

Fowler Clark Epstein Farm

487 Norfolk Street, Mattapan



Boston Landmarks Commission Design Review

Historic Boston Incorporated

March 28, 2017

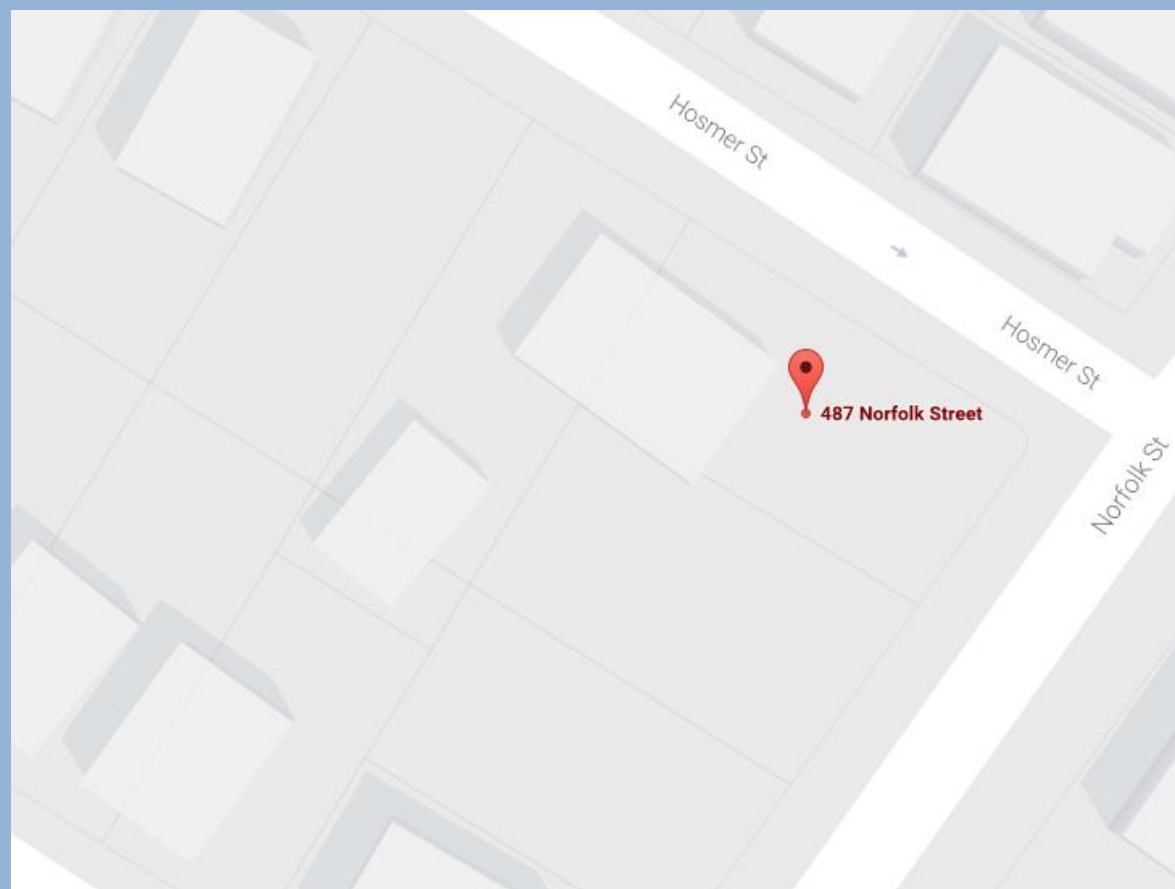


For Review Today:

- Overall site plan, including locations for future greenhouse and shed
- Removal of existing, unstable landscape features
- New hardscape and proposed materials
- Removal of existing trees
- New planting beds and trees
- Site lighting
- Materials: Fencing, Gates, Rails



View from Norfolk, Hosmer St. at right

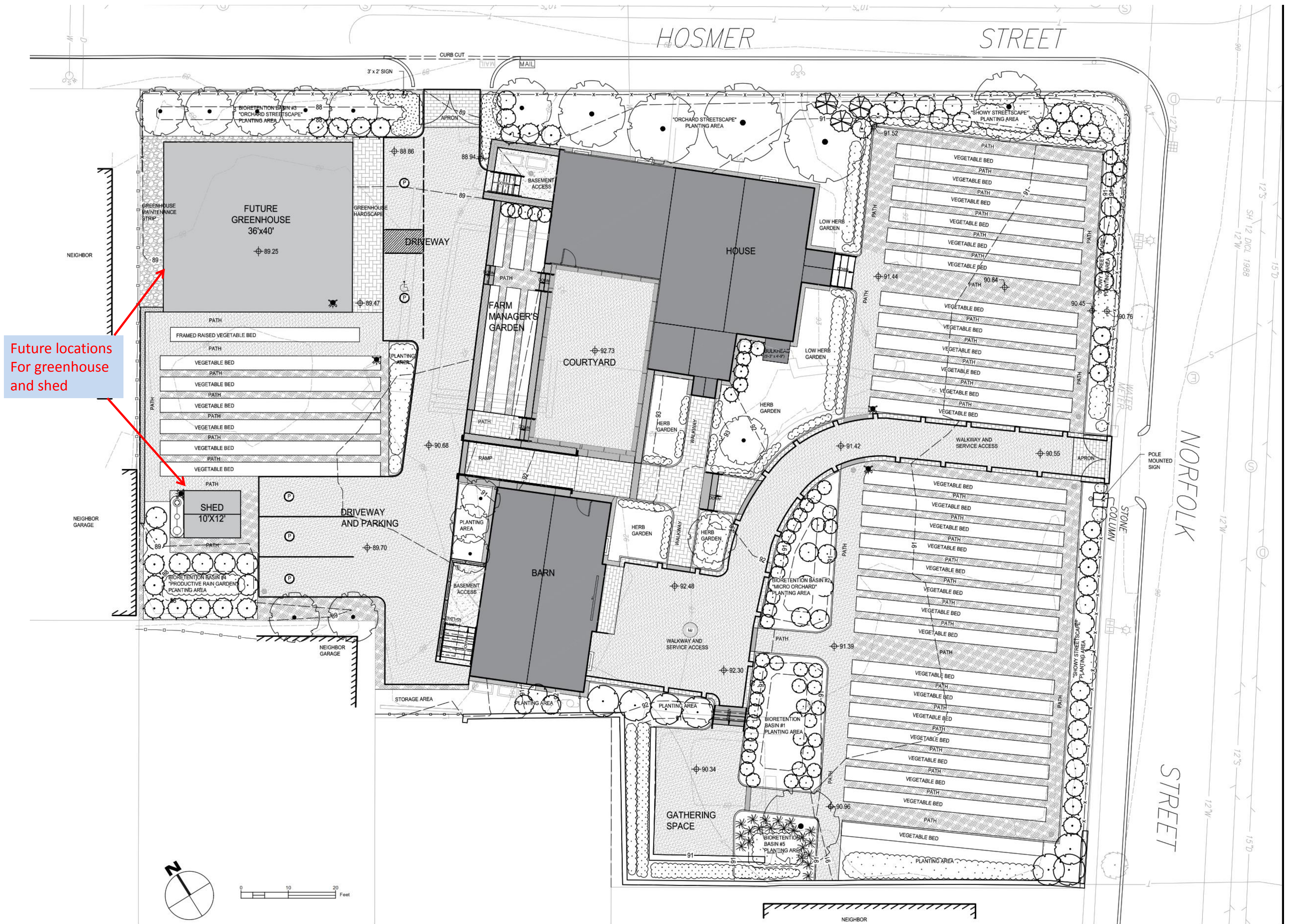


View from corner of Hosmer, Norfolk at left



View of rear yard from Hosmer Street

Reference photos



Proposed landscape plan overview

FOWLER CLARK EPSTEIN FARM

SITE DESCRIPTION

It requires a stretch of the imagination to envision the 300-acre farm and open fields and forests that once surrounded the house (ca. 1786) and barn (ca. 1874) at the Fowler Clark Epstein site. Just as the urban streets and three-story homes that now define this neighborhood have hidden the agricultural history of Mattapan, each of the three families that occupied the farm over the past 230 years transformed the site, layering their improvements and renovations over the original buildings and grounds to create the forms we see today.

The Epstein family is responsible for the majority of the landscape features that currently define the site. These features largely consist of an eclectic assembly of stone and brick walls, several of which contain wonderful architectural elements salvaged from older buildings in Boston. The outdoor spaces including brick and stone patios, stone walks, and a cobblestone driveway to the barn with a hand-laid brick "E" emblem, cover a wide range of styles, quality of construction, and state of repair.

This document provides an assessment of the existing landscape features on the basis of their structural integrity, overall durability, and compatibility with the proposed program of the Fowler Clark Epstein farm. A recommendation for the management of each feature follows its description.

As we work to re-establish this former farmstead as the center of agricultural activity in Mattapan, we aim to preserve and highlight the unique and exemplary examples of the Epstein family's work. Even as we reshape the site to once again produce healthy fruits and vegetables for the local community, allow for universal public access, and protect the structural integrity of the house and barn, the Fowler-Clark-Epstein Farm will remain a living testimony to the former families who lived and worked this land.

TREATMENT OF EXISTING LANDSCAPE FEATURES

FOWLER CLARK EPSTEIN FARM

487 Norfolk Street
Mattapan, Massachusetts

March 3, 2017

Scale: 1"=10' (Printed 30x36)



Stone Retaining Wall

- Mortared granite block retaining wall with steel posts
- Moderate stabilization work required
- Retains soil against sill of house

> Remove and salvage, regrade



Basement Entrance

- Brick retaining walls and stone steps
- Walls require moderate stabilization
- Steps obstruct wheeled access and require complete renovation

> Remove and salvage steps
> Remove and reinstall walls



Freestanding Brick Wall

- Brick wall with five missing caps
- Major stabilization required
- Obstructs proposed farm driveway and parking

> Remove



Elevated Terrace Retaining Walls

- Mortared large stone blocks
- Requires major repair
- Defines level of elevated terrace

> Remove and salvage



Brick Barbecue

- Brick fireplace and barbecue
- Requires major repair
- Obstructs proposed circulation

> Remove



Brick and Stone Benches, Steps, and Retaining Walls

- Mortared stone blocks and brick
- Unstable and require major repair
- Stairs do not meet ADA path requirements

> Replace with new ADA-compliant ramp



Barn basement access

- Mortared and drylaid stone
- Unstable and appears to require major repair
- Current grade prevents basement access

> Remove existing walls, lower grade to accommodate larger door, and replace with new stairs and ramp



Cobble driveway with "E" emblem

- Brick mosaic "E" in cobble driveway
- Renovation of driveway is required to meet ADA standards

> Restore and integrate "E" emblem into refinished driveway



Front stone recessed area

- Mortared granite block retaining wall and concrete floor
- Granite wall requires minor stabilization
- Concrete floor is impervious

> Repair granite walls, raise grade 1+ feet, replace concrete floor with stone dust



North and East Brick and stone walls around stone recessed area

- Mortared stone and brick walls
- Structurally unsound
- Complete renovation required

> Remove



Southern Stone Wall

- Mortared stone and brick walls with carved stone panels
- Majority of wall appears to be in good repair
- Minor repairs required
- Excellent example of Epstein era architecture

> Repair as required



Stone Pillars

- Mortared Granite blocks
- Good Repair

> Repair as necessary, cap top



Hosmer Steps

- Mortared granite blocks and steps
- Require moderate repair
- Current elevation of top step is higher than ideal elevation

> Remove and reuse materials on-site



Hosmer Perimeter Wall

- Interior is brick requiring major stabilization/ renovation
- Exterior mortared granite requiring major
- Incomplete construction

> Remove and salvage



Norfolk Stone Block Wall

- Dry-laid granite block retaining wall
- Wall in good condition
- Creates uneven grade in front yard

> Remove and salvage



Brick Walls and Stone Walk

- Brick walls and mortared stone walk
- Walls: Require major stabilization
- Walk: Requires complete resetting

> Remove



Brick Patios and Walls

- Brick walls with stone inset and mortared bluestone and brick patio
- Walls: Requires major stabilization
- Patio: Requires complete resetting to correct grades for ADA compliance

> Remove and salvage



House and Barn Brick Patio

- Herringbone brick patio
- Requires complete resetting
- Existing grades of both patios slope toward the house and barn and should be corrected for proper drainage

> Remove and salvage



Cobblestone Drive

- Granite cobbles set in concrete
- Uneven grade and rough surface non-compliant with ADA
- Requires major renovation

> Remove and salvage

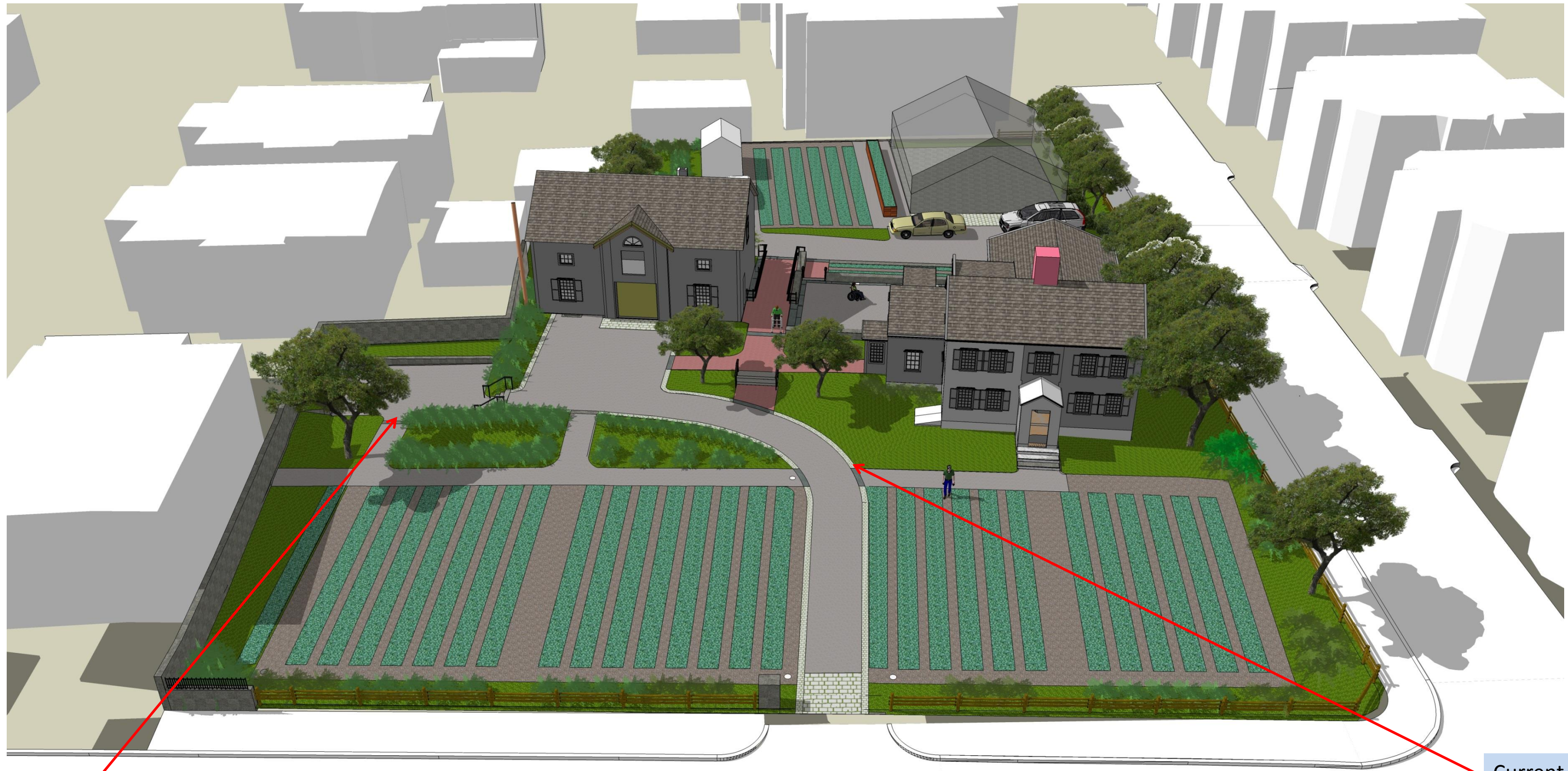


Current view from this location toward house and courtyard



Current view from this location to back of site





Current view from here looking toward house



Current view from here looking toward gathering space and wall



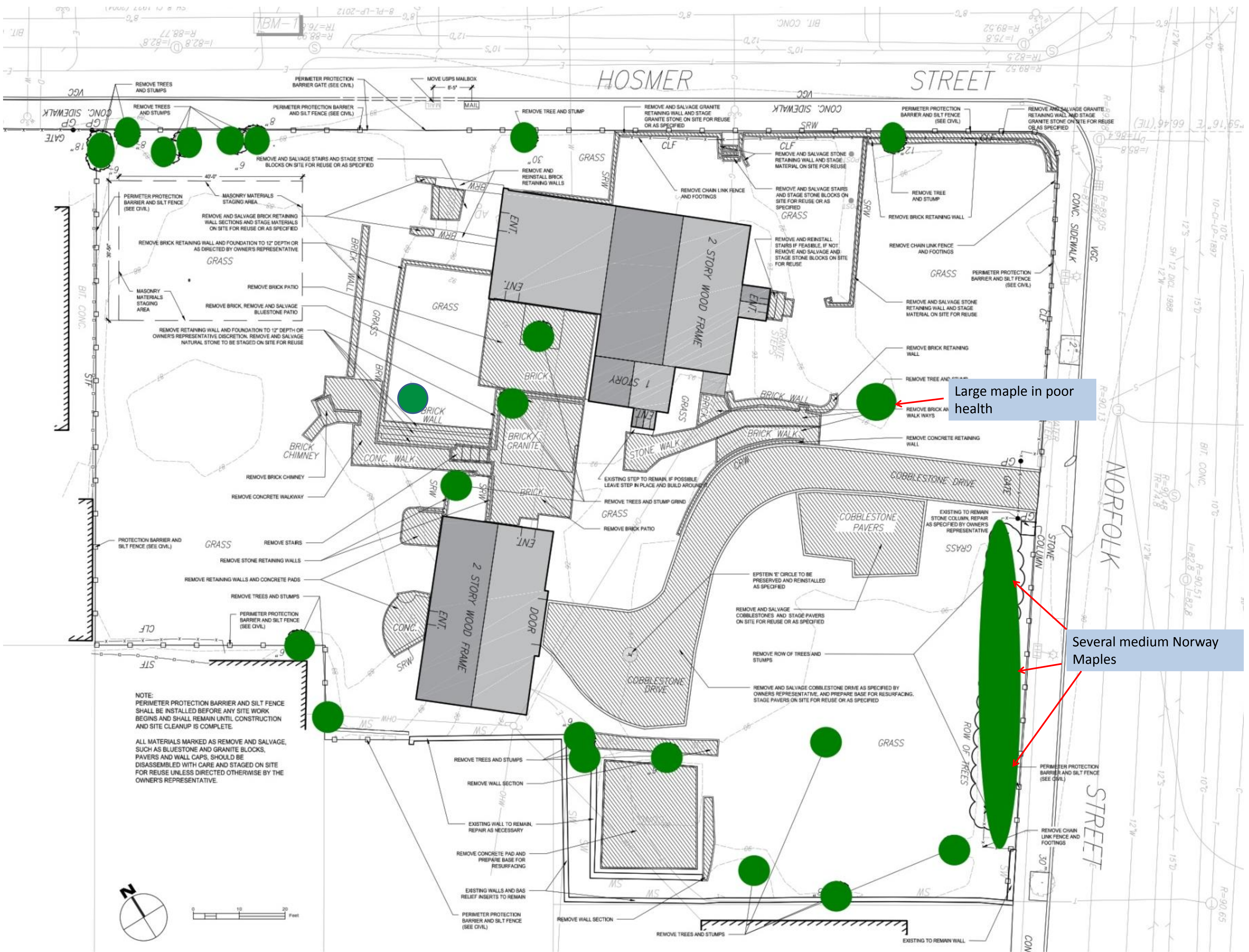


Current view from this location looking toward front of site



Current view from this location looking toward front of site





Demolition plan with trees scheduled for removal

Existing Trees



Rot in large maple in front of house



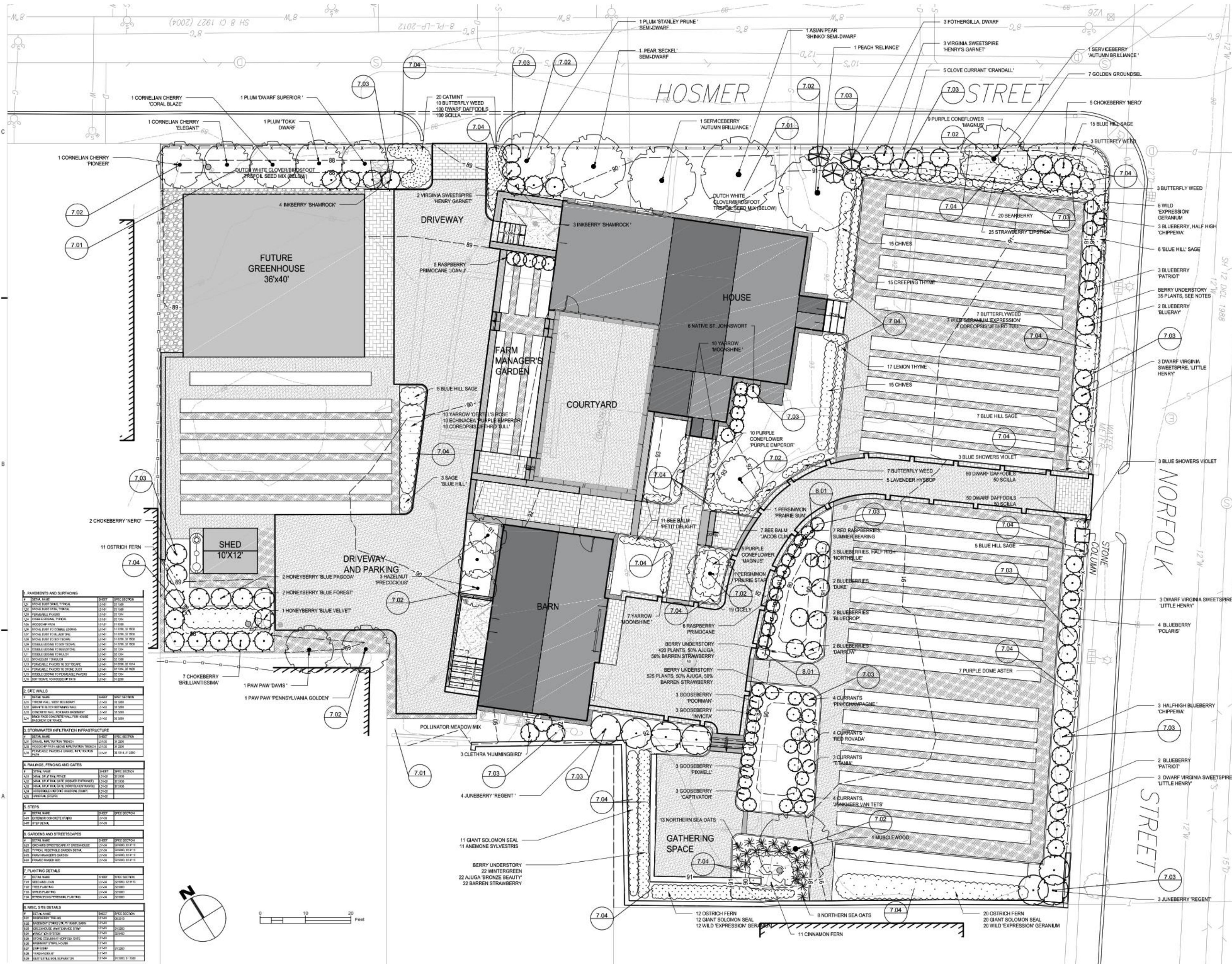
Norway maples at front of site proposed for removal



Trees near gathering space



Trees at rear of site



1. PAVEMENTS AND SURFACING

ITEM NAME	QTY	SPCS SECTION
CONCRETE DRIVEWAY	1	10-100
ASPHALT DRIVEWAY	1	10-100
PERMEABLE PAVING	1	10-100
GRASS	1	10-100
BRICK PAVEMENT	1	10-100
STONE PAVEMENT	1	10-100
GRAVEL DRIVEWAY	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100

2. SITE WALLS

ITEM NAME	QTY	SPCS SECTION
CONCRETE WALL	1	10-100
BRICK WALL	1	10-100
STONE WALL	1	10-100
GRAVEL WALL	1	10-100
PERMEABLE WALL	1	10-100
BRICK WALL	1	10-100
STONE WALL	1	10-100
GRAVEL WALL	1	10-100
PERMEABLE WALL	1	10-100

3. STORMWATER INFILTRATION INFRASTRUCTURE

ITEM NAME	QTY	SPCS SECTION
INFILTRATION TRENCH	1	10-100
PERMEABLE PAVING	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100

4. FENCES, FENCING AND GATES

ITEM NAME	QTY	SPCS SECTION
WOOD FENCE	1	10-100
CONCRETE WALL	1	10-100
PERMEABLE WALL	1	10-100
BRICK WALL	1	10-100
STONE WALL	1	10-100
GRAVEL WALL	1	10-100
PERMEABLE WALL	1	10-100

5. STEPS

ITEM NAME	QTY	SPCS SECTION
CONCRETE STEPS	1	10-100
STONE STEPS	1	10-100
BRICK STEPS	1	10-100
GRAVEL STEPS	1	10-100
PERMEABLE STEPS	1	10-100

6. GARDENS AND STREETSCAPES

ITEM NAME	QTY	SPCS SECTION
CONCRETE DRIVEWAY	1	10-100
ASPHALT DRIVEWAY	1	10-100
PERMEABLE PAVING	1	10-100
GRASS	1	10-100
BRICK PAVEMENT	1	10-100
STONE PAVEMENT	1	10-100
GRAVEL DRIVEWAY	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100

7. PLANTING DETAILS

ITEM NAME	QTY	SPCS SECTION
BEES	1	10-100
WILDFLOWERS	1	10-100
PERENNIALS	1	10-100
PERENNIALS TO DRIVEWAY	1	10-100
PERENNIALS TO BARN	1	10-100
PERENNIALS TO GREENHOUSE	1	10-100

8. SPEC. SITE DETAILS

ITEM NAME	QTY	SPCS SECTION
CONCRETE DRIVEWAY	1	10-100
ASPHALT DRIVEWAY	1	10-100
PERMEABLE PAVING	1	10-100
GRASS	1	10-100
BRICK PAVEMENT	1	10-100
STONE PAVEMENT	1	10-100
GRAVEL DRIVEWAY	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
GRAVEL DRIVEWAY TO BARN	1	10-100
GRAVEL DRIVEWAY TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100
PERMEABLE PAVING TO DRIVEWAY	1	10-100
PERMEABLE PAVING TO BARN	1	10-100
PERMEABLE PAVING TO GREENHOUSE	1	10-100

New Proposed Plantings



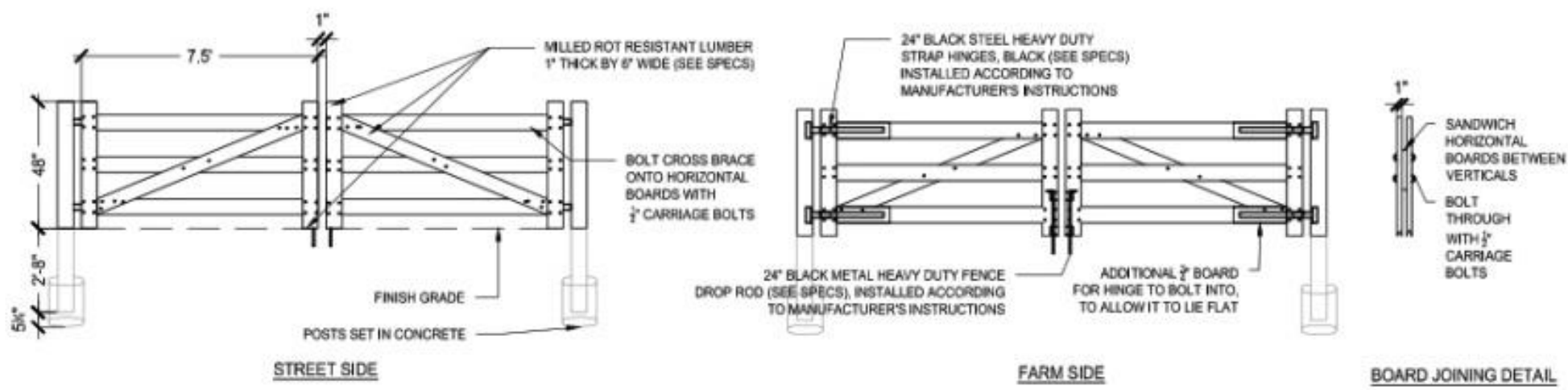
Draft site lighting plan



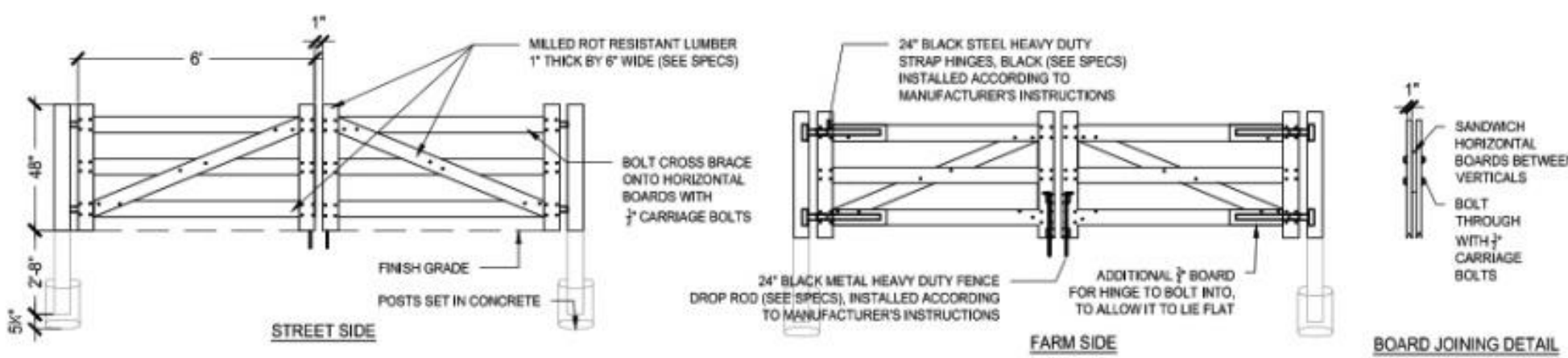
Proposed split rail fence



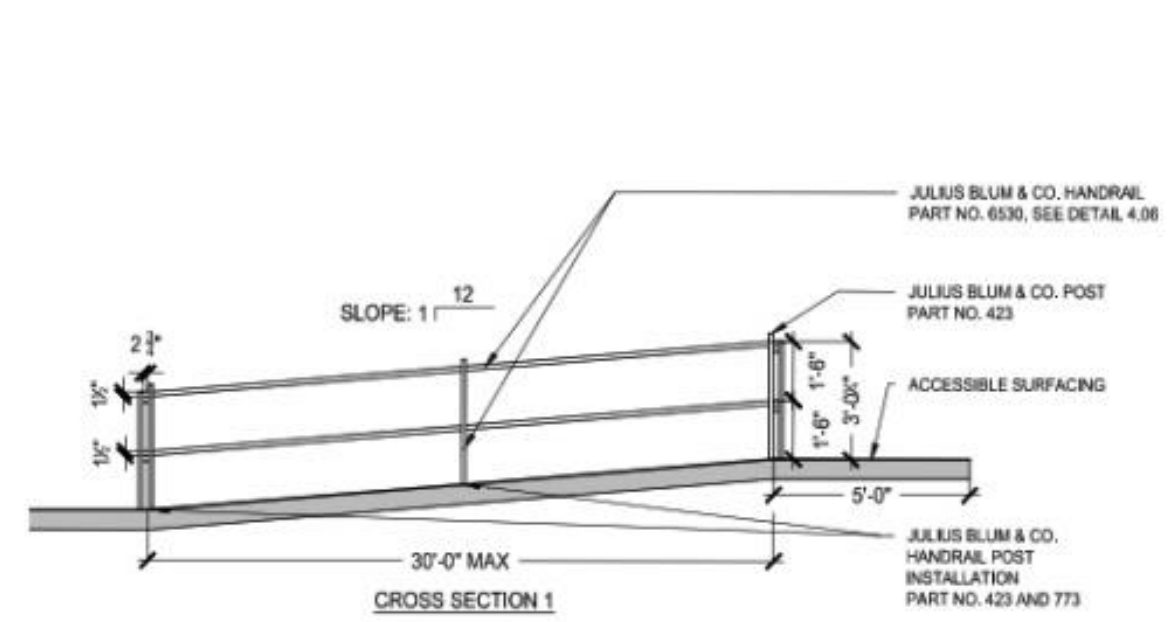
Earlier fence at property



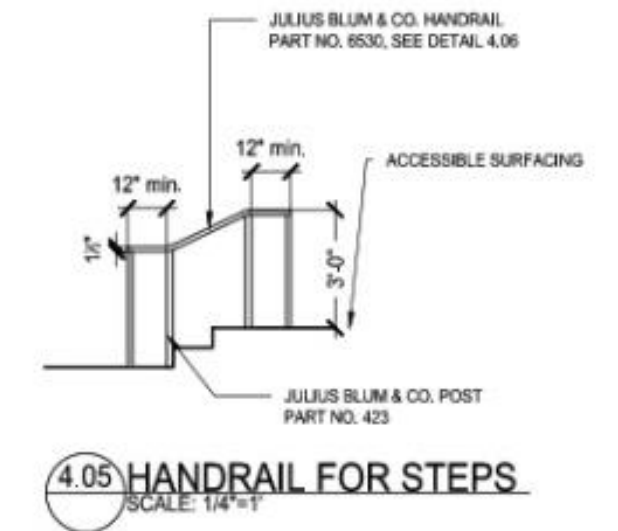
4.02 BOARD GATE (HOSMER ENTRANCE)
SCALE: N.T.S.



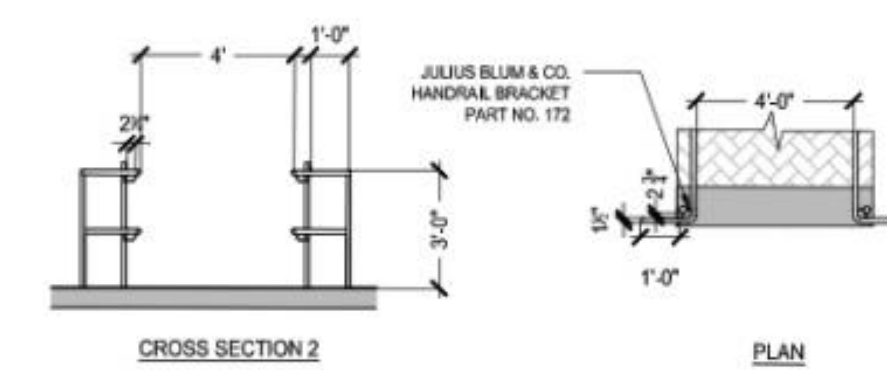
4.03 BOARD GATE (NORFOLK ENTRANCE)
SCALE: N.T.S.



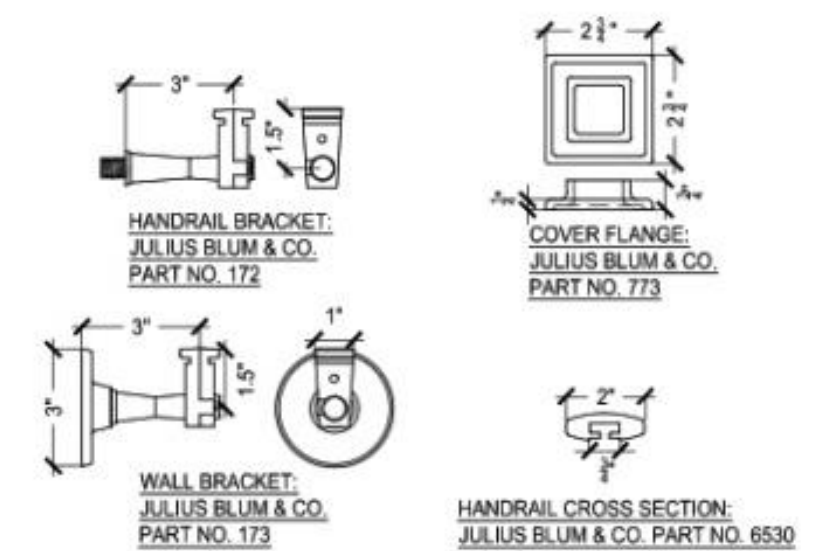
4.04 ACCESSIBLE HANDRAIL (RAMP)
SCALE: 1/4"=1'



4.05 HANDRAIL FOR STEPS
SCALE: 1/4"=1'



CROSS SECTION 2 PLAN



4.06 RAILING PARTS
SCALE: 1"=1'