

107 Pembroke St - Landmarks

June 4, 2017



Parcel ID: 0400495000
Address: 107 PEMBROKE ST
Zipcode: 02118
Owner: MCNEIL JAMES M
Land Use: Residential 2-family
Lot Size: 1,326.00 sq ft
Living Area: 2,684.00 sq ft
Total Value: \$2,139,100.00
Land Value: \$854,400.00
Building Value: \$1,284,700.00
Gross Tax: \$22,653.06



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

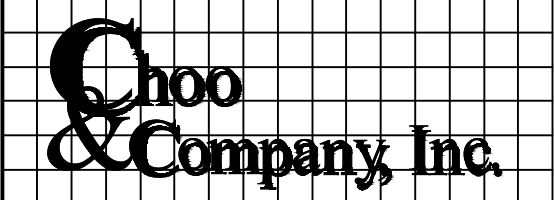
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Location

**PROPOSED RENOVATION
107 PEMBROKE STREET
BOSTON, MASS**



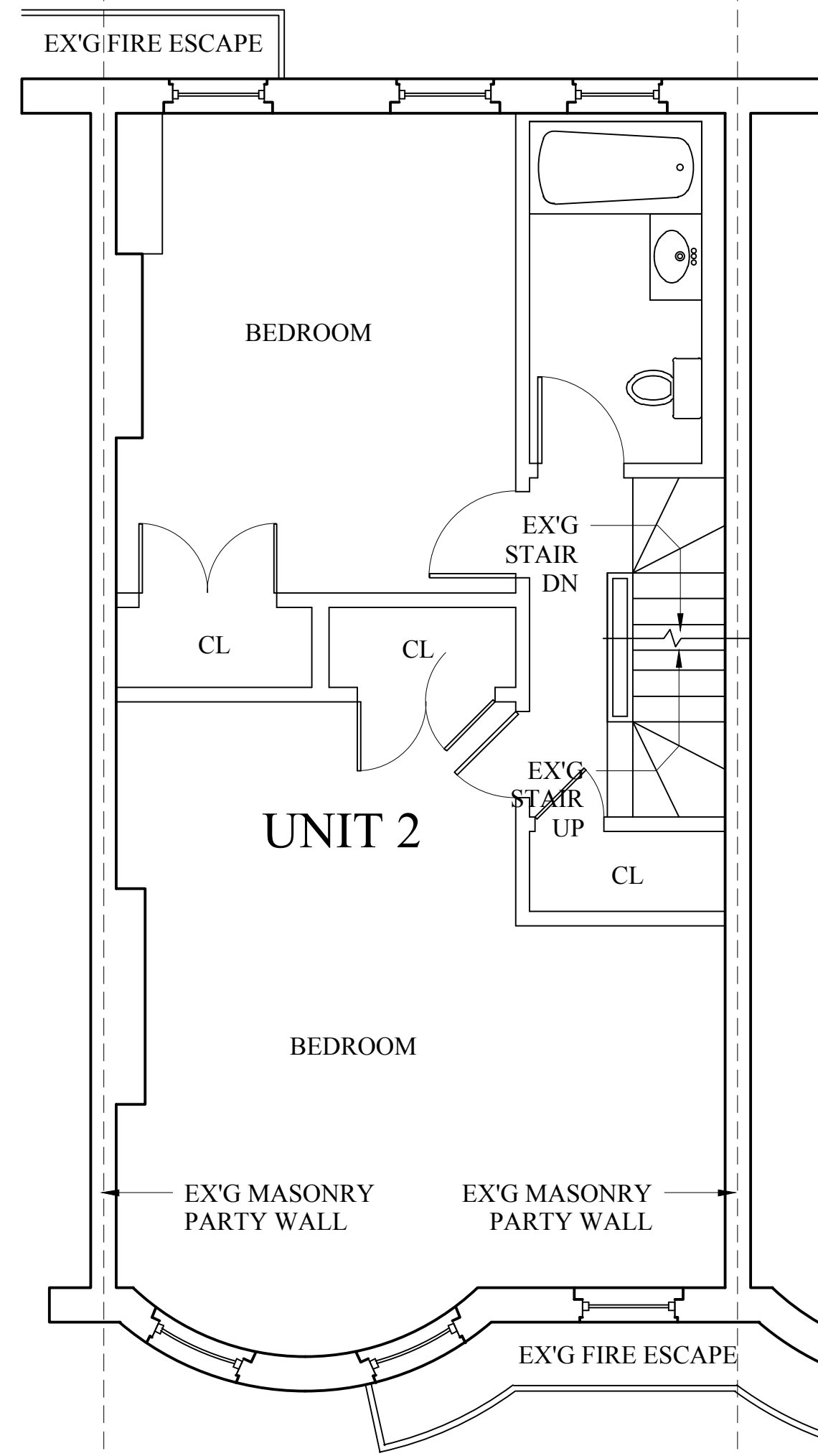
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

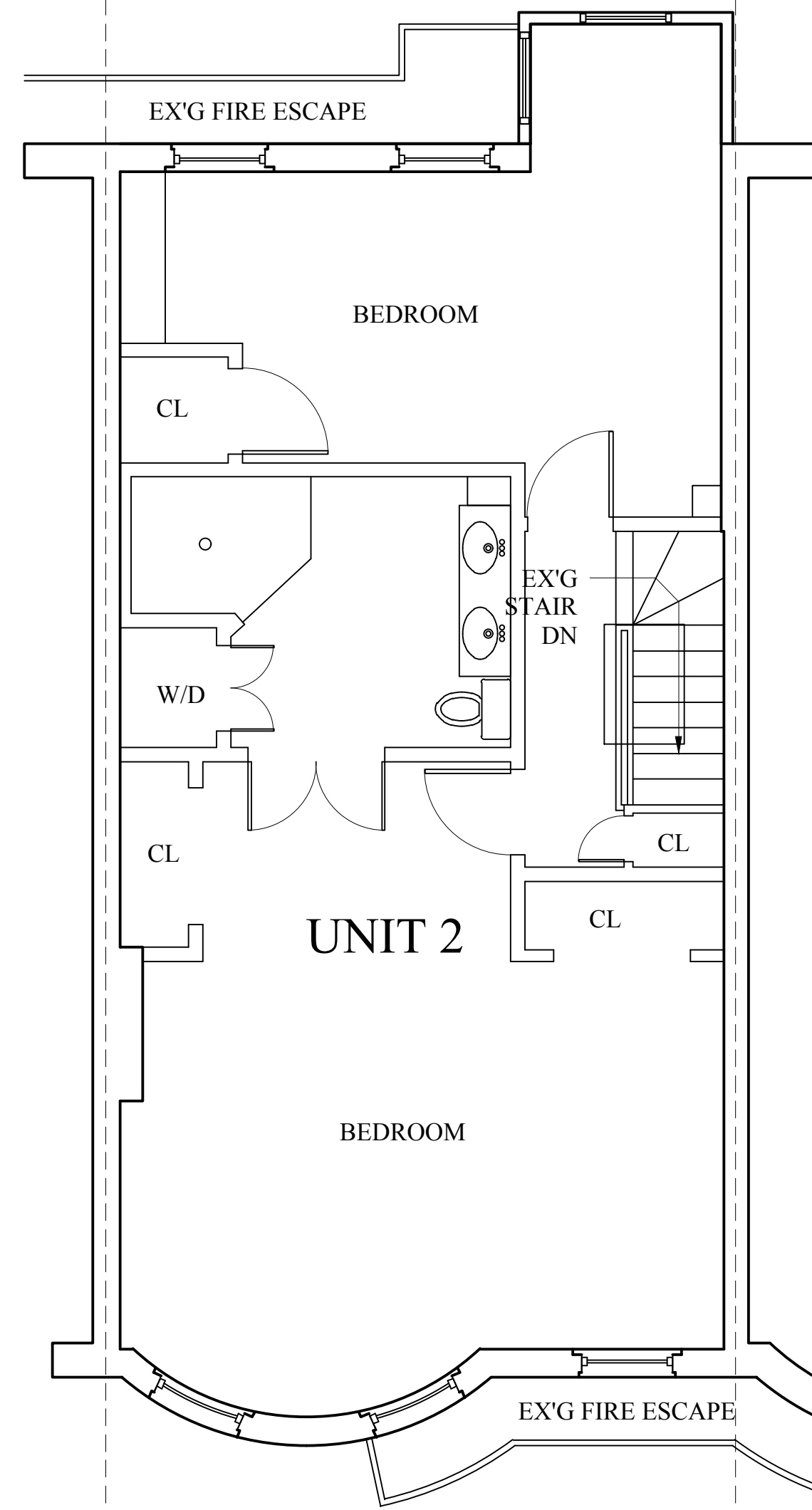
Project No: 17080
Scale: AS NOTED
Date:
Drawn By:

Drawing Name
EXISTING FLOOR PLANS

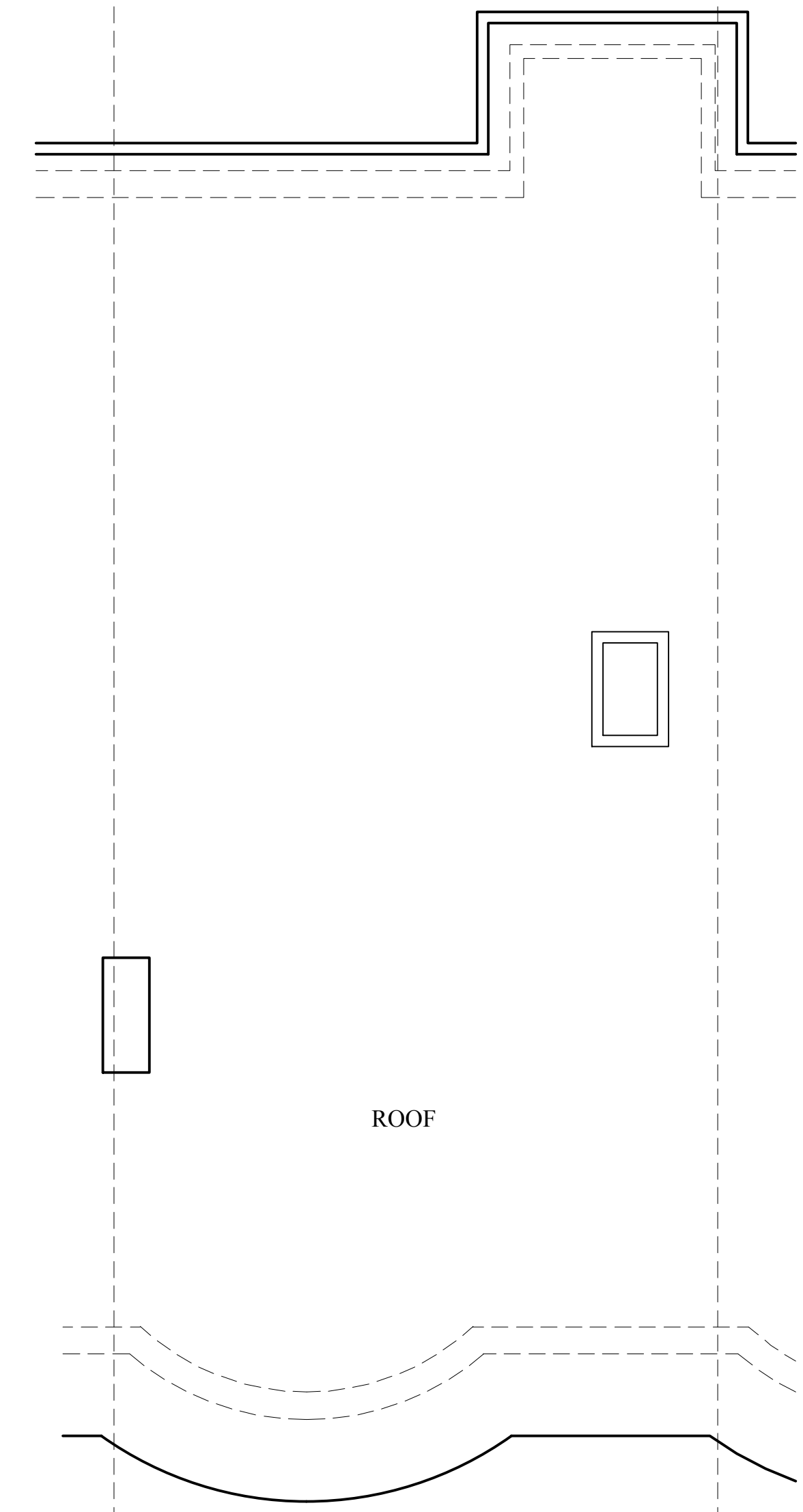
Sheet No.
D-1.2



1 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



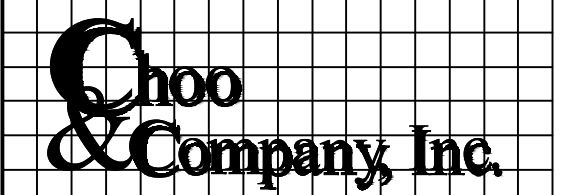
2 EXISTING FOURTH FLOOR PLAN
1/4" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"

Location

PROPOSED RENOVATION 107 PEMBROKE STREET BOSTON, MASS



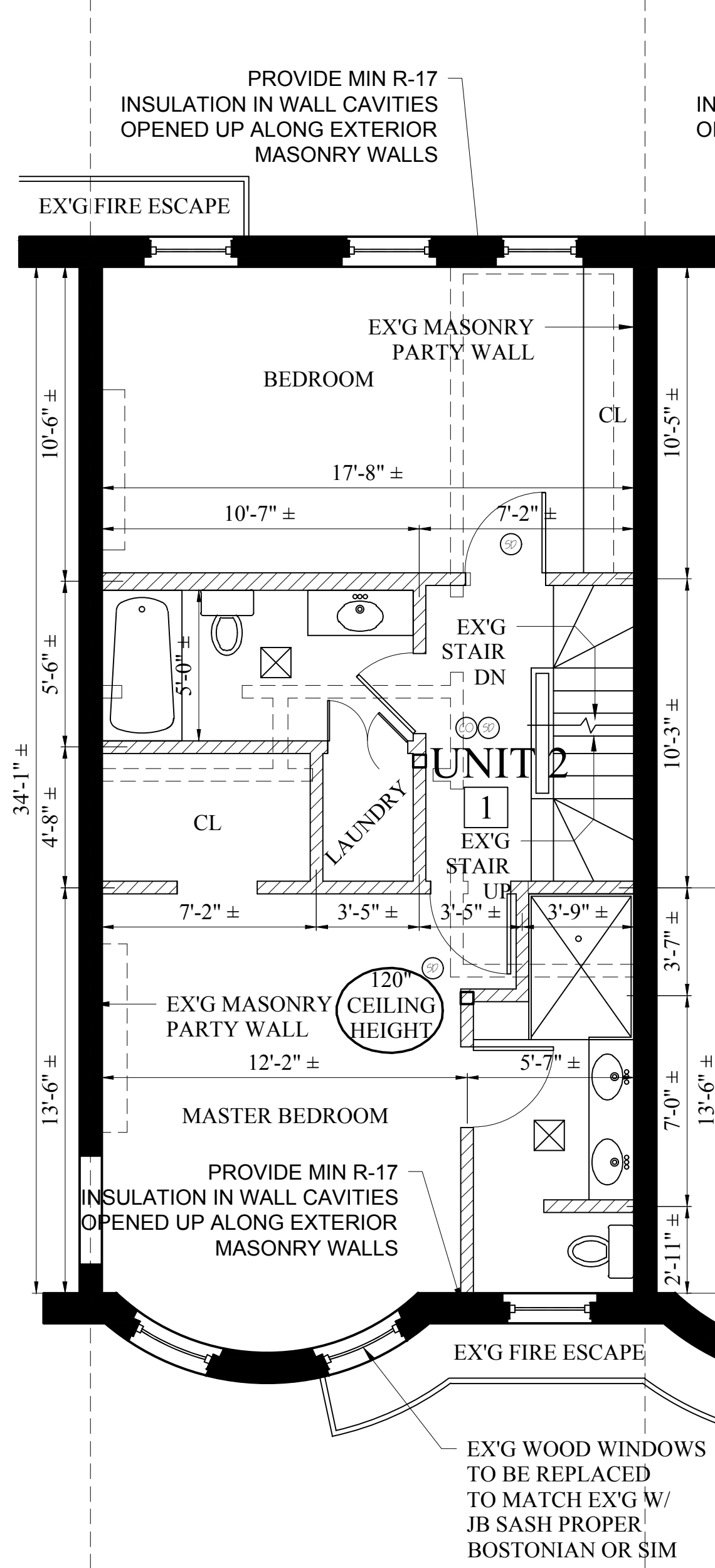
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 17080
 Scale: AS NOTED
 Date: 04-10-2017
 Drawn By: SL

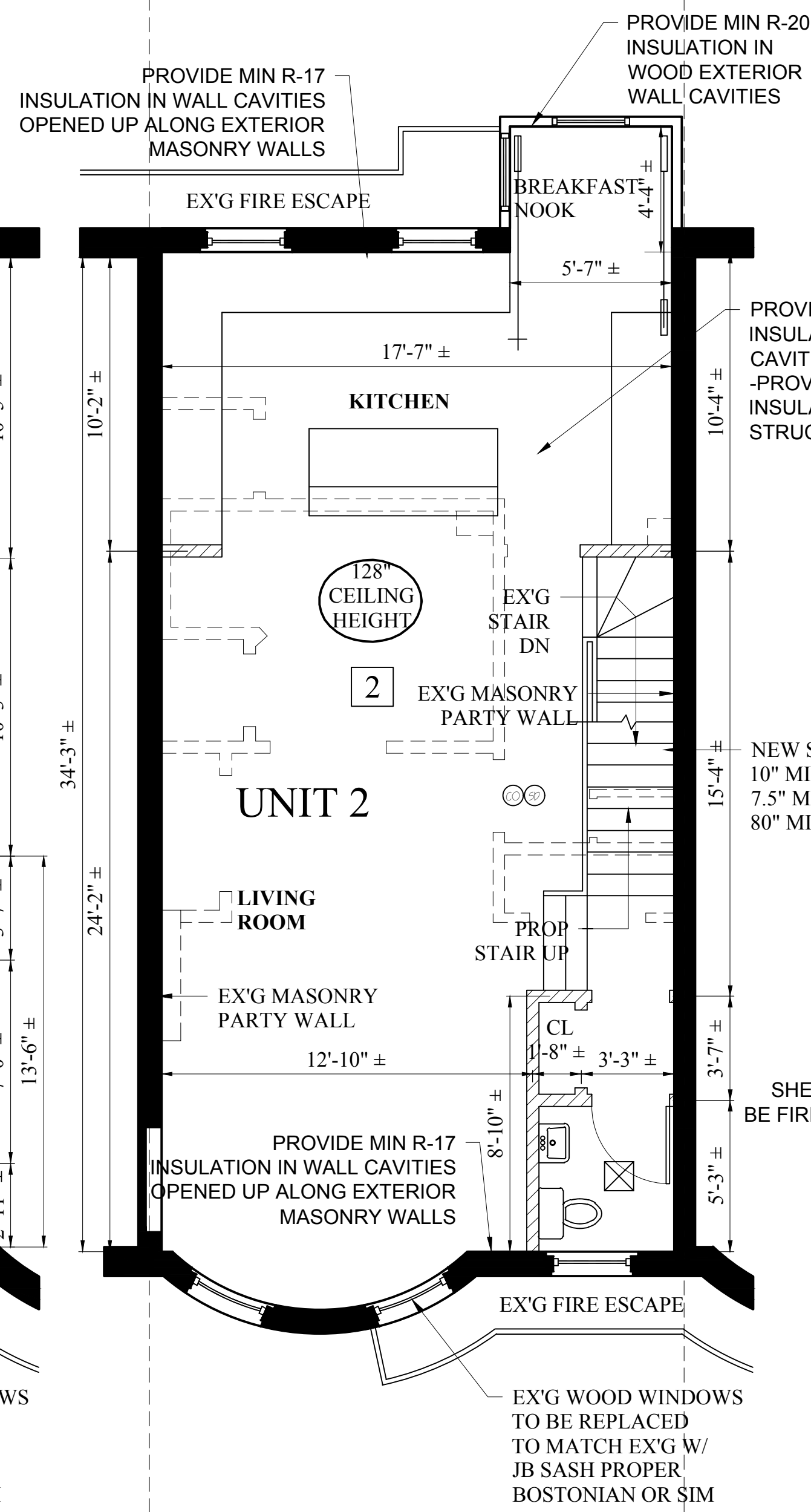
Drawing Name
PROPOSED FLOOR PLANS

Sheet No.
A-1.2



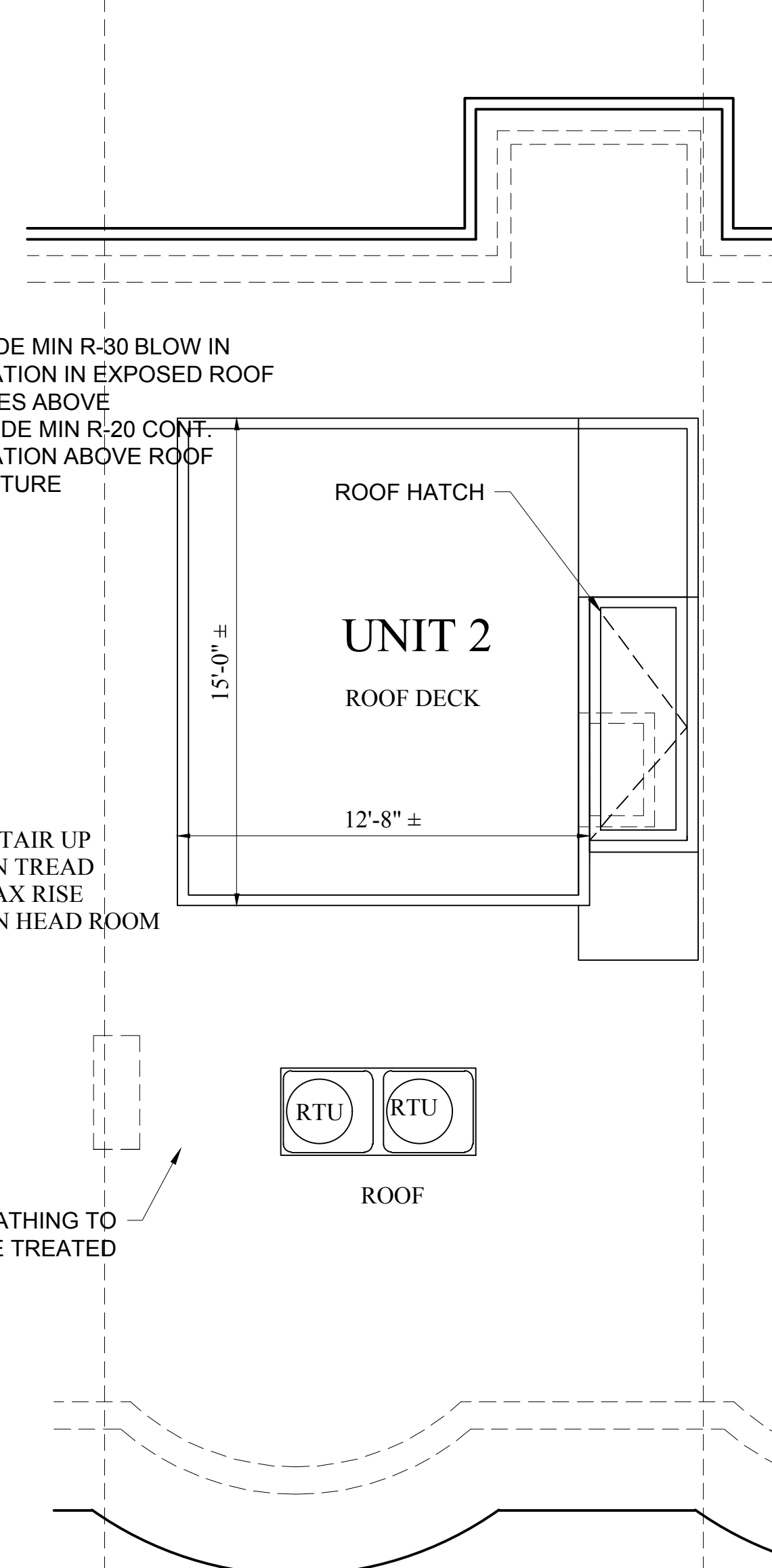
PEMBROKE STREET

4 THIRD FLOOR PLAN
 1/4" = 1'-0"



PEMBROKE STREET

5 FOURTH FLOOR PLAN
 1/4" = 1'-0"



PEMBROKE STREET

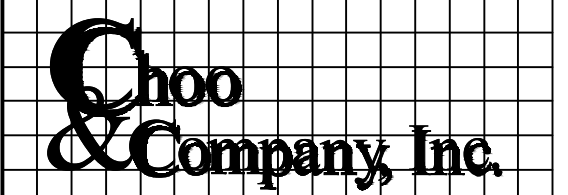
6 ROOF PLAN
 1/4" = 1'-0"

NOTE:
 AS PER IECC C501.6, R501.6,
 HISTORIC BUILDINGS OR BUILDINGS
 WITHIN LOCAL HISTORIC
 DISTRICTS ARE EXEMPT FROM THE
 ENERGY CODE.

The South End was listed on the National Register of Historic Places in 1973. The South End was designated a landmark district in 1983.

Location

PROPOSED RENOVATION 107 PEMBROKE STREET BOSTON, MASS



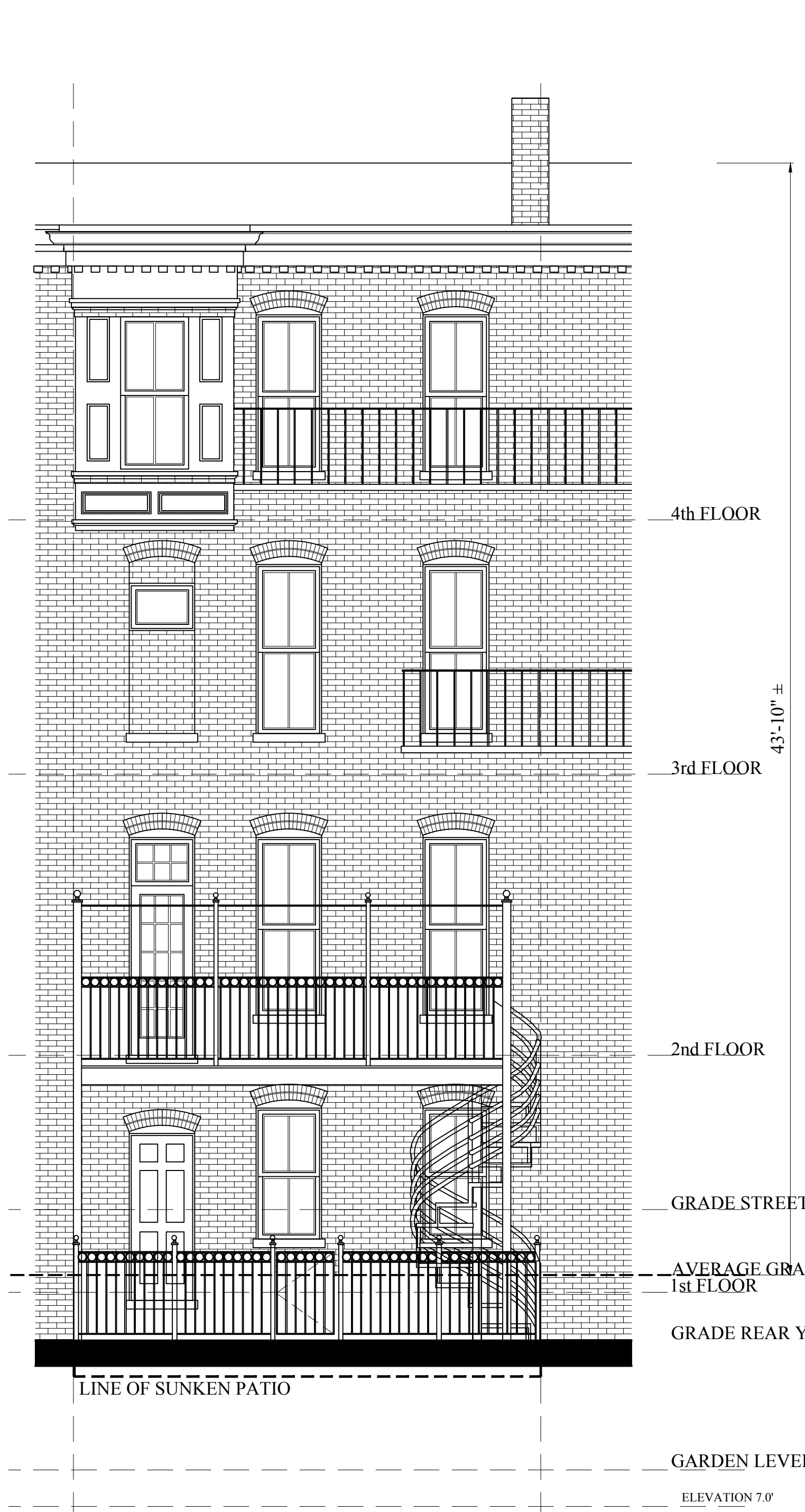
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

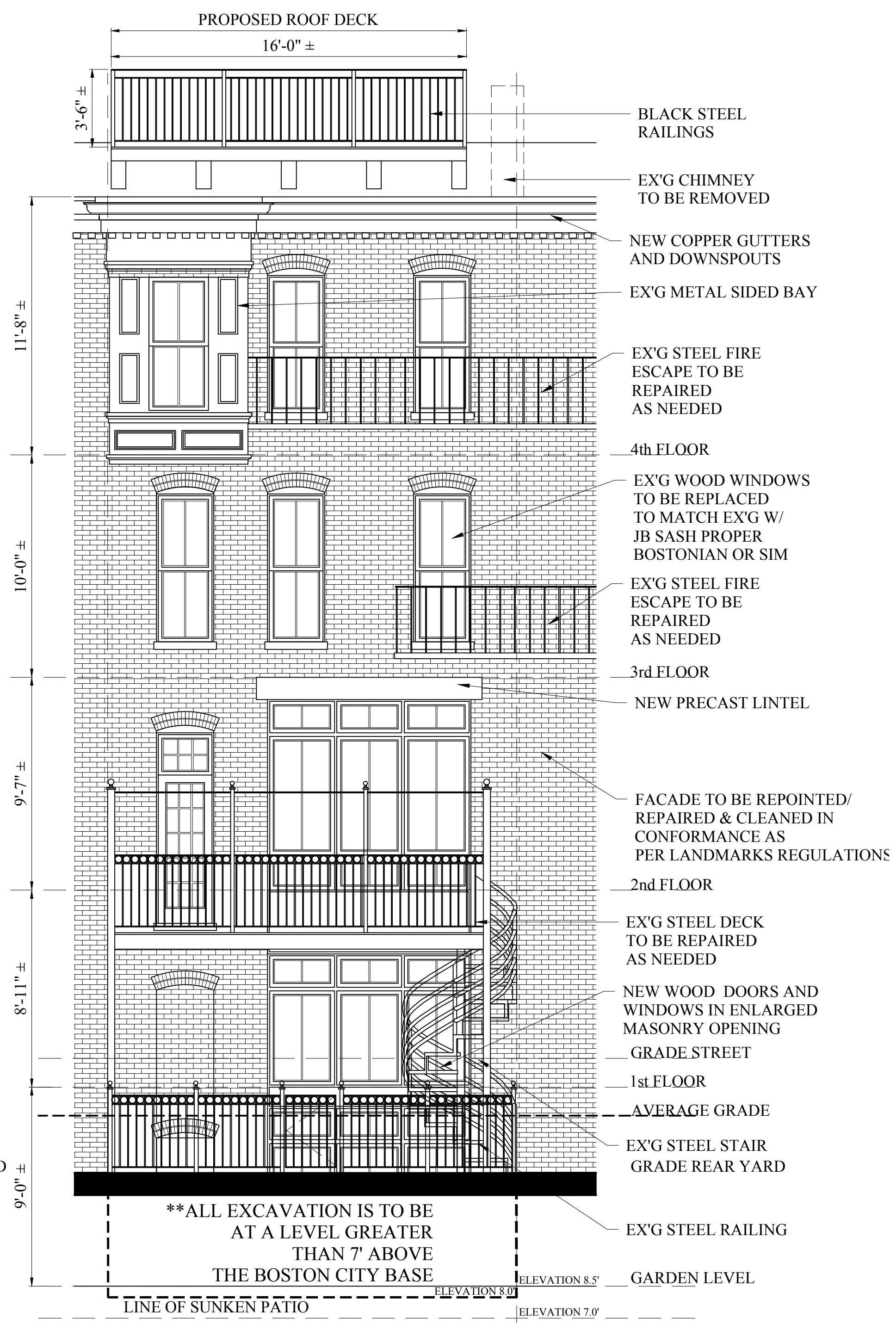
Project No: 17080
 Scale: AS NOTED
 Date: 04-10-2017
 Drawn By: SL

Drawing Name
PROPOSED ELEVATIONS

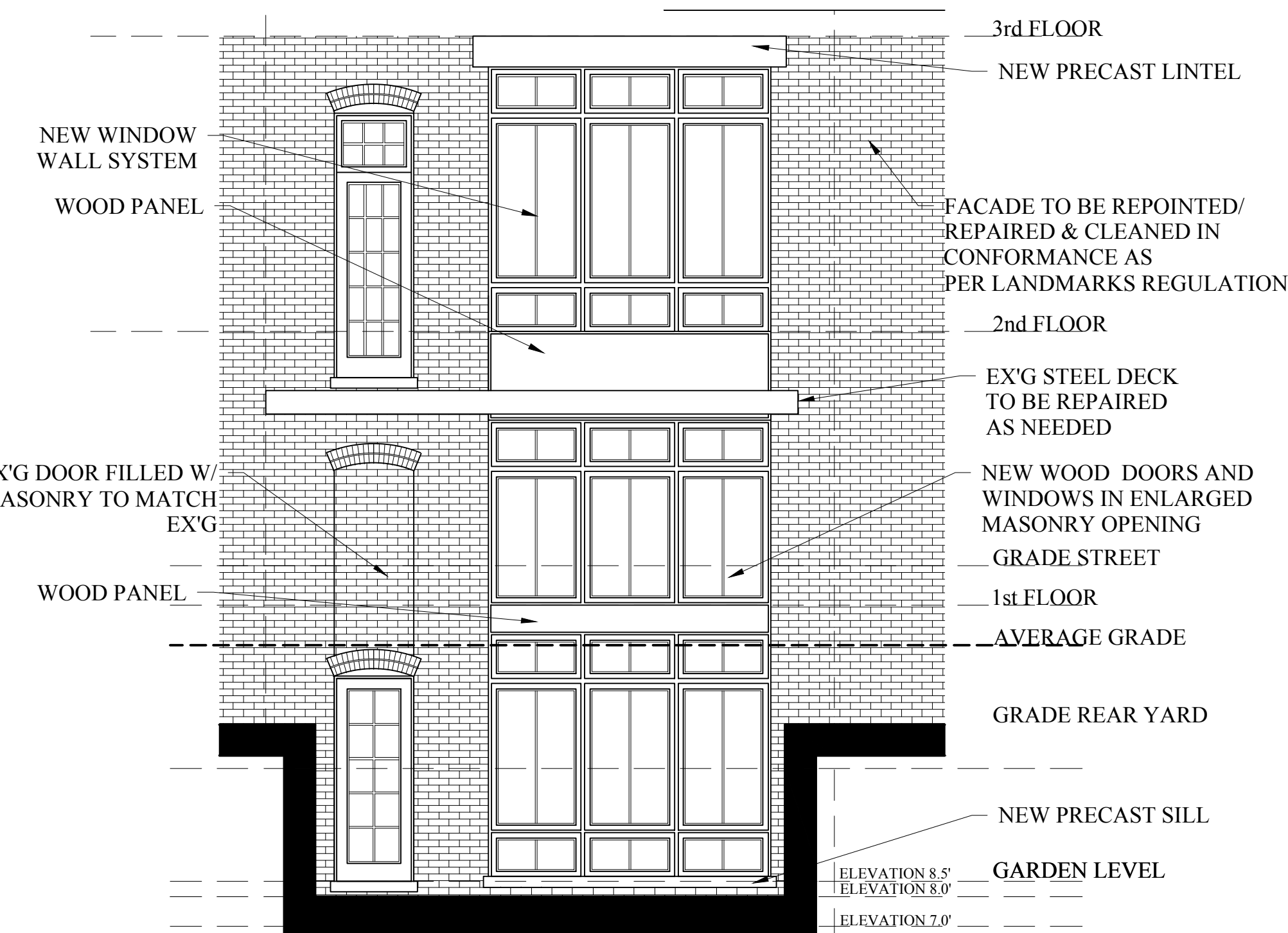
Sheet No.
A-2.1



1 EXISTING REAR ELEVATION
 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION AT SUNKEN PATIO
 1/4" = 1'-0"

Location

PROPOSED RENOVATION 107 PEMBROKE STREET BOSTON, MASS

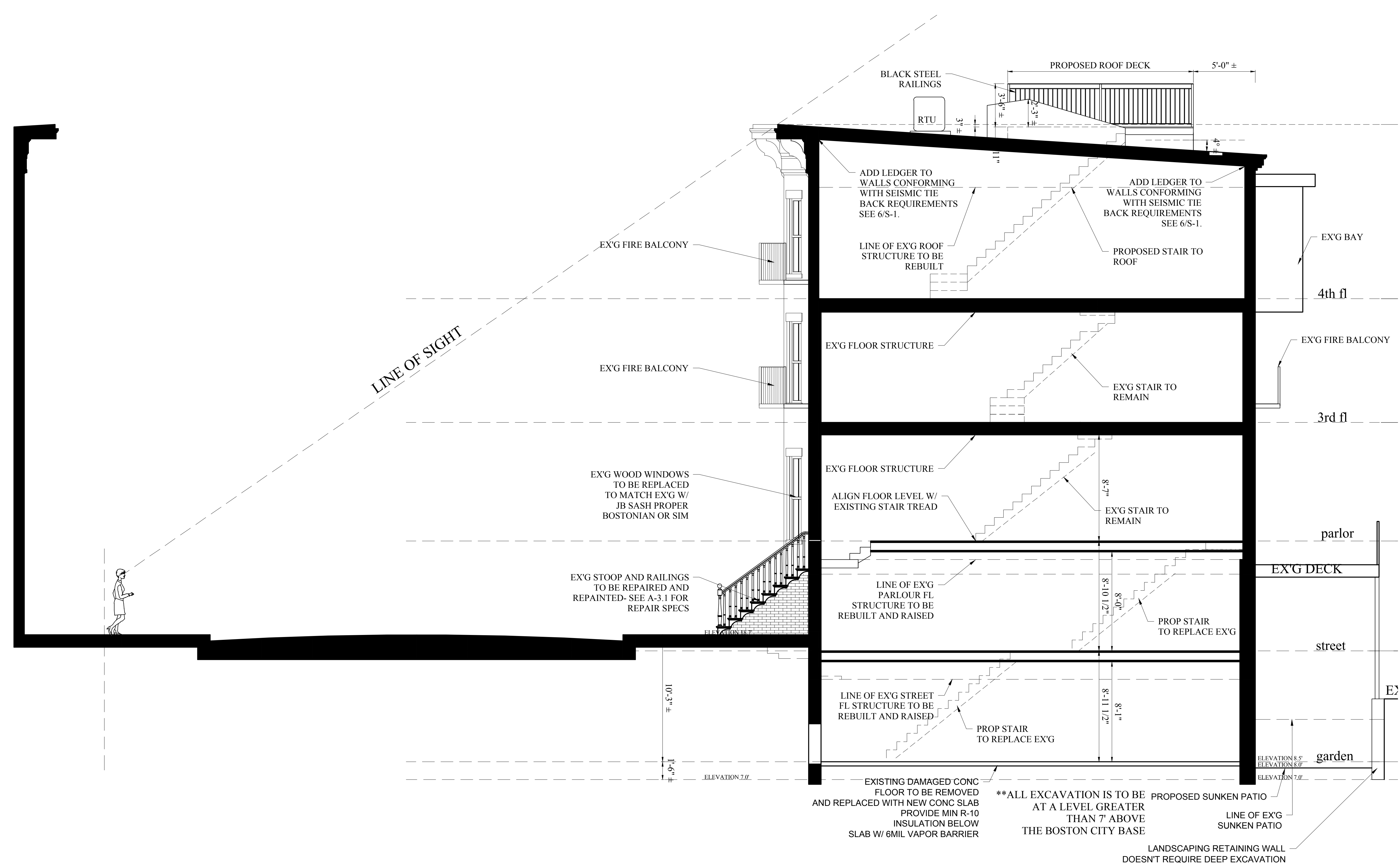
Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 17080
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Drawing Name
PROPOSED BUILDING SECTION

Sheet No.
A-4.1



LINE OF SIGHT

EXISTING DAMAGED CONC FLOOR TO BE REMOVED AND REPLACED WITH NEW CONC SLAB PROVIDE MIN R-10 INSULATION BELOW SLAB W/ 6MIL VAPOR BARRIER

****ALL EXCAVATION IS TO BE AT A LEVEL GREATER THAN 7' ABOVE THE BOSTON CITY BASE**

PROPOSED SUNKEN PATIO

LINE OF EX'G SUNKEN PATIO

LANDSCAPING RETAINING WALL DOESN'T REQUIRE DEEP EXCAVATION