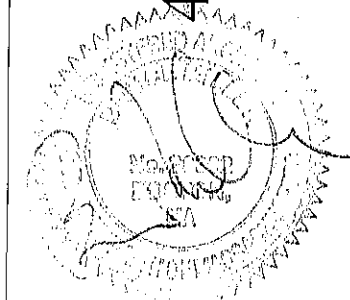
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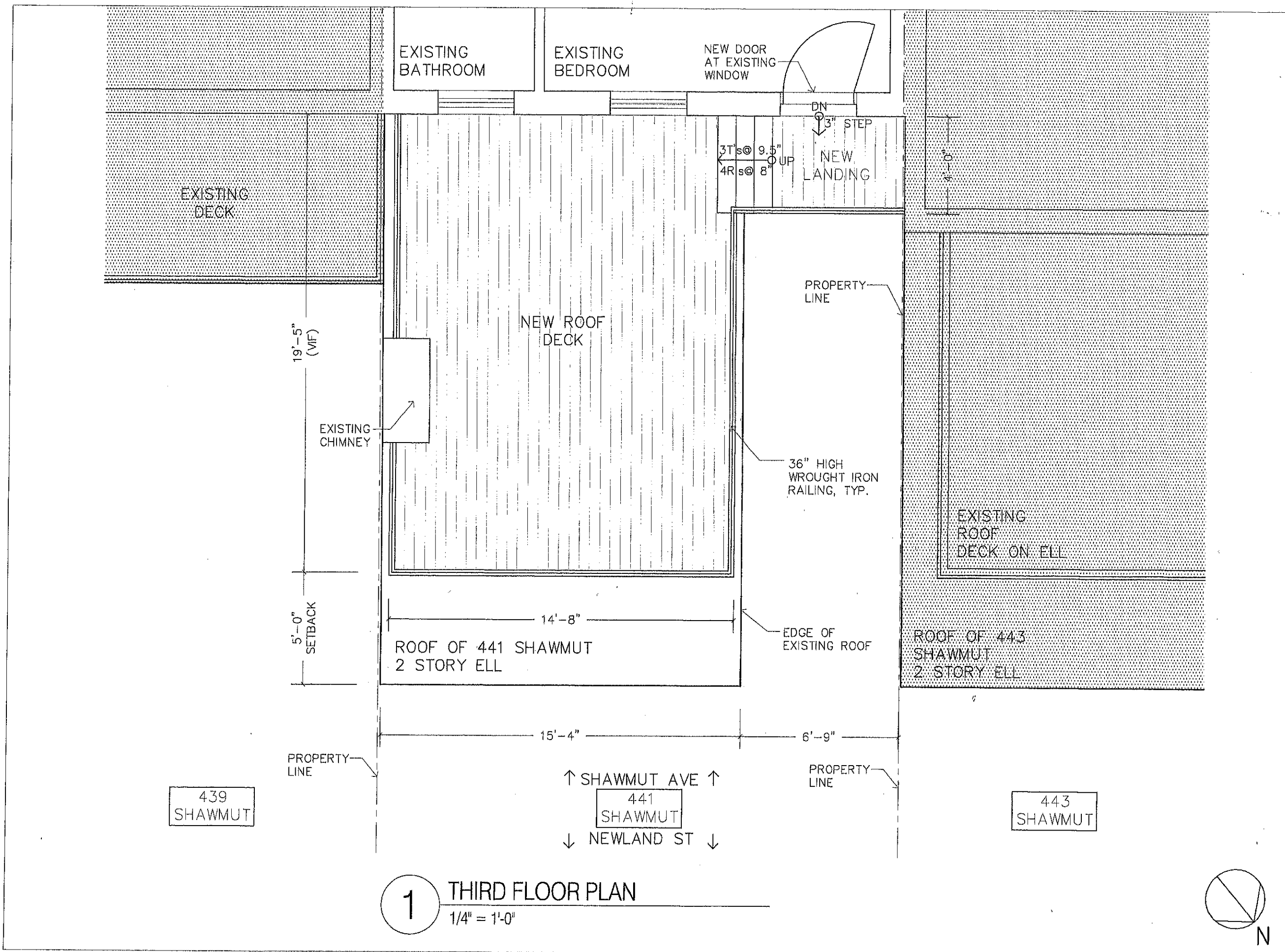
DOWLING ROOF DECK
441 SHAWMUT AVE, APT. #2

BOSTON, MASSACHUSETTS



DATE:
2.15.17

A-1

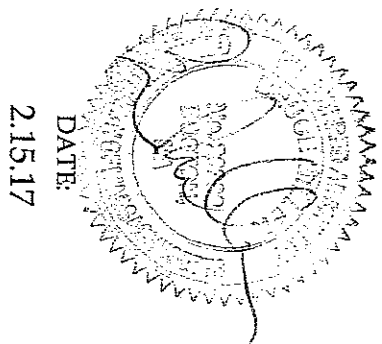


1 THIRD FLOOR PLAN
1/4" = 1'-0"



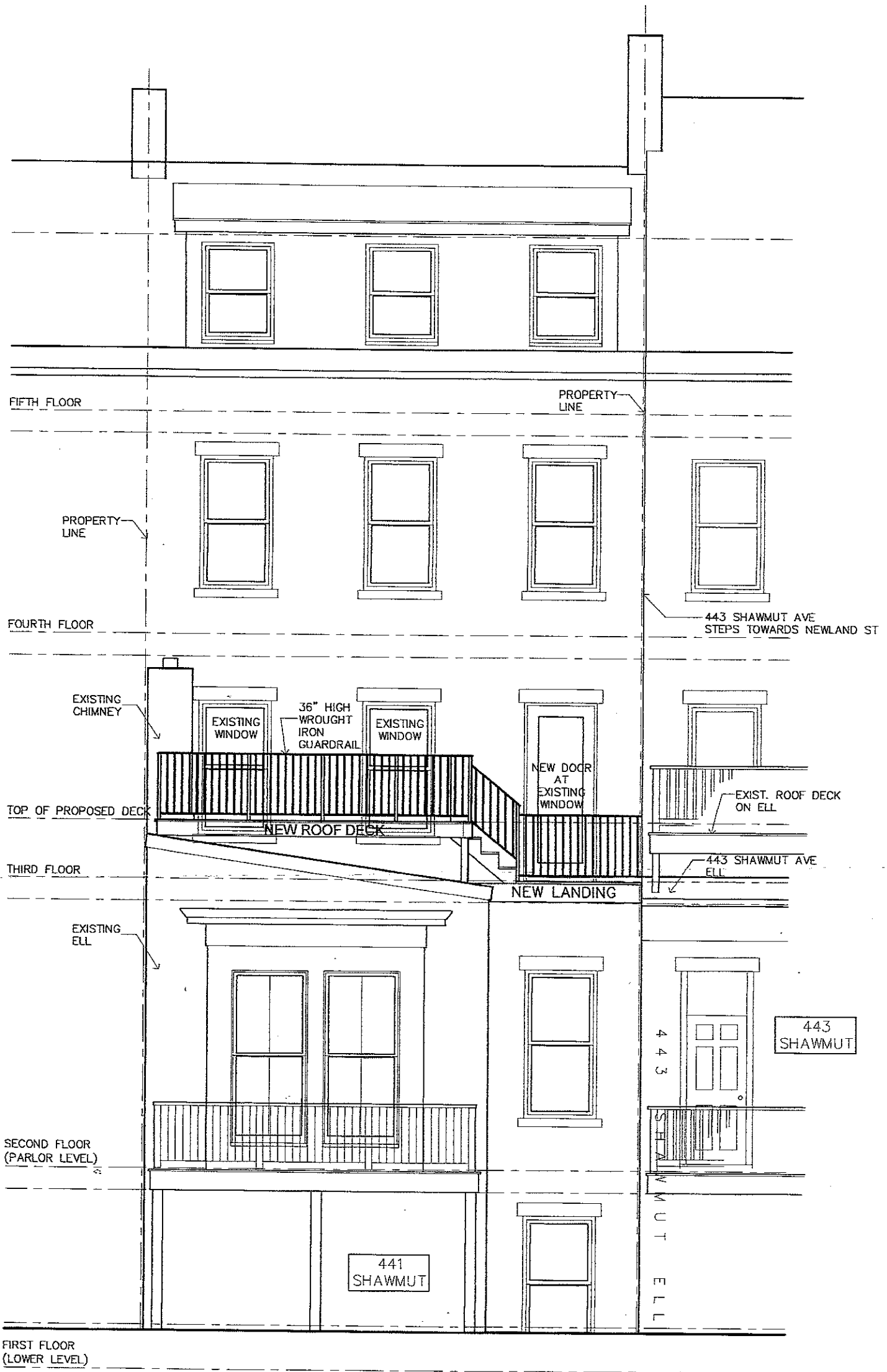
1 EXISTING REAR ELEVATION
 3/16" = 1'-0"

A-2



DOWLING ROOF DECK
 441 SHAWMUT AVE, APT. #2
 BOSTON, MASSACHUSETTS

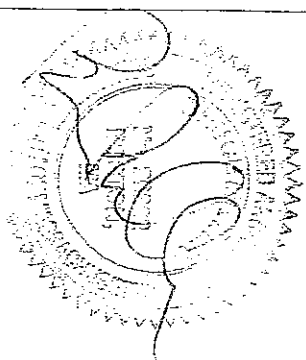
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1 PROPOSED REAR ELEVATION
 3/16" = 1'-0"

A-3

DATE:
 2.15.17



DOWLING ROOF DECK
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