

Oakwood Boston Apartments  
1 India Street  
Boston, MA 02109  
New Doorway for Bostonia Restaurant  
September 15, 2016

### Scope of Work

The scope of work for this project entails the demolition of the existing window and storefront indicated in the attached photos and the installation of a new doorway storefront. This work is located in the Bostonia restaurant, on Broad Street, at our Oakwood Boston property, located at 1 India Street, Boston, MA.


1. The scope of work includes the installation of a new doorway where there is an existing window, as shown on the attached photos. The doorway will be used for egress, as well as servicing the exterior seating area.
2. Include the demolition of the existing sloped concrete in front of the window and the installation a new concrete step.
3. For pricing purposes, use Kawneer (or approved equal) Thermal-rated Entrance, Series 425 Wide Style, Thermal Door and Frame, with 1" low-e glazing unit and Kynar finish. Include push bar hardware on the inside of the door, and a locking hardware on the outside of the door. Provide push plates as needed.
4. Include demolition of the interior finishes as necessary to do the work. Patch and paint when finished. It's possible that hidden conditions are found during the work. These will be dealt with as the work progresses.
5. Replace the existing exit sign at the door to one that has an arrow pointing to Broad Street, through the new door.
6. The work is to comply with ADA and City of Boston code requirements. If there are any issues that preclude compliance, please indicate that in the bid response.
7. Include in the project cost the City of Boston ISD and fire department permits. If architectural or engineered drawings are necessary they will be provided by the owner, or a change order for the contractor.
8. All bids must be returned signed, on the bid form below. Bids are due to be received on Thursday, September 29, 2016.

For questions regarding this RFP, or to arrange for a site visit, please contact:

Peter A. McGing  
1<sup>st</sup> VP - Construction Services - Equity Residential  
Mobile: (312) 953-1879  
E-mail: pmcing@eqr.com

Window to be converted to door.



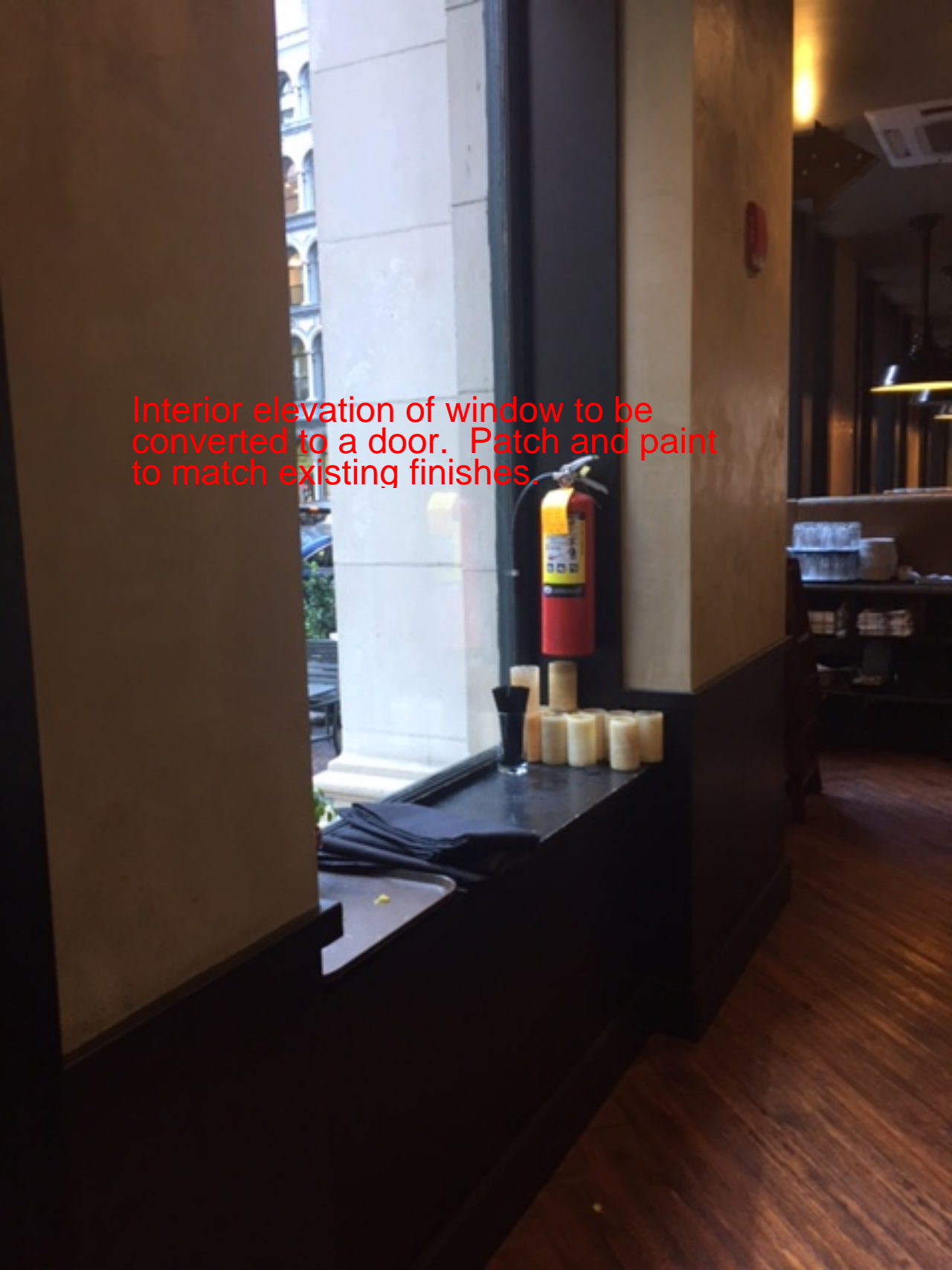
The image shows a building's exterior with a large window. The window is framed by a dark, ornate metal or wood surround. Above the window is a decorative pediment with scrollwork. To the right of the window is a large, textured stone column. The window itself is dark, reflecting the street scene. Inside the window, a fire extinguisher, a car, and a potted plant are visible. The concrete base of the window is cracked and needs to be replaced with a concrete step.

Exterior elevation of existing window  
to be replaced with a door.

Concrete to be demo'd, and replaced  
with a concrete step.

A red arrow points from the text to the concrete base of the window, which is cracked and needs to be replaced with a concrete step.

Interior elevation of window to be converted to a door. Patch and paint to match existing finishes.



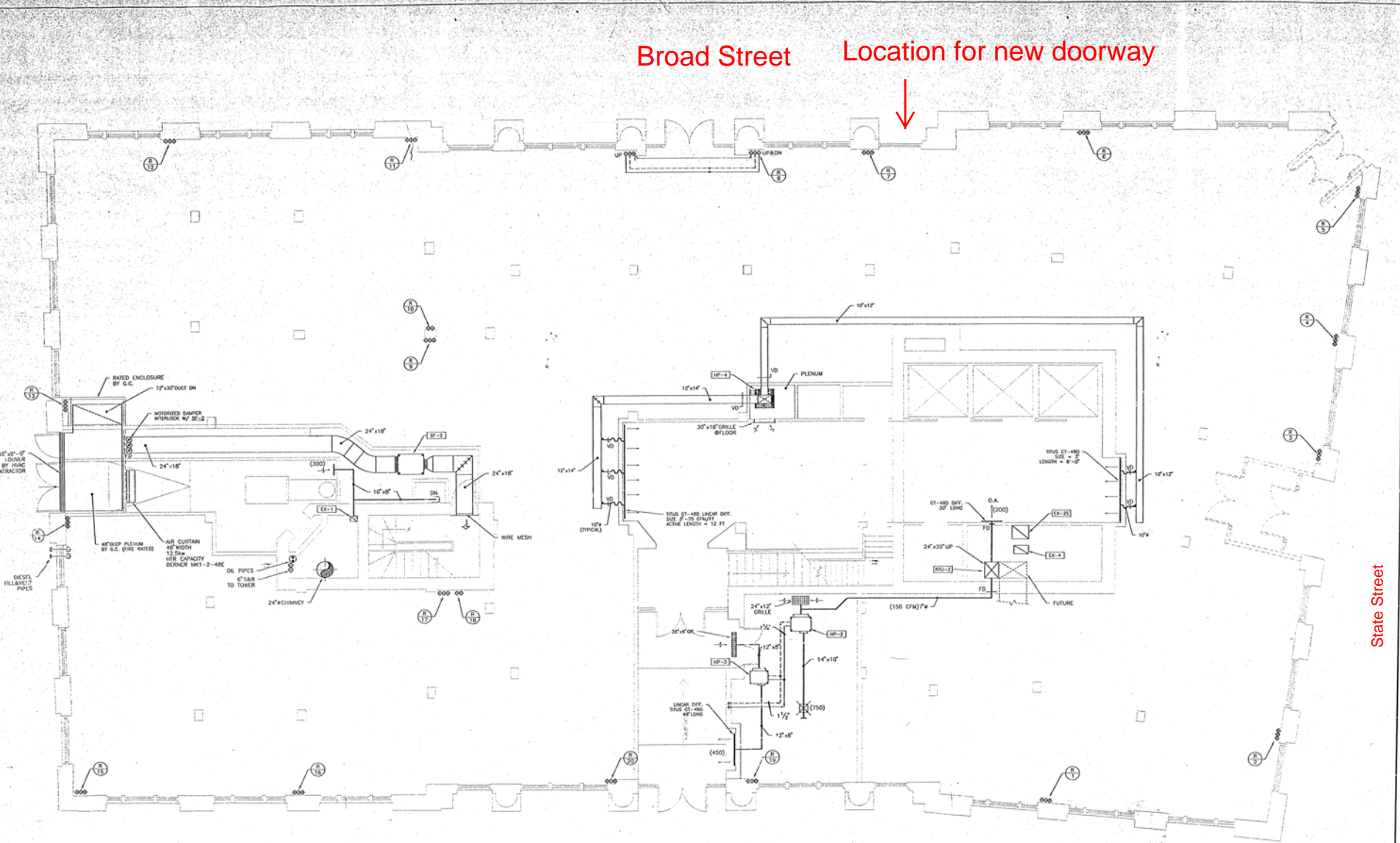
Central Street

Broad Street

Location for new doorway

State Street

India Street



Structural:  
 Douglas Green Group  
 Cambridge, MA 02139  
 (617) 452-1100

Mechanical:  
 Healy Associates, Inc.  
 Boston, MA 02111  
 (617) 452-1100

Electrical:  
 King Power Associates  
 South Norwalk, CT 06854  
 (203) 733-7200

BRIAN HEALY  
 ARCHITECTS  
 131 State Street  
 Boston, MA 02109  
 (617) 452-1100

131 STATE STREET  
 Boston, Massachusetts

Title: \_\_\_\_\_  
 Scale: 1/4" = 1'-0"  
 Date: Sept. 27, 1993

MECHANICAL  
 GROUND FLOOR  
 PLAN

M-2

CONSTRUCTION PLAN GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DESIGNER.
4. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
5. ALL EXISTING FLOORS, PARTITIONS, DEMISING WALLS, GWB WINDOW SILLS, GWB SOFFITS AND CORRIDOR WALLS TO BE PATCHED AND REPAIRED AS NEEDED TO MAINTAIN ORIGINAL ACOUSTICAL AND RATED FIRE/SMOKE DESIGN INTENT. ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE/SMOKE RATING AND ACOUSTICAL RATING.
6. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS. U.O.N.
7. NEW PARTITIONS SHALL BE PLUMB, SQUARE, STRAIGHT, AND PARALLEL OR PERPENDICULAR TO THE CORE, UNLESS OTHERWISE NOTED.
8. ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MEET REQUIREMENTS OF NEW FINISHES. U.O.N. REFER TO SPECIFICATIONS FOR LEVEL OF FINISH.
9. FOR DRYWALL FINISHING, THE CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS. EXCEPTION: COMPLY WITH MORE STRINGENT REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD.
10. PROVIDE VERTICAL CONTROL JOINTS IN GWB EVERY 30'-0". VERIFY LOCATION WITH ARCHITECT U.O.N.
11. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
12. PRIOR TO CLOSING ANY WALLS OR CEILINGS, ALL SYSTEMS (HVAC, PLUMBING, ELECTRICAL) SHALL BE INSPECTED, AND WHERE REQUIRED, TESTING BY CONTRACTOR ENGINEERS AND BY PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
13. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME HE/SHE SHALL APPROVE THE WALLS OR CEILINGS TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTOR'S APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
14. THE CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT OF FIRE RATED BLOCKING AT ALL LOCATIONS OF MILLWORK, SHELVES OR OTHER ITEMS INDICATED TO BE MOUNTED TO WALLS OR CEILINGS THROUGHOUT LIMIT OF WORK, PRIOR TO CLOSING WALLS U.O.N.
15. COORDINATE ALL CARD READER LOCATIONS AND HARDWARE WITH SECURITY CONSULTANT.
16. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES DURING CONSTRUCTION.
17. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
18. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION, COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
19. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
20. TEMPERED GLASS TO BE USED IN ALL LOCATIONS AS REQUIRED BY CODE.
21. FOR BUILT-IN WORK SURROUNDED BY PARTITIONS, INCLUDED BUT NOT LIMITED TO HIGH DENSITY FILING AREAS, APPLIANCES AND FILE ENCLOSURES, CONTRACTOR SHALL CONFIRM THAT FLOOR SLAB DOES NOT VARY BY MORE THAN 1/4" IN 20'-0" NON-CUMULATIVE. NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.

**SYMMES MAINI & MCKEE ASSOCIATES**  
 1000 Massachusetts Avenue  
 Cambridge, Massachusetts 02138  
 P:617.547.5400 F:617.648.4820

H\_

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F\_

E\_

D\_

C\_

B\_

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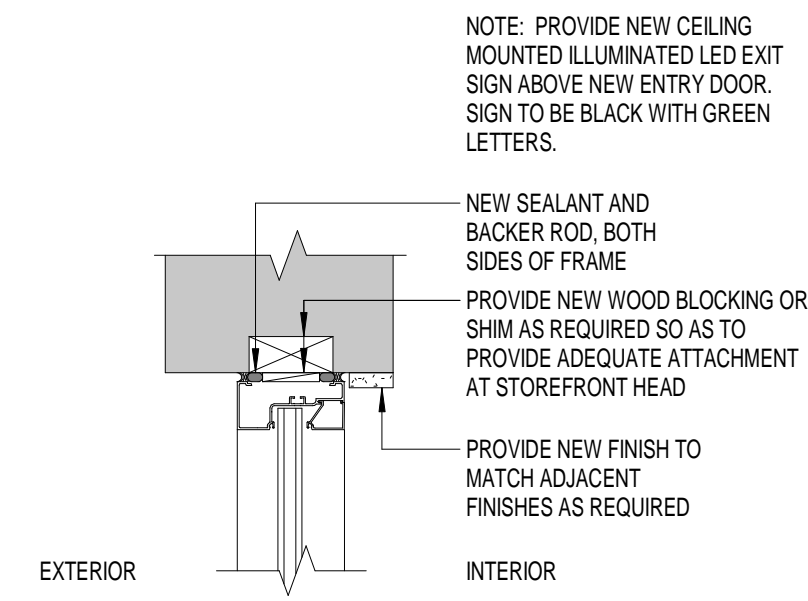
REMOVE EXISTING FIRE EXTINGUISHER AND RETURN TO OWNER FOR INSTALLATION ELSEWHERE. LOCATION PER OWNER'S INSTRUCTION.  
 REMOVE EXISTING HOSE BIBB AND CAP PIPING AT JAMB OR FLOOR SO AS NOT TO BE EXPOSED.

DEMOLITION PHOTO "B"

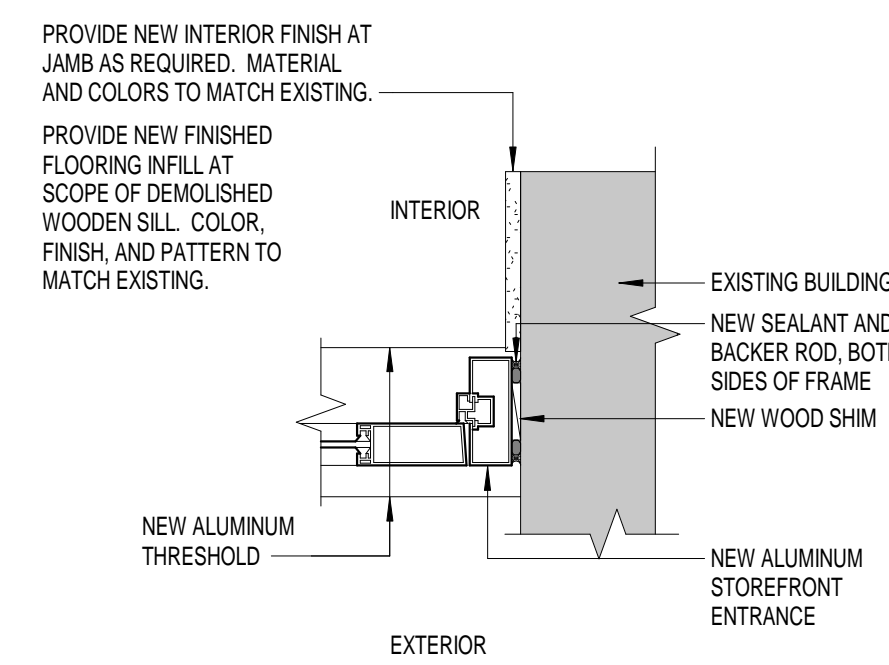


EXTENT OF DEMOLITION FOR NEW STOREFRONT ENTRY

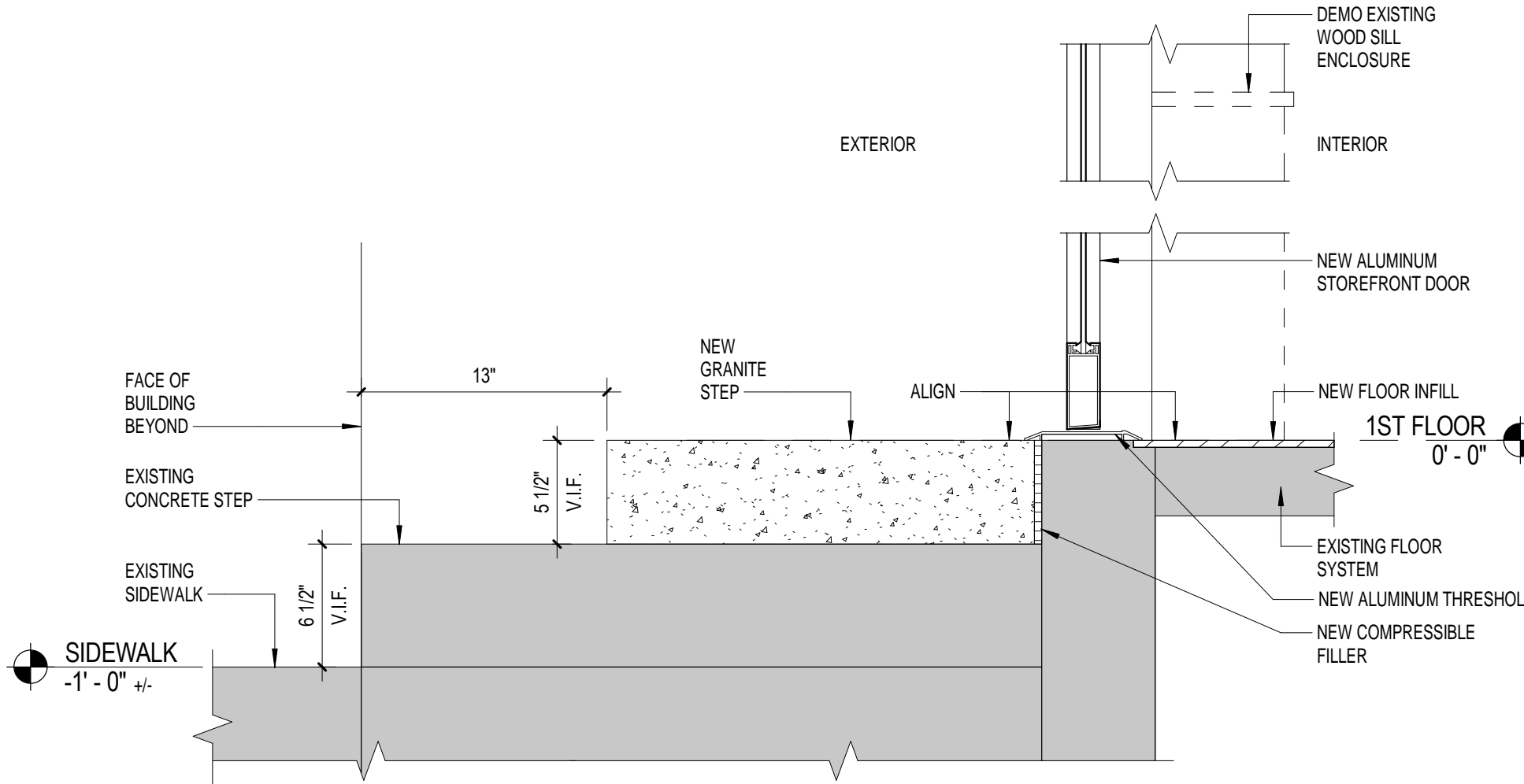
DEMOLITION PHOTO "A"



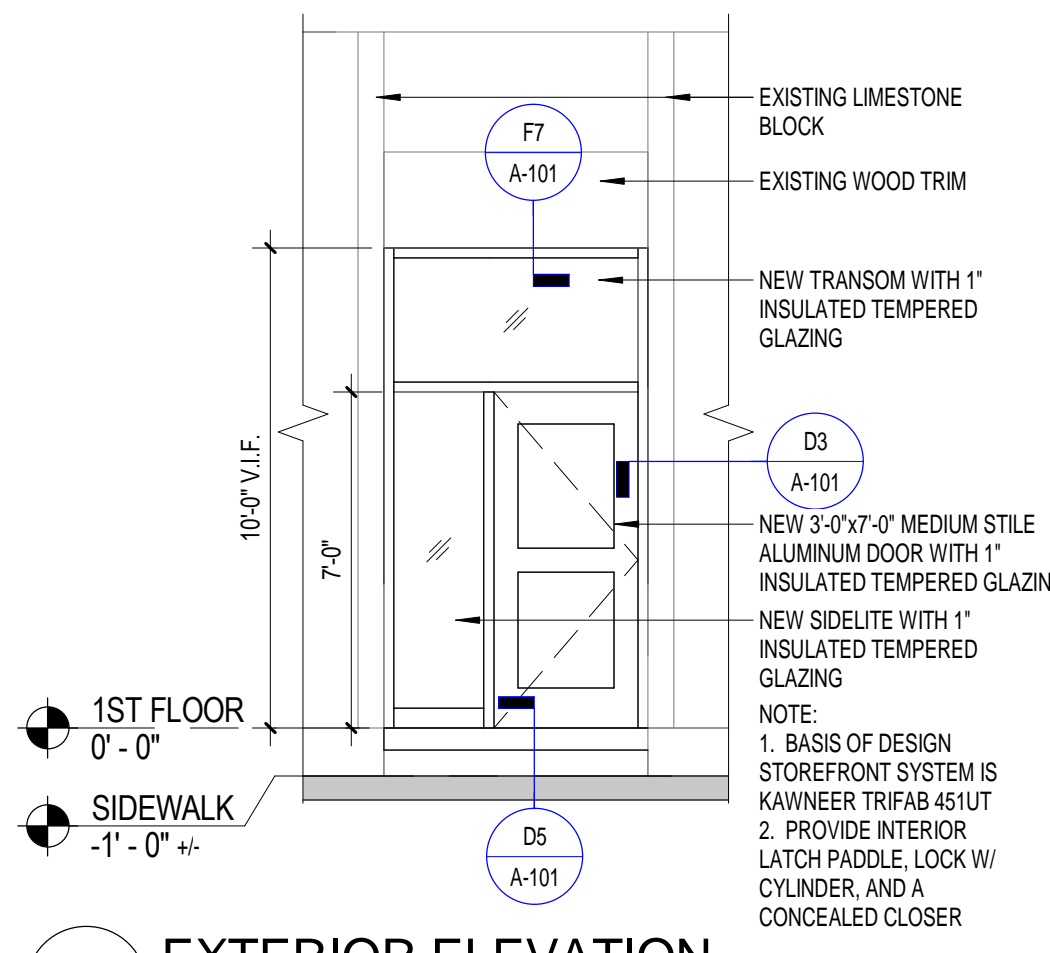
**F7 HEAD DETAIL AT NEW ENTRY**  
 SCALE: 1 1/2" = 1'-0"



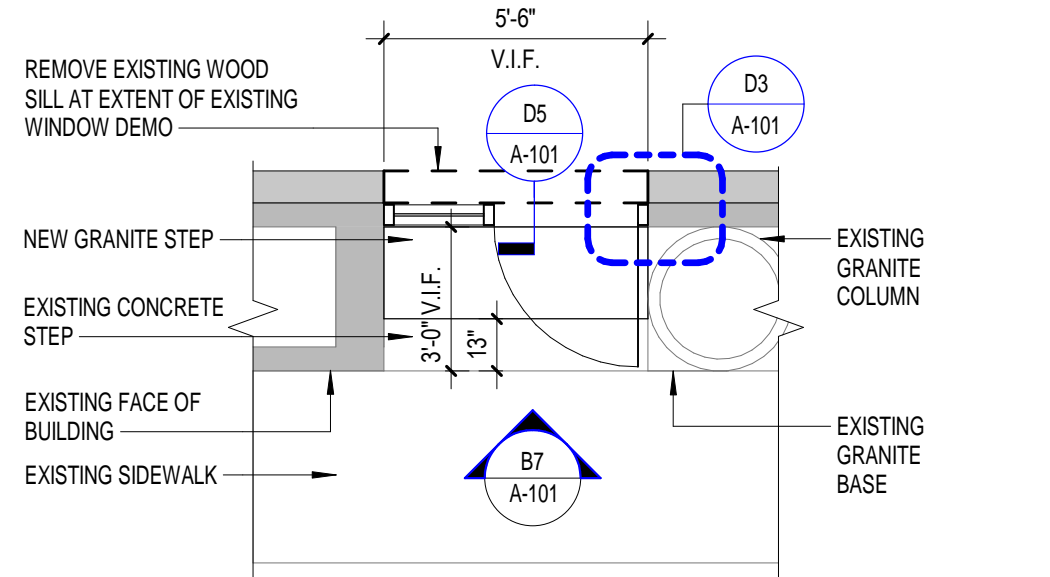
**D3 JAMB DETAIL AT NEW ENTRY**  
 SCALE: 1 1/2" = 1'-0"



**D5 THRESHOLD DETAIL AT NEW ENTRY**  
 SCALE: 1 1/2" = 1'-0"



**B7 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**A7 1ST FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

	EXISTING WALL		WINDOW TAG - INTERIOR
	NEW WALL		CARD READER
	EXISTING DOOR TO REMAIN		LCD SCREEN
	NEW DOOR (SEE DOOR SCHEDULE)		FIRE EXTINGUISHER RECESSED CABINET
	PARTITION TYPE		WALL MOUNTED FIRE EXTINGUISHER
	ROOM NAME		ROOM TAG
	AREA		CONSTRUCTION KEYNOTE TAG
	LIMIT OF WORK LINE		

**BOSTONIA PUBLIC HOUSE DOOR**  
 131 STATE STREET  
 BOSTON, MA.

DATE:	04/10/2017	CONSTRUCTION DOCS
MARK DATE:		DESCRIPTION
ISSUE LOG		
		= CLOUDED CHANGE

SCALE:	As Indicated
DRAWN BY:	GRF
CHECK BY:	
PROJ.ARCH.ENGR:	GRF
PROJ.MRG:	SAV
JOB NO.:	17031.00
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**NEW ENTRY PLAN, ELEVATION, AND DETAILS**