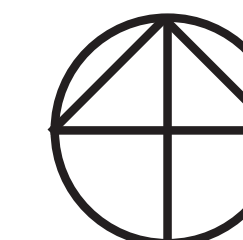


GATEWAY BRIGHTON

1954 COMMONWEALTH AVENUE



November 2015 Design



November 2015 Design



November 2015 Design

PROJECT SUMMARY

- Front Yard Setback: 20 FT.
- Rear Yard Setback: 17 FT.
- Side Yard Setbacks: 10 FT.
- Building Height: 68 FT.
- Exterior Materials:

Brick with brown and beige fiber cement panels, and dark brown fiberglass windows.

November 2016 Design



© 2015 Google. Image Date: October 2014



DAVIS
SQUARE
ARCHITECTS

November 2016 Design



November 2016 Design



November 2016 Design

PROJECT SUMMARY

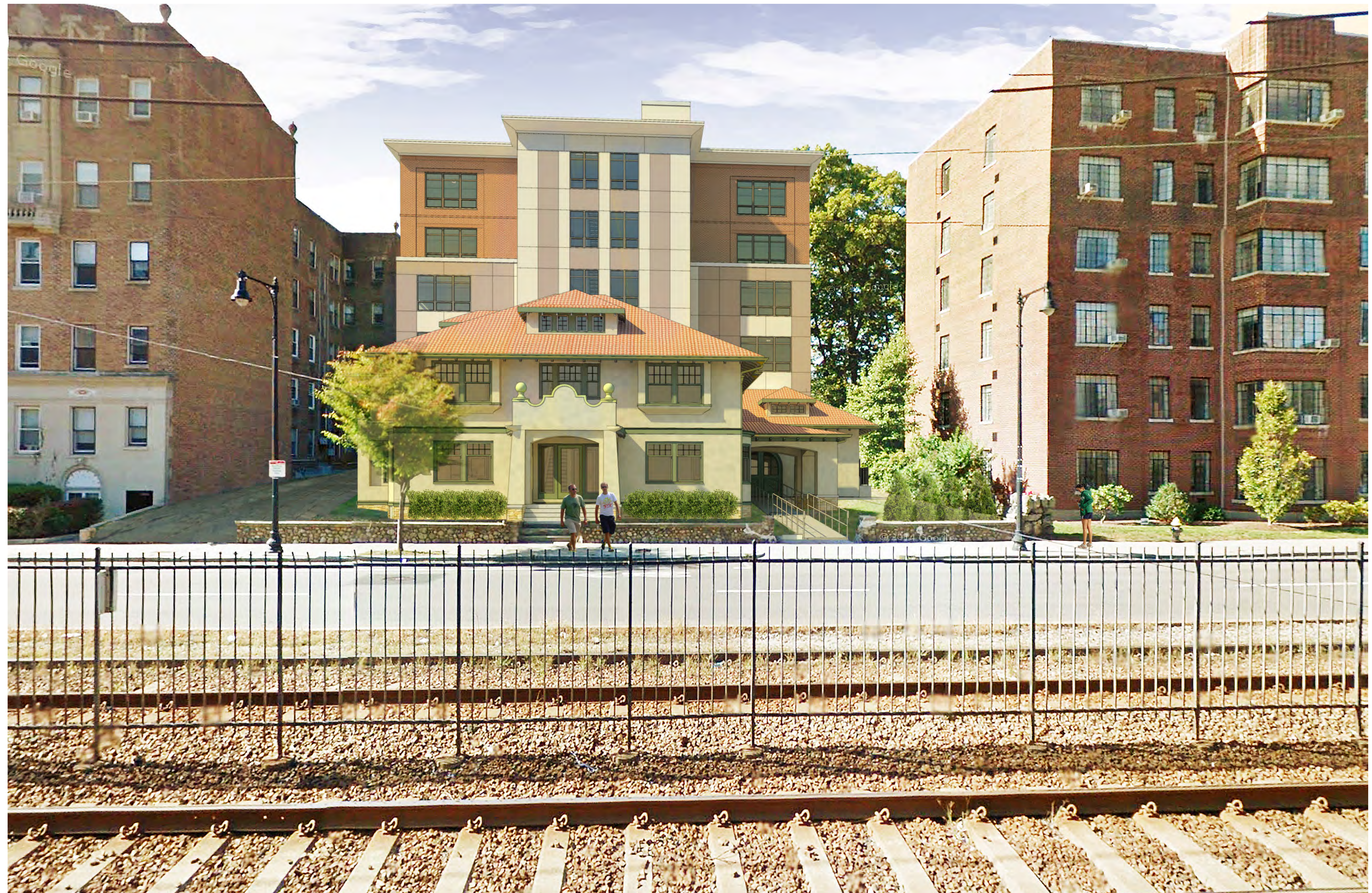
- Front Yard Setback: 20 FT.
- Rear Yard Setback: 10 FT.
- Side Yard Setbacks: 10 FT.
- Building Height: 65 FT.
- Exterior Materials:

Gray and white fiber cement panel
with dark brown fiberglass windows.

January 2017 Design



January 2017 Design



January 2017 Design



January 2017 Design

PROJECT SUMMARY

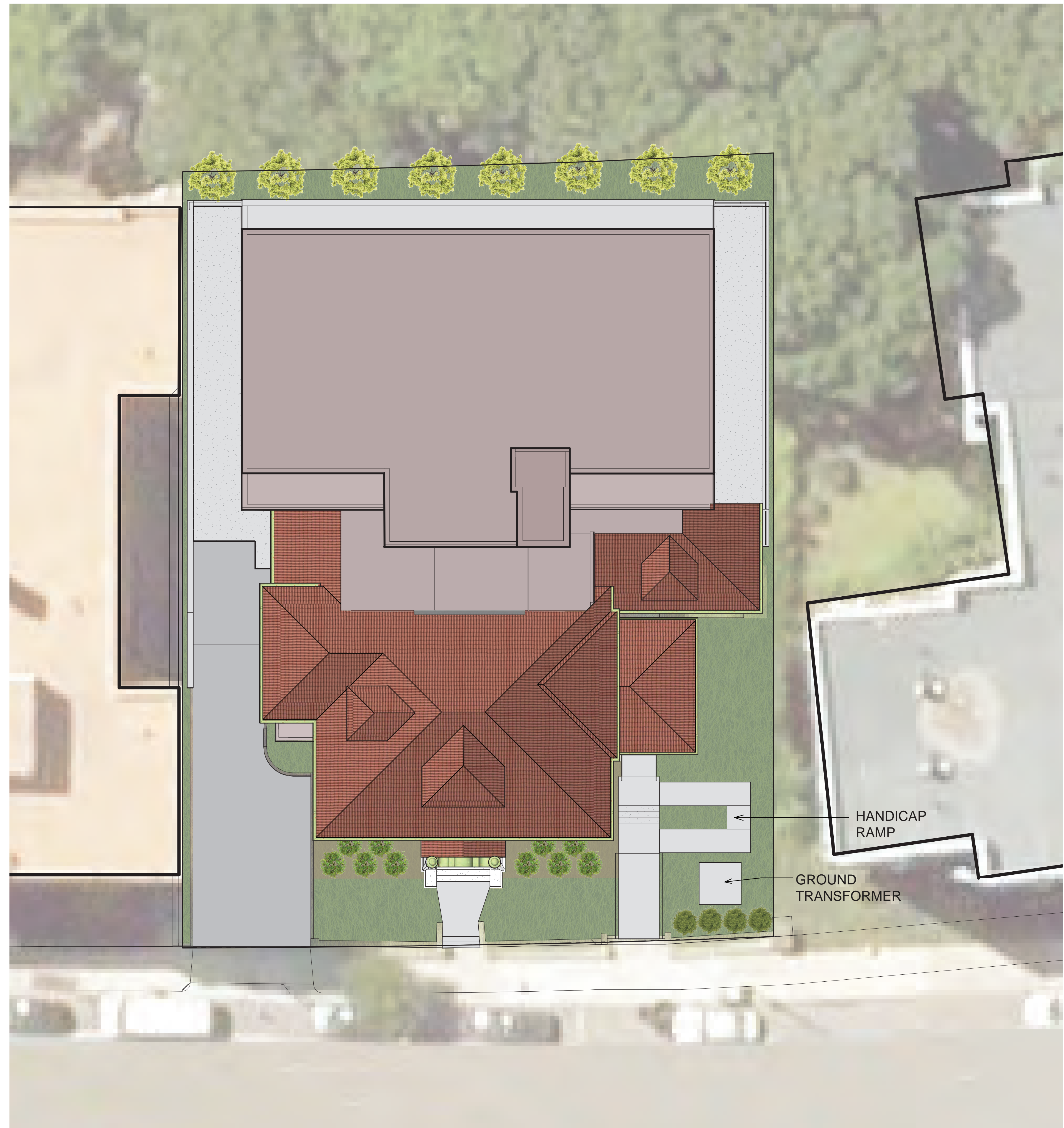
- Front Yard Setback: 20 FT.
- Rear Yard Setback: 10 FT.
- Side Yard Setbacks: 10 FT.
- Building Height: 65 FT.
- Exterior Materials:

Brick with brown and beige fiber cement panels, and dark brown fiberglass windows.

GREEN SPACE:
November 2015
Design



GREEN SPACE:
November 2016
Design

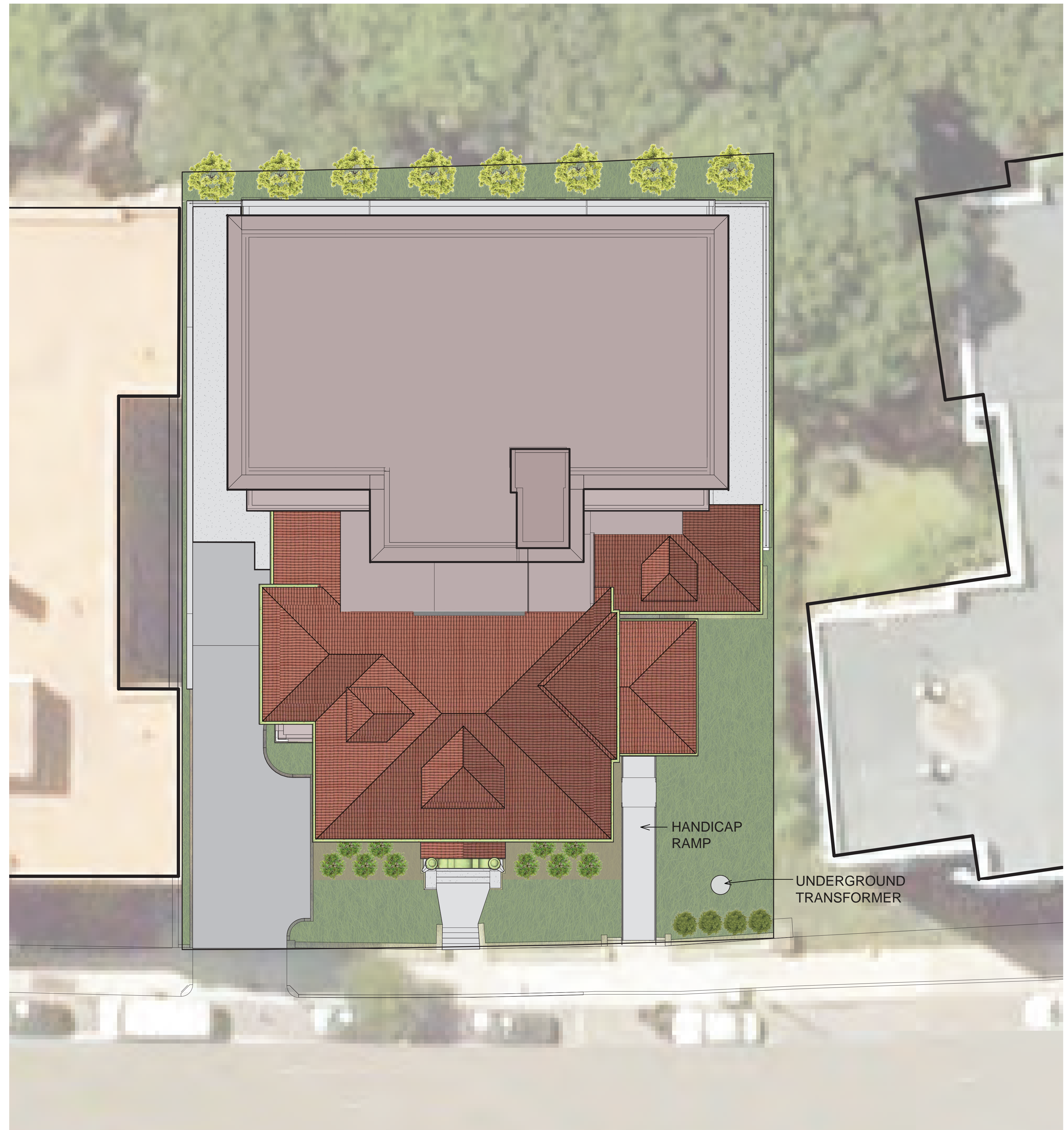


GREEN SPACE:

January 2017

Design

- DRIVEWAY CURBCUT WIDTH REDUCED TO 16 FT.
- REMOVAL OF "S" TURN AT HANDICAP WALKWAY
- TRANSFORMER LOCATED UNDERGROUND.





EXISTING VIEW FROM ACROSS COMMONWEALTH AVE.



EXISTING VIEW FROM SIDEWALK



EXISTING SIDE VIEW FROM COMMONWEALTH AVENUE



DEPARTMENT OF CONSERVATION AND RECREATION PROPERTY



REAR OF 1960 COMMONWEALTH AVE.



1950 COMMONWEALTH AVE.



REAR VIEW OF 1954 COMM. AVE.



1950 COMM. AVE.



EXISTING VIEWS FROM PUBLIC LAND



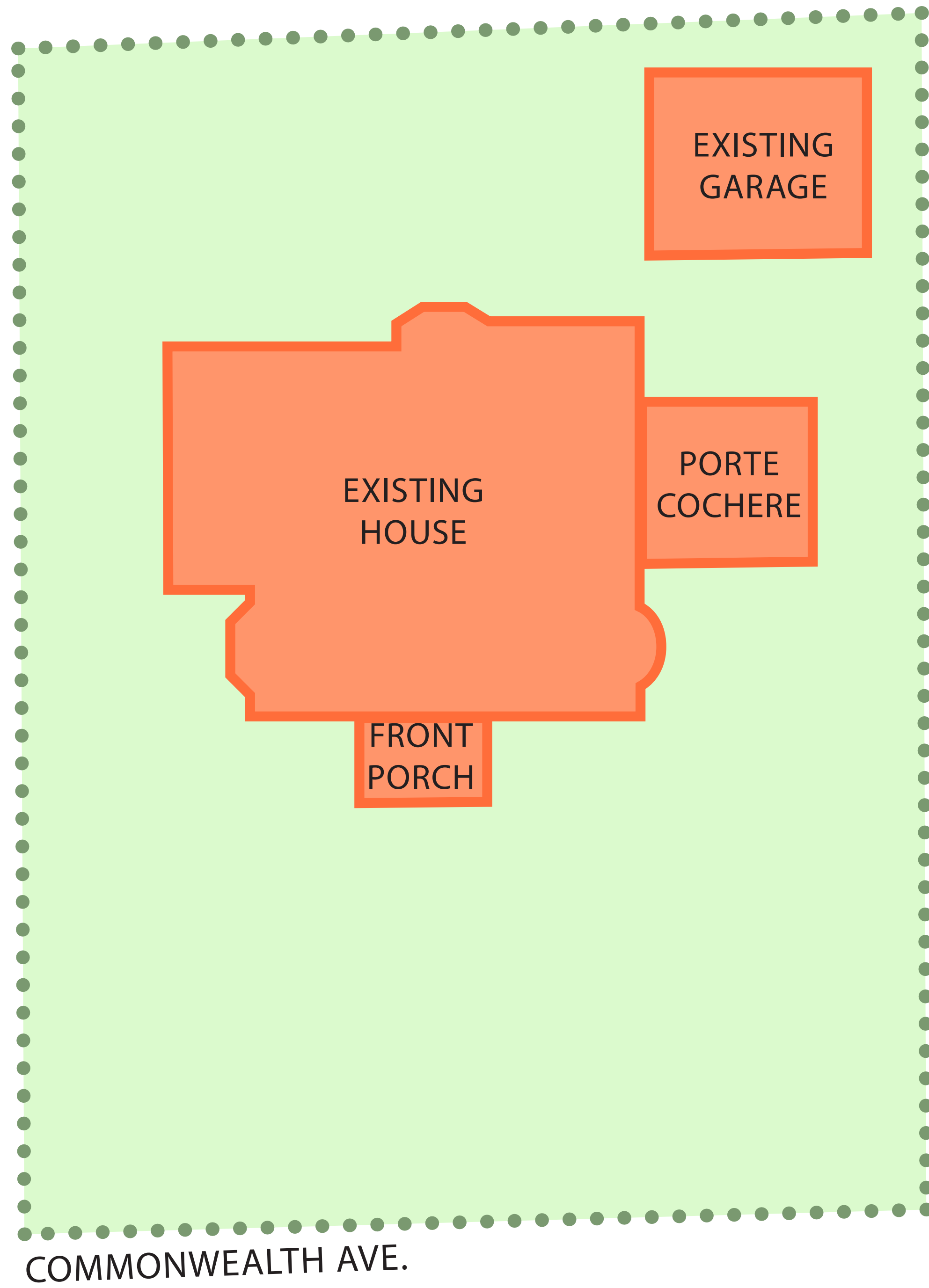
VIEW FROM COMM. AVE. SIDEWALK AT FRONT YARD OF SITE



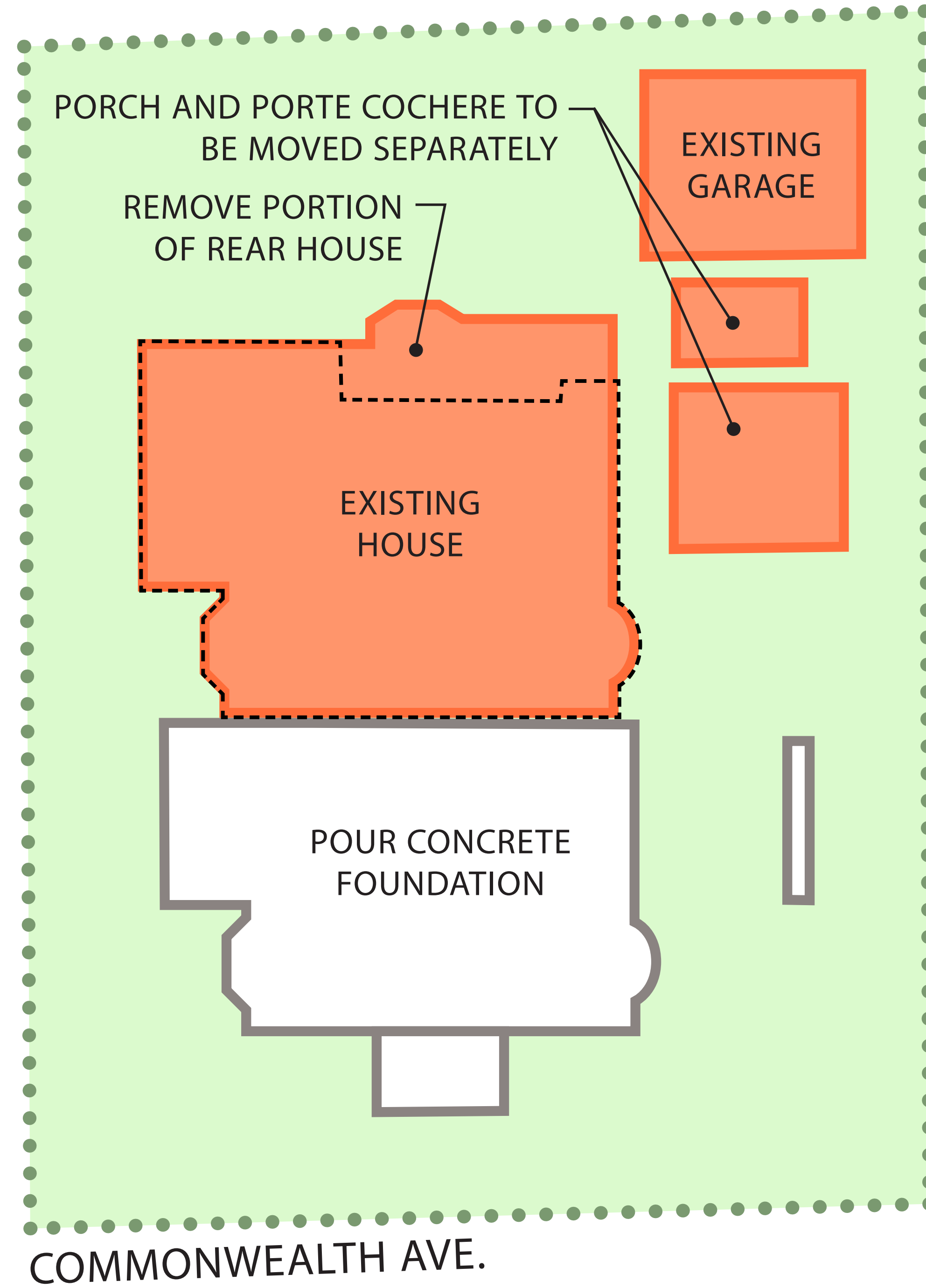
VIEW OF COMMONWEALTH AVENUE FROM FRONT YARD OF SITE



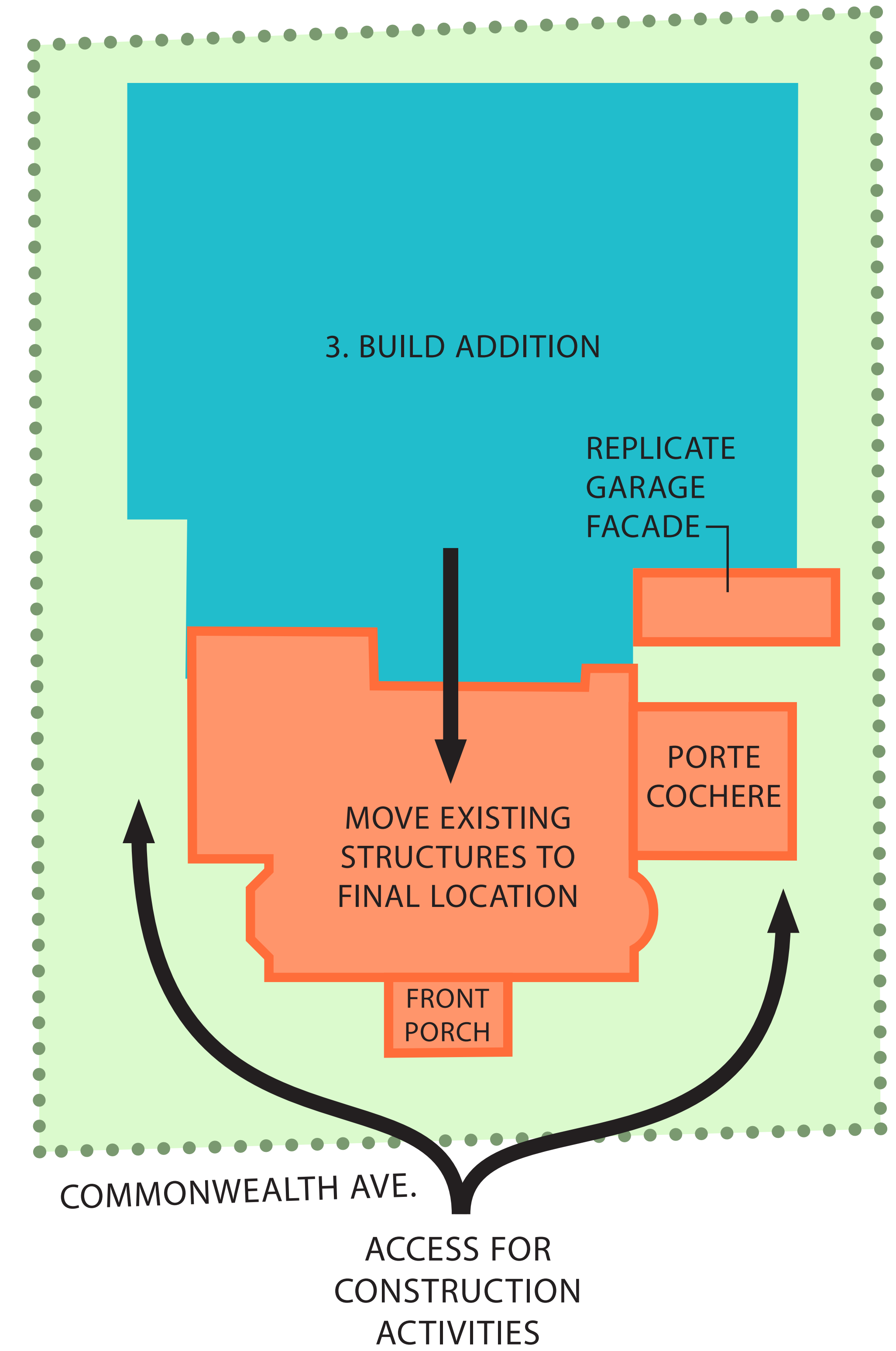
EXISTING CONDITION

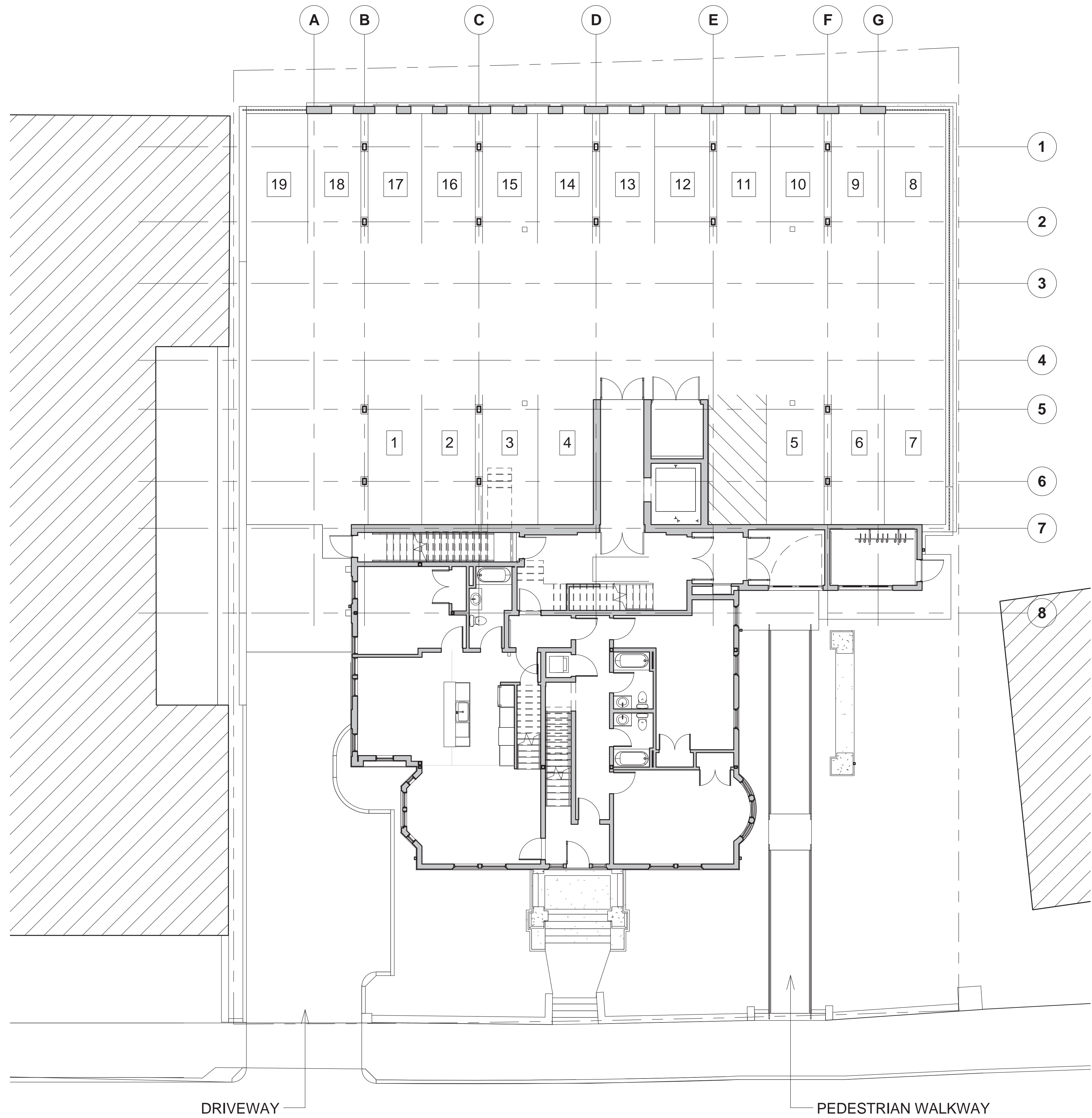


RELOCATION STAGE 1



RELOCATION STAGE 2 (FINAL)





DRIVEWAY

PEDESTRIAN WALKWAY



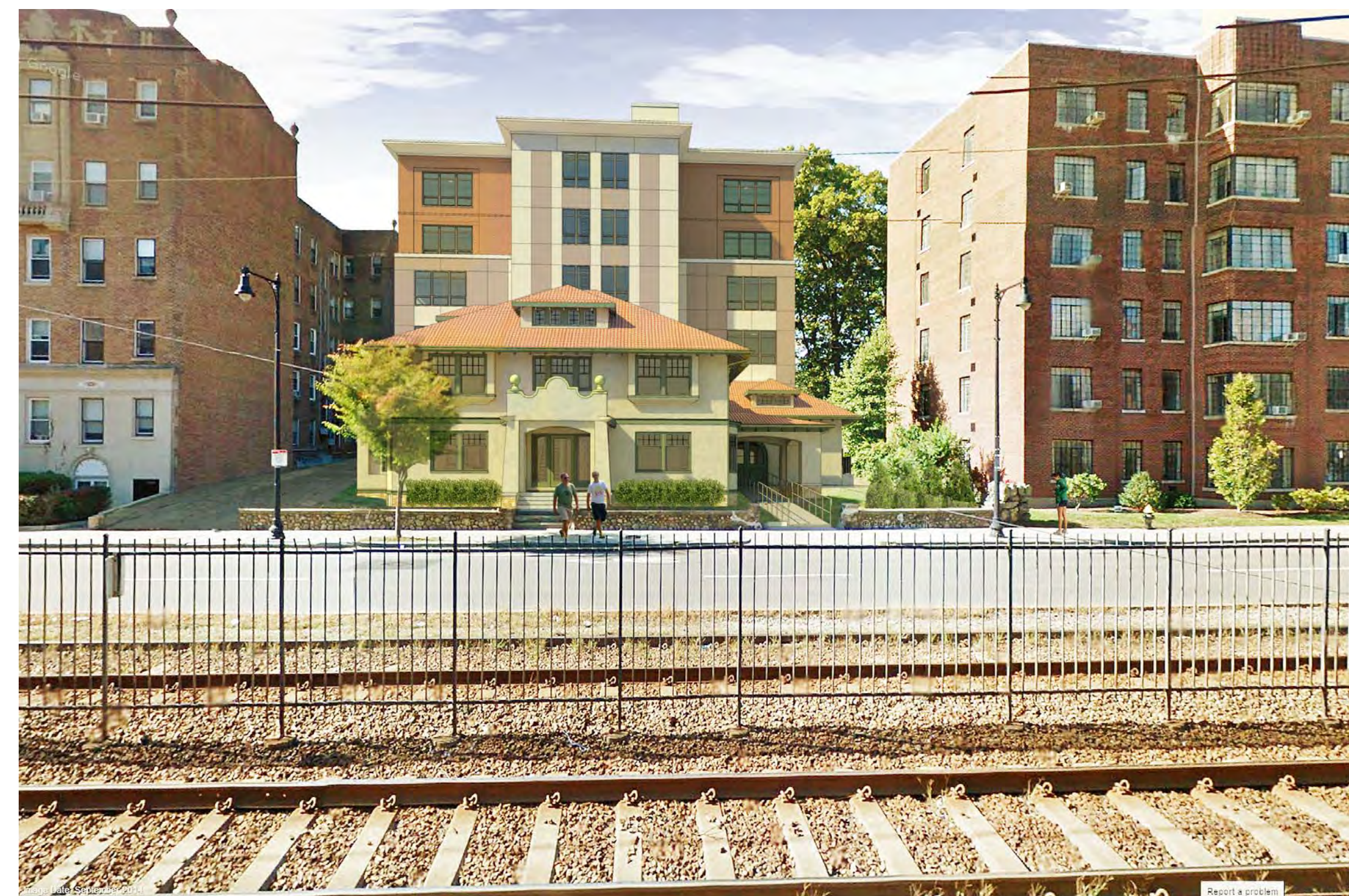
DAVIS
SQUARE
ARCHITECTS

HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON

1954 COMMONWEALTH AVE, BOSTON, MA 02135



View from Commonwealth Avenue



View from Commonwealth Avenue



View from Public Park

OWNER:
■ **YU INVESTMENT TRUST**
675 VFW PARKWAY #128
CHESTNUT HILL, MA 02467

ARCHITECT:
■ **DAVIS SQUARE ARCHITECTS**
240A ELM STREET, SOMERVILLE, MA 02144
617.628.5700 (T) 617.628.1717 (F)

CIVIL ENGINEER:
■ **HW MOORE ASSOCIATES, INC.**
112 SHAWNUT AVE, #4, BOSTON, MA 02118
617.357.8145 (T)

STRUCTURAL ENGINEER:
■ **SOUZA, TRUE AND PARTNERS INC.**
265 WINTER ST, 3RD FLOOR, WALTHAM, MA 02451
617.926.6100 (T)

MEP ENGINEER:
■ **BLW ENGINEERS INC.**
311 GREAT ROAD, LITTLETON, MA 01460
978.486.4301

LOCATION MAP



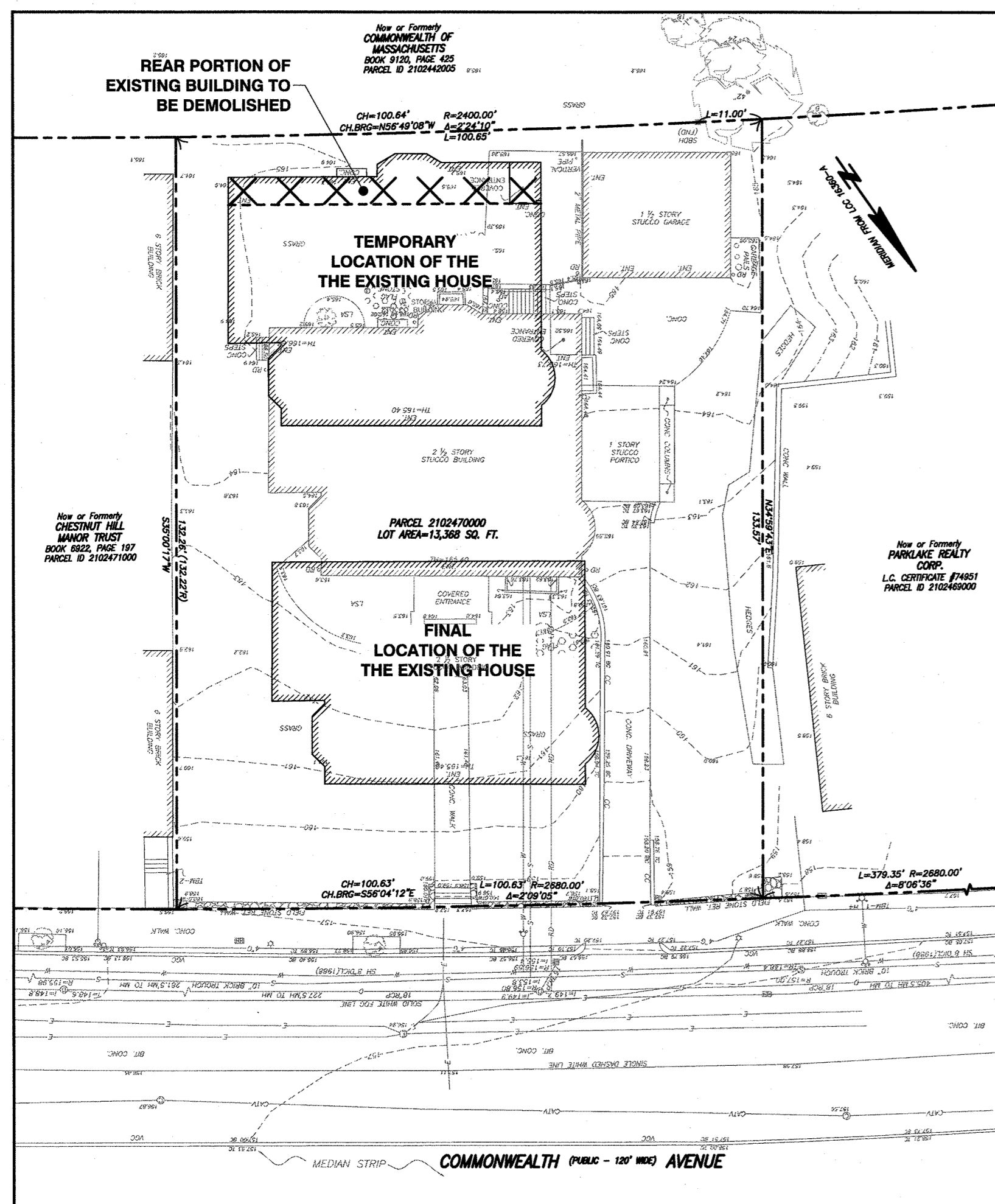
BLC APPLICATION
2016-12-16



PROJECT NO.
15012.00

NOTES:

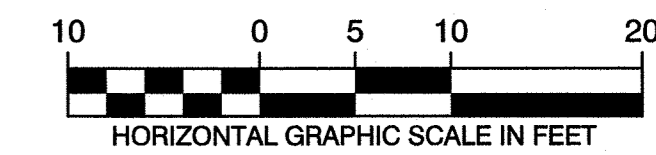
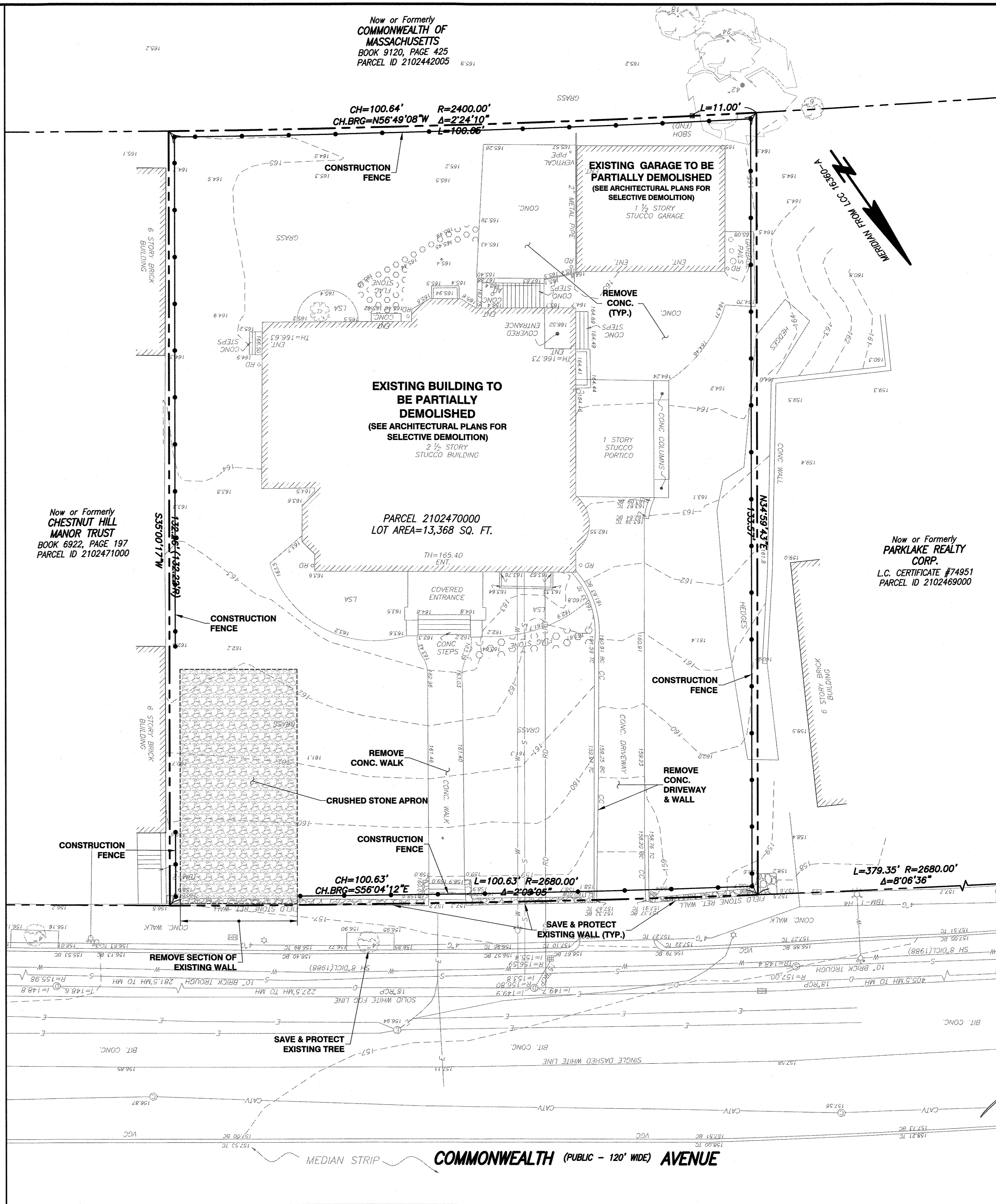
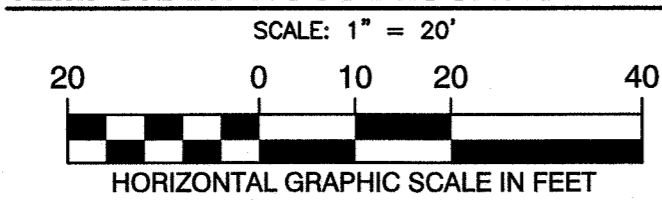
- ELEVATIONS REFER TO BOSTON CITY BASE.
- LOCATIONS AND ELEVATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE ABOVE REFERENCED PLAN AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. H.W. MOORE ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE BWSO, (617)330-9400 (x590) AND DIG-SAFE CALL CENTER, (888)344-7233, 72 HOURS (3 WORKING DAYS) PRIOR TO EXCAVATION.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO ALL APPLICABLE MUNICIPAL REGULATIONS.
- ALL DISTURBANCES WITHIN THE PUBLIC WAY SHALL CONFORM TO MUNICIPAL STANDARDS.
- IF EXISTING WATER, SEWER & DRAIN SERVICES ARE ENCOUNTERED THEY SHALL BE CUT AND CAPPED.
- CONSTRUCTION ACCESS DRIVES SHALL HAVE CRUSHED STONE TO MINIMIZE MUD FROM BEING TRACKED ONTO THE ROADWAYS. MUD TRACKED ONTO ROADWAYS SHALL BE SWEEPED CLEAN.
- REMOVE ALL EXISTING BITUMINOUS CONCRETE AND CEMENT CONCRETE FROM THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL ITEMS WITHIN THE LIMITS OF WORK ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE.
- PRIOR TO BUILDING DEMOLITION, ELECTRIC, GAS, TELEPHONE AND CABLE CONNECTIONS ARE TO BE CUT AND CAPPED AT THE MAIN. CONTRACTOR SHALL NOTIFY ELECTRIC COMPANY (NATIONAL GRID), GAS COMPANY (NATIONAL GRID), TELEPHONE (VERIZON) AND CABLE COMPANIES.
- CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FROM CITY OF BOSTON AND DEPARTMENT OF ENVIRONMENTAL PROTECTION. CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND CODES HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROLS. HAY BALES AND SILT FENCE SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM WASHING OFF THE SITE. HAY BALES, CRUSHED STONE OR SILT SACKS SHALL BE SET AROUND ON-SITE CATCH BASINS TO PREVENT SEDIMENT FROM WASHING INTO THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROLS UNTIL THE COMPLETION OF THE PROJECT, AT WHICH TIME THE SEDIMENT CONTROLS ARE TO BE REMOVED.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL. WET DOWN DEBRIS TO PREVENT AIR POLLUTION BY DUST RISING FROM DEMOLITION WORK. CONTINUOUSLY CLEAN DRIVES AND WALKS OF FALLEN OR WIND BLOWN DEBRIS.
- THE CONTRACTOR IS TO DEMOLISH AND REMOVE FROM THE SITE THE BUILDING IN ITS ENTIRETY INCLUDING FLOOR SLAB, FOUNDATION WALLS AND FOUNDATIONS.
- THE CONTRACTOR SHALL SUBMIT DEMOLITION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL EXCAVATIONS, HOLES LEFT FROM THE REMOVAL OF STRUCTURES AND FOUNDATIONS. ALL BACKFILLING SHALL BE COMPACTED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES AND COMPACTED TO 92% OF MAXIMUM MODIFIED DRY DENSITY. BACKFILL SHALL BE GRAVEL, STRUCTURAL FILL OR 3/4" CRUSHED STONE.
- AT THE COMPLETION OF DEMOLITION AND BACKFILLING, THE SITE SHALL BE GRADED RELATIVELY LEVEL AND FLUSH WITH SURROUNDING GRADES. ALL DEBRIS AND DEMOLITION MATERIAL SHALL BE REMOVED.
- REMOVE ALL TREES AND SHRUBS ON THE PROPERTY THAT ARE NOT DESIGNATED TO BE PROTECTED.
- TREES DESIGNATED TO BE PROTECTED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED (SAME TYPE AND CALIBER) AT NO COST TO THE OWNER.



NOTES:

- THE HOUSE SHALL BE MOVED TO THE AREA OF THE SITE TO ALLOW FOR THE DEMOLITION OF THE EXISTING HOUSE FOUNDATION, EXCAVATION FOR NEW FOUNDATION AND BASEMENT AND THE CONSTRUCTION OF THE NEW FOUNDATION AND BASEMENT SLAB.
- HOUSE IS TO BE MOVED TO FINAL LOCATION UPON COMPLETION OF THE HEW HOUSE FOUNDATION.

TEMPORARY HOUSE LOCATION PLAN



REVISIONS

NO.	DATE	DESCRIPTION

ISSUE DATE DESCRIPTION

DATE:	SEPT. 15, 2016
SCALE:	1" = 10'
SHEET	C-1

GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE
BOSTON, MASSACHUSETTS

SITE PREPARATION PLAN
BWSC SITE PLAN #16206

hwmooore
ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
tel: 617-357-8145 fax: 617-357-9495 web: hwmooore.com

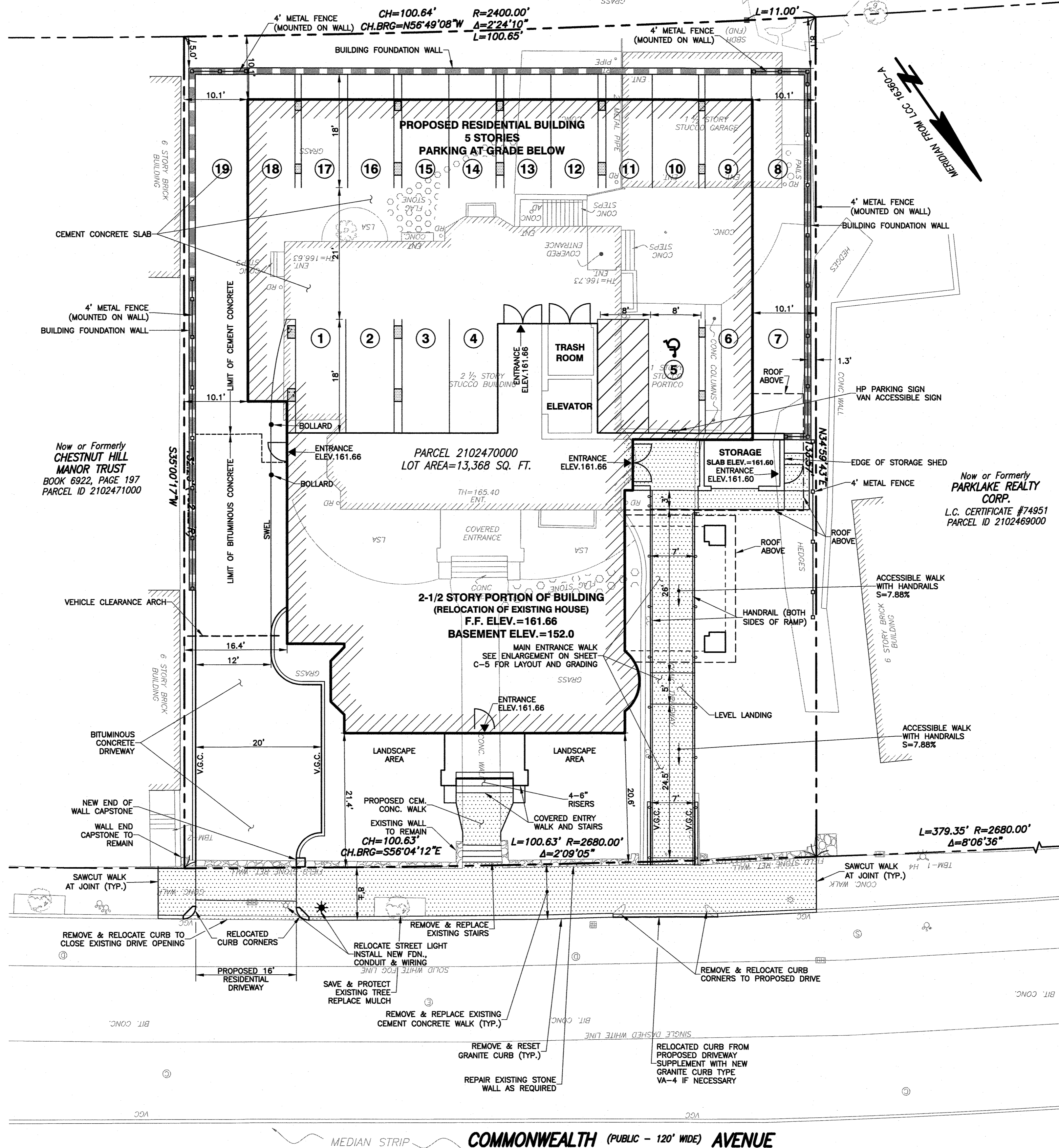
ENGINEER
H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
TEL. 617-357-8145

OWNER / APPLICANT
YU INVESTMENT TRUST
675 VFW PARKWAY, #128
CHESTNUT HILL, MA 02467
TEL. 617-780-7855
CONTACT: DAN YU

PROJECT ADDRESS
1954 COMMONWEALTH AVE.
BOSTON, MA 02135-5802

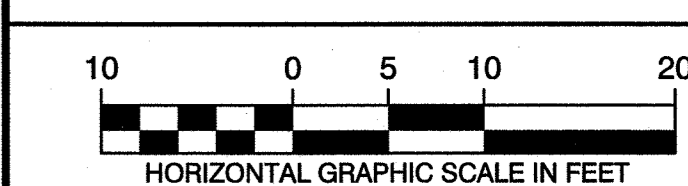
REFERENCE:
EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON FEBRUARY 17, 2016 AND NAMED "14357-EC_2016-2-17.dwg". OF A PLAN TITLED "EXISTING CONDITIONS PLAN, 1954 COMMONWEALTH AVE, BOSTON, MASS.", DATED SEPTEMBER 15, 2014. PLAN PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA.

Now or Formerly
COMMONWEALTH OF
MASSACHUSETTS
BOOK 9120, PAGE 425
PARCEL ID 2102442005



LEGEND

- 152--- CONTOUR
- 152.5--- HALF FOOT CONTOUR
- x-154.75 SPOT GRADE
- VERTICAL GRANITE CURB
- 12"D--- DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- YARD DRAIN
- 8"S--- SEWER LINE
- SEWER MANHOLE
- 8"W--- WATER LINE
- FIRE HYDRANT
- GATE VALVE & TEE
- CONCRETE WALK
- RETAINING WALL
- GAS SERVICE



REVISIONS

ISSUE	DATE	DESCRIPTION
2	12/15/16	REVISE WALK & CHANGE ELECTRIC TRANSFORMER TO BELOW GRADE
1	10/19/16	REVISE BUILDING

DATE: SEPT. 16, 2016
SCALE: 1" = 10'
SHEET **C-2**

GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE
BOSTON, MASSACHUSETTS
SITE LAYOUT AND MATERIALS PLAN
BWSC SITE PLAN #16206

hwmooore
ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
tel: 617-357-8145 fax: 617-357-9495 web: hwmooore.com

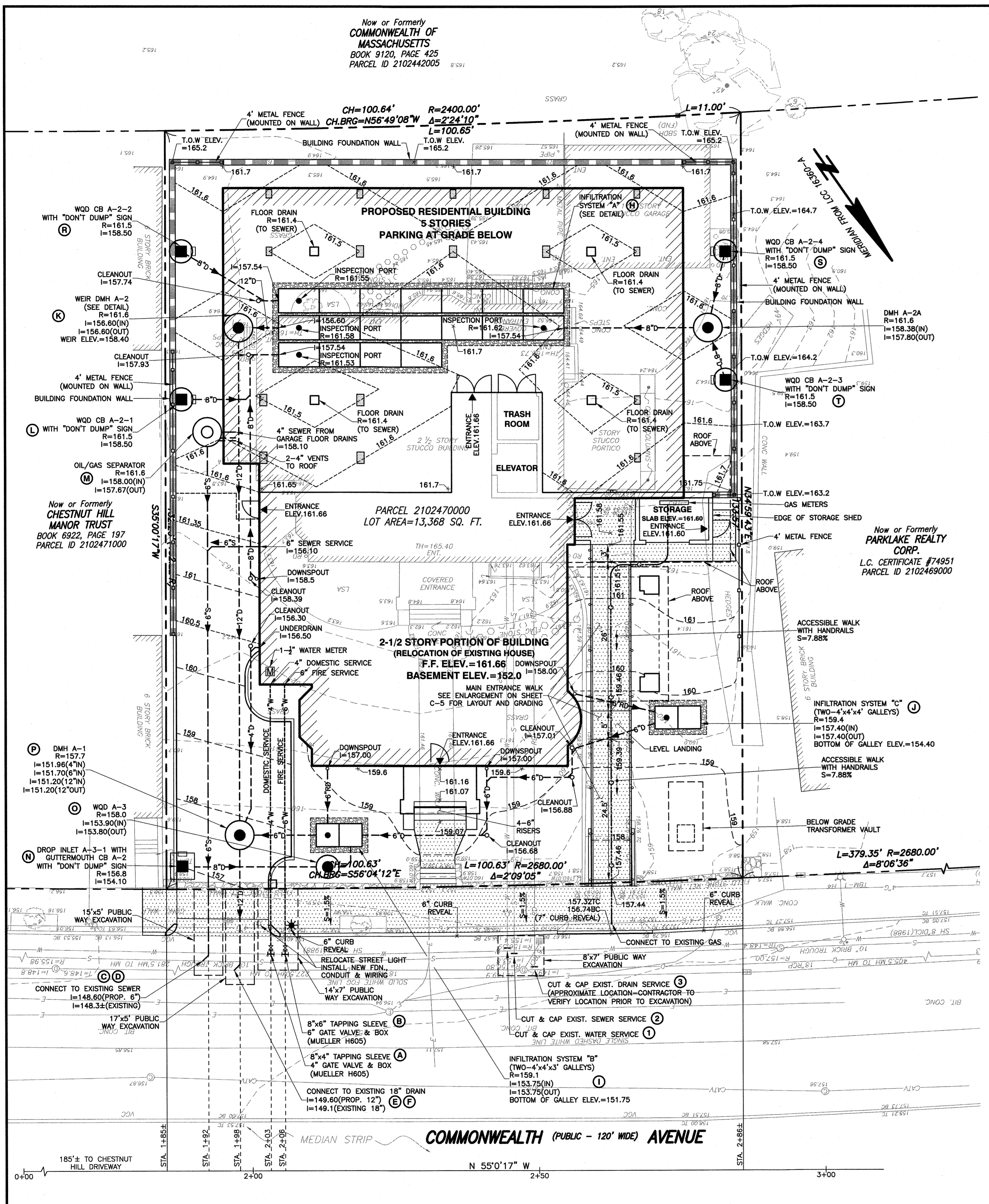
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EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON FEBRUARY 17, 2016 AND NAMED "14357-EC_2016-2-17.dwg", OF A PLAN TITLED "EXISTING CONDITIONS PLAN, 1954 COMMONWEALTH AVE, BOSTON, MASS", DATED SEPTEMBER 15, 2014. PLAN PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA.
PROPOSED BUILDING TAKEN FROM A DIGITAL FILE RECEIVED ON APRIL 28, 2016 NAMED "1954 Comm Ave - Central_millman - Floor Plan - LEVEL 1.dwg", PLAN WAS PREPARED BY DAVIS SQUARE ARCHITECTS, INC. OF SOMERVILLE, MA.

ENGINEER
H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
TEL. 617-357-8145

OWNER / APPLICANT
YU INVESTMENT TRUST
675 VFW PARKWAY, #128
CHESTNUT HILL, MA 02467
TEL. 617-780-7855
CONTACT: DAN YU

PROJECT ADDRESS
1954 COMMONWEALTH AVE.
BOSTON, MA 02135-5802

File Name: C:\3725\3725-S116.dwg Saved: 12/16/2016 9:24 AM Plotted: Dec 16, 2016 9:25:09am Tab: C2-LAYOUT Plot Style: 1050.ctb Plotted By: John Gherardi



- NOTES:**
- LOCATIONS AND ELEVATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE ABOVE REFERENCED PLAN AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. H.W. MOORE ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE BWSC, (617)889-7000 AND DIG-SAFE CALL CENTER, (888)344-7233, 72 HOURS (3 WORKING DAYS) PRIOR TO EXCAVATION.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO BWSC REQUIREMENTS AND ALL OTHER APPLICABLE MUNICIPAL REGULATIONS.
 - ALL DISTURBANCES WITHIN THE PUBLIC WAY SHALL CONFORM TO CITY AND BWSC STANDARDS.
 - THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, DRAIN AND SEWER CONNECTIONS TO THE BWSC FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTIONS ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS ARE ALSO THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS. IF THE CONNECTIONS CROSS, OR ARE NEAR INDIVIDUAL PROPERTY LINES, PROVISIONS MUST BE MADE TO ALLOW EACH OWNER TO MAINTAIN OR RECONSTRUCT THEIR RESPECTIVE CONNECTIONS. THIS FACT MUST BE INCORPORATED INTO ANY PURCHASE AND SALES AGREEMENT AND DEEDS RELATED TO THE TRANSFER OF OWNERSHIP OF THE PROPERTIES.
 - THE PROPOSED BUILDING CONNECTIONS (BY PLUMBER) SHALL BE 10' OUTSIDE THE FOUNDATION WALL.
 - SITE CONTRACTOR TO PROVIDE ALL EXCAVATION, INSTALLATION, BACK FILLING, PAVEMENT PATCHING, ETC. FOR THE INSTALLATION OF UNDERGROUND GAS, ELECTRIC, TELEPHONE, FIRE ALARM, WATER, SEWER, DRAIN AND SIMILAR SERVICES.
 - IF EXISTING ABANDONED BWSC SERVICES ARE ENCOUNTERED THEY SHALL BE CUT AND CAPPED AT THE MAIN PER BWSC STANDARDS.
 - THE SEWER GRAVITY PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034.
 - STORM DRAIN PIPES SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034, OR REINFORCED CONCRETE PIPE, CLASS IV.
 - CONTRACTOR IS TO OBTAIN THE ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT PRIOR TO FILING A GENERAL SERVICES APPLICATION WITH BWSC.
 - CONTRACTOR WILL BE RESPONSIBLE FOR PREPARING AS-BUILT PLANS IN ACCORDANCE WITH BWSC REQUIREMENTS.
 - CONTRACTOR TO CONFIRM THE LOCATIONS AND INVERTS OF THE EXISTING UTILITIES IN THE STREET PRIOR TO THE INSTALLATION OF NEW SERVICE CONNECTIONS. SERVICES SHALL BE FIELD VERIFIED BEFORE BEGINNING CONSTRUCTION.
 - ANY CONSTRUCTION DEWATERING SHALL EMPLOY MEASURES TO FILTER OUT SEDIMENT PRIOR TO ITS DISCHARGE AND SHALL CONFORM WITH BWSC REQUIREMENTS. CONTRACTOR TO SUBMIT A SKETCH OF THESE TO THE ARCHITECT FOR APPROVAL.
 - CONTRACTOR TO EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION.
 - RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH. ADJUST ALL OTHER RIM ELEVATIONS OF EXISTING MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF SITE WORK.
 - THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND OTHER PRIVATE COMPANIES, AS REQUIRED.
 - COORDINATE CATV, TELEPHONE AND GAS INSTALLATION WITH THE UTILITY COMPANIES.
 - LOCATIONS OF "CUT & CAPS" FOR THE EXISTING BUILDINGS UTILITY SERVICES ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING SERVICES TO BE CUT & CAPPED PRIOR TO START OF WORK.
 - FIRE SERVICES AND DOMESTIC SERVICE SHALL BE DUCTILE IRON, MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI/AWWA C151/A21.51 AND SHALL BE CLASS 56. JOINTS SHALL BE INSTALLED WITH MEGALUG MECHANICAL JOINTS OR EQUAL.
 - SEE PLUMBING PLANS FOR ALL PIPE WORK WITHIN BUILDING.
 - ALL EXISTING WATER SERVICES 3" AND LARGER DESIGNATED TO BE CUT AND CAPPED, THE PIPE AND VALVE MUST BE CUT AND REMOVED FROM THE MAIN. THE MAIN SHALL BE REPAIRED WITH FULL DUCTILE IRON REPAIR SLEEVES OR INSTALLATION OF NEW PIPING WITH APPROVED COUPLINGS.
 - MAINTAIN 18" VERTICAL CLEARANCE BETWEEN WATER PIPE & SEWER/DRAIN PIPES.
 - STREET LIGHT RELOCATION SHALL INCLUDE RELOCATION OF EXISTING POLE & FIXTURE, ALL CONDUIT AND WIRING, REMOVAL OF OLD FOUNDATION AND INSTALLATION OF NEW FOUNDATION. ALL WORK SHALL BE COORDINATED WITH THE BOSTON STREET LIGHTING DEPARTMENT.

STORMWATER LEACHING SYSTEM

DESIGN RUNOFF VOLUME

USE 1 INCH RAINFALL EVENT
IMPERVIOUS AREA = 11,150 S.F.
RUNOFF VOLUME = 11,150 S.F. x 1 INCH / (12 IN./FT) = 929.2 C.F.
DESIGN VOLUME = 929.2 C.F.

STORM WATER VOLUME CALCULATIONS

INFILTRATION SYSTEM "A"

USE STORMTECH SC-740 CHAMBERS

CHAMBER VOLUME = 18 UNITS x 40.8 C.F./UNIT	= 734.4 C.F.
CRUSHED STONE VOLUME = [(15.8 FT. x 46.1 FT. x 2.4 FT.) x 0.3 VOIDS]	= 304.1 C.F.
SUBTOTAL = 734.4 C.F. + 304.1 C.F.	= 1,038.5 C.F.

INFILTRATION SYSTEM "B"

USE 4' x 4' x 3' PRECAST CONCRETE GALLEYS

GALLEY VOLUME = 2 GALLEYS x 4 FT. x 4.0 FT. x 2 FT.	= 64.0 C.F.
CRUSHED STONE VOLUME = [(6 FT. x 10 FT. x 3 FT.) x 0.3 VOIDS]	= 34.8 C.F.
SUBTOTAL = 64.0 C.F. + 34.8 C.F.	= 98.8 C.F.

INFILTRATION SYSTEM "C"

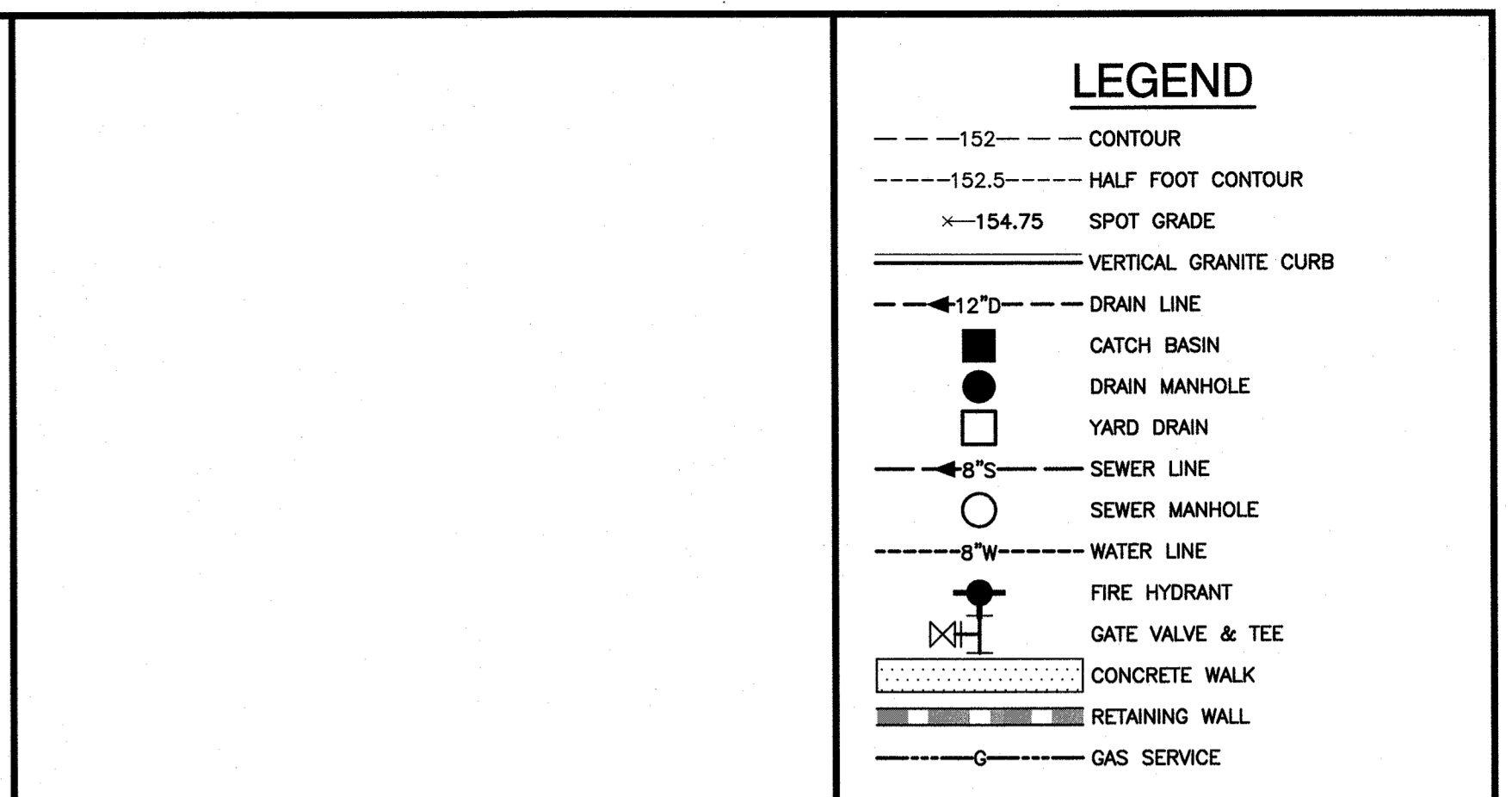
USE 4' x 4' x 4' PRECAST CONCRETE GALLEYS

GALLEY VOLUME = 2 GALLEYS x 4 FT. x 4.0 FT. x 3 FT.	= 96.0 C.F.
CRUSHED STONE VOLUME = [(6 FT. x 10 FT. x 4 FT.) x 0.3 VOIDS]	= 43.2 C.F.
SUBTOTAL = 96.0 C.F. + 43.2 C.F.	= 139.2 C.F.

TOTAL VOLUME

TOTAL VOLUME PROVIDED = SYSTEMS "A" + "B" + "C" = 1,038.5 C.F. + 98.8 C.F. + 139.2 C.F. = 1,276.5 C.F.

STORMWATER STORAGE VOLUME = 1,276.5 C.F. > 929.2 C.F. (FROM A 1 INCH RAINFALL EVENT)



RESERVED FOR BWSC USE

Account Number 307964000 Parcel Number 2102470000 Ward 21

Property Location 1954 COMMONWEALTH AVENUE

Project Name 1954 COMMONWEALTH AVENUE

Neighborhood BRIGHTON Extended Zip Code 02135-5802

Owner YU INVESTMENT TRUST, ATTN. DAN YU

Type of Premise RESIDENTIAL Meter Size 1-1/2" Inside Outside

Owner's Mailing Address

Name YU INVESTMENT TRUST

Street 675 VFW PARKWAY, #128

City CHESTNUT HILL State MA Zip 02467

Home Phone _____ Work Phone 617-780-7855

BOSTON WATER AND SEWER COMMISSION

BACKWATER VALVE INSTALLATION

APPROVAL: _____ DATE: _____

BOSTON WATER AND SEWER COMMISSION

CROSS CONNECTION

APPROVAL: _____ DATE: _____

BOSTON WATER AND SEWER COMMISSION

DISCHARGE APPROVAL

APPROVAL: _____ DATE: _____

WARD No.: 21 PARCEL No.: 2102470000

WATER METER INFORMATION

EXISTING WATER ACCOUNT No.: 307964000

MTU (METER TRANSMISSION UNIT) TO BE INSTALLED BY BWSC (WATER METER SIZE = 1-1/2 INCHES)

ANTICIPATED SEWAGE FLOW

RESIDENTIAL USE

35 BEDROOMS x 110 GPD/BEDROOM = 3,850 GPD

REVISIONS

ISSUE	DATE	DESCRIPTION
2	12/15/16	REVISE WALK & CHANGE ELECTRIC TRANSFORMER TO BELOW GRADE
1	10/19/16	REVISE BUILDING

SERVICE CONNECTION TABLE

ITEM	QTY	BWSC INSPECTOR/DATE
(1) CUT & CAP EXIST. WATER	1	
(2) CUT & CAP EXIST. SEWER	1	
(3) CUT & CAP EXIST. DRAIN	1	
(A) 4" DOMESTIC SERVICE	1	
(B) 6" FIRE SERVICE	1	
(C) 6" SEWER SERVICE	1	
(D) DYE TEST SEWER	1	
(E) 12" DRAIN SERVICE	1	
(F) DYE TEST DRAIN	1	
(H) INFILTRATION SYSTEM "A"	1	
(I) INFILTRATION SYSTEM "B"	1	
(J) INFILTRATION SYSTEM "C"	1	
(K) WEIR DRAIN MANHOLE	1	
(L) WQD CB W/ DON'T DUMP SIGN	1	
(M) OIL & SAND SEPARATOR	1	
(N) DROP INLET W/ DON'T DUMP SIGN	1	
(O) WATER QUALITY DEVICE	1	
(P) DRAIN MANHOLE	1	
(R) WQD CB W/ DON'T DUMP SIGN	1	
(S) WQD CB W/ DON'T DUMP SIGN	1	
(T) WQD CB W/ DON'T DUMP SIGN	1	

GATEWAY BRIGHTON

1954 COMMONWEALTH AVENUE

BOSTON, MASSACHUSETTS

SITE GRADING AND UTILITY PLAN

BWSC SITE PLAN #16206

SPECIAL CONDITIONS

ITEM _____

AS-BUILT PLAN _____

CONDITIONS LETTER _____

BWSC INSPECTOR/DATE _____

hwmoore ASSOCIATES, INC.

CIVIL ENGINEERING | LAND PLANNING

112 Shawmut Avenue, Boston, MA 02118-2227

tel: 617-357-8145 fax: 617-357-9495 web: hwmoore.com

REFERENCE:

EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON FEBRUARY 17, 2016 AND NAMED "14357-EC_2016-2-17.dwg", OF A PLAN TITLED "EXISTING CONDITIONS PLAN, 1954 COMMONWEALTH AVE, BOSTON, MASS", DATED SEPTEMBER 15, 2014. PLAN PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA.

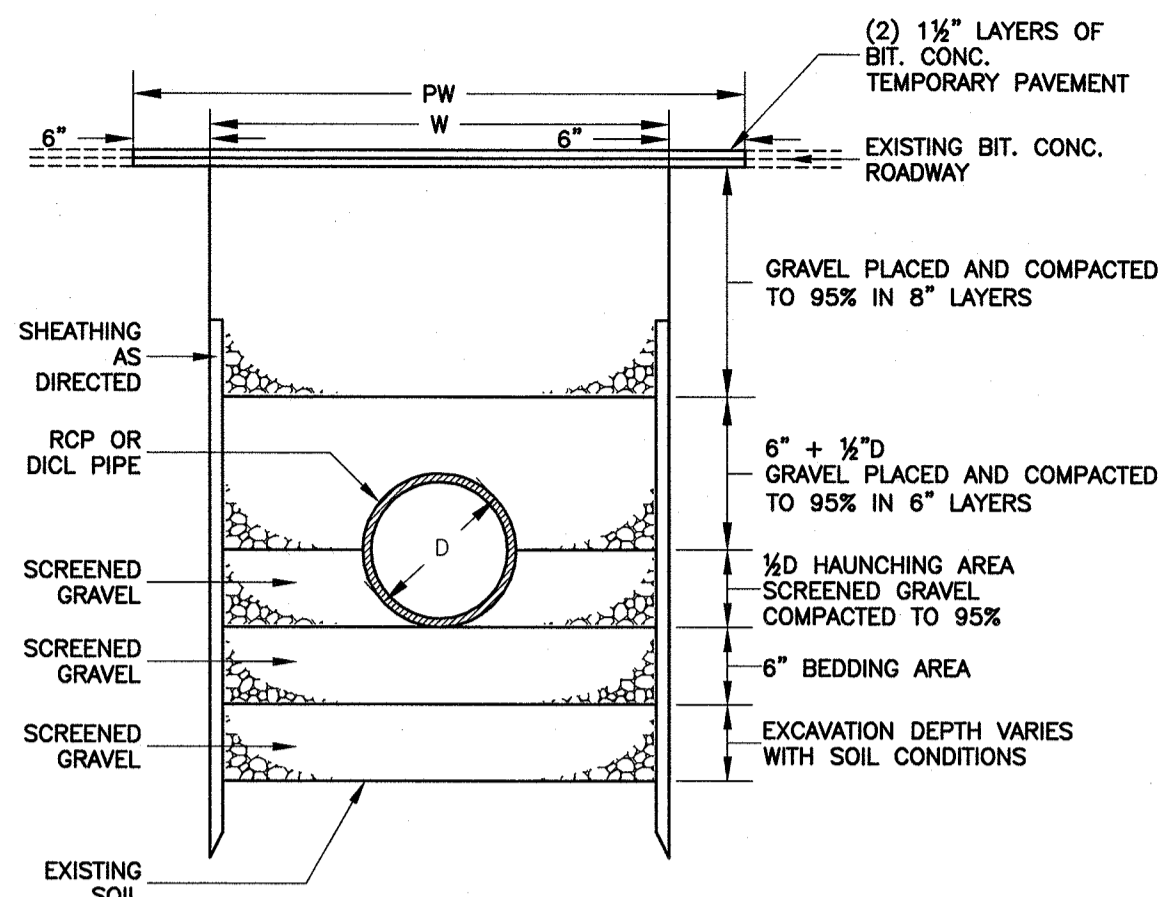
PROPOSED BUILDING TAKEN FROM A DIGITAL FILE RECEIVED ON APRIL 28, 2016 NAMED "1954 Comm Ave - Central Williamson - Floor Plan - LEVEL 1.dwg". PLAN WAS PREPARED BY DAVIS SQUARE ARCHITECTS, INC. OF SOMERVILLE, MA.

BOSTON LAND USE CODE: "A" (RESIDENTIAL 7 OR MORE UNITS)

ENGINEER
H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
TEL. 617-357-8145

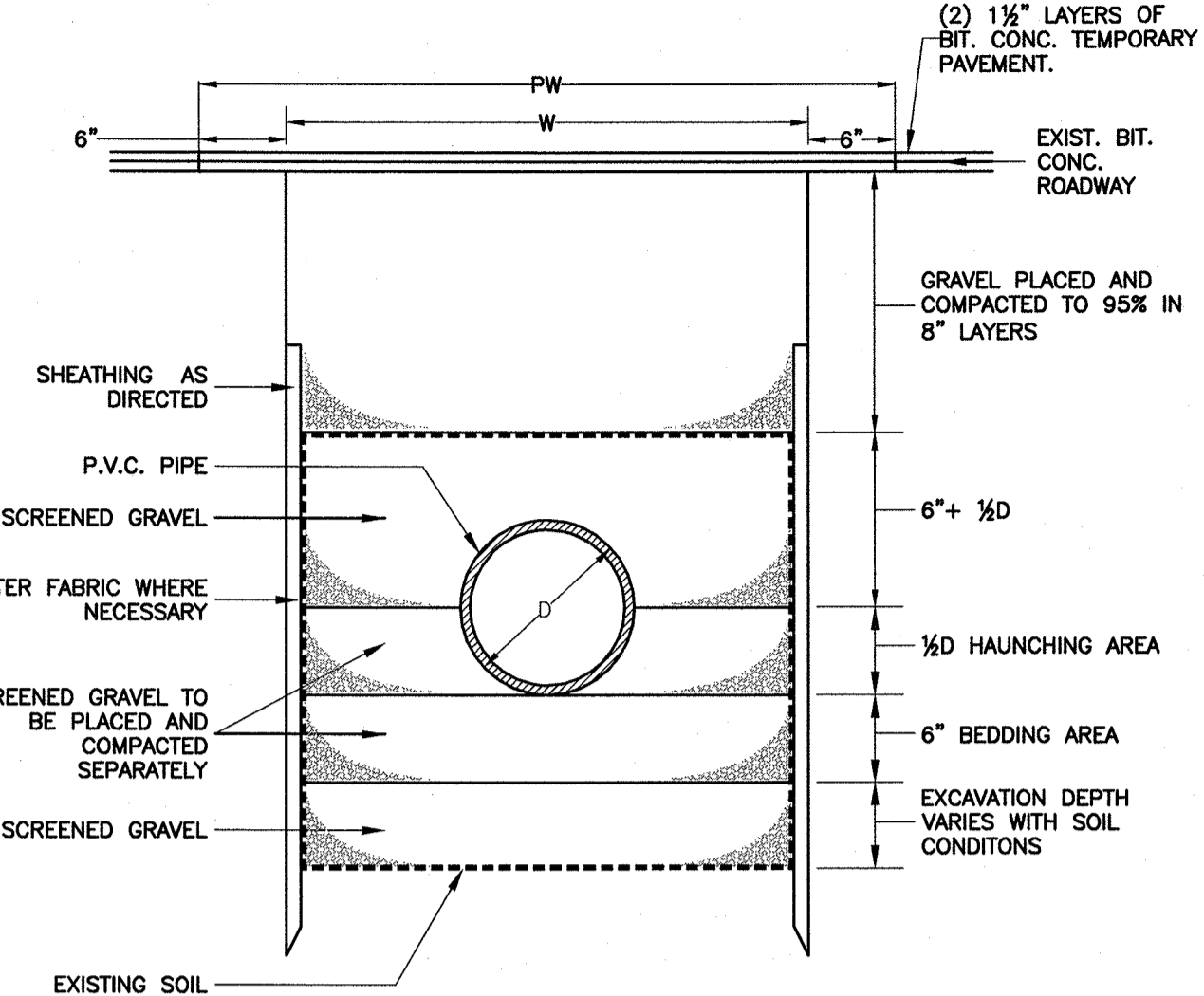
OWNER / APPLICANT
YU INVESTMENT TRUST
675 VFW PARKWAY, #128
CHESTNUT HILL, MA 02467
TEL. 617-780-7855
CONTACT: DAN YU

PROJECT ADDRESS
1954 COMMONWEALTH AVE.
BOSTON, MA 02135-5802



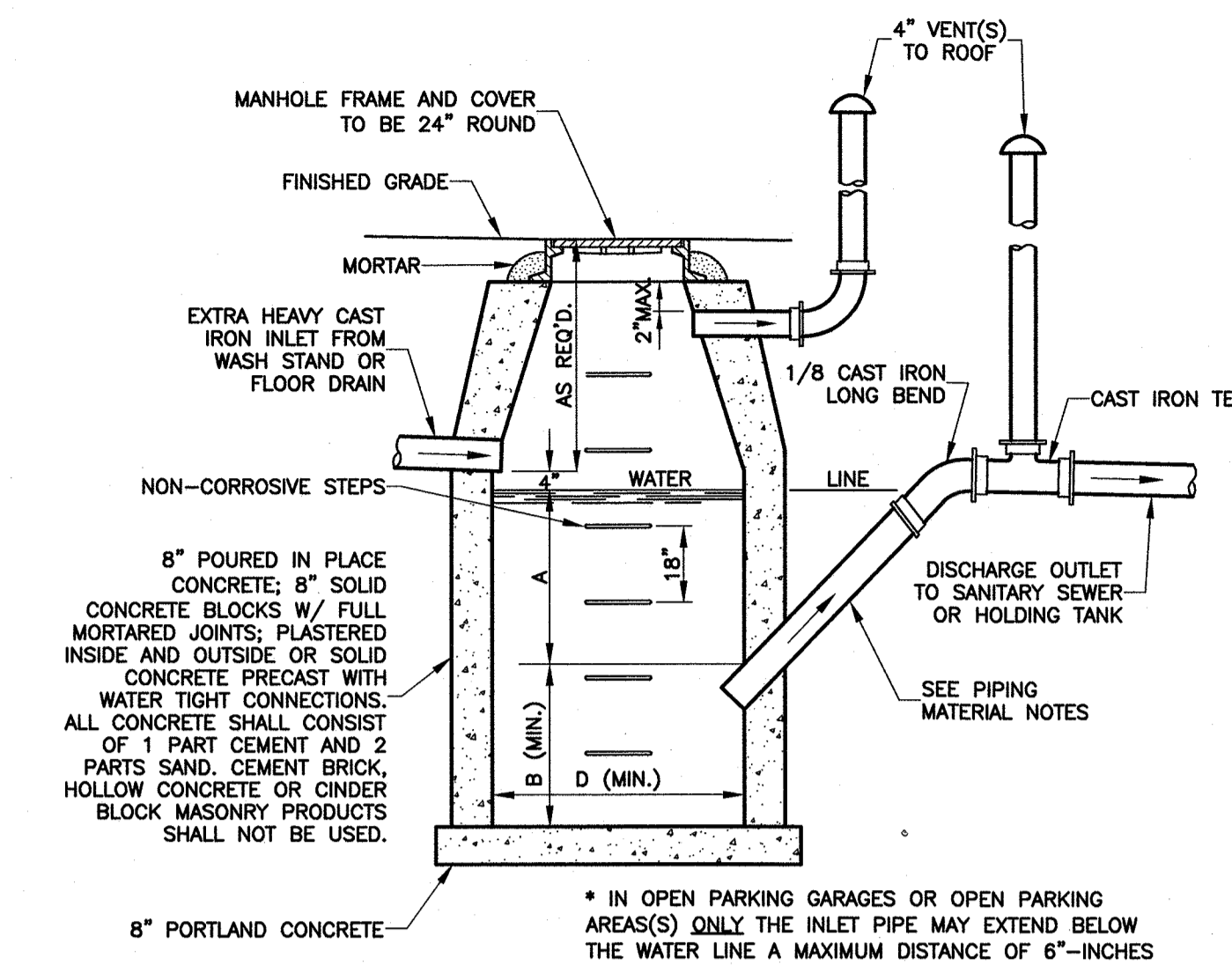
W = MAXIMUM TRENCH WIDTH
PW = MAXIMUM PAVING WIDTH = W+1'-0"
D = OUTSIDE DIAMETER
UNSHEATHED TRENCH: W = D+2'(3'-0" MIN.)
SHEATHED TRENCH: W = D+2'+SHEATHING WIDTH:
4'-2" MIN. W/O WALERS
5'-0" MIN. W/WALERS
TRENCH BOX OR HYDRAULIC SHORING:
W = D+2' + [WALL SHIELD WIDTH ± 8"] + 1' FOR TRENCH BOX

BWSC #B-08
TRENCH DETAIL FOR RCP
OR DICL PIPE
(NOT TO SCALE)



W = MAXIMUM TRENCH WIDTH
PW = MAXIMUM PAVING WIDTH = W+1'-0"
D = OUTSIDE DIAMETER
UNSHEATHED TRENCH: W = D+2'(3'-0" MIN.)
SHEATHED TRENCH: W = D+2'+SHEATHING WIDTH:
4'-0" MIN. W/O WALERS
5'-0" MIN. W/WALERS
TRENCH BOX OR HYDRAULIC SHORING:
W = D+2' + [WALL SHIELD WIDTH ± 8"] + 1' FOR TRENCH BOX

BWSC #B-09
TRENCH DETAIL FOR P.V.C. PIPE
(NOT TO SCALE)



NOTE:
IN CITIES AND TOWNS WHERE THE SEWAGE DISPOSAL IS DISCHARGING INTO A MWRA SEWAGE SYSTEM, A NOTICE SHALL BE FILED WITH THE MWRA WHEN THE PLUMBING APPLICATION IS FILED WITH THE INSPECTOR, AND THE SEPARATOR INSTALLATION SHALL BE INSPECTED BY THE MWRA.

INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-8"x3'-6"	5'-0"	4'-0"
	4'-0"	3'-6"	3'-0"
	4'-0"x4'-0"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"x4'-0"	4'-0"	3'-6"
	4'-6"x4'-6"	3'-6"	3'-0"
8"	5'-0"	3'-0"	2'-6"
	5'-0"x5'-0"	3'-0"	2'-6"
	5'-6"x5'-6"	4'-6"	4'-0"

GENERAL CONSTRUCTION NOTES:

1. THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER IS TO INCORPORATE A CENTER-HOLE.
2. A SEALED TIGHT COVER IS TO BE USED IF THE SEPARATOR IS LOCATED INSIDE OF A BUILDING. THE COVER SHALL BE NO LESS THAN A 24" DIAMETER.
3. THE SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING.
4. THE INLET PIPE SHALL BE NO LESS THAN FOUR INCHES ABOVE THE WATER LINE LEVEL.
5. WHEN THE SEPARATOR IS SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE.
6. THE SEPARATOR SHALL BE FILLED WITH WATER AND LEAK TESTED BEFORE BEING INTRODUCED INTO SERVICE.
7. THE NON-CORROSIVE STEPS SHALL BE SPACED AT 18"-INCHES APART.
8. THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE ROOF.

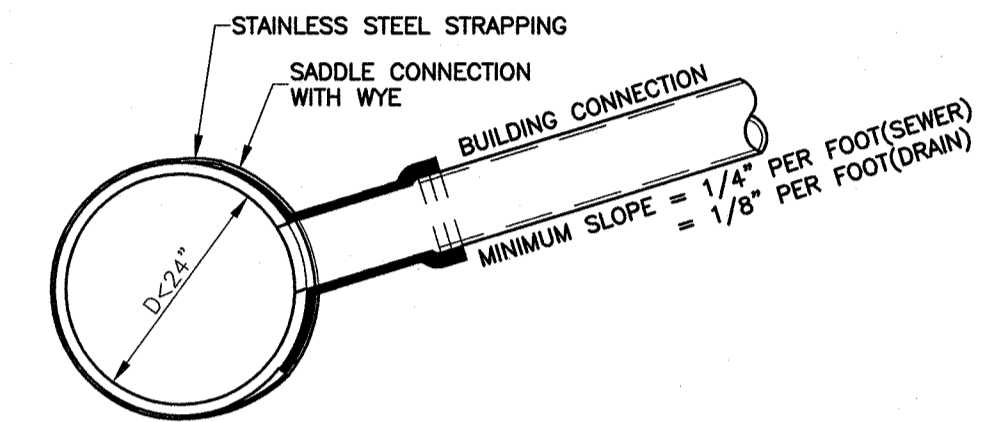
PIPING MATERIAL NOTES:

1. NO-HUB CAST IRON WITH PRODUCT APPROVED STAINLESS STEEL CLAMPS.
2. SERVICE WEIGHT CAST IRON WITH PRODUCT APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
3. EXTRA HEAVY CAST IRON WITH PRODUCT APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.

GENERAL NOTES:

1. BASIN TO BE FILLED WITH CLEAN WATER BEFORE USING AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
2. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING AND MUST NOT DISCHARGE INTO SEWER SYSTEM.
3. BASIN AND APPURTENANCES MUST MEET MWRA AND MUNICIPAL PLUMBING INSPECTOR APPROVAL.
4. FOR INLET LARGER THAN 8" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
5. CIRCULAR BASINS ARE RECOMMENDED.

GASOLINE, OIL & SAND SEPARATOR
(NOT TO SCALE)

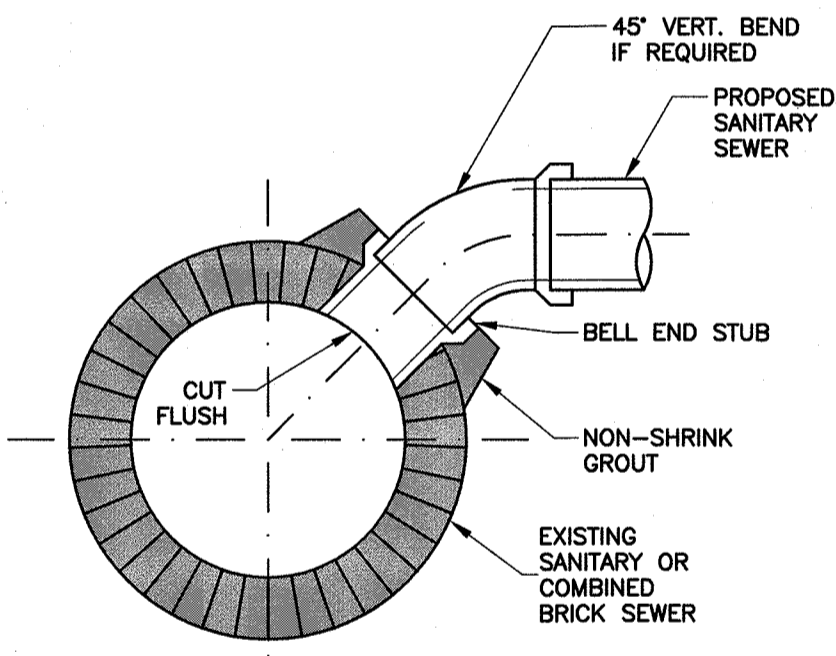


EXISTING SEWER OR DRAIN PIPE

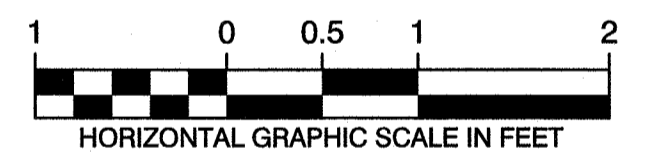
NOTES:

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

BWSC #B-12b
TYPICAL SADDLE CONNECTION TO
EXISTING SEWER OR DRAIN
(NOT TO SCALE)



BWSC #B-12e
TYPICAL CONNECTION TO EXISTING
BRICK SEWER
(NOT TO SCALE)



REVISIONS

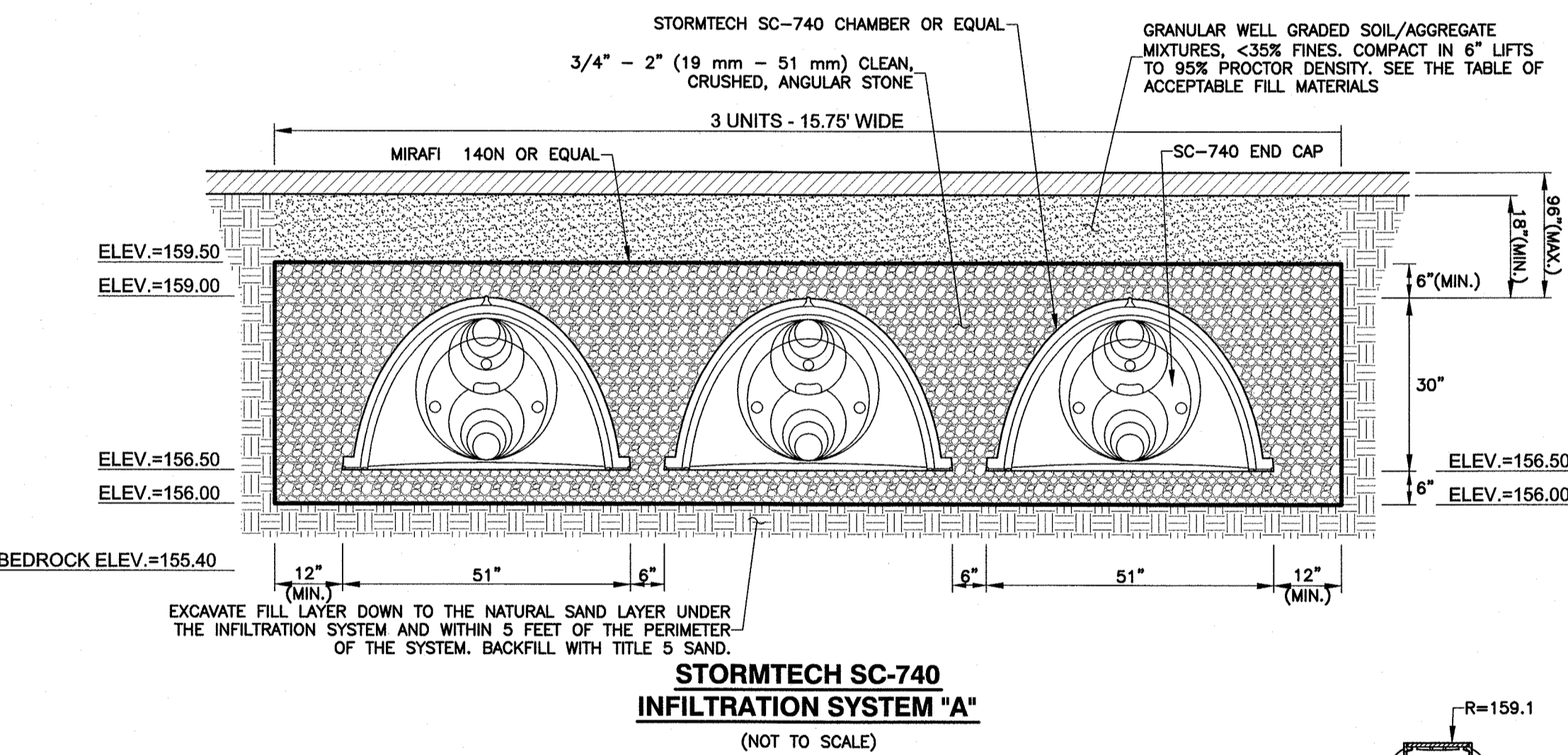
NO.	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

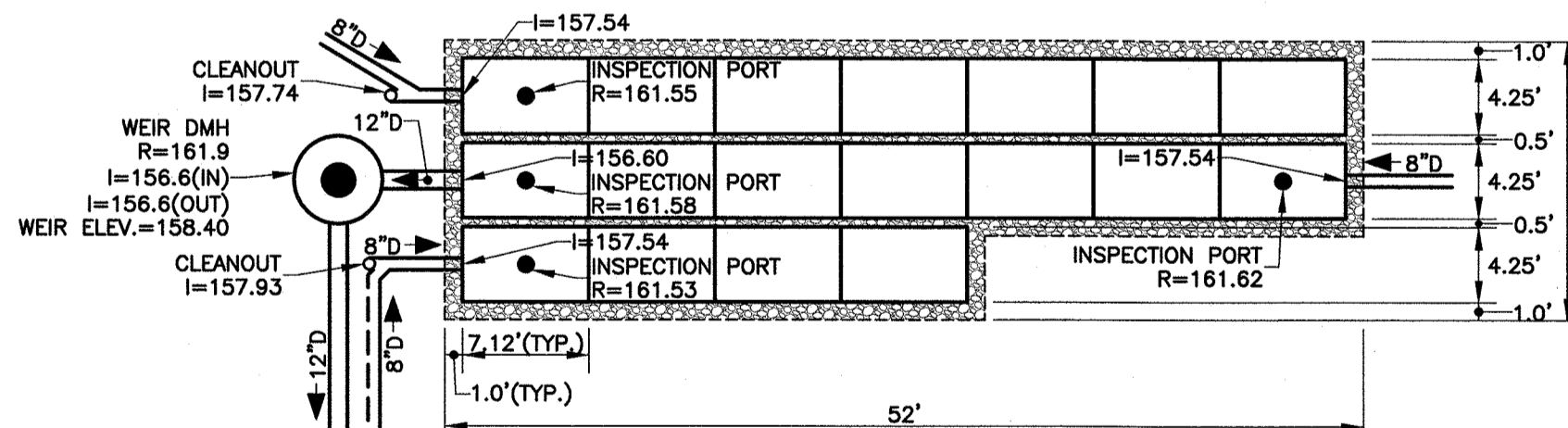
GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE
BOSTON, MASSACHUSETTS

SITE DETAILS PLAN
BWSC SITE PLAN # 16206

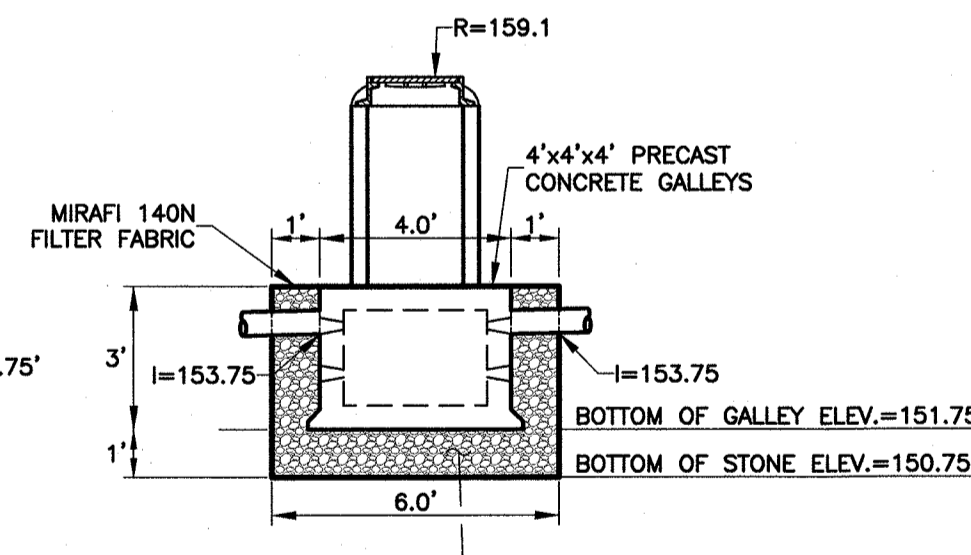
hwmoore
ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
tel: 617-357-8145 fax: 617-357-9495 web: hwmoore.com



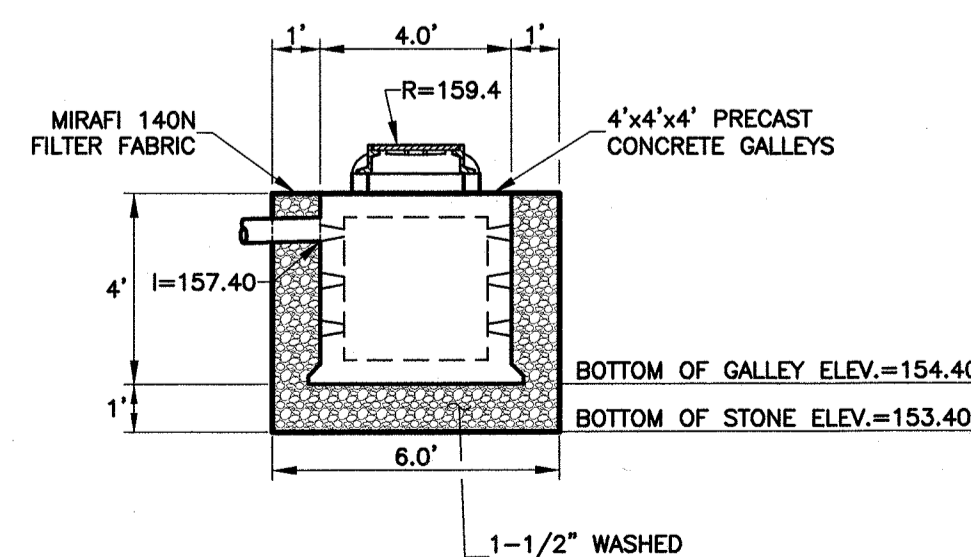
STORMTECH SC-740
INFILTRATION SYSTEM "A"
(NOT TO SCALE)



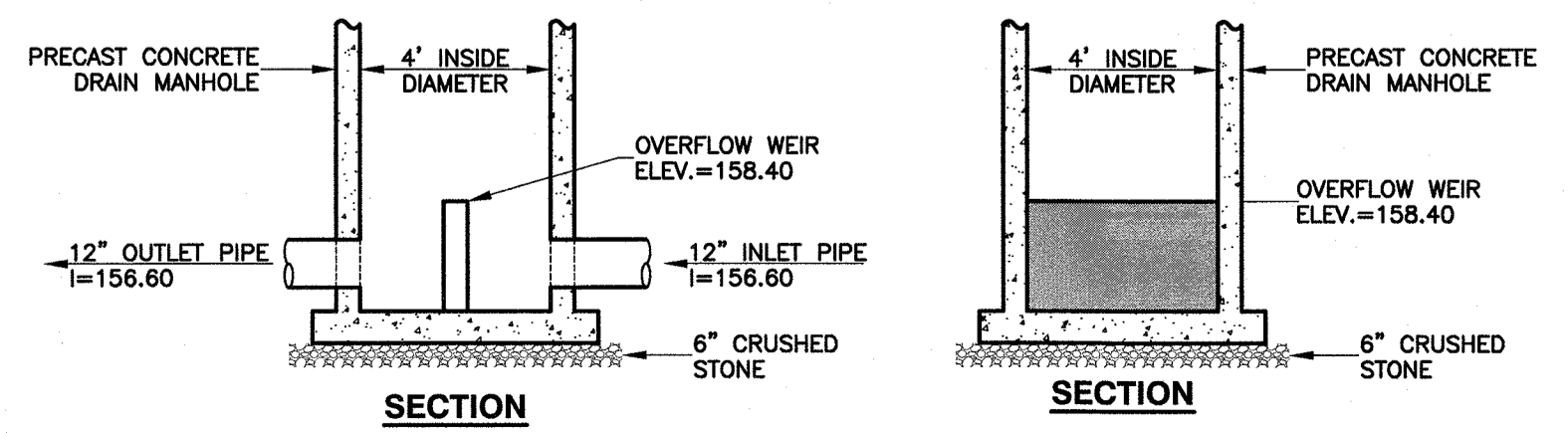
INFILTRATION SYSTEM "A"
PLAN VIEW
SCALE: 1" = 10'



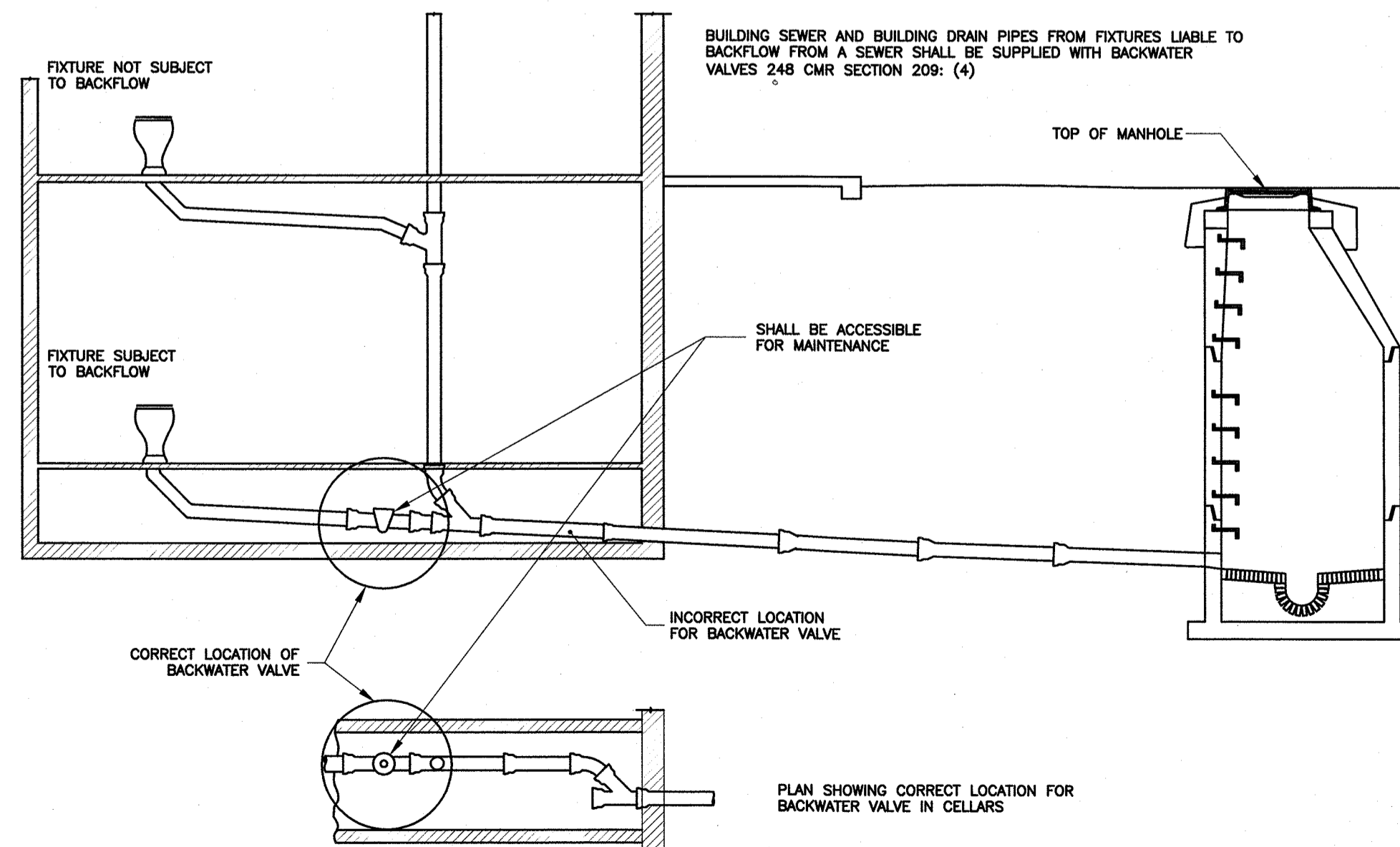
INFILTRATION SYSTEM "B"
4x4x3" INFILTRATION GALLEY
TYPICAL SECTION
(NOT TO SCALE)



INFILTRATION SYSTEM "C"
4x4x4" INFILTRATION GALLEY
TYPICAL SECTION
(NOT TO SCALE)

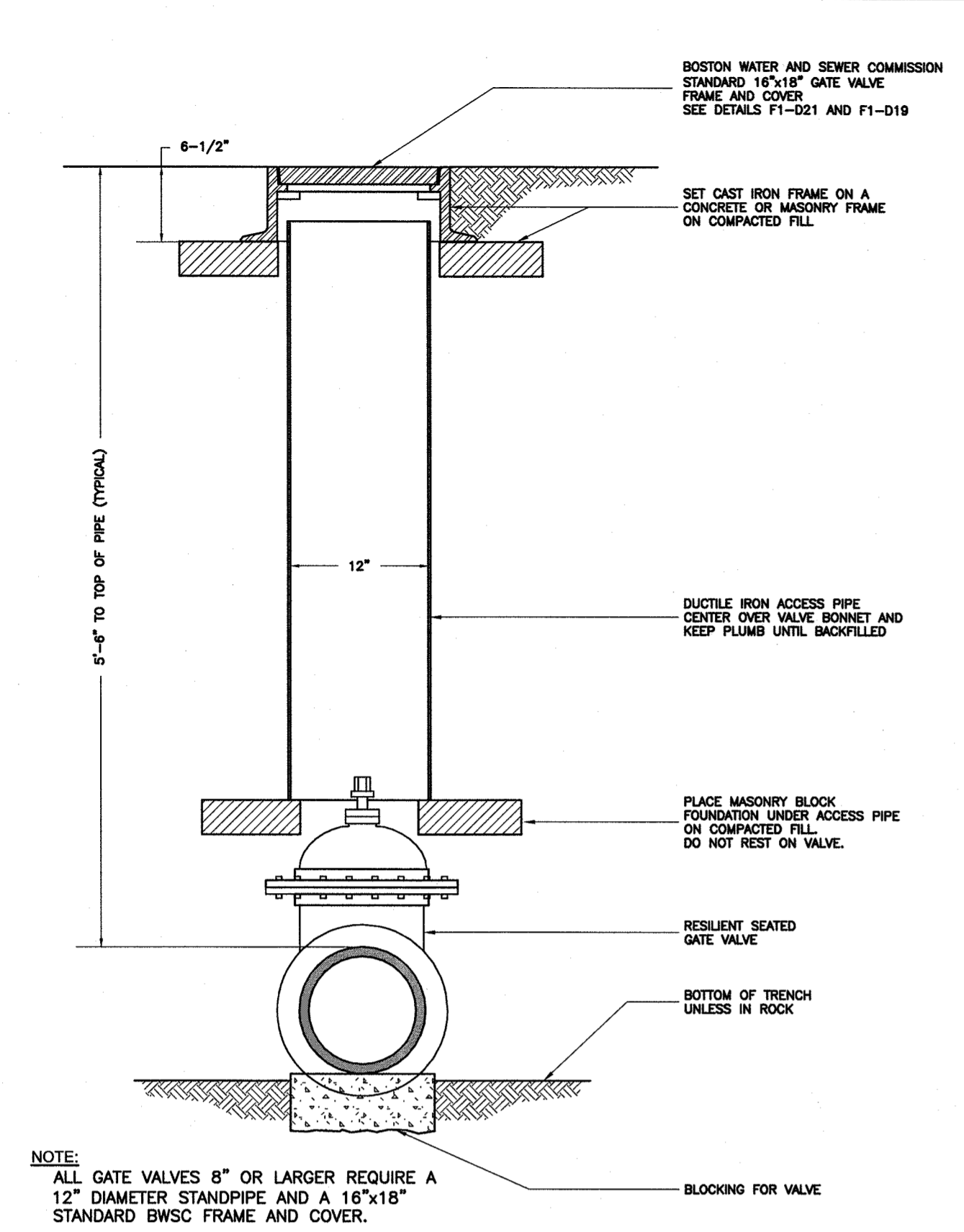


WEIR DMH "A-3"
SCALE: 1" = 4'

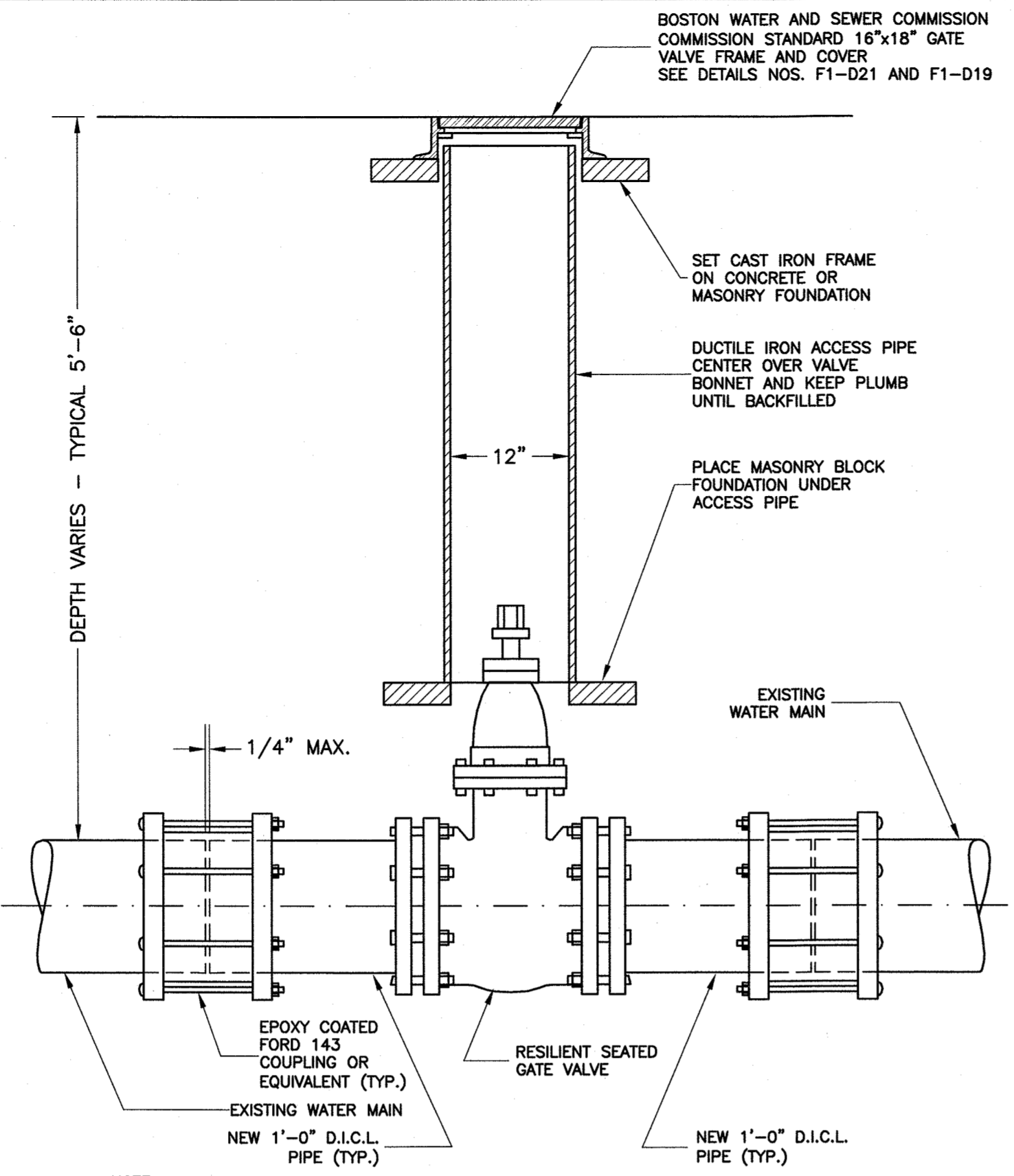


NOTE: ALL PLUMBING FIXTURES BELOW THE LEVEL OF THE TOP OF THE MANHOLE OF THE SEWER SERVICING THE FIXTURE(S) SHALL BE CONSIDERED AS BEING SUBJECT TO BACKFLOW AND SHALL BE SUPPLIED WITH BACKWATER VALVES.

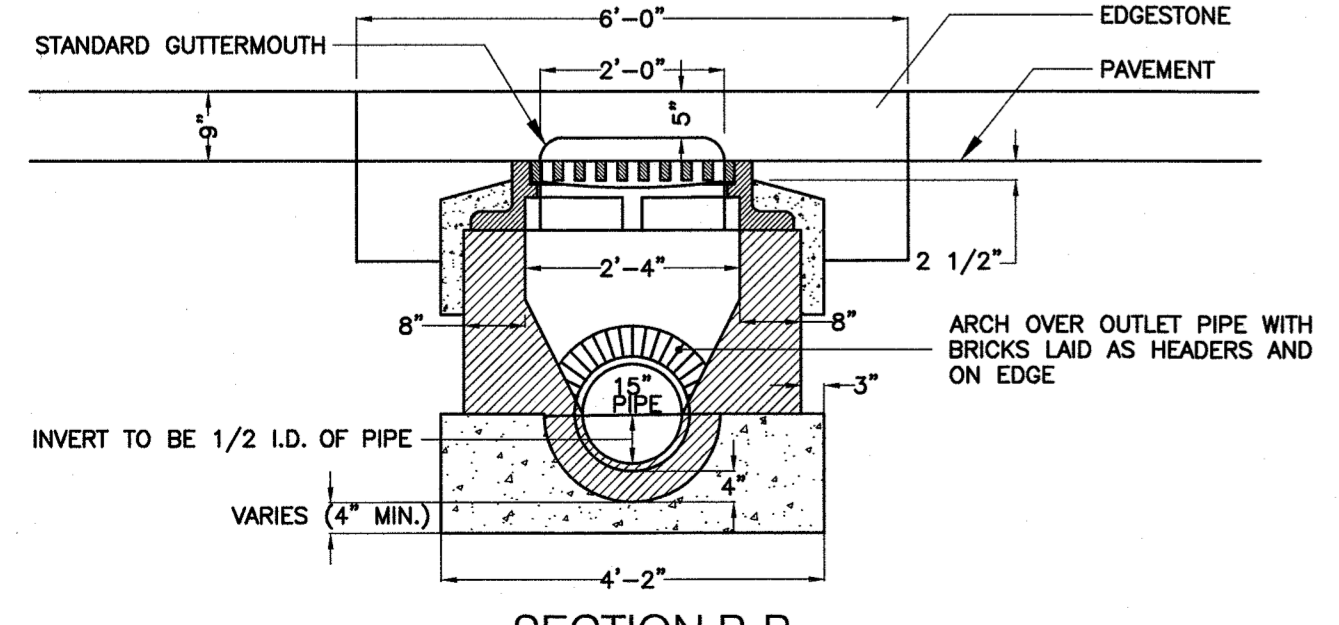
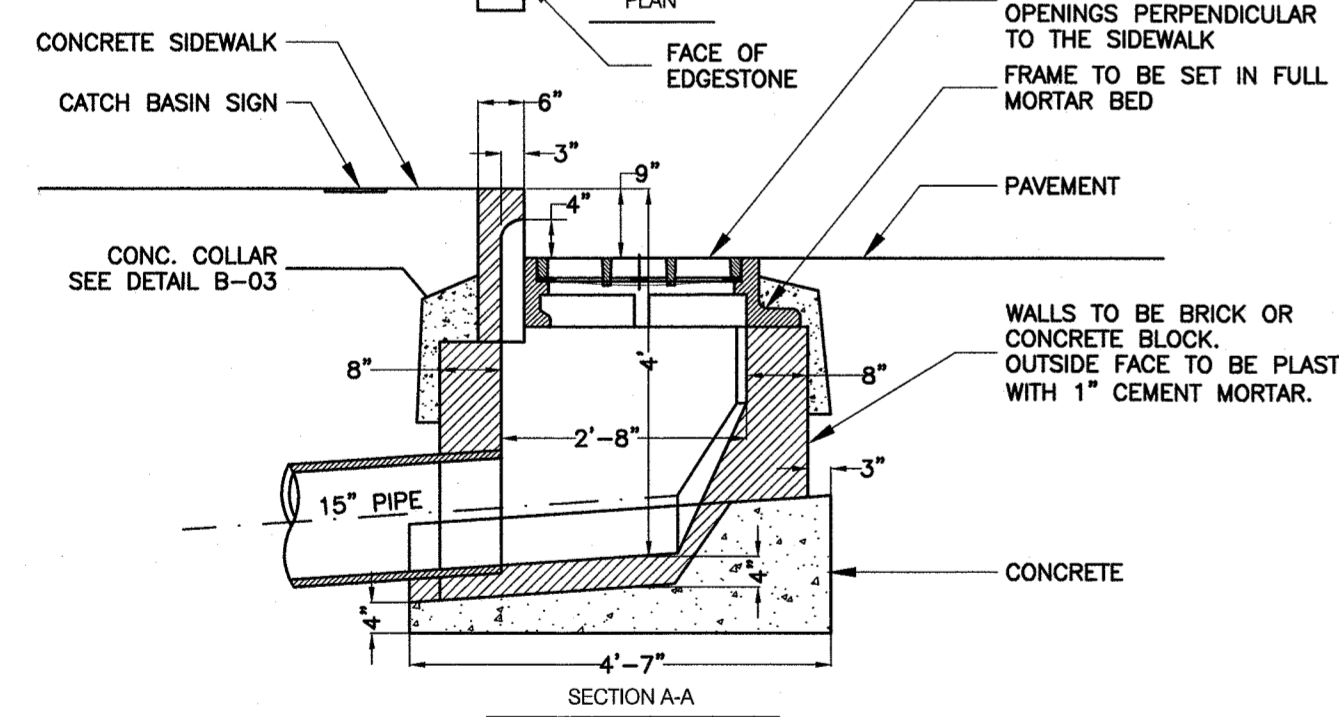
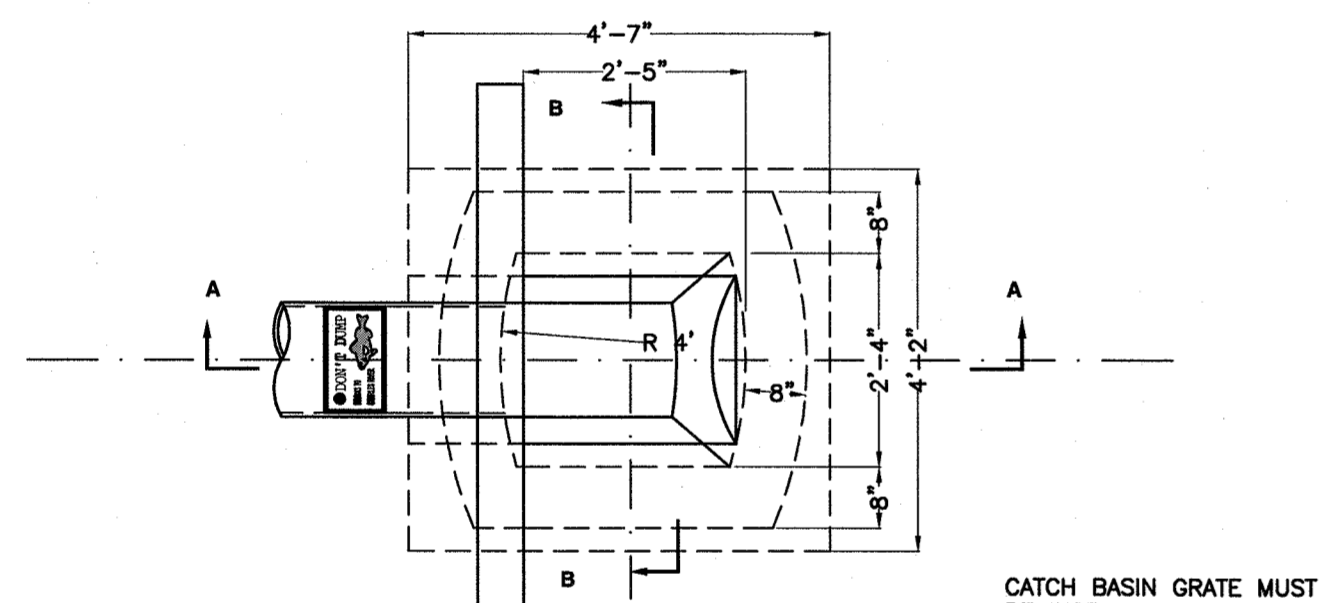
BWSC #B-14
LOCATION OF BACKWATER
VALVES IN CELLARS
(NOT TO SCALE)



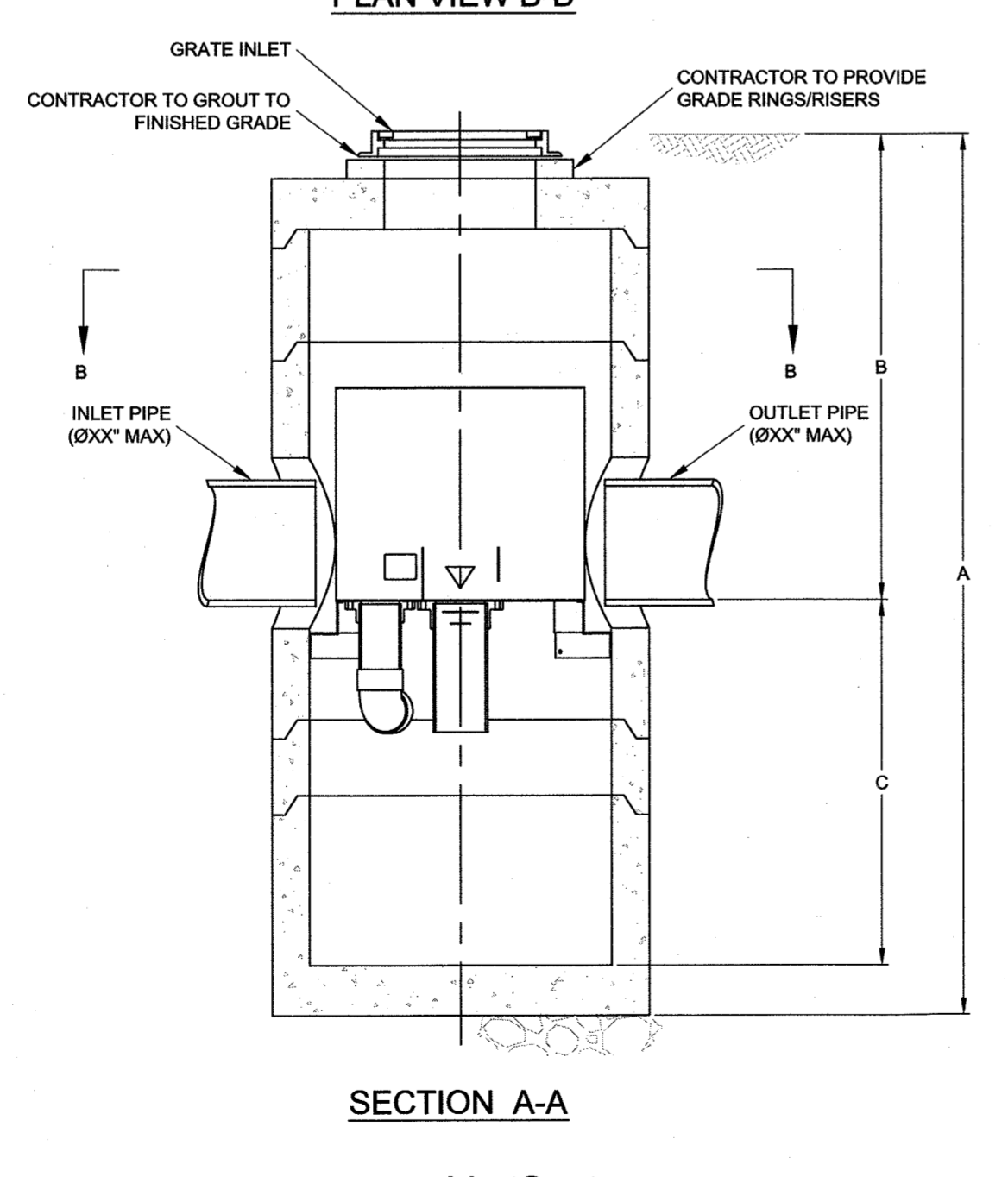
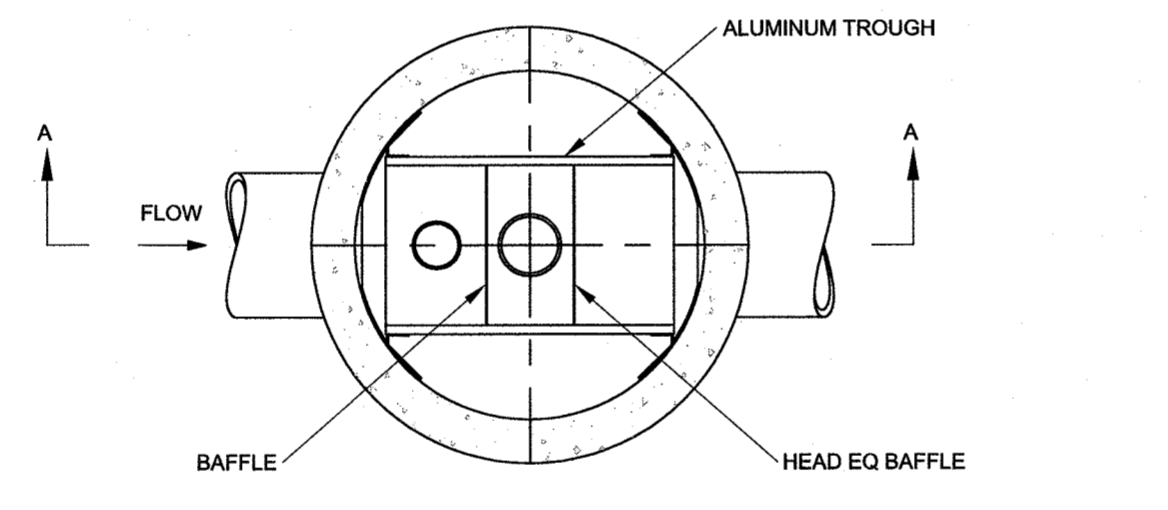
BWSC #A-19a
TYPICAL GATE VALVE INSTALLATION
CROSS SECTION VIEW
(NOT TO SCALE)



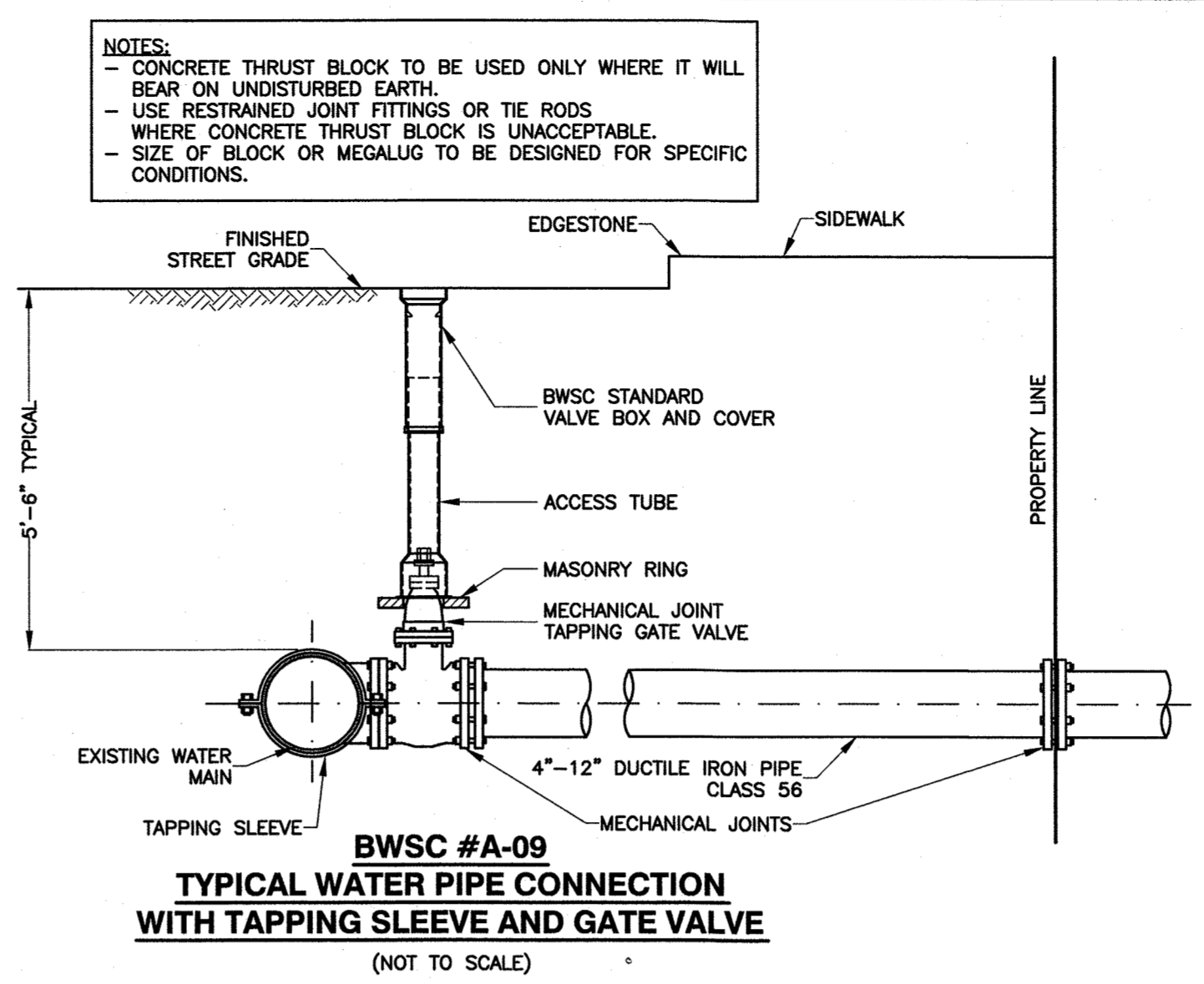
BWSC #A-20
TYPICAL GATE VALVE INSTALLATION
UP TO 20" IN EXISTING WATER MAIN
(NOT TO SCALE)



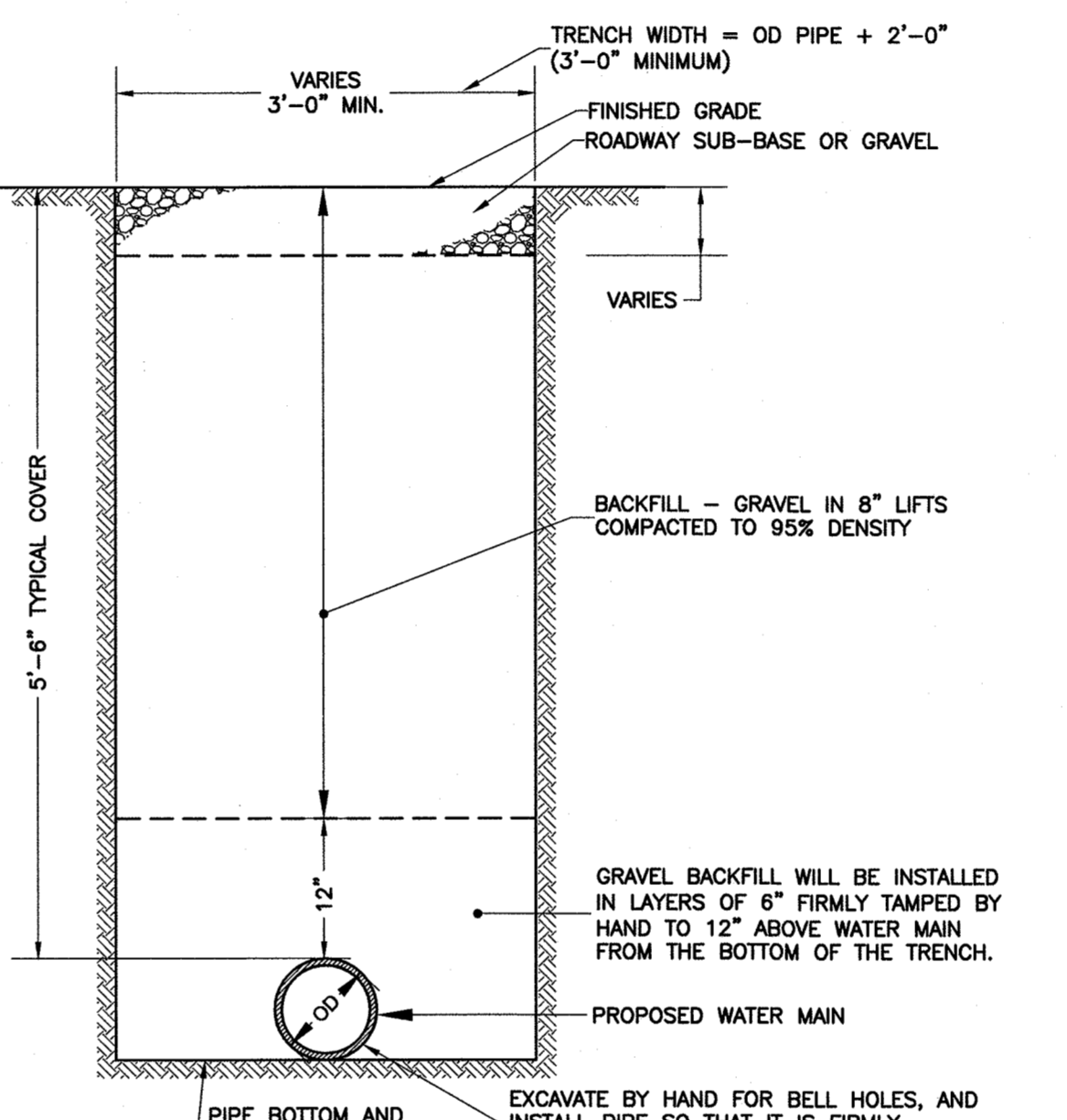
BWSC B-01e
DROP INLET WITH
GUTTER MOUTH
(NOT TO SCALE)



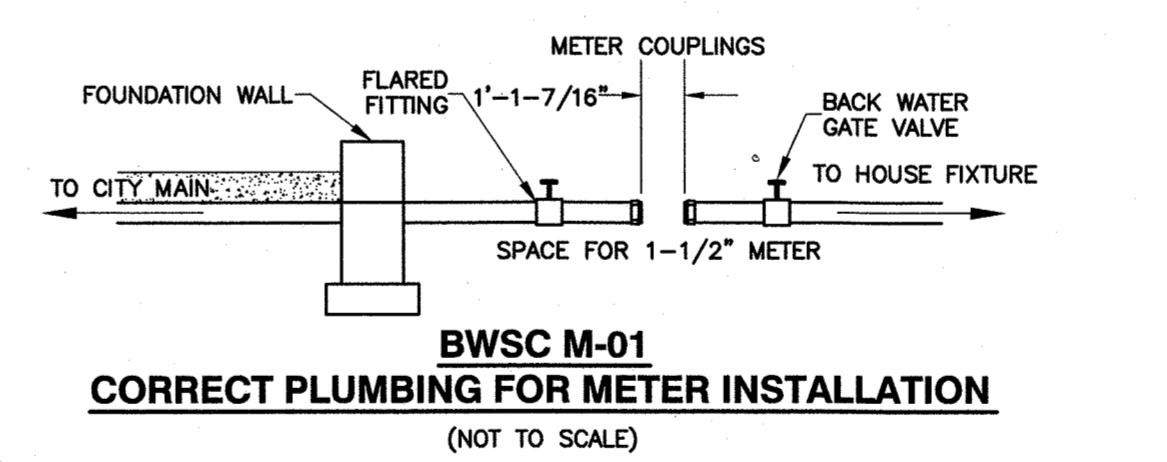
VortSentry
WATER QUALITY DEVICE (WQD CB)
CONTECH - VORTSENTRY HS36
(NOT TO SCALE)



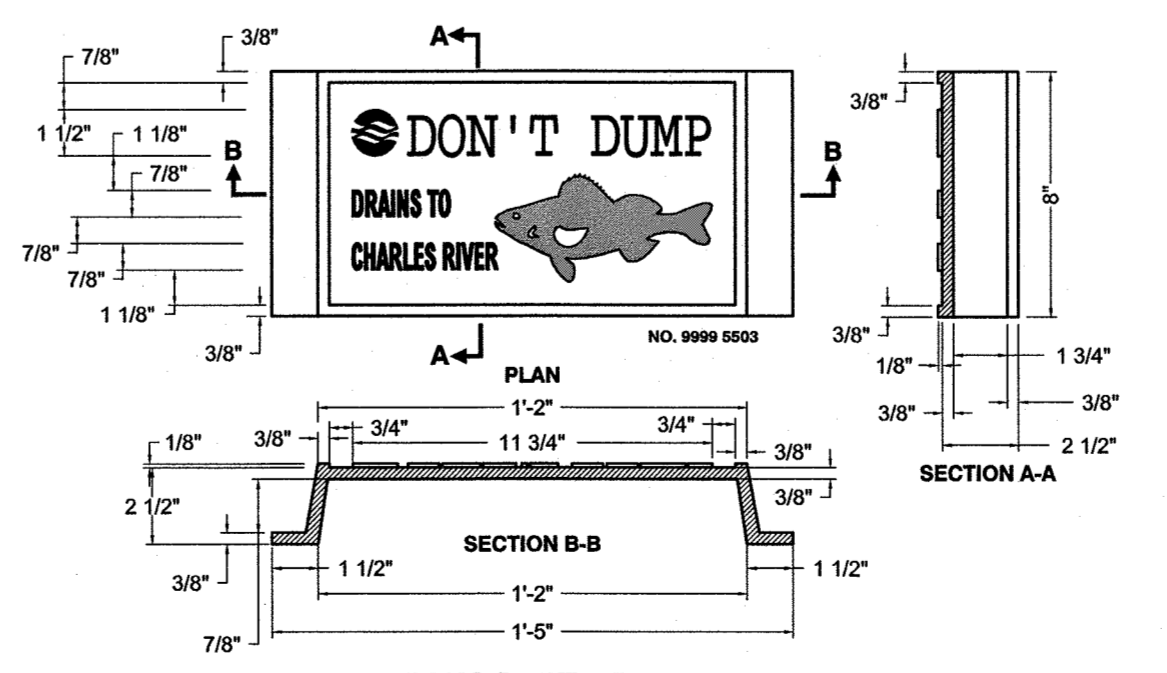
BWSC #A-09
TYPICAL WATER PIPE CONNECTION
WITH TAPPING SLEEVE AND GATE VALVE
(NOT TO SCALE)



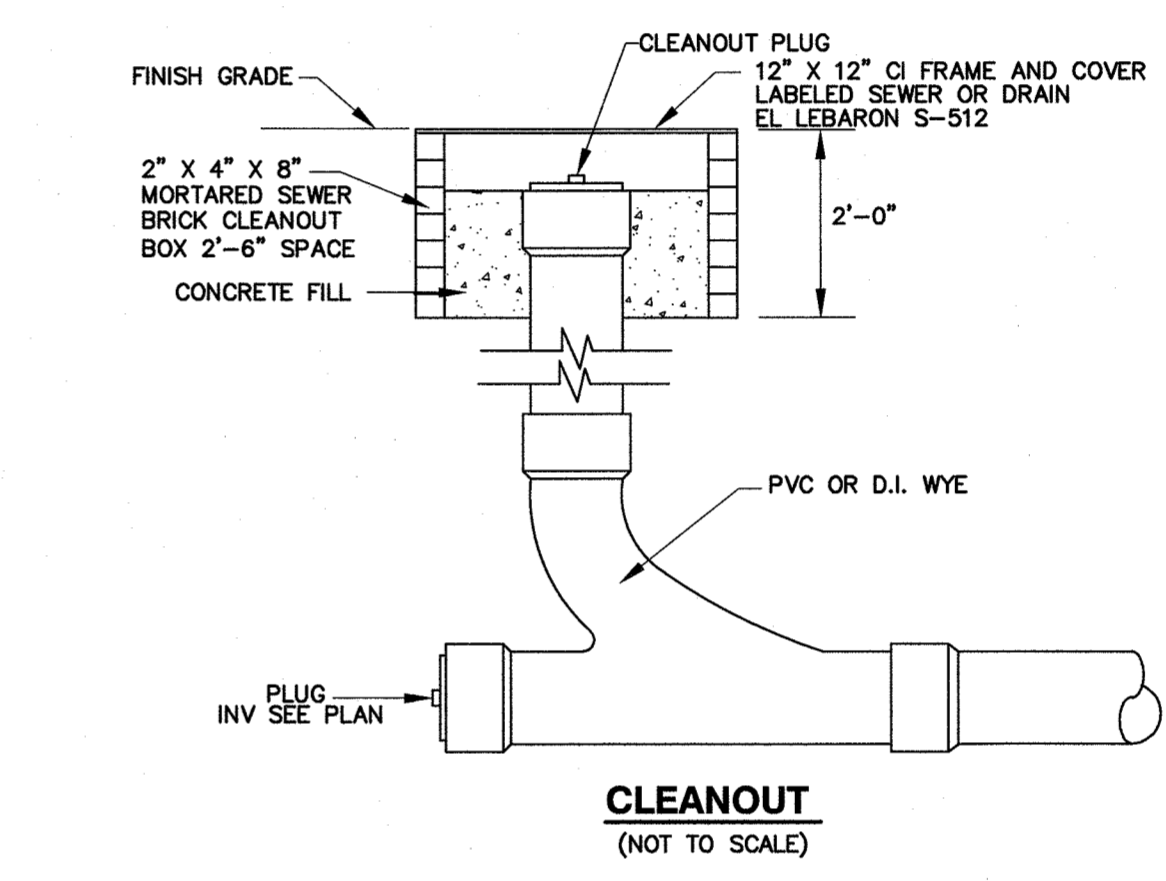
BWSC #A-05
TYPICAL TRENCH DETAIL OF WATER
MAIN IN FIRM GROUND
(NOT TO SCALE)



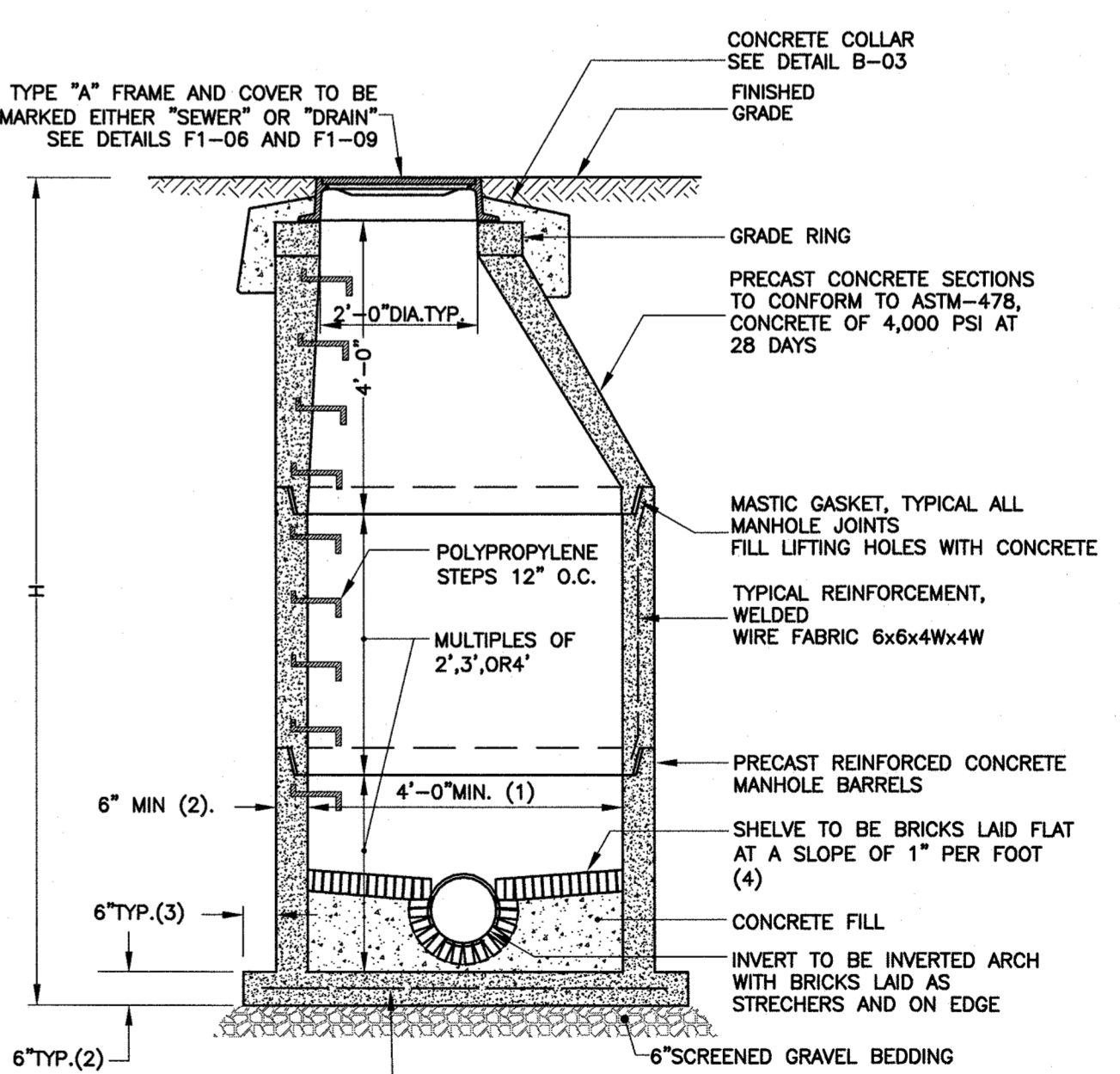
BWSC M-01
CORRECT PLUMBING FOR METER INSTALLATION
(NOT TO SCALE)



BWSC #F1-D23
CATCH BASIN SIGN (8"x14")
(NOT TO SCALE)

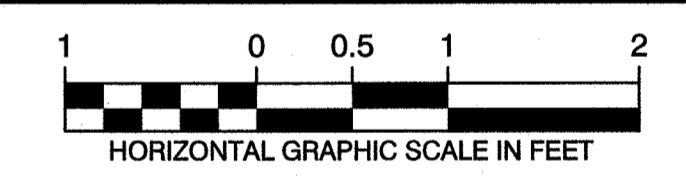


CLEANOUT
(NOT TO SCALE)



- NOTES:**
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
 - 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 - 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED.
 - CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.

BWSC #B-02a
TYPICAL PRECAST CONCRETE MANHOLE
(NOT TO SCALE)



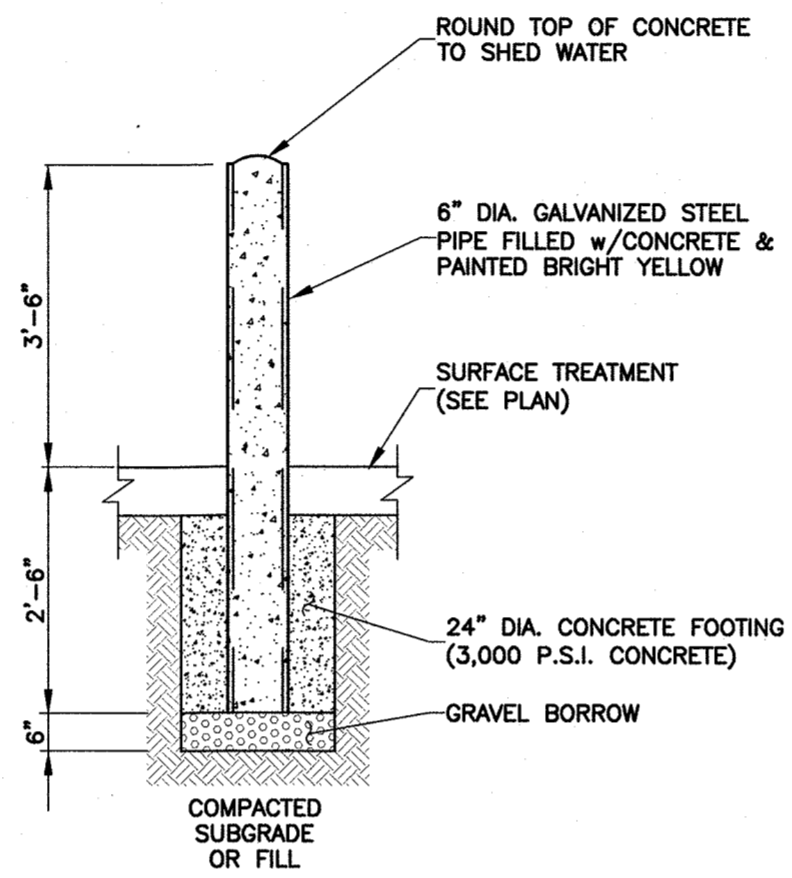
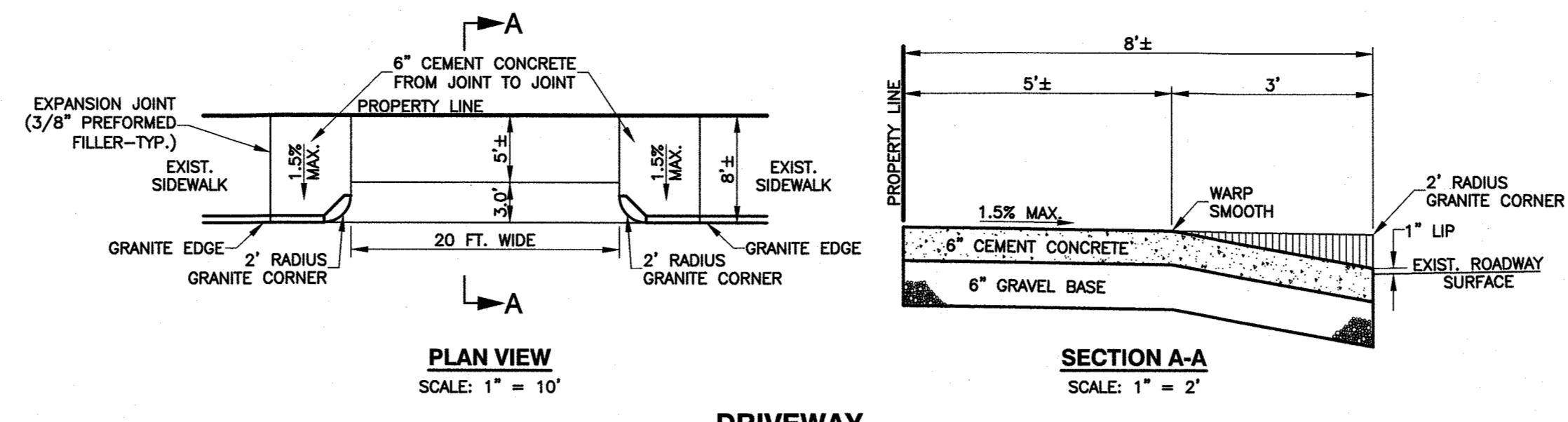
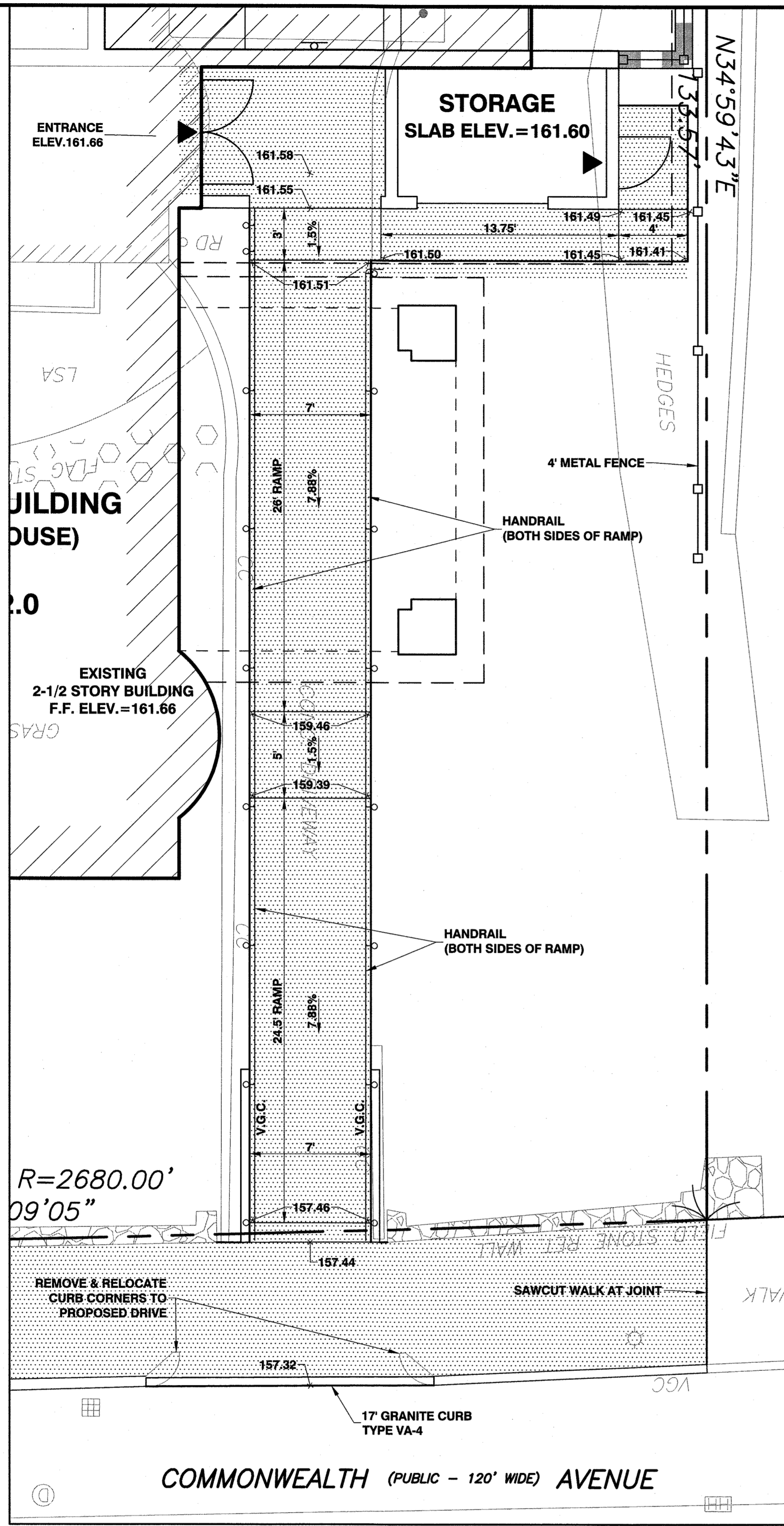
REVISIONS		
ISSUE	DATE	DESCRIPTION

DATE: SEPT. 15, 2016
SCALE: AS NOTED
SHEET **C-5**

GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE
BOSTON, MASSACHUSETTS

SITE DETAILS PLAN
BWSC SITE PLAN #16206

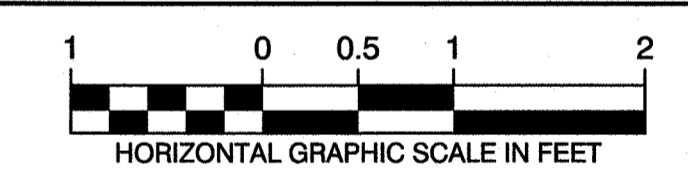
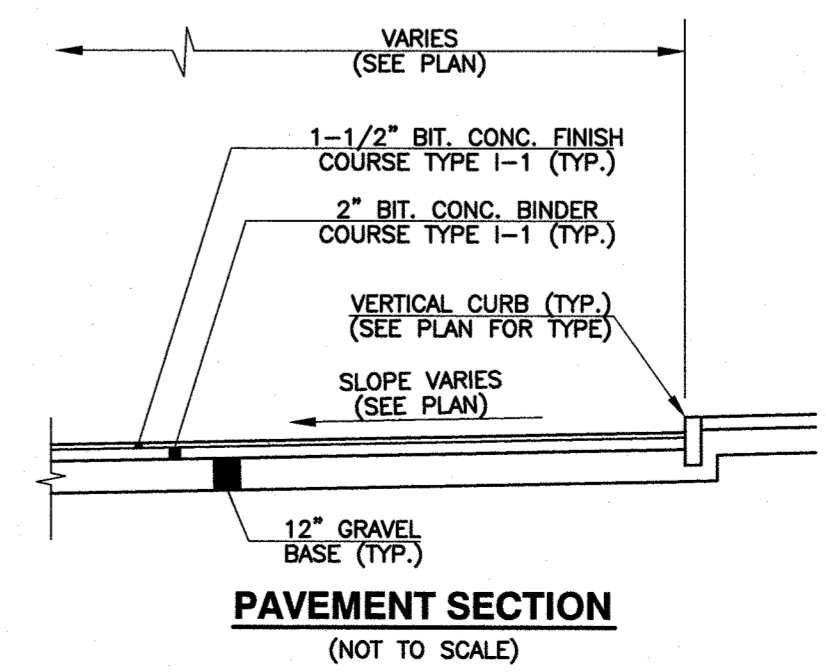
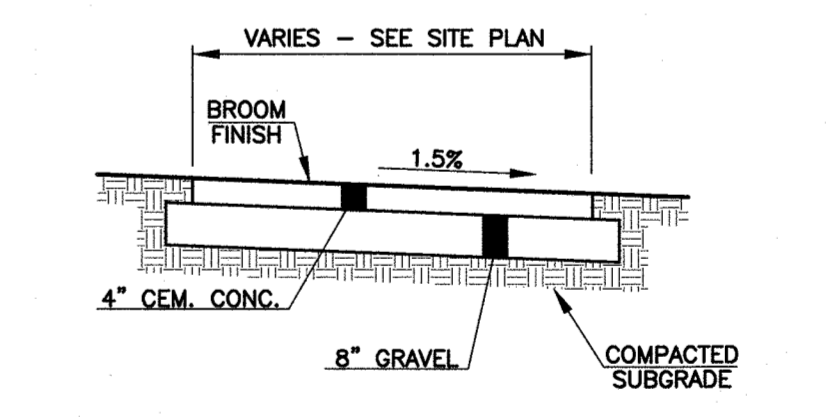
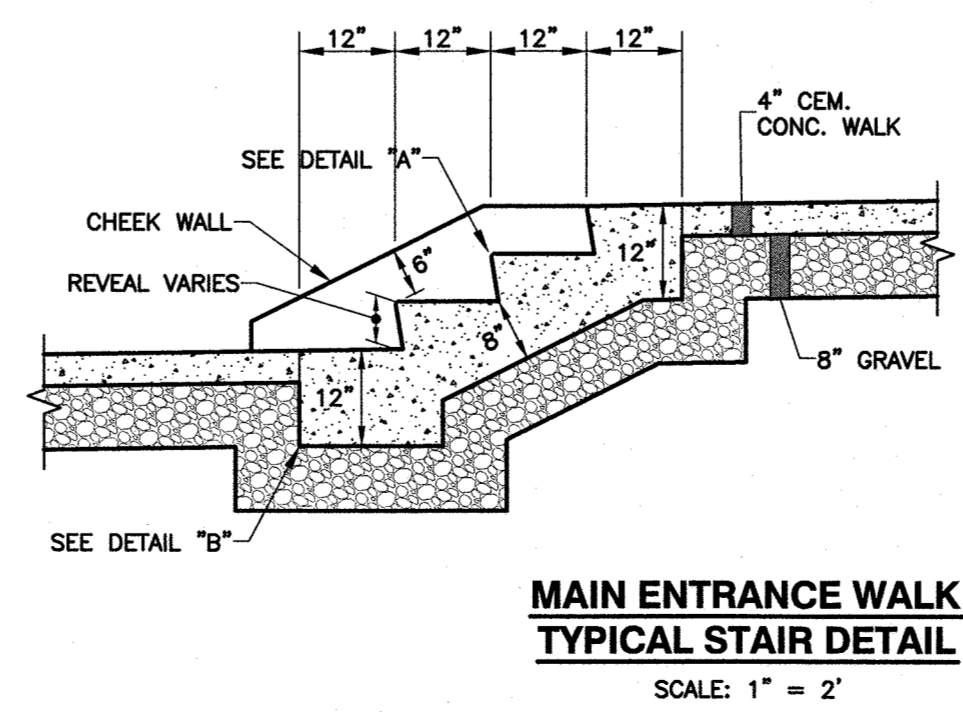
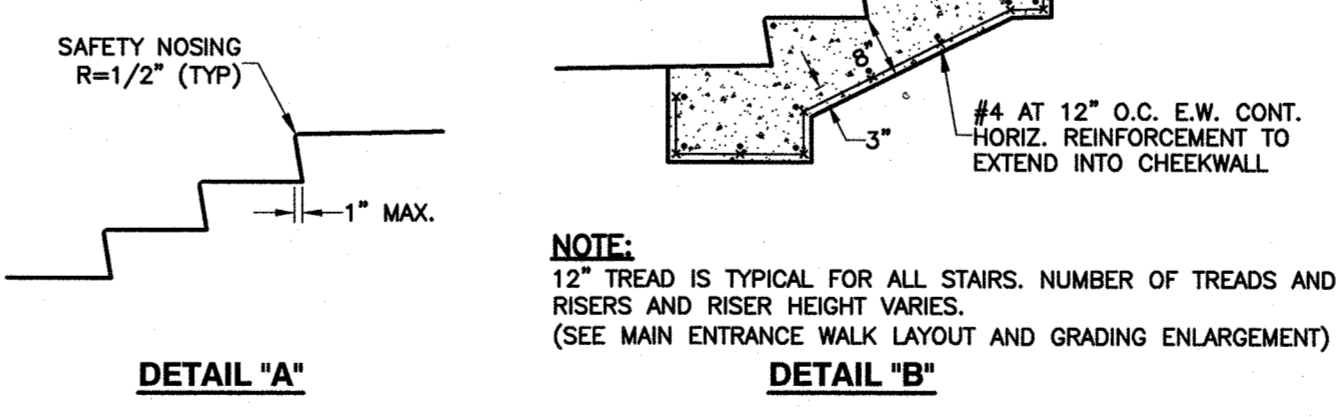
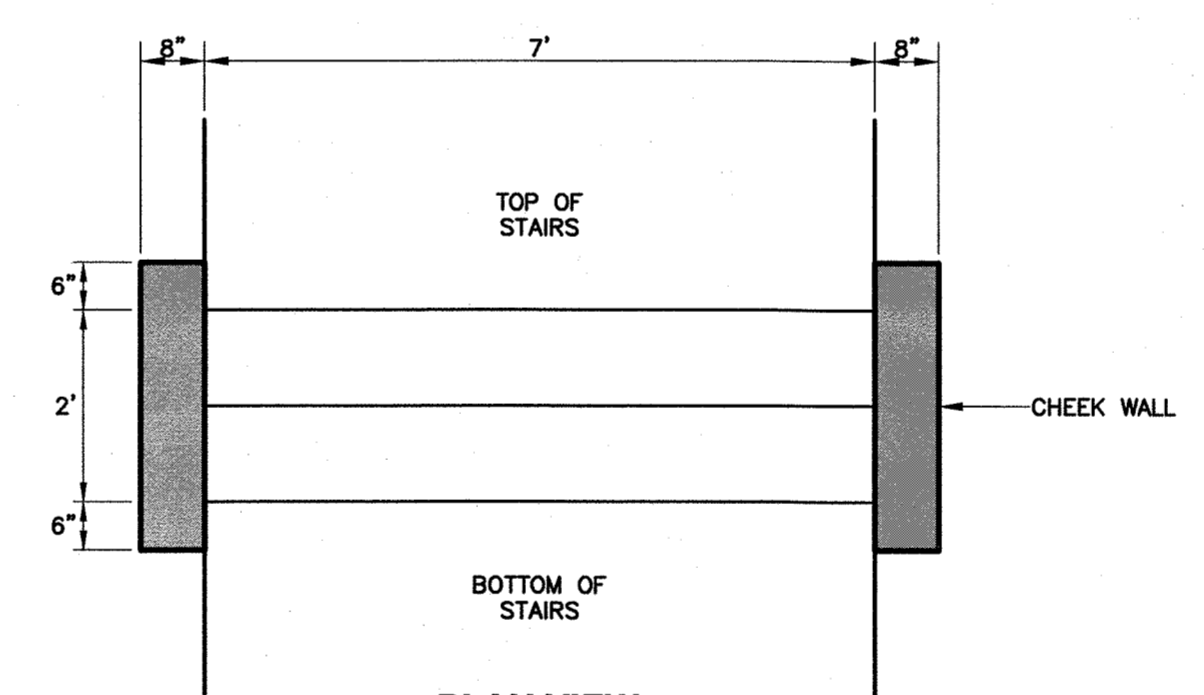
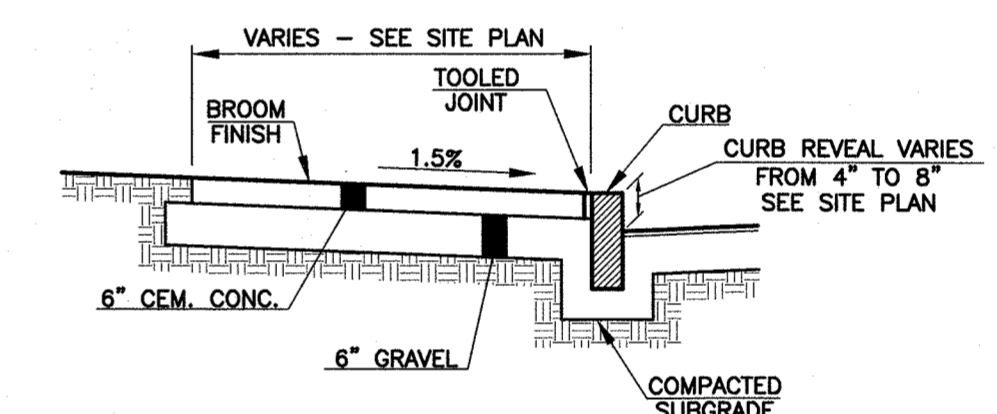
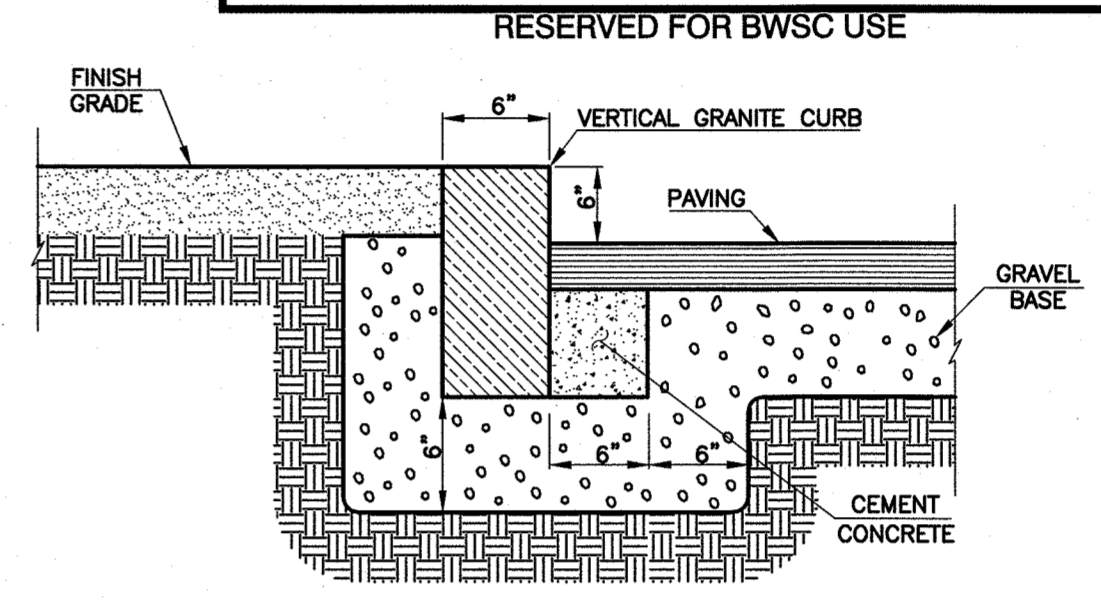
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ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING
112 Shawmut Avenue, Boston, MA 02118-2227
tel: 617-357-8145 fax: 617-357-9495 web: hwmoore.com



DRIVEWAY

4' IRON FENCE
(NOT TO SCALE)

Components	Residential	Commercial	Industrial
Pickets	5/8" sq. x .050 wall	3/4" sq. x .062 wall	1" sq. x .062 wall
Horizontal Rails	1" x 1"	1 1/4" x 1 5/8"	1 5/8" x 1 5/8"
Side Walls	.082 wall	.100 wall	.100 wall
Top Walls	.060 wall	.070 wall	.070 wall
Standard Post	2" sq. x .060 wall	2 1/2" sq. x .075 wall	2 1/2" sq. x .075 wall
Gate Posts	2" sq. x .125 wall	4" sq. x .125 wall	4" sq. x .125 wall
Spacing Between Pickets	3 13/16"	4"	1 1/2"
Standard Tighter Spacing		1 1/2"	
Maximum Post Spacing	72" on center	72", 96" on center	72", 96" on center
Heights Available	36", 42", 48", 54", 60", 72"	36", 42", 48", 54", 60", 72"	36", 42", 48", 54", 60", 72", 84", 96"
Standard Colors	Black, White, Bronze, Green	Black, White, Bronze, Green	Black, White, Bronze, Green



REVISIONS

NO.	DATE	DESCRIPTION
2	12/15/16	REVISE WALK & CHANGE ELECTRIC TRANSFORMER TO BELOW GRADE
1	10/19/16	REVISE BUILDING

ISSUE DATE DESCRIPTION

DATE: SEPT. 15, 2016

SCALE: AS NOTED

SHEET C-6

GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE

BOSTON, MASSACHUSETTS

SITE DETAILS PLAN
BWSC SITE PLAN # 16206

hwmooore
ASSOCIATES, INC.
CIVIL ENGINEERING | LAND PLANNING

112 Shawmut Avenue, Boston, MA 02118-2227
tel: 617-357-8145 fax: 617-357-9495 web: hwmooore.com

File Name: C:\3725\3725\3725.dwg Saved: 12/16/2016 9:26 AM Plotted: Dec 16, 2016 9:28:15am
Tab: 05-SITE DETAILS Plot Style: 0500.ctb Plotted By: John Grahm




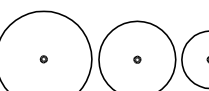
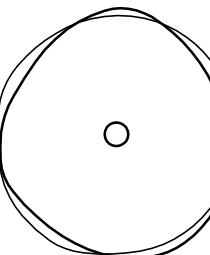
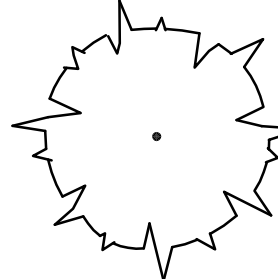
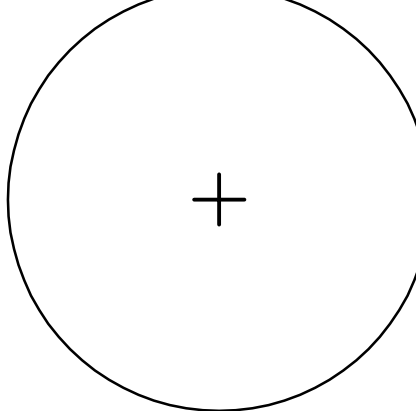
GATEWAY BRIGHTON

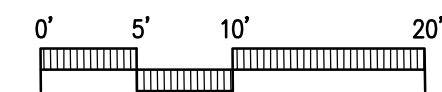
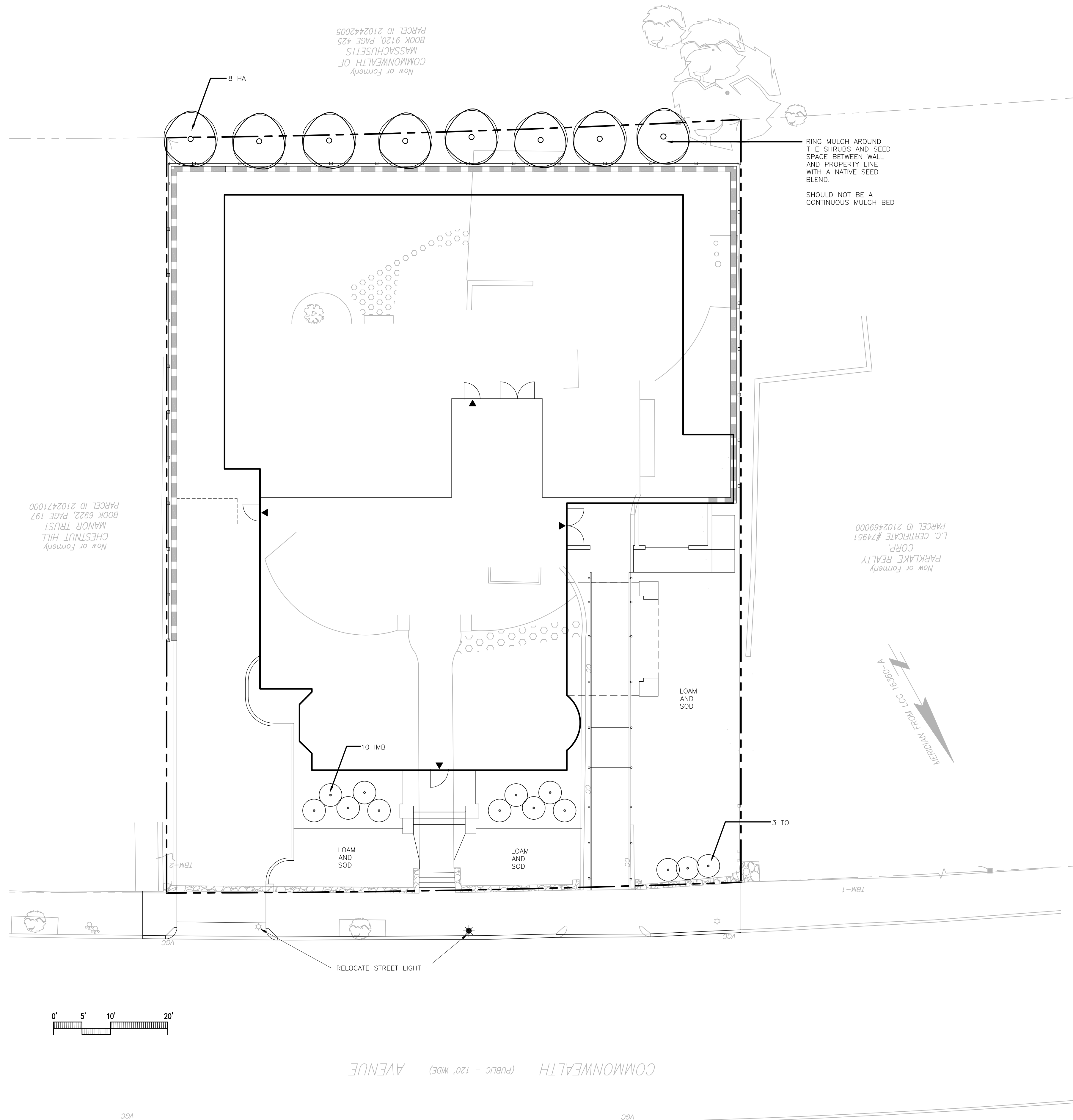
1954
COMMONWEALTH AVE.
BOSTON, MA

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FELDMAN, OF BOSTON, MA, DATED 15 SEPTEMBER 2014.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.

PLANTING LEGEND

	PROPERTY LINE
	LIMIT OF WORK LINE
	PERENNIAL PLANTING
	SHRUB PLANTING
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS TREE



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
TREES AND SHRUBS					
HA	HAMAEUS 'ARNOLDS PROMISE'	ARNOLD'S PROMISE WITCH HAZEL	8	4-5' HT.	
IMB	ILEX MERSERVAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	10	30-36" HT.	
TO	THUJA OCCIDENTALIS	ARBORVITAE	3	5-6' HT. B&B	

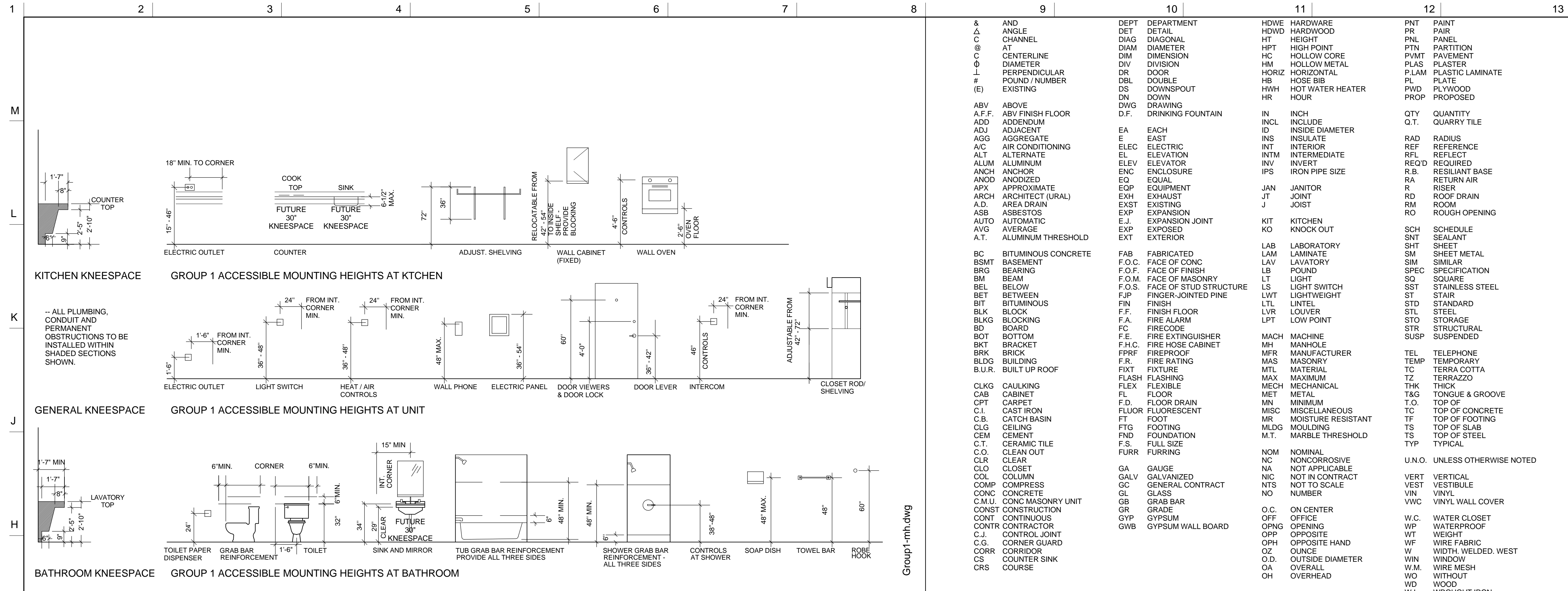
DZ I Land Planning, Civil Engineering,
Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

PLANTING PLAN

SCALE:	1"=10"
JOB:	2GIS-272
FILE:	2GIS-272
DRAWN:	CRM
CHECKED:	CRM
DATE:	8.16.16

L-1



G-1 GROUP 1 MOUNTING HEIGHTS, TYPICAL UNITS **G-8 ABBREVIATIONS**

G-1 GROUP 1 MOUNTING HEIGHTS, TYPICAL UNITS		G-8 ABBREVIATIONS	
NOT TO SCALE		NOT TO SCALE	
<p>GROUP 1 ACCESSIBLE MOUNTING HEIGHTS AT KITCHEN</p> <p>18" MIN. TO CORNER</p> <p>15"-48"</p> <p>1.5" - 48"</p> <p>1.7" - 8"</p> <p>2.5" - 10"</p> <p>COUNTER TOP</p> <p>COOK TOP</p> <p>SINK</p> <p>FUTURE 30" KNEESPACE</p> <p>FUTURE 30" KNEESPACE</p> <p>6-1/2" MAX.</p> <p>72"</p> <p>36"</p> <p>42"</p> <p>RELOCATABLE FROM 42" - 54" SHELF PROVIDE BLOCKING</p> <p>42"</p> <p>WALL CABINET (FIXED)</p> <p>42"</p> <p>CONTROLS</p> <p>8-1/2" OVEN FLOOR</p> <p>ELECTRIC OUTLET</p> <p>COUNTER</p> <p>ADJUST. SHELVING</p> <p>WALL OVEN</p>		<p>GROUP 1 ACCESSIBLE MOUNTING HEIGHTS AT BATHROOM</p> <p>1.7" MIN</p> <p>1.7" - 8"</p> <p>2.5" - 10"</p> <p>LAVATORY TOP</p> <p>6" MIN.</p> <p>CORNER</p> <p>6" MIN.</p> <p>15" MIN</p> <p>INT. CORNER</p> <p>24"</p> <p>1.6" FROM INT. CORNER MIN.</p> <p>36" - 48"</p> <p>36" - 48"</p> <p>48" MAX.</p> <p>36" - 54"</p> <p>60"</p> <p>4.0"</p> <p>36" - 42"</p> <p>48"</p> <p>CONTROLS</p> <p>ADJUSTABLE FROM 42" - 54"</p> <p>ELECTRIC OUTLET</p> <p>LIGHT SWITCH</p> <p>HEAT / AIR CONTROLS</p> <p>WALL PHONE</p> <p>ELECTRIC PANEL</p> <p>DOOR VIEWERS & DOOR LOCK</p> <p>DOOR LEVER</p> <p>INTERCOM</p> <p>CLOSET ROD SHELVING</p>	
<p>GROUP 1 ACCESSIBLE MOUNTING HEIGHTS AT BATHROOM</p> <p>1.7" MIN</p> <p>1.7" - 8"</p> <p>2.5" - 10"</p> <p>LAVATORY TOP</p> <p>6" MIN.</p> <p>CORNER</p> <p>6" MIN.</p> <p>15" MIN</p> <p>INT. CORNER</p> <p>24"</p> <p>1.6" FROM INT. CORNER MIN.</p> <p>36" - 48"</p> <p>36" - 48"</p> <p>48" MAX.</p> <p>36" - 54"</p> <p>60"</p> <p>4.0"</p> <p>36" - 42"</p> <p>48"</p> <p>CONTROLS</p> <p>ADJUSTABLE FROM 42" - 54"</p> <p>ELECTRIC OUTLET</p> <p>LIGHT SWITCH</p> <p>HEAT / AIR CONTROLS</p> <p>WALL PHONE</p> <p>ELECTRIC PANEL</p> <p>DOOR VIEWERS & DOOR LOCK</p> <p>DOOR LEVER</p> <p>INTERCOM</p> <p>CLOSET ROD SHELVING</p>		<p>ABBREVIATIONS</p> <p>--- WRB/VAPOR RETARDER/HIDDEN EDGE</p> <p>--- CENTER/COLUMN LINE</p> <p>--- PROPERTY LINE</p> <p>○ DETAIL REFERENCE</p> <p>○ DETAIL REFERENCE</p> <p>□ DOOR TAG</p> <p>□ BEDROOM ROOM NAME FINISH SET</p> <p>◇ PARTITION TYPE</p> <p>● FIRST FLOOR FLOOR NAME FLOOR ELEVATION</p> <p>● SPOT ELEVATION</p> <p>○ BATT INSULATION</p> <p>○ SECTION MARKER</p> <p>○ DETAIL REFERENCE</p> <p>◇ INTERIOR ELEVATIONS</p> <p>○ EXTERIOR ELEVATIONS</p> <p>○ REVISION BUBBLE AND TAG</p> <p>○ COLUMN GRID TAG</p> <p>○ WINDOW TAG</p> <p>○ SEALANT AND BACKER ROD</p> <p>CONCRETE</p> <p>BRICK</p> <p>STEEL</p> <p>ALUMINUM</p> <p>GLASS (ELEVATION)</p> <p>WOOD BLOCKING, CONTINUOUS, U.N.O.</p> <p>SPRAY FOAM INSULATION</p> <p>CONCRETE MASONRY UNIT</p> <p>GYPSUM / PLASTER</p> <p>EARTH</p> <p>WOOD / PVC</p> <p>STONE</p> <p>SHIM / NON-CONTINUOUS BLOCKING.</p> <p>CELLULOSE INSULATION</p> <p>GRASS</p> <p>GRAVEL / CRUSHED STONE</p> <p>RIGID INSULATION</p> <p>PLYWOOD</p> <p>PLASTIC</p> <p>CARPET</p>	
NOT TO SCALE		NOT TO SCALE	

NOTES

DO NOT SCALE DRAWINGS.

&	AND	DEPT	DEPARTMENT	HDWE	HARDWARE	PNT	PAINT
△	ANGLE	DET	DETAIL	HDWD	HARDWOOD	PR	PAIR
C	CHANNEL	DIAG	DIAGONAL	HT	HEIGHT	PNL	PANEL
AT	AT	DIAM	DIAMETER	HPT	HIGH POINT	PTN	PARTITION
C	CENTERLINE	DIM	DIMENSION	HC	HOLLOW CORE	PVMT	PAVEMENT
Φ	DIAMETER	DIV	DIVISION	HM	HOLLOW METAL	PLAS	PLASTER
⊥	PERPENDICULAR	DR	DOOR	HORIZ	HORIZONTAL	P.LAM	PLASTIC LAMINATE
#	POUND / NUMBER	DBL	DOUBLE	HB	HOSE BIB	PL	PLATE
(E)	EXISTING	DS	DOWNSPOUT	HWH	HOT WATER HEATER	PWD	PLYWOOD
ABV	ABOVE	DN	DOWN	HR	HOUR	PROP	PROPOSED
A.F.F.	ABV FINISH FLOOR	DWG	DRAWING	IN	INCH	QTY	QUANTITY
ADD	ADDENDUM	D.F.	DRINKING FOUNTAIN	INCL	INCLUDE	Q.T.	QUARRY TILE
ADJ	ADJACENT	EA	EACH	ID	INSIDE DIAMETER	RAD	RADIUS
AGG	AGGREGATE	E	EAST	INS	INSULATE	REF	REFERENCE
A/C	AIR CONDITIONING	ELEC	ELECTRIC	INT	INTERIOR	REF	REFERENCE
ALUM	ALUMINUM	ELEV	ELEVATION	INTM	INTERMEDIATE	REQ'D	REQUIRED
ANCH	ANCHOR	ENC	ENCLOSURE	IPS	IRON PIPE SIZE	R.B.	RESILIENT BASE
ANOD	ANODIZED	EQ	EQUAL	JAN	JANITOR	RA	RETURN AIR
APX	APPROXIMATE	EOP	EQUIPMENT	JT	JOINT	R	RISER
ARCH	ARCHITECT (URAL)	EXH	EXHAUST	JT	JOINT	RD	ROOF DRAIN
A.D.	AREA DRAIN	EXST	EXISTING	J	JOIST	RM	ROOM
ASB	ASBESTOS	EXP	EXPANSION	KIT	KITCHEN	RO	ROUGH OPENING
AUTO	AUTOMATIC	EXP	EXPANSION JOINT	KO	KNOCK OUT	SCH	SCHEDULE
AVG	AVERAGE	EXT	EXTERIOR	LAB	LABORATORY	SNT	SEALANT
A.T.	ALUMINUM THRESHOLD	FAB	FABRICATED	LAM	LAMINATE	SHT	SHEET
BC	BITUMINOUS CONCRETE	F.O.C.	FACE OF CONC	LAV	LAVATORY	SM	SIMILAR
B/SM	BASEMENT	F.O.F.	FACE OF FINISH	LB	POUND	SPEC	SPECIFICATION
BRG	BEARING	F.O.M.	FACE OF MASONRY	LT	LIGHT	SQ	SQUARE
BM	BEAM	F.O.S.	FACE OF STUD STRUCTURE	LS	LIGHT SWITCH	SST	STAINLESS STEEL
BEL	BELOW	FJP	FINGER-JOINTED PINE	LWT	LIGHTWEIGHT	ST	STAIR
BET	BETWEEN	FIN	FINISH	LTL	LINTEL	STD	STANDARD
BIT	BITUMINOUS	F.F.	FINISH FLOOR	LVR	LOUVER	STL	STEEL
BLK	BLOCK	F.A.	FIRE ALARM	LPT	LOW POINT	STO	STORAGE
BLKG	BLOCKING	FC	FIRE CODE	MACH	MACHINE	STR	STRUCTURAL
BD	BOARD	F.E.	FIRE EXTINGUISHER	MH	MANHOLE	SUSP	SUSPENDED
BOT	BOTTOM	F.H.C.	FIRE HOSE CABINET	MFR	MANUFACTURER	TEL	TELEPHONE
BKT	BRACKET	F.R.F.	FIREPROOF	MAS	MASONRY	TEMP	TEMPORARY
BRK	BRICK	F.R.	FIRE RATING	MTL	MATERIAL	TERR	TERRAZZO
BLDG	BUILDING	FIXT	FIXTURE	MAX	MAXIMUM	TZ	TERRAZZO
B.U.R.	BUILT UP ROOF	FLSH	FLASHING	MECH	MECHANICAL	THK	THICK
CLKG	CAULKING	FLEX	FLEXIBLE	MET	METAL	T&G	TONGUE & GROOVE
CAB	CABINET	FL	FLOOR	MN	MINIMUM	T.O.	TOP OF
CPT	CARPET	F.D.	FLOOR DRAIN	MISC	MISCELLANEOUS	TC	TOP OF CONCRETE
C.I.	CAST IRON	FLUOR	FLUORESCENT	MR	MOISTURE RESISTANT	TF	TOP OF FOOTING
C.B.	CATCH BASIN	FT	FOOT	MLDG	MOULDING	TS	TOP OF SLAB
CLG	CEILING	FTG	FOOTING	FND	FOUNDATION	TS	TOP OF STEEL
CEM	CEMENT	F.S.	FULL SIZE	M.T.	MARBLE THRESHOLD	TYP	TYPICAL
C.T.	CERAMIC TILE	FURR	FURRING	NOM	NOMINAL	U.N.O.	UNLESS OTHERWISE NOTED
C.O.	CLEAN OUT	GA	GAUGE	NC	NONCORROSIVE	VERT	VERTICAL
CLR	CLEAR	NA	NOT APPLICABLE	NIC	NOT IN CONTRACT	VEST	VESTIBULE
CLO	CLOSET	GALV	GALVANIZED	NTS	NOT TO SCALE	VIN	VINYL
COL	COLUMN	GC	GENERAL CONTRACT	NO	NUMBER	VWC	VINYL WALL COVER
COMP	COMPRESS	GL	GLASS	O.C.	ON CENTER	W.C.	WATER CLOSET
CONC	CONCRETE	GB	GRAB BAR	OFF	OFFICE	WP	WATERPROOF
C.M.U.	CONC MASONRY UNIT	GR	GRADE	OPNG	OPENING	WF	WIRE FABRIC
CONST	CONSTRUCTION	GYP	GYPSUM	OPP	OPPOSITE	WF	WIRE FABRIC
CONT	CONTINUOUS	GWB	GYPSUM WALL BOARD	OPH	OPPOSITE HAND	W	WIDTH, WELDED, WEST
CONTR	CONTRACTOR	CORR	CORRIDOR	OZ	OUNCE	W	WIDTH, WELDED, WEST
C.J.	CONTROL JOINT	CS	COUNTER SINK	O.D.	OUTSIDE DIAMETER	WIN	WINDOW
C.S.	CORNER GUARD	CRS	COURSE	OA	OVERALL	W.M.	WIRE MESH
CORR	CORRIDOR			OH	OVERHEAD	WO	WITHOUT
CS	COUNTER SINK					WD	WOOD
CRS	COURSE					W.I.	WROUGHT IRON

REVISIONS/SUBMISSIONS

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

240A Elm St.,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Project: HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title: **GENERAL NOTES AND MOUNTING HEIGHTS**

Design: BW
Checked: Y012.00
Scale: As indicated
Date: 2016-12-16

A001

DOOR SCHEDULE table with columns: DOOR DESCRIPTION, DOOR TAG, DOOR ELEV., Level, DIMENSIONS (WIDTH, HEIGHT, THICK), FIRE RATING, DOOR MATERIAL, FINISH, FRAME MATERIAL, FINISH, HARD WARE, COMMENTS. Rows include MEP ROOM, PLUMBING ROOM, ELECTRICAL ROOM, ELEVATOR CONTROL ROOM, MANAGEMENT BATHROOM, etc.

DOOR SCHEDULE table with columns: DOOR DESCRIPTION, DOOR TAG, DOOR ELEV., Level, DIMENSIONS (WIDTH, HEIGHT, THICK), FIRE RATING, DOOR MATERIAL, FINISH, FRAME MATERIAL, FINISH, HARD WARE, COMMENTS. Rows include UNIT 401 BED 1, UNIT 401 BED 2, UNIT 12 BATH, etc.

NOTES

DO NOT SCALE DRAWINGS.

Table with columns: No., REVISIONS/SUBMISSIONS, Date. Contains revision history for the drawing.

DAVIS SQUARE ARCHITECTS logo and contact information: 240A Elm St., Somerville, MA 02144, 617.628.5700, www.davissquarearchitects.com

Consultant

Project HISTORIC PRESERVATION & ADDITION GATEWAY BRIGHTON 1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title DOOR SCHEDULE

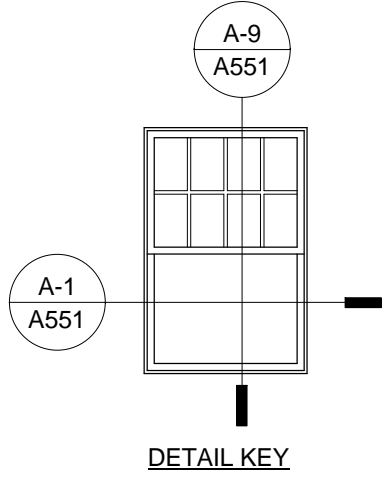
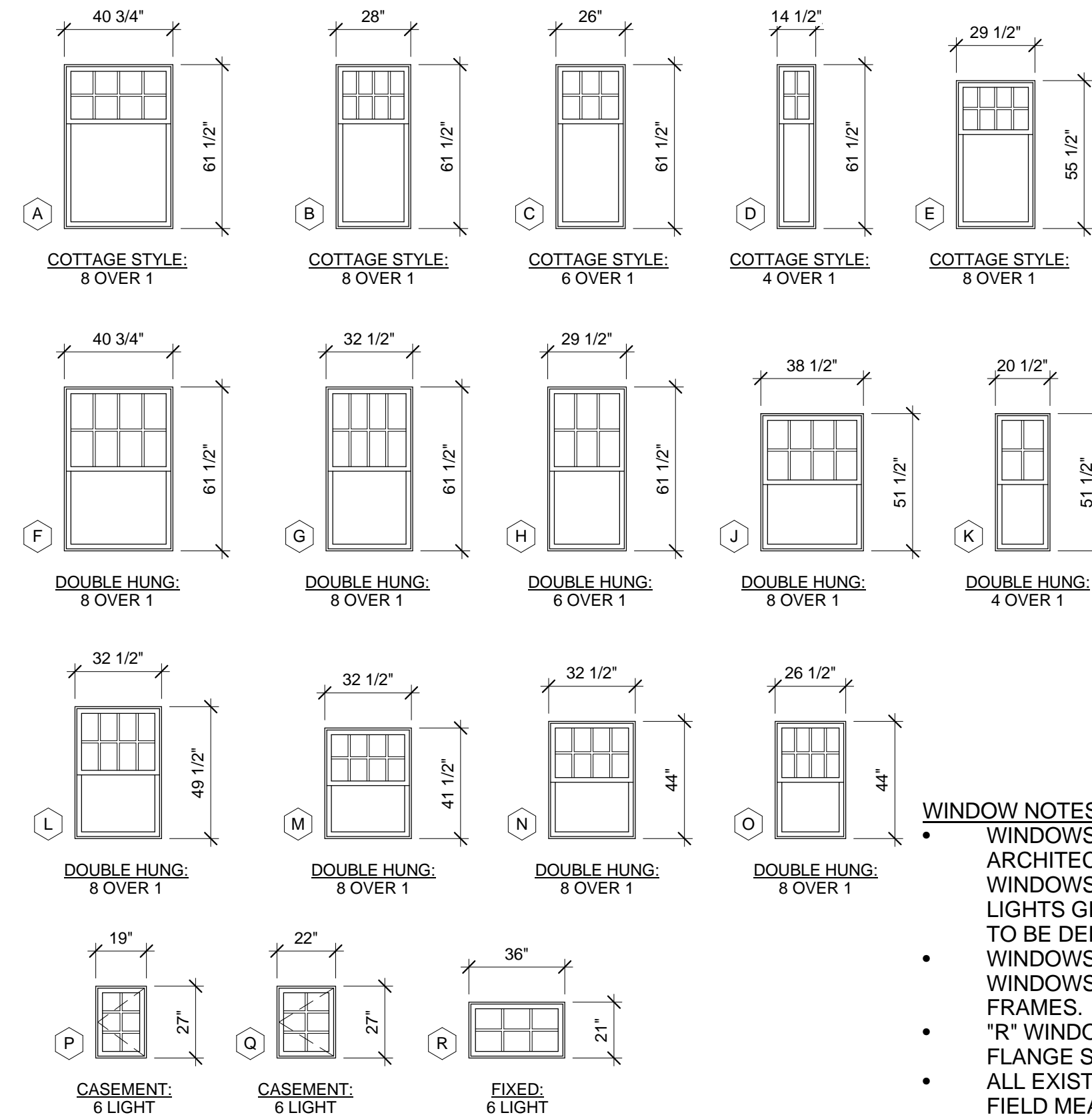
Design, Drawing No., Checked, Scale, Date 2016-12-16, and large A002 scale indicator.

NOTE: HARDWARE SETS ARE NOT YET SPECIFIED.

DOOR SCHEDULE ABBREVIATIONS:

- AL ALUMINUM
CAA CHROMIC ACID ANODIZE
HM HOLLOW METAL
KDMH KNOCK DOWN HOLLOW METAL
MTL METAL
GALV GALVANIZED
PTD PAINTED
SCWD SOLID CORE WOOD
WD WOOD
N/A NOT APPLICABLE

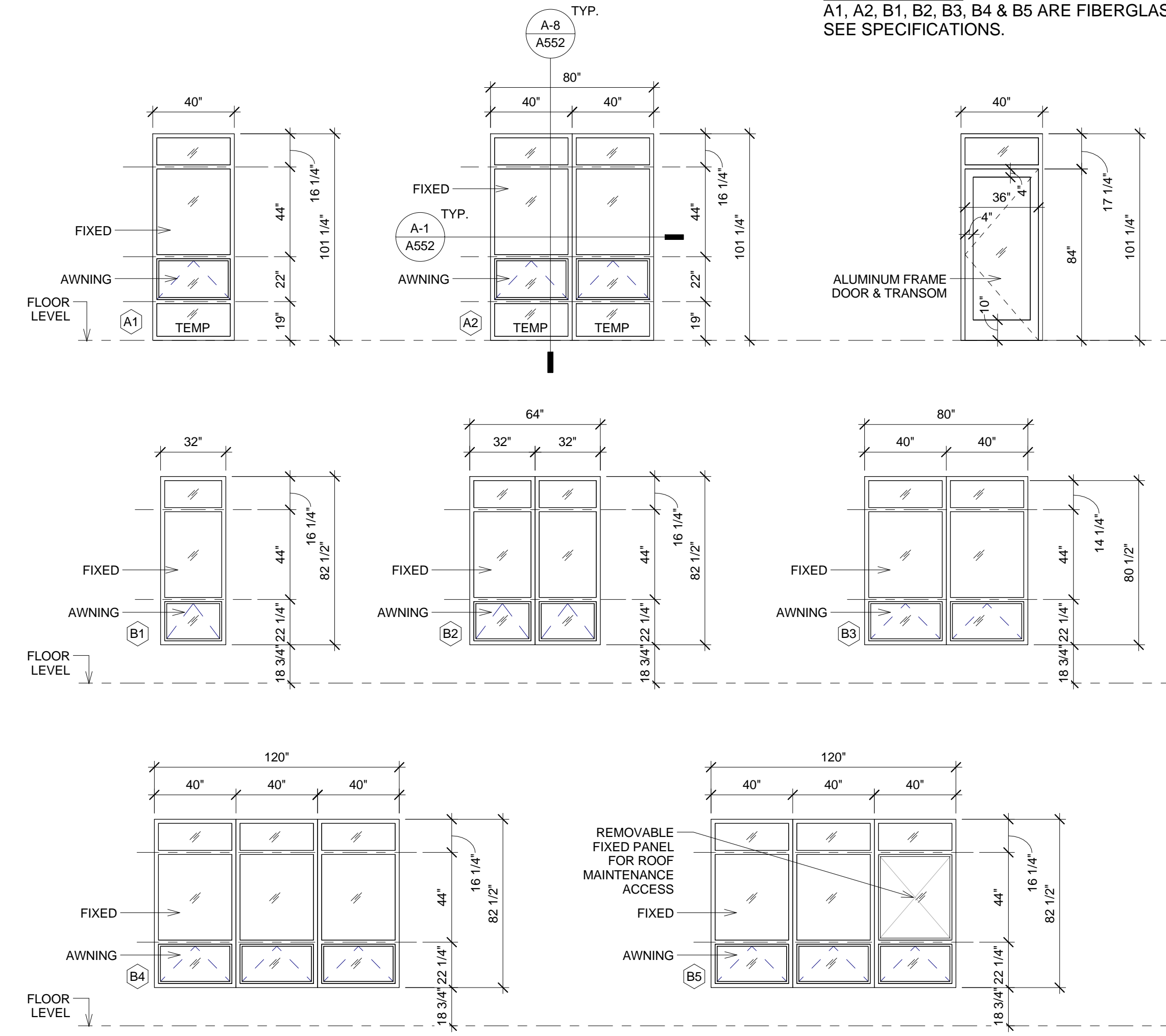
M
L
K
J
H
G
F
E
D
C
B
A



WINDOW NOTES:

- WINDOWS "A" THRU "R" ARE PELLA ARCHITECT SERIES ALUMINUM CLAD WOOD WINDOWS WITH 5/8" SIMULATED DIVIDED LIGHTS GRILLE WITH SPACER BARS. COLOR TO BE DEEP OLIVE.
- WINDOWS "A" THRU "Q" ARE REPLACEMENT WINDOWS TO BE SET IN ORIGINAL WINDOW FRAMES.
- "R" WINDOW TO HAVE INTEGRAL NAILING FLANGE SET IN NEW OPENING.
- ALL EXISTING WINDOW SIZES ARE TO BE FIELD MEASURED BY THE GC. DIMENSIONS SHOWN IN THE DRAWINGS ARE ESTIMATED AND SHALL BE VERIFIED IN THE FIELD.

WINDOW NOTES:
 A1, A2, B1, B2, B3, B4 & B5 ARE FIBERGLASS WINDOWS. SEE SPECIFICATIONS.

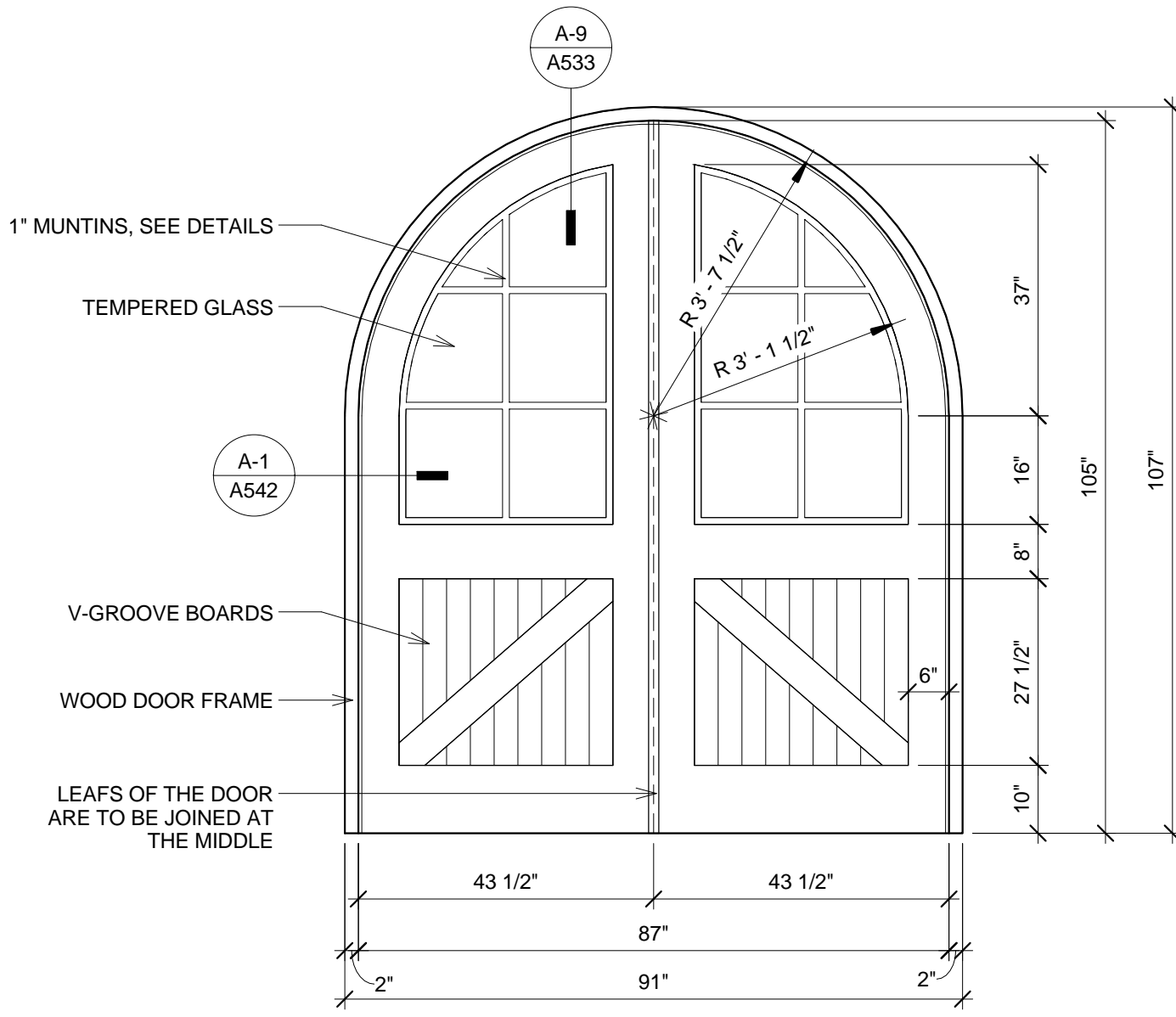


WINDOW LEGEND

1/4" = 1'-0"

FINISH SCHEDULE						
Room Type	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Trim Finish	Comments
ENTRY PORCH	SEALED CONCRETE	N/A	EXTERIOR STUCCO	PAINTED - FLAT	PAINTED - HIGH-G	EXTERIOR PAINT GRADE
VESTIBULE	WALK-OFF MAT	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
STAIR 1 LOBBY	PORCELAIN TILE	PORCELAIN TILE	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
ELEVATOR LOBBY	PORCELAIN TILE	PORCELAIN TILE	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
COMMON HALL	CARPET TILE	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
DUMPSTER ROOM	2-PART EPOXY	4" INTEGRAL COVE	CONCRETE BLOCK	PAINTED - FLAT	PAINTED - HIGH-G	
TRASH ROOM	SHEET RUBBER	4" VINYL COVE	PAINTED - SEMI-G	PAINTED - FLAT	PAINTED - HIGH-G	
MANAGEMENT STORAGE	SEALED CONCRETE	4" VINYL COVE	PAINTED - SEMI-G	PAINTED - FLAT	PAINTED - HIGH-G	
PLUMBING	SEALED CONCRETE	JOHNSONITE MILLWORK	PAINTED - SEMI-G	PAINTED - FLAT	PAINTED - HIGH-G	
ELECTRICAL	SEALED CONCRETE	4" VINYL COVE	PAINTED - SEMI-G	PAINTED - FLAT	PAINTED - HIGH-G	
CONTROL ROOM	SEALED CONCRETE	4" VINYL COVE	PAINTED - SEMI-G	PAINTED - FLAT	PAINTED - HIGH-G	
STAIR 1	SHEET RUBBER	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
STAIR 2	SHEET RUBBER	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT HALL	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT LIVING	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT DINING	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT BEDROOM	CARPET WITH PAD	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT CLOSET	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT LINEN / LAUNDRY	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT KITCHEN	VINYL PLANK	JOHNSONITE MILLWORK	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	
UNIT BATHROOM	PORCELAIN TILE	PORCELAIN TILE	PAINTED - SATIN	PAINTED - FLAT	PAINTED - HIGH-G	PROVIDE MILDECIDE ADDITIVE TO PAINT
STRUCTURED PARKING	SEALED CONCRETE	N/A	CONCRETE BLOCK	EXTERIOR ACOUSTIC TILE	N/A	

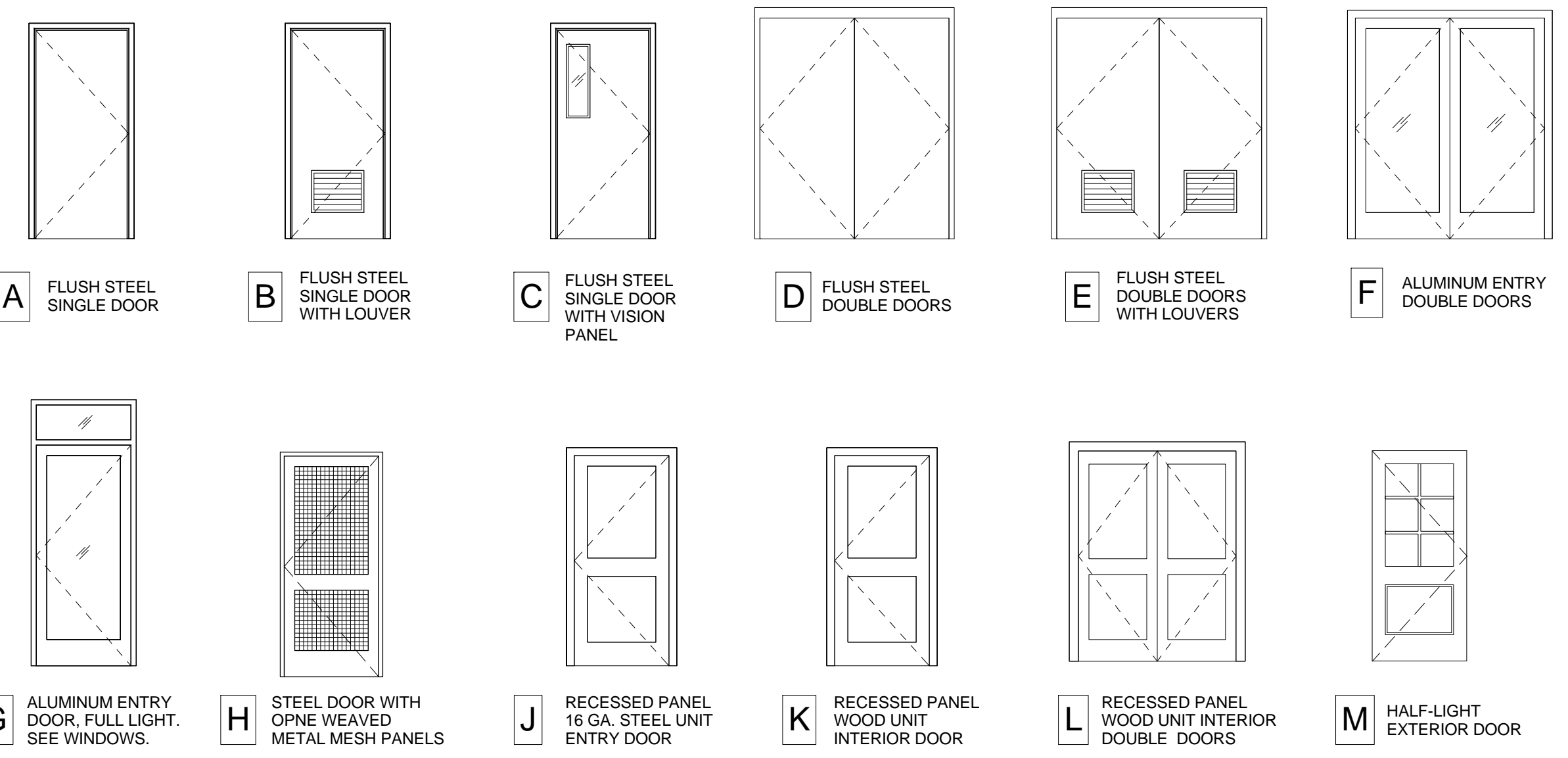
NOTE:
 PAINT COLORS NOT YET SELECTED



GARAGE DOOR ELEVATION NOTE:
 THIS ELEVATION IS A BASIS-OF-DESIGN FOR NEW CONSTRUCTION DOORS TO REPLICATE THE EXISTING HISTORIC GARAGE DOORS. THE GC SHALL SAVE THE ORIGINAL DOOR FOR THE DOOR MANUFACTURER'S USE IN THE REPLICATE OF THE HISTORIC ELEMENT. THE GC SHALL SUBMIT DETAILED SHOP DRAWINGS OF THE PROPOSED DOORS TO THE ARCHITECT.

GARAGE DOOR ELEVATION

1/2" = 1'-0"



DOOR NOTES:
 REFER TO OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION

DOOR LEGEND

1/4" = 1'-0"

NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



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 Somerville, MA 02144
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 www.davissquarearchitects.com

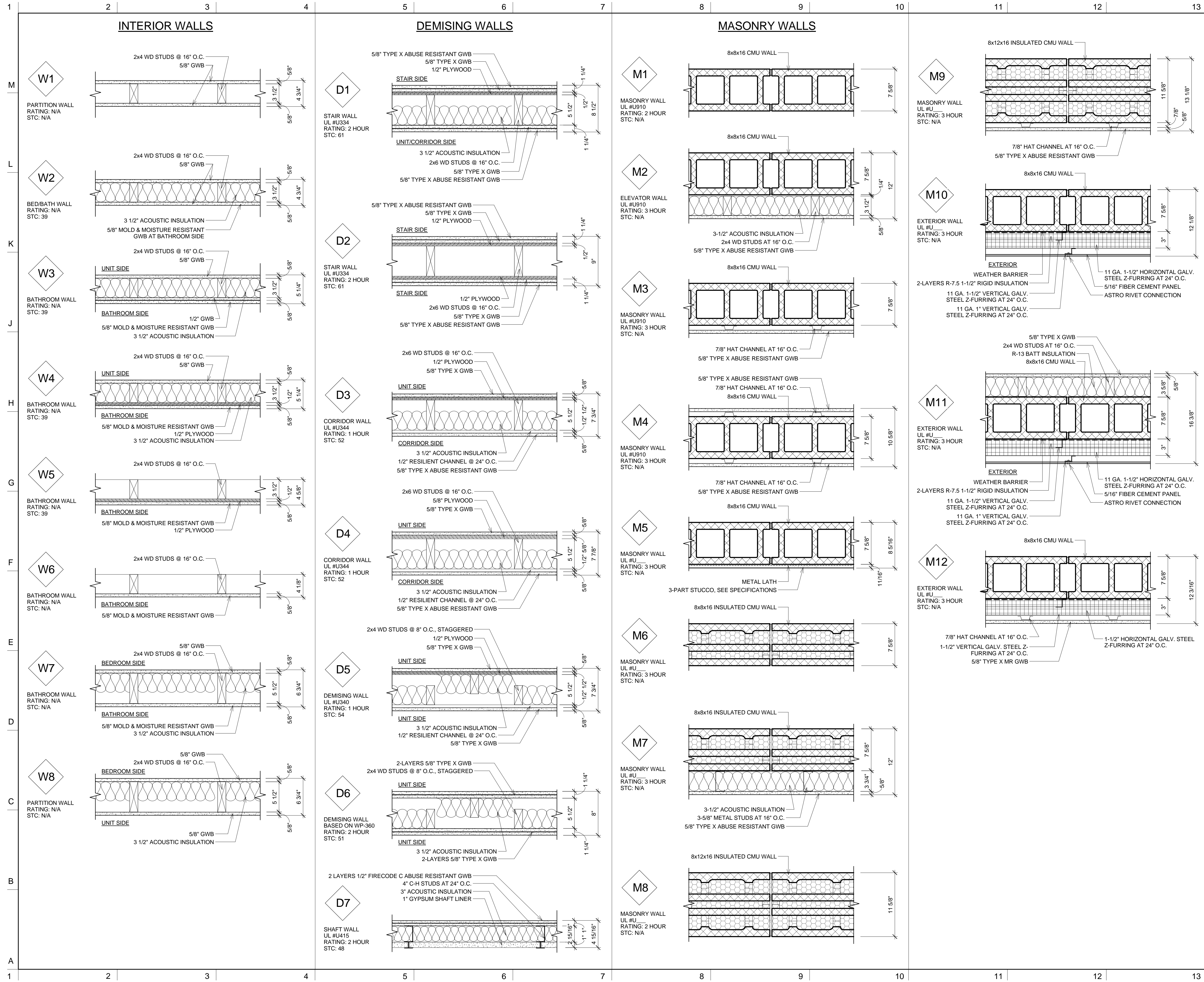
Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **WINDOW & DOOR ELEVATIONS & FINISH SCHEDULE**

Design	BW	Drawn	
Checked			
Project No.	17012.00		
Scale	As indicated		
Date	2016-12-16		

A003



NOTES

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No.	REVISIONS/SUBMISSIONS	Date

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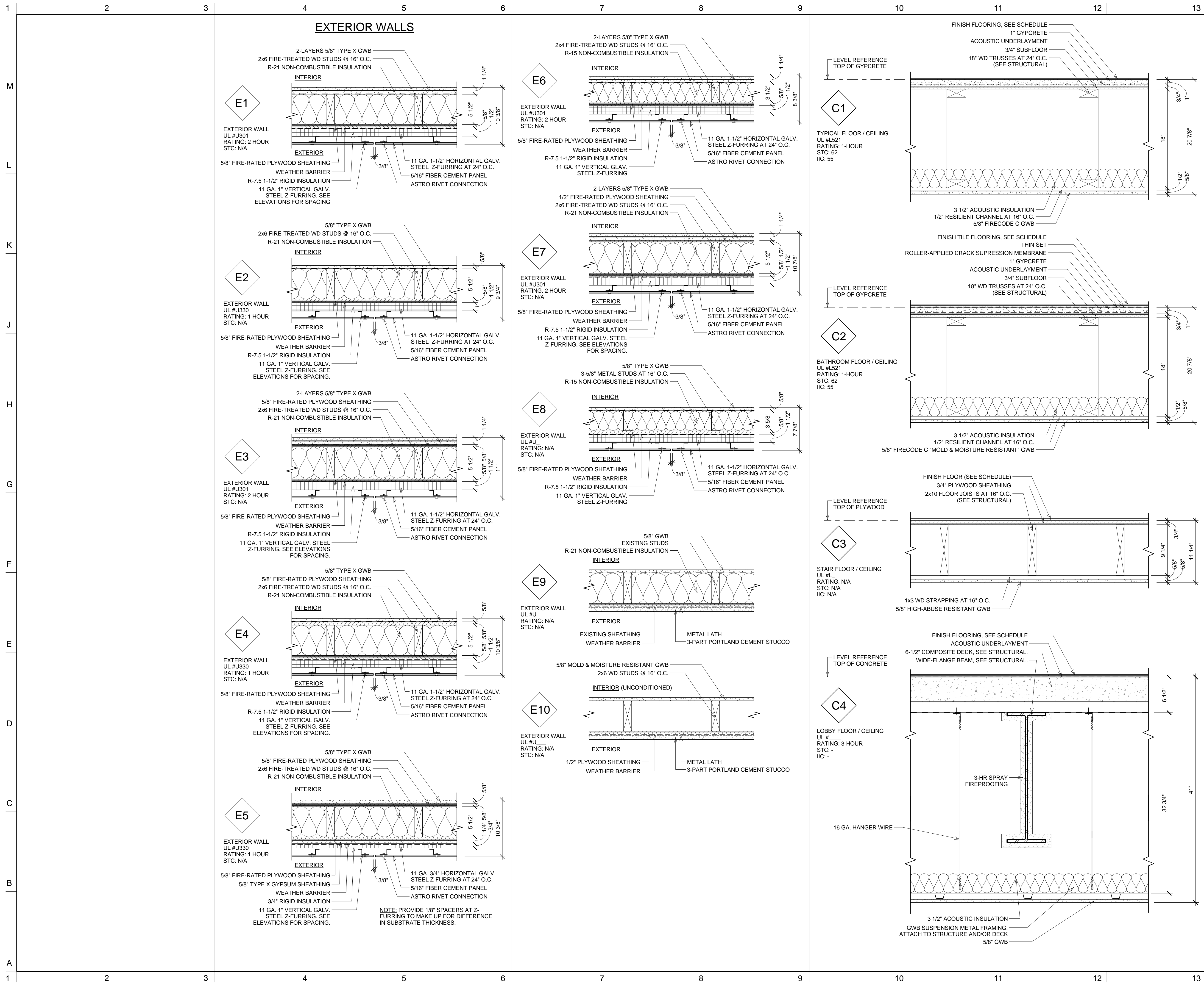
Consultant

Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125**

Title **WALL TYPES**

Design	BW	Drawing No.	A004
Checked			
Plot No.			
Project No.	1012.00		
Scale	1 1/2" = 1'-0"		
Date	2016-12-16		

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NOTES

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No.	REVISIONS/SUBMISSIONS	Date



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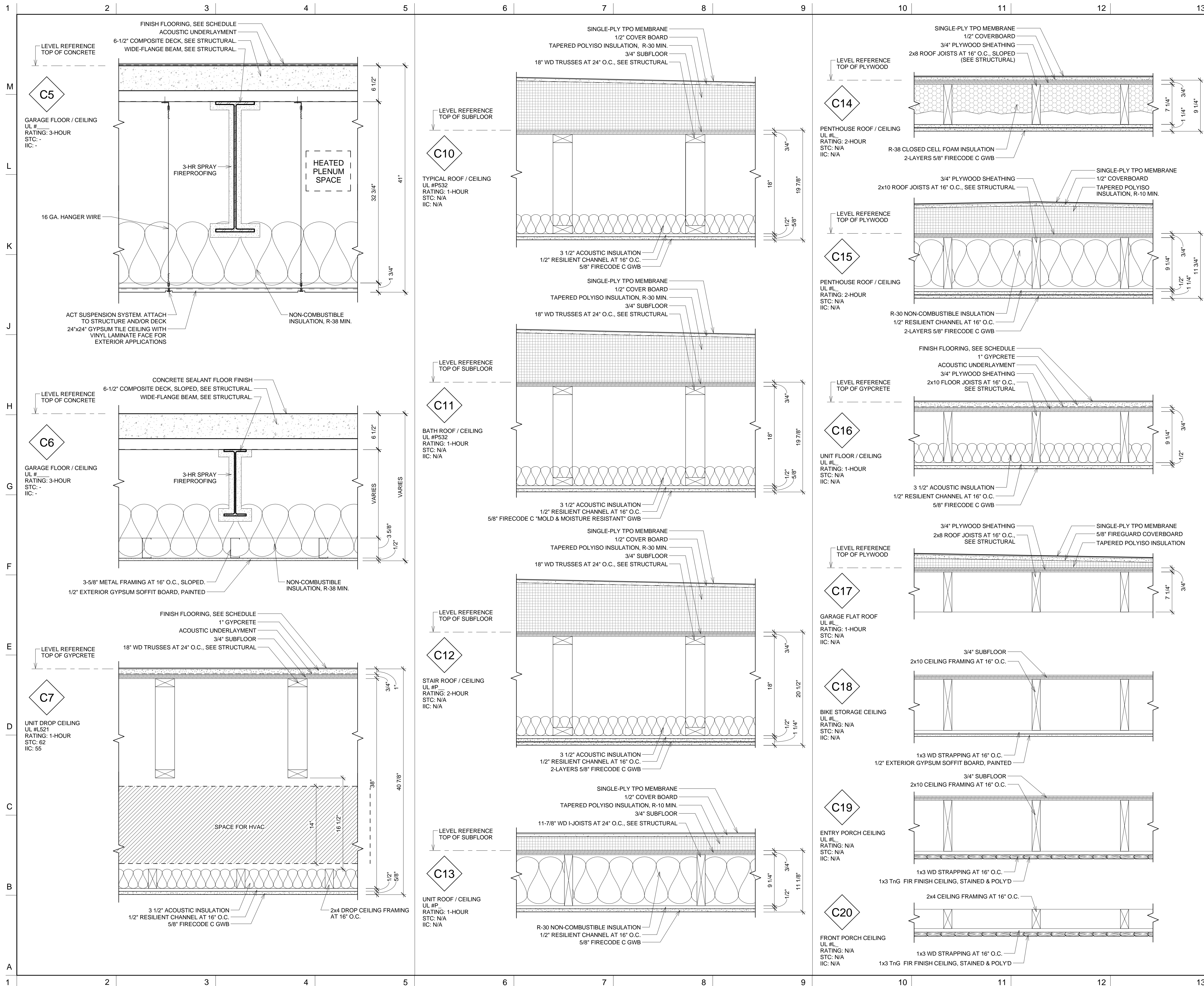
Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **WALL TYPES**
FLOOR / CEILING TYPES

Design	BW	Draw. No.	
Checked			
Project No.	1012.00		
Scale	1 1/2" = 1'-0"		
Date	2016-12-16		

A005



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



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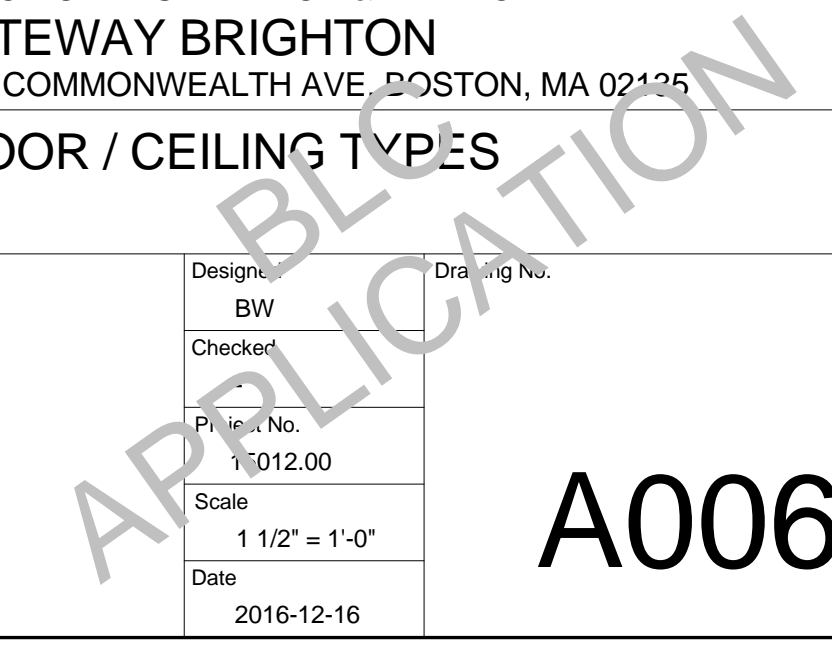
Consultant

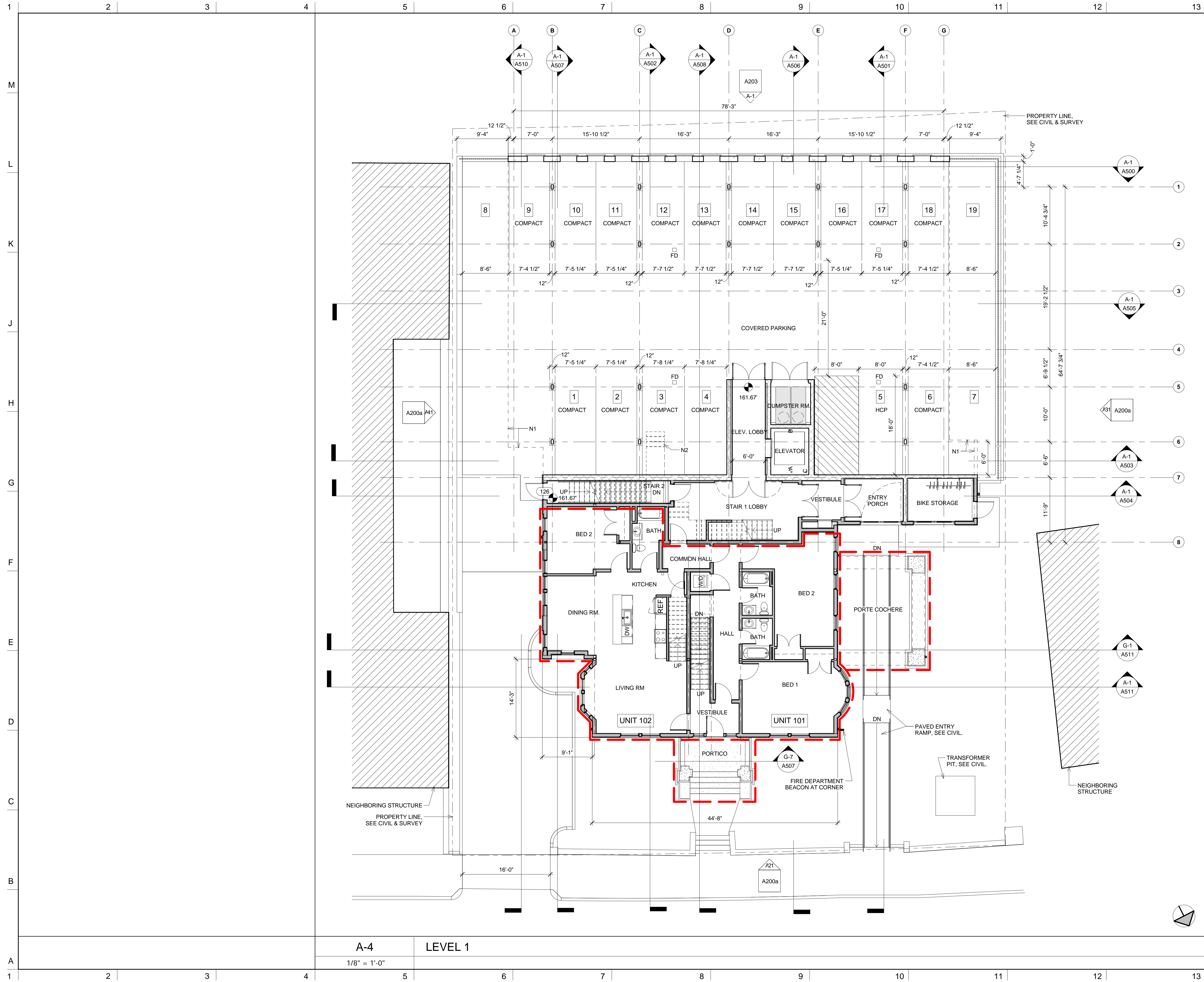
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE. BOSTON, MA 02125

Title **FLOOR / CEILING TYPES**

Design	Drawing No.
Checked	
Project No.	
Scale	
Date	

A006





NOTES

DO NOT SCALE DRAWINGS.
GENERAL NOTES
 * ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
 * THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.

NUMBERED NOTES
 N1. FLOOR AND/OR WALL OVERHEAD.
 N2. STAIRS OVERHEAD.
 N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - DETAIL DRAWING CALL-OUT
 - SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - SPOT ELEVATION
 - WINDOW TAG
 - DOOR TAG
 - WALL TAG
 - FIRE EXTINGUISHER CABINET
 - MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FLOOR DRAIN. SEE PLUMBING DRAWINGS.
 - HEAVY RED LINES INDICATE THE EXISTING HISTORIC STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. REMOVE ALL INTERIOR FINISHES DOWN TO STUDS AND SUBFLOOR. THE ORIGINAL CLAY TILE ROOF SHALL BE REPLACED IN KIND. REMOVE STUCCO DOWN TO SHEATHING & MAINTAIN EXTERIOR TRIM. EXTERIOR WALLS, ROOF & DORMERS SHALL REMAIN.
 - ALL INTERIOR AND EXTERIOR FINISHES SHALL BE NEW AS SHOWN ON THESE PLANS. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ANY INTERIOR ROUGH FRAMING AS NOTED ON THE STRUCTURAL PLANS.

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS
 240A Elm St.,
 Somerville, MA 02144
 617.628.5700
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Consultant

Project **HISTORIC PRESERVATION & ADDITION
 GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02125**

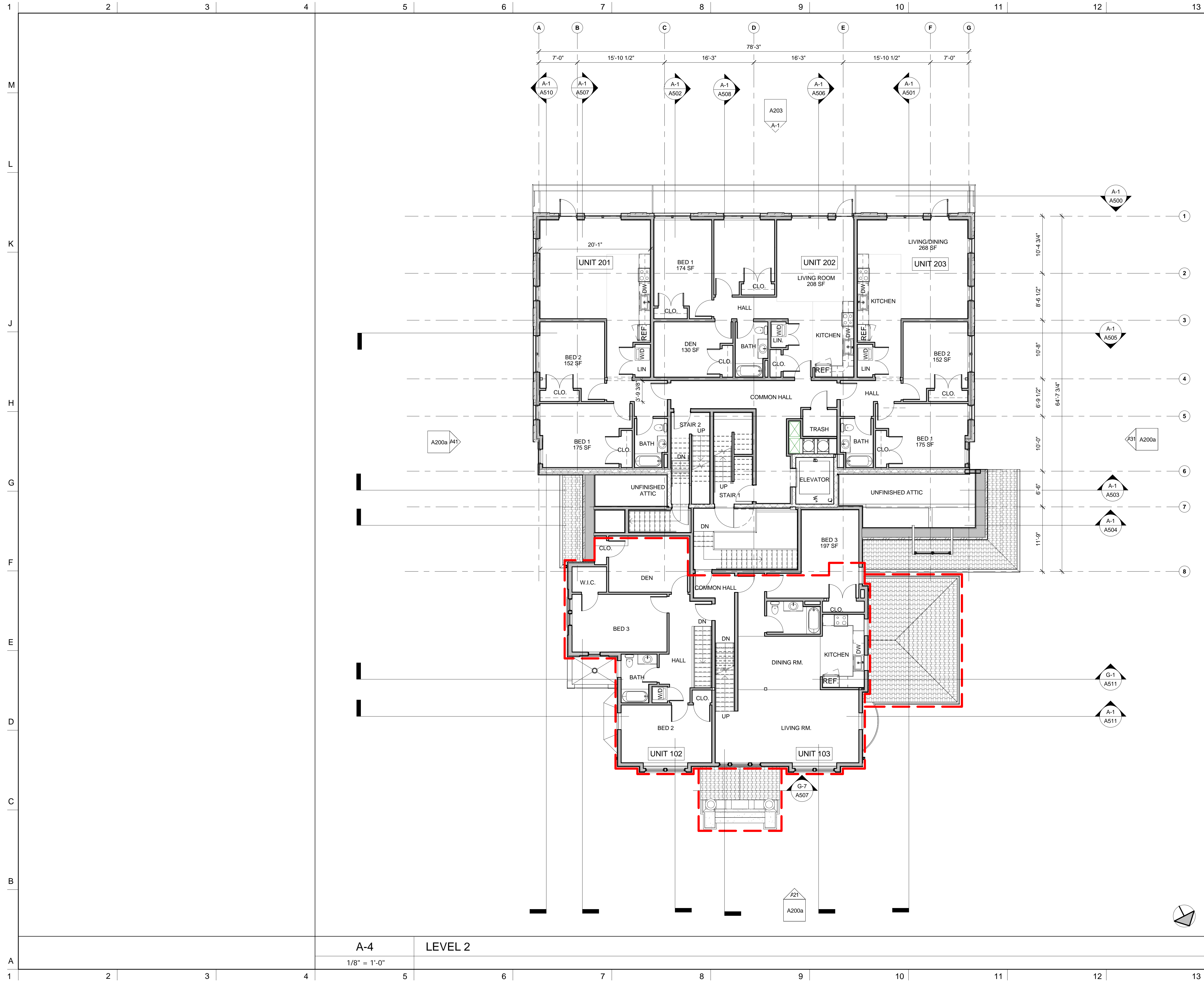
Title **FIRST FLOOR PLAN**

Design	BW	Drawing No.	A101
Checked			
Project No.	Y012.00		
Scale	As indicated		
Date	2016-12-16		

A-4
 1/8" = 1'-0"
LEVEL 1

APPLICATION

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NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

- ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
- THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.

NUMBERED NOTES

- N1. FLOOR AND/OR WALL OVERHEAD.
- N2. STAIRS OVERHEAD.
- N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
- N4. TRASH CHUTE DISCHARGE OVERHEAD.

KEY:

- FLOOR LEVEL
- GRID HEAD AND GRID CENTERLINE
- SIM DETAIL DRAWING CALL-OUT
- SIM SECTION DRAWING CALL-OUT
- NORTH ARROW
- SPOT ELEVATION
- WINDOW TAG
- DOOR TAG
- WALL TAG
- FIRE EXTINGUISHER CABINET
- MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
- FLOOR DRAIN. SEE PLUMBING DRAWINGS.

HEAVY RED LINES INDICATE THE EXISTING HISTORIC STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. REMOVE ALL INTERIOR FINISHES DOWN TO STUDS AND SUBFLOOR. THE ORIGINAL CLAY TILE ROOF SHALL BE REPLACED IN KIND. REMOVE STUCCO DOWN TO SHEATHING & MAINTAIN EXTERIOR TRIM. EXTERIOR WALLS, ROOF & DORMERS SHALL REMAIN.

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No.	REVISIONS/SUBMISSIONS	Date

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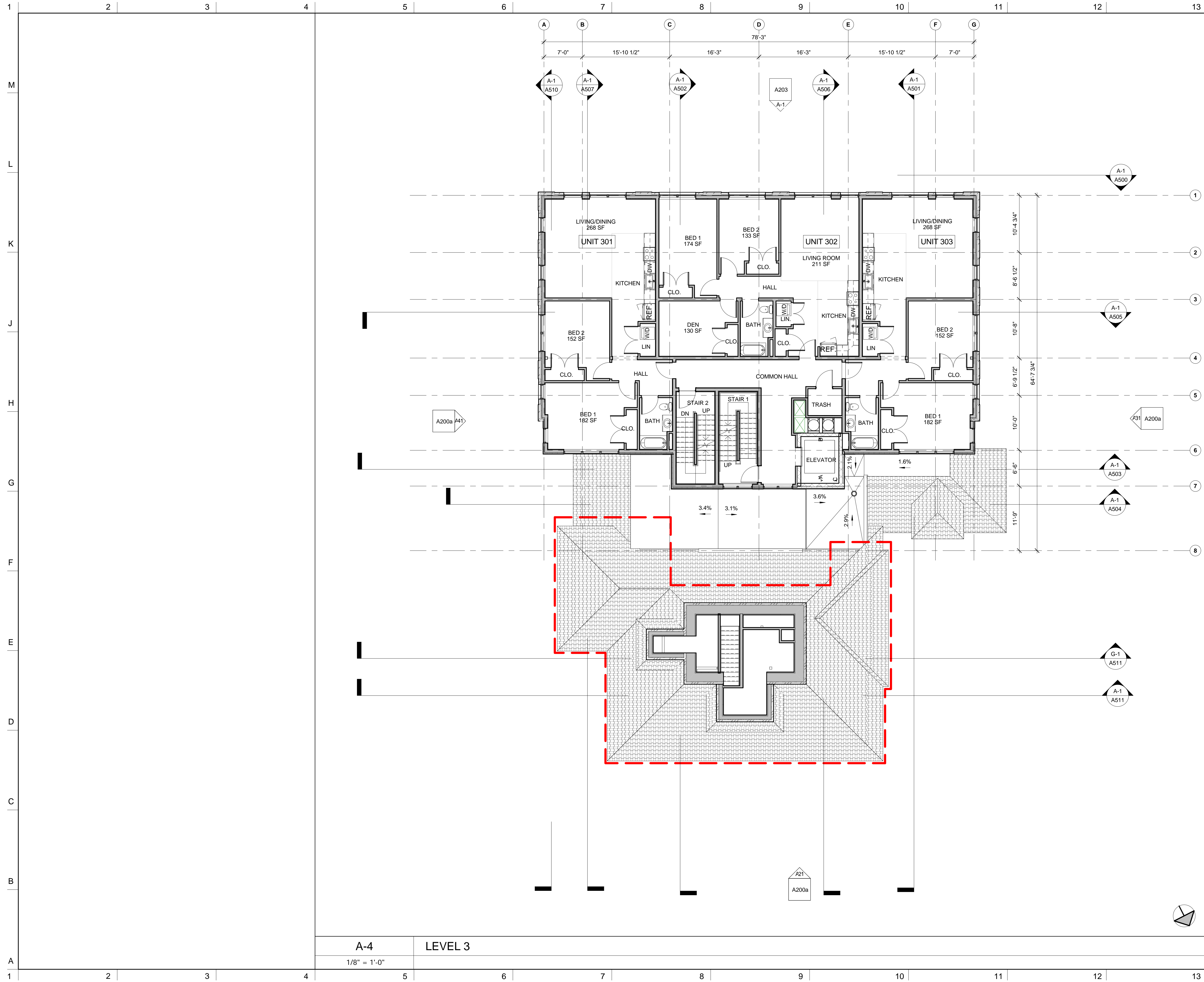
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **SECOND FLOOR PLAN**

Design	BW	Drawing No.	A102
Checked			
Project No.	1012.00		
Scale	As indicated		
Date	2016-12-16		

A-4 LEVEL 2
1/8" = 1'-0"

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NOTES

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- NUMBERED NOTES**
- N1. FLOOR AND/OR WALL OVERHEAD.
 - N2. STAIRS OVERHEAD.
 - N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 - N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM DETAIL DRAWING CALL-OUT
 - SIM SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - SPOT ELEVATION
 - WINDOW TAG
 - DOOR TAG
 - WALL TAG
 - FEC FIRE EXTINGUISHER CABINET
 - MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD FLOOR DRAIN. SEE PLUMBING DRAWINGS.
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No.	REVISIONS/SUBMISSIONS	Date

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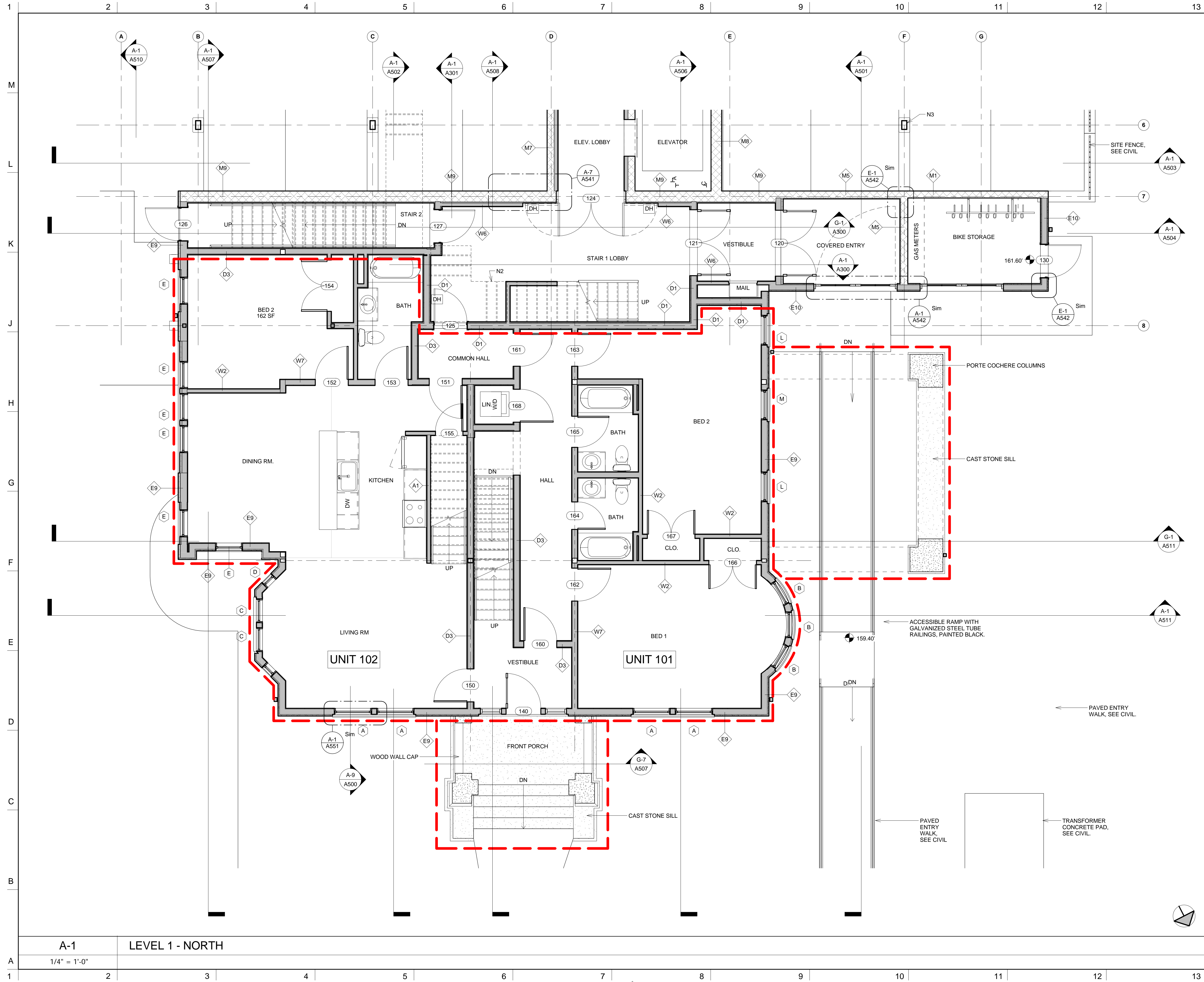
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **THIRD FLOOR PLAN**

Design	BW	Drawing No.	A103
Checked			
Project No.	Y012.00		
Scale	As indicated		
Date	2016-12-16		

A-4 LEVEL 3
1/8" = 1'-0"

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NUMBERED NOTES
 N1. FLOOR AND/OR WALL OVERHEAD.
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 N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM
1 A101
DETAIL DRAWING CALL-OUT
 - SIM
1 A101
SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00
SPOT ELEVATION
 - A
WINDOW TAG
 - 101
DOOR TAG
 - 11
WALL TAG
 - EEC
FIRE EXTINGUISHER CABINET
 - DH
MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD
FLOOR DRAIN. SEE PLUMBING DRAWINGS.
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No.	REVISIONS/SUBMISSIONS	Date

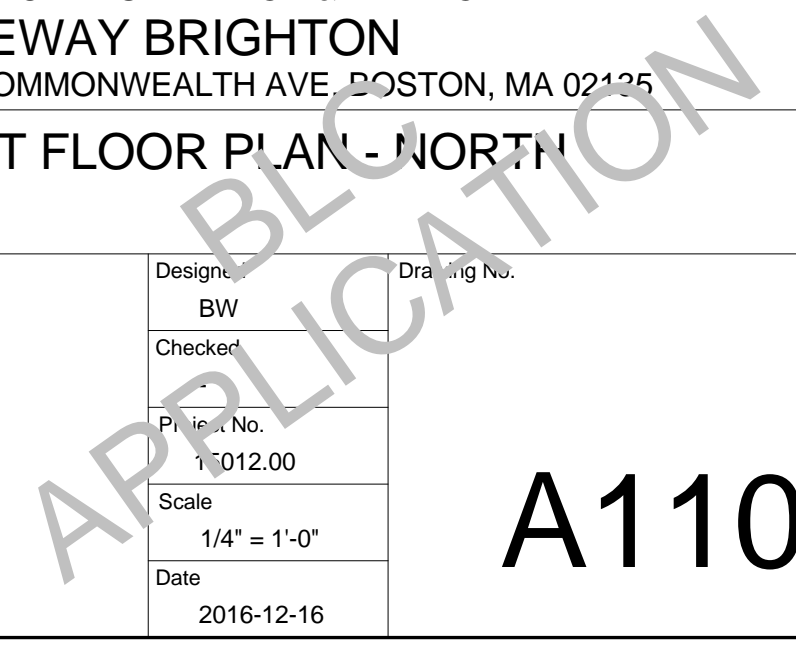
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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **FIRST FLOOR PLAN - NORTH**

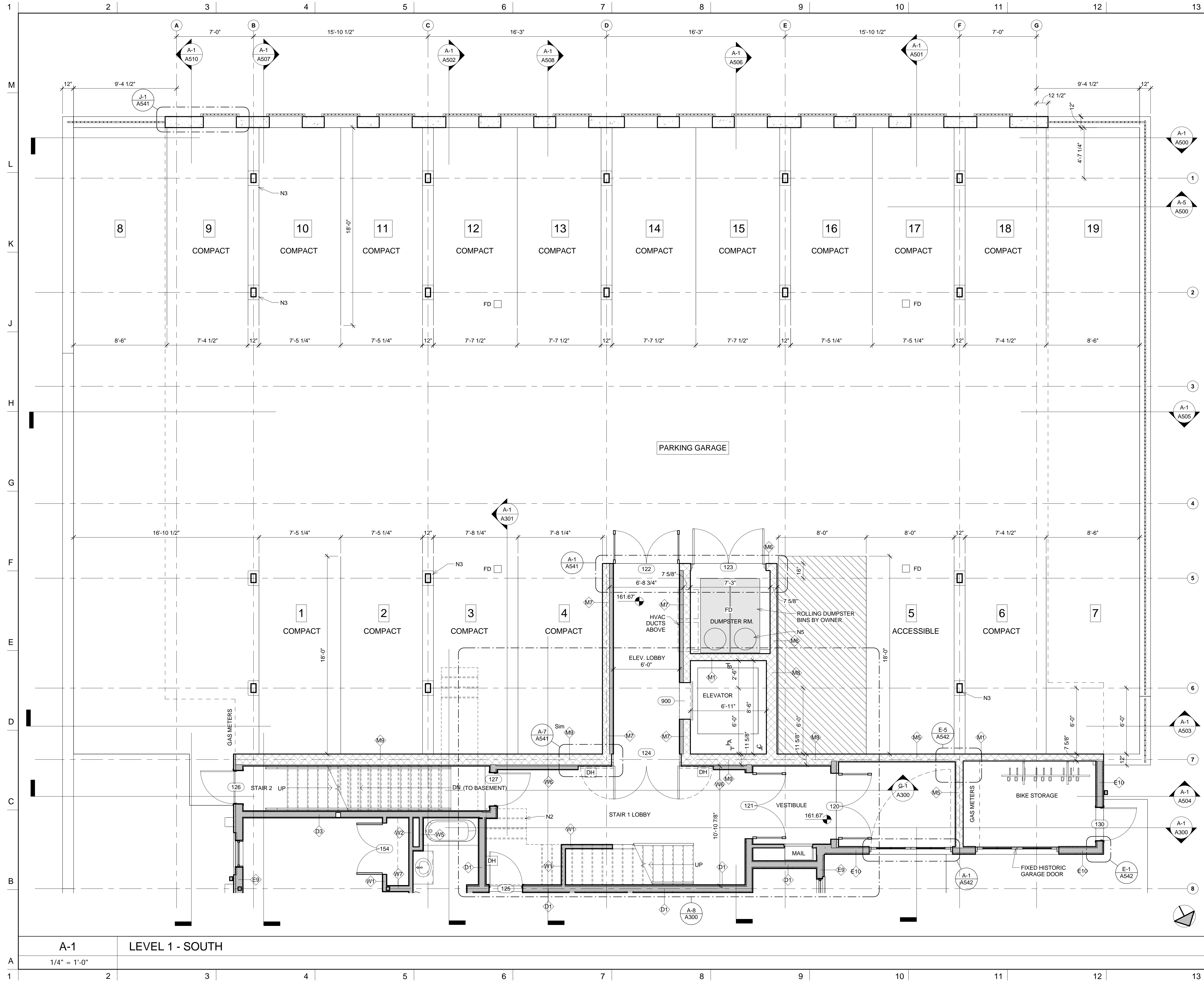
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Checked		Project No.	1012.00
		Scale	1/4" = 1'-0"
		Date	2016-12-16



A-1 LEVEL 1 - NORTH
 1/4" = 1'-0"

A110

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NUMBERED NOTES
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 N2. STAIRS OVERHEAD.
 N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM
1 A101
DETAIL DRAWING CALL-OUT
 - SIM
1 A101
SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00
SPOT ELEVATION
 - A
WINDOW TAG
 - 101
DOOR TAG
 - 11
WALL TAG
 - FEC
FIRE EXTINGUISHER CABINET
 - DH
MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD
FLOOR DRAIN. SEE PLUMBING DRAWINGS.
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No.	REVISIONS/SUBMISSIONS	Date

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Title **FIRST FLOOR PLAN - SOUTH**

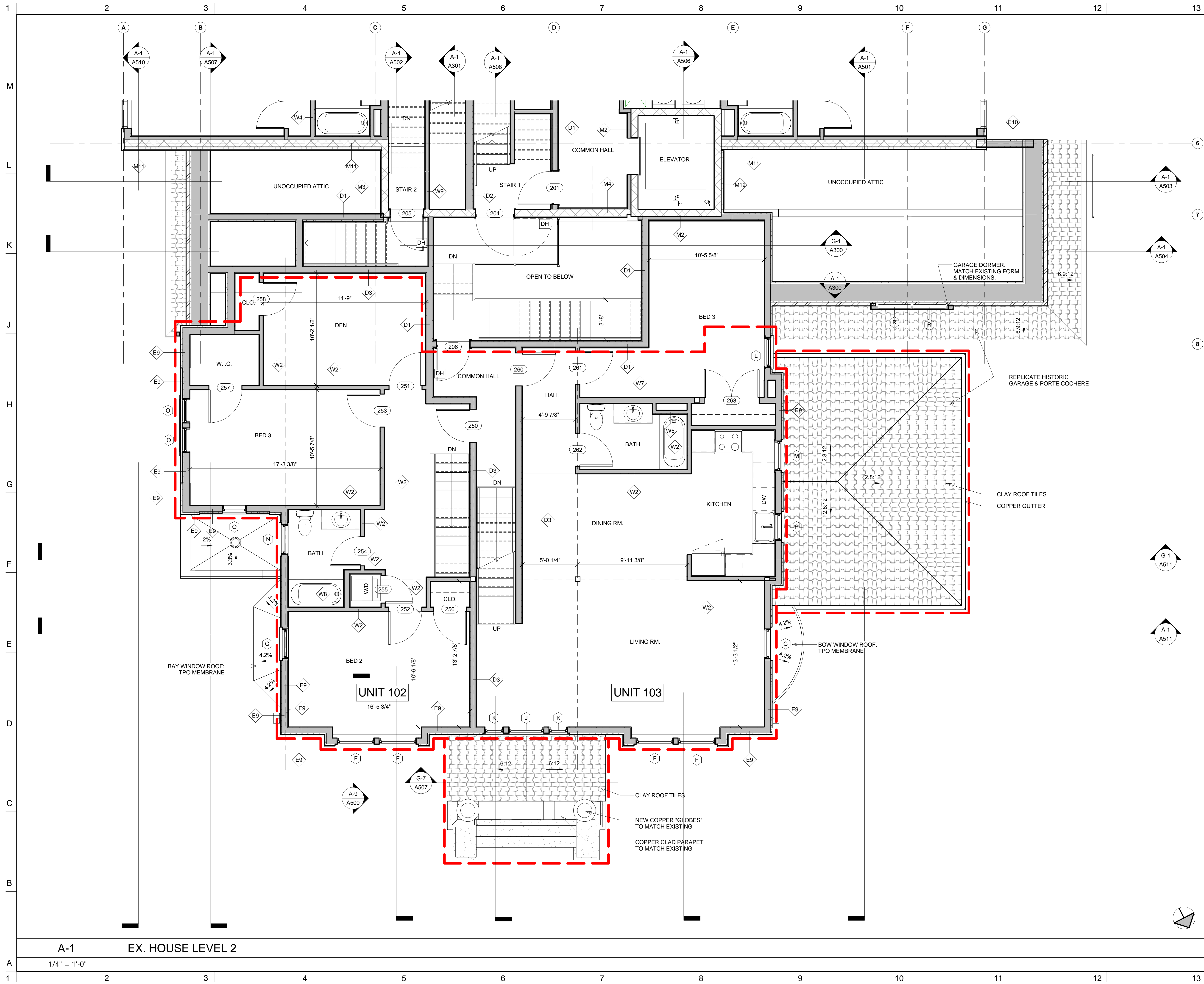
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Checked:		Project No.:	1012.00
Scale:	1/4" = 1'-0"	Date:	2016-12-16

A-1 LEVEL 1 - SOUTH

1/4" = 1'-0"

A111

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- KEY:**
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 - NORTH ARROW
 - SPOT ELEVATION
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 - MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
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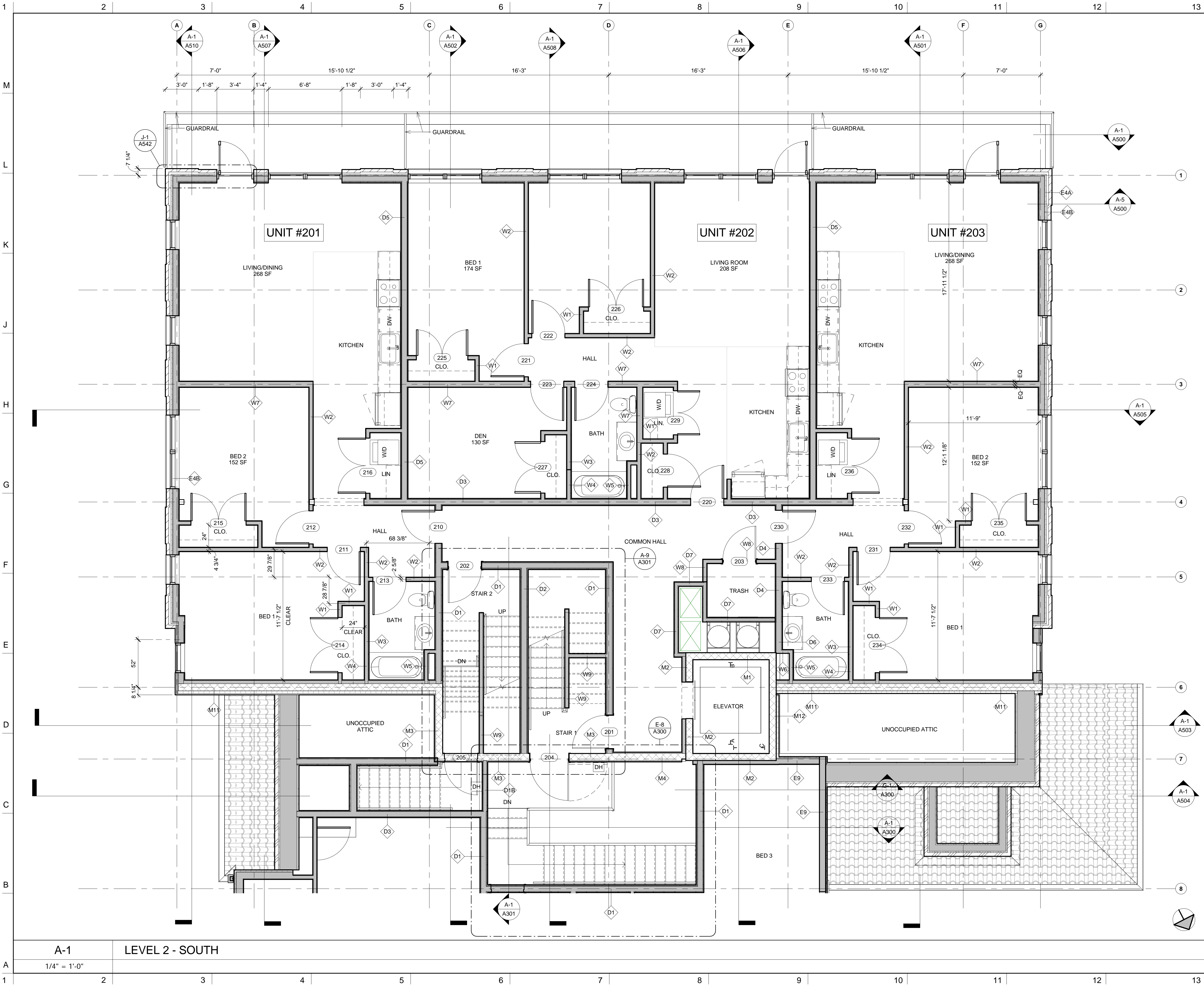
Project **HISTORIC PRESERVATION & ADDITION
 GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE. BOSTON, MA 02125**

Title **SECOND FLOOR - NORTH**

Design	BW	Drawing No.	A120
Checked			
Project No.	1012.00		
Scale	1/4" = 1'-0"		
Date	2016-12-16		

A-1 EX. HOUSE LEVEL 2
 1/4" = 1'-0"

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NUMBERED NOTES

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- N2. STAIRS OVERHEAD.
- N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
- N4. TRASH CHUTE DISCHARGE OVERHEAD.

KEY:

- FLOOR LEVEL
- GRID HEAD AND GRID CENTERLINE
- SIM DETAIL DRAWING CALL-OUT
- SIM SECTION DRAWING CALL-OUT
- NORTH ARROW
- SPOT ELEVATION
- WINDOW TAG
- DOOR TAG
- WALL TAG
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- MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
- FLOOR DRAIN. SEE PLUMBING DRAWINGS.

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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **SECOND FLOOR - SOUTH**

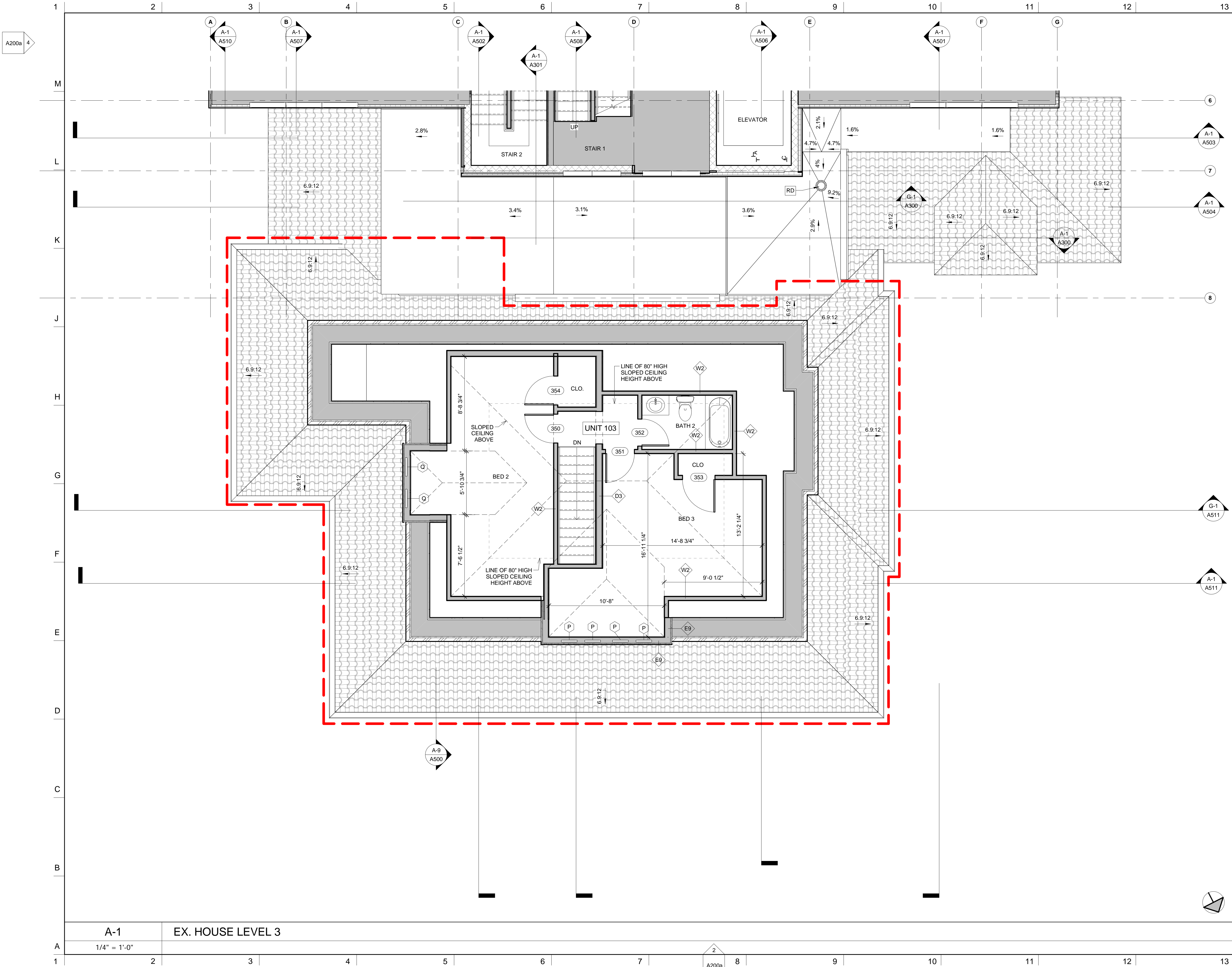
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Checked		Project No.	1012.00
		Scale	1/4" = 1'-0"
		Date	2016-12-16

APPLICATION

A121

A-1 LEVEL 2 - SOUTH
1/4" = 1'-0"

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NUMBERED NOTES
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 N2. STAIRS OVERHEAD.
 N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM
1 A101 DETAIL DRAWING CALL-OUT
 - SIM
1 A101 SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00 SPOT ELEVATION
 - WINDOW TAG
 - 101 DOOR TAG
 - 11 WALL TAG
 - EEC FIRE EXTINGUISHER CABINET
 - DH MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
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GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **THIRD FLOOR - NORTH**

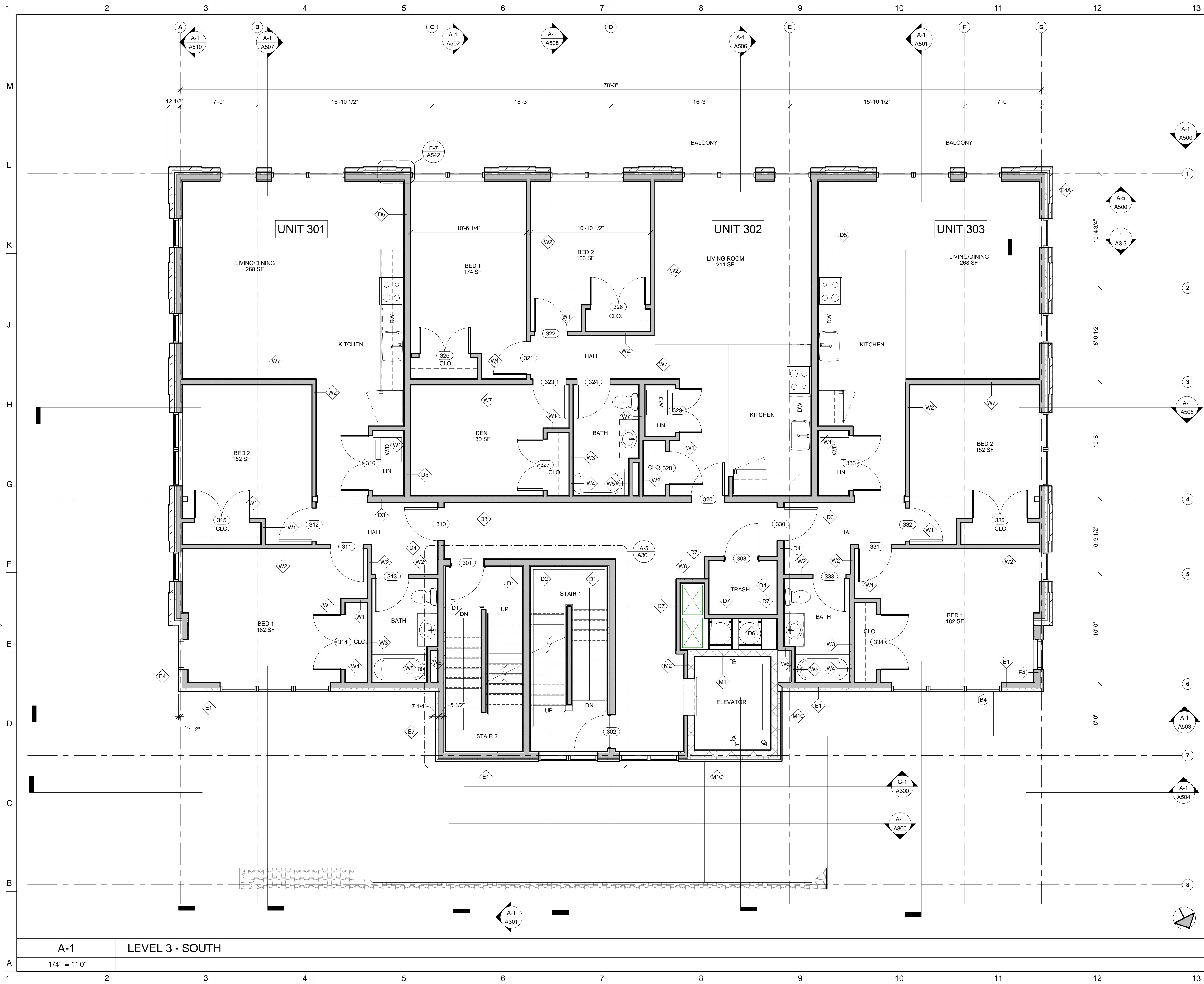
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Scale	1/4" = 1'-0"	Date	2016-12-16

APPLICATION

A130

A-1 EX. HOUSE LEVEL 3
 1/4" = 1'-0"

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NOTES

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- KEY:**
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 - GRID HEAD AND GRID CENTERLINE
 - SIM 1 A101 DETAIL DRAWING CALL-OUT
 - SIM 1 A101 SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00 SPOT ELEVATION
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 - DH MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
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No.	REVISIONS/SUBMISSIONS	Date

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Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **THIRD FLOOR - SOUTH**

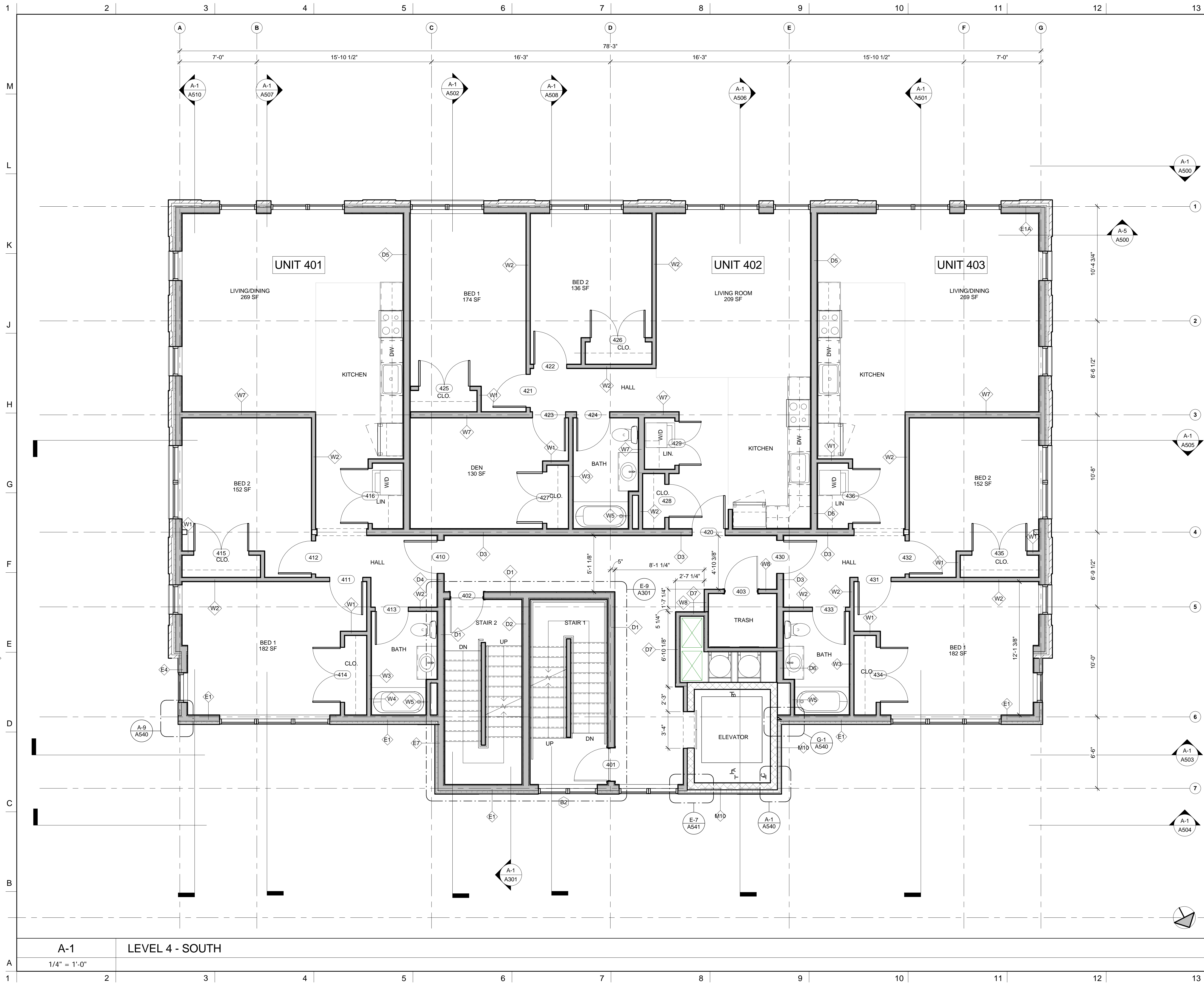
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Checked:		Project No.:	1012.00
Scale:	1/4" = 1'-0"	Date:	2016-12-16

A-1 LEVEL 3 - SOUTH

1/4" = 1'-0"

A131

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NOTES

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 - N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
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 - GRID HEAD AND GRID CENTERLINE
 - SIM 1 A101 DETAIL DRAWING CALL-OUT
 - SIM 2 A101 SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00 SPOT ELEVATION
 - A WINDOW TAG
 - 101 DOOR TAG
 - 11 WALL TAG
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No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

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617.628.5700
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Consultant

Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125**

Title **FOURTH FLOOR PLAN - SOUTH**

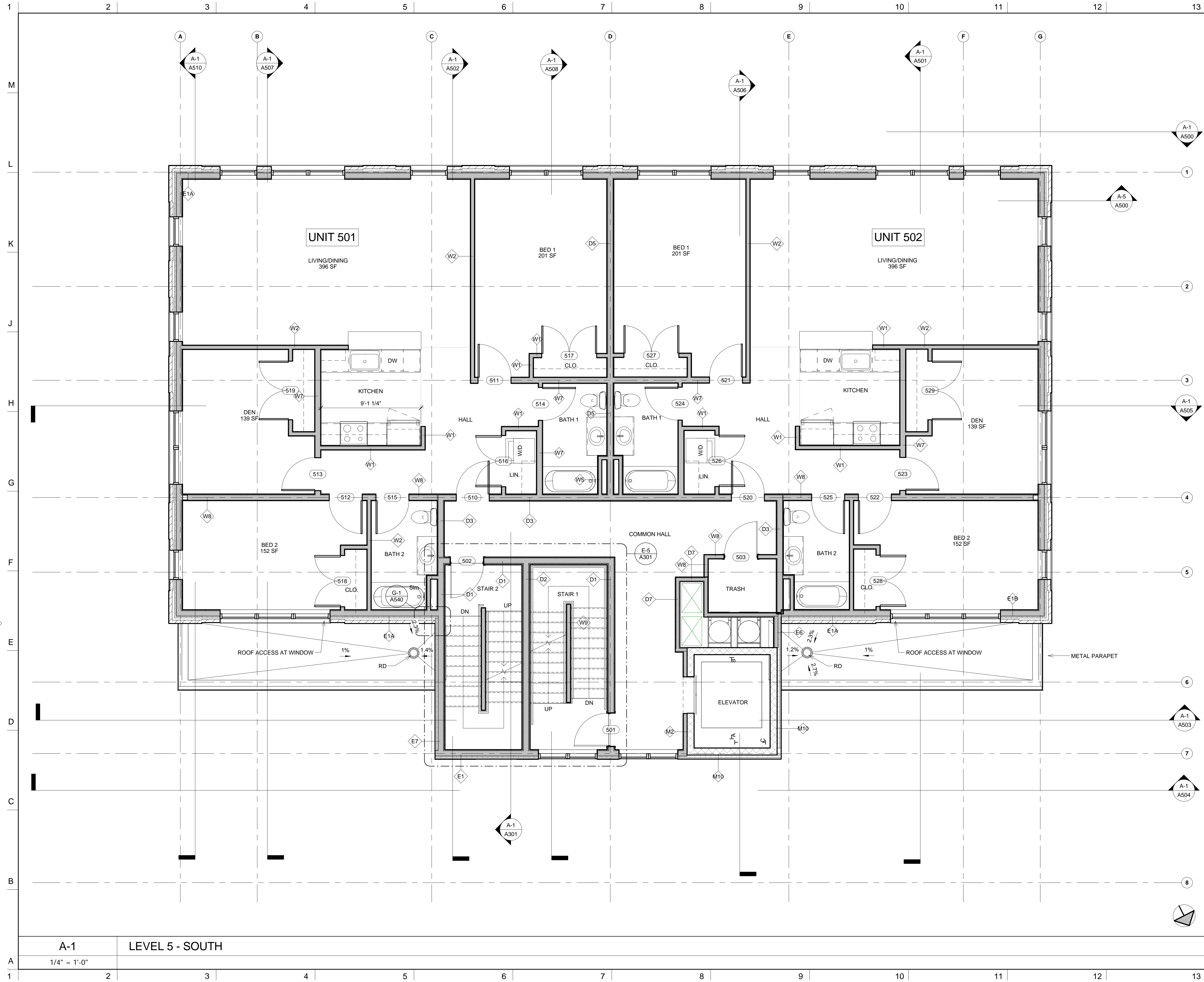
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Checked			
Project No.	1012.00		
Scale	1/4" = 1'-0"		
Date	2016-12-16		

APPLICATION

A140

A-1 LEVEL 4 - SOUTH
1/4" = 1'-0"

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NOTES

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- NUMBERED NOTES**
- N1. FLOOR AND/OR WALL OVERHEAD.
 - N2. STAIRS OVERHEAD.
 - N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 - N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - 1 A101 SIM DETAIL DRAWING CALL-OUT
 - 1 A101 SIM SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00 SPOT ELEVATION
 - A WINDOW TAG
 - 101 DOOR TAG
 - 1 WALL TAG
 - EFC FIRE EXTINGUISHER CABINET
 - DH MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD FLOOR DRAIN. SEE PLUMBING DRAWINGS.
 - HEAVY RED LINES INDICATE THE EXISTING HISTORIC STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. REMOVE ALL INTERIOR FINISHES DOWN TO STUDS AND SUBFLOOR. THE ORIGINAL CLAY TILE ROOF SHALL BE REPLACED IN KIND. REMOVE STUCCO DOWN TO SHEATHING & MAINTAIN EXTERIOR TRIM. EXTERIOR WALLS, ROOF & DORMERS SHALL REMAIN.
 - ALL INTERIOR AND EXTERIOR FINISHES SHALL BE NEW AS SHOWN ON THESE PLANS. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ANY INTERIOR ROUGH FRAMING AS NOTED ON THE STRUCTURAL PLANS.

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

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Somerville, MA 02144
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Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **FIFTH FLOOR PLAN - SOUTH**

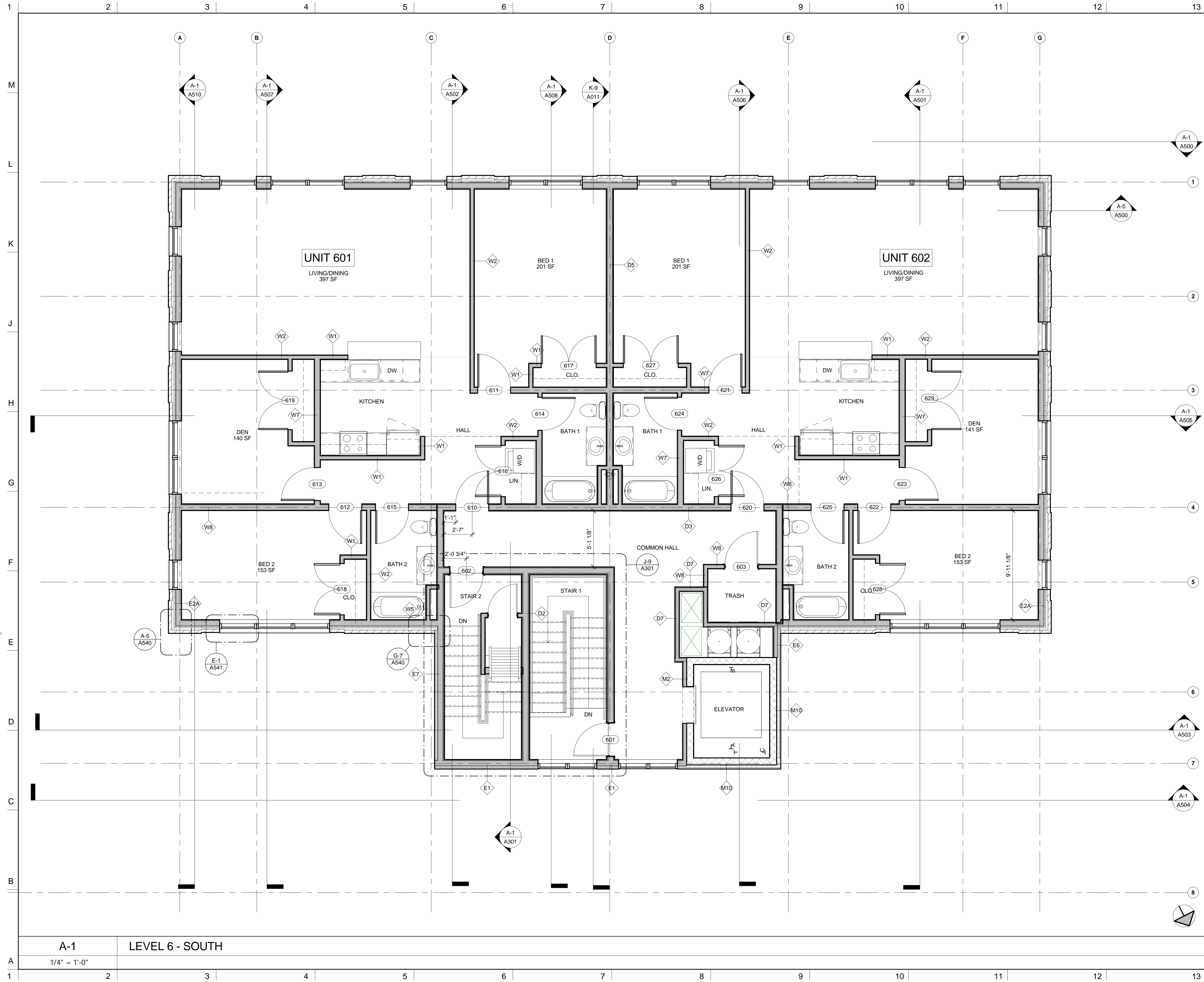
Design:	BW	Drawing No.:	A150
Checked:		Project No.:	1012.00
Scale:	1/4" = 1'-0"	Date:	2016-12-16

A-1 LEVEL 5 - SOUTH

1/4" = 1'-0"

A150

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NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

- ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
- THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.

NUMBERED NOTES

- N1. FLOOR AND/OR WALL OVERHEAD.
- N2. STAIRS OVERHEAD.
- N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
- N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - 1 A101 SIM DETAIL DRAWING CALL-OUT
 - 1 A101 SIM SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00 SPOT ELEVATION
 - WINDOW TAG
 - 101 DOOR TAG
 - 11 WALL TAG
 - EEC FIRE EXTINGUISHER CABINET
 - DH MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD FLOOR DRAIN. SEE PLUMBING DRAWINGS.
 - HEAVY RED LINES INDICATE THE EXISTING HISTORIC STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. REMOVE ALL INTERIOR FINISHES DOWN TO STUDS AND SUBFLOOR. THE ORIGINAL CLAY TILE ROOF SHALL BE REPLACED IN KIND. REMOVE STUCCO DOWN TO SHEATHING & MAINTAIN EXTERIOR TRIM. EXTERIOR WALLS, ROOF & DORMERS SHALL REMAIN.
 - ALL INTERIOR AND EXTERIOR FINISHES SHALL BE NEW AS SHOWN ON THESE PLANS. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ANY INTERIOR ROUGH FRAMING AS NOTED ON THE STRUCTURAL PLANS.

No.	REVISIONS/SUBMISSIONS	Date
3	A200a	

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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
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Title **SIXTH FLOOR PLAN - SOUTH**

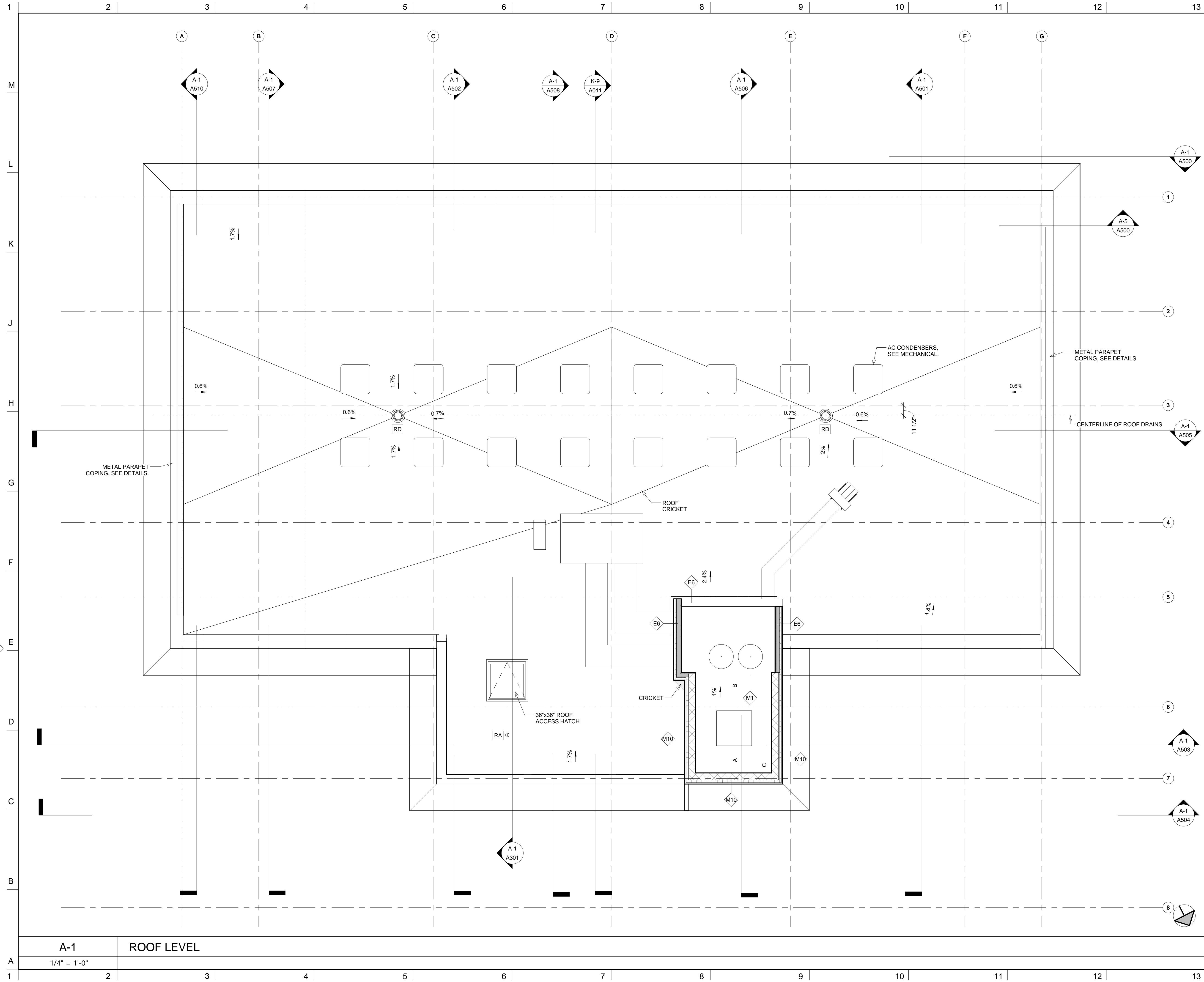
Design	BW	Drawing No.	
Checked			
Project No.	1012.00		
Scale	1/4" = 1'-0"		
Date	2016-12-16		

APPLICATION

A160

A-1 LEVEL 6 - SOUTH
1/4" = 1'-0"

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NOTES

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GENERAL NOTES

- THE "FLAT" ROOFS SHALL HAVE A FULLY ADHERED, SINGLE-PLY WHITE TPO MEMBRANE WITH A 1/2" COVER BOARD ABOVE THE TAPERED INSULATION.
- THE "PITCHED" ROOFS AT THE HISTORIC STRUCTURE SHALL MATCH THE EXISTING STYLE & COLOR. THE BASIS-OF-DESIGN IN THE ARCHITECTURAL DRAWINGS IS A PROFILE INTERLOCKING CLAY TILE, SLATE RED BLEND.
- SLOPES AT THE "FLAT" ROOFS ARE SHOWN AS A PERCENTAGE.
- SLOPES AT THE "PITCHED" ROOFS ARE SHOWN AS AN ESTIMATED RISE-OVER-RUN.
- THE GC SHALL FIELD MEASURE THE SLOPES OF ALL PITCHED ROOFS OF THE EXISTING HISTORIC STRUCTURE BEFORE DEMOLITION/RELOCATION, AND INFORM THE ARCHITECT OF ALL FINDINGS.
- "PITCHED" ROOF SLOPES SHOWN IN THE ARCHITECTURAL DRAWINGS ARE ESTIMATED BY THE ARCHITECT FOR THE PURPOSES OF DESIGN.

NUMBERED NOTES

1. ROOF OVERHANG. SEE DETAILS

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM
1 A101
DETAIL DRAWING CALL-OUT
 - SIM
1 A101
SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - RD
ROOF DRAIN, SEE PLUMBING
 - RA
FALL PROTECTION ROOF ANCHOR
 - HEAVY RED LINES INDICATE THE EXISTING STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. THE EXTERIOR WALL FRAMING SHALL REMAIN INTACT.
 - ALL INTERIOR AND EXTERIOR FINISHES SHALL BE NEW AS SHOWN ON THESE PLANS. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ANY INTERIOR ROUGH FRAMING AS NOTED ON THE STRUCTURAL PLANS.

No.	REVISIONS/SUBMISSIONS	Date

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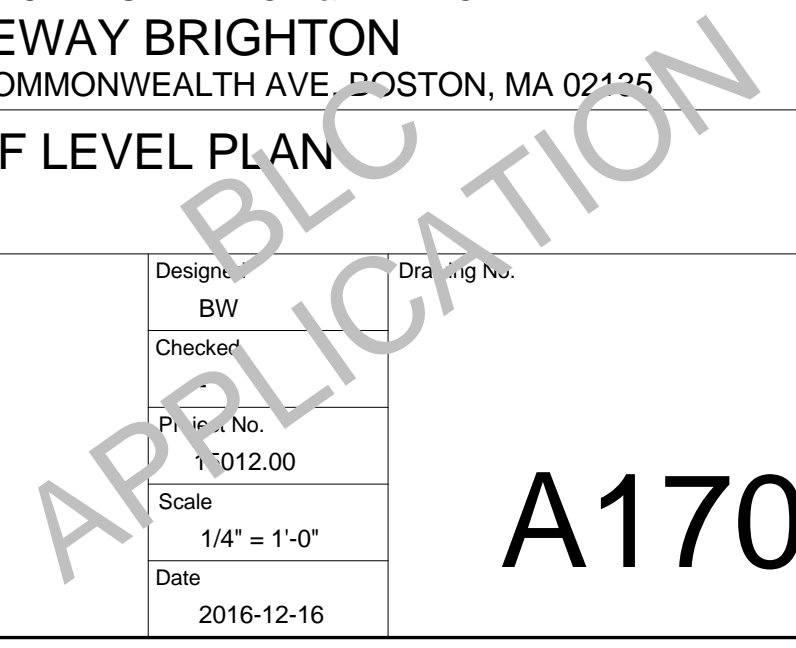
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Somerville, MA 02144
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GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

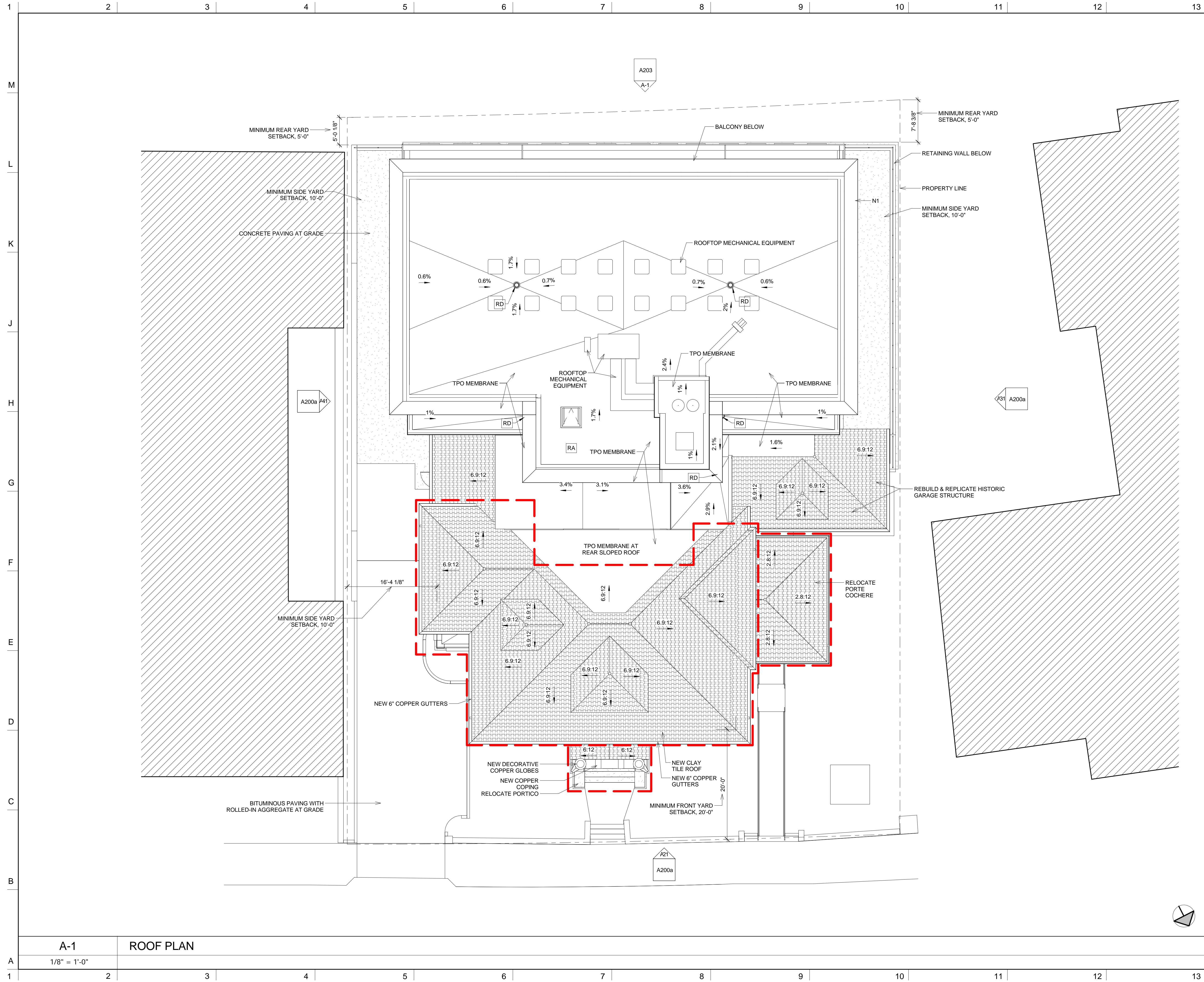
Title **ROOF LEVEL PLAN**

Design	BW	Drawing No.	A170
Checked			
Project No.	1012.00		
Scale	1/4" = 1'-0"		
Date	2016-12-16		



A-1 ROOF LEVEL
1/4" = 1'-0"

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NOTES

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GENERAL NOTES

- THE "FLAT" ROOFS SHALL HAVE A FULLY ADHERED, SINGLE-PLY WHITE TPO MEMBRANE WITH A 1/2" COVER BOARD ABOVE THE TAPERED INSULATION.
- THE "PITCHED" ROOFS AT THE HISTORIC STRUCTURE SHALL MATCH THE EXISTING STYLE & COLOR. THE BASIS-OF-DESIGN IN THE ARCHITECTURAL DRAWINGS IS A PROFILE INTERLOCKING CLAY TILE, SLATE RED BLEND.
- SLOPES AT THE "FLAT" ROOFS ARE SHOWN AS A PERCENTAGE.
- SLOPES AT THE "PITCHED" ROOFS ARE SHOWN AS AN ESTIMATED RISE-OVER-RUN.
- THE GC SHALL FIELD MEASURE THE SLOPES OF ALL PITCHED ROOFS OF THE EXISTING HISTORIC STRUCTURE BEFORE DEMOLITION/RELOCATION, AND INFORM THE ARCHITECT OF ALL FINDINGS.
- *PITCHED* ROOF SLOPES SHOWN IN THE ARCHITECTURAL DRAWINGS ARE ESTIMATED BY THE ARCHITECT FOR THE PURPOSES OF DESIGN.

NUMBERED NOTES

1. ROOF OVERHANG. SEE DETAILS

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM 1 A101 DETAIL DRAWING CALL-OUT
 - SIM 1 A101 SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - RD ROOF DRAIN. SEE PLUMBING
 - RA FALL PROTECTION ROOF ANCHOR
 - HEAVY RED LINES INDICATE THE EXISTING STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. THE EXTERIOR WALL FRAMING SHALL REMAIN INTACT.
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No.	REVISIONS/SUBMISSIONS	Date

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Title **ROOF PLAN**

Design: BW	Drawing No.:
Checked:	
Project No. Y012.00	
Scale As indicated	
Date 2016-12-16	

APPLICABLE

A180


A-1 ROOF PLAN
1/8" = 1'-0"

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- NOTES**
- DO NOT SCALE DRAWINGS.
- GENERAL NOTES**
- THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
- NUMBERED NOTES**
- N1 NEW 3-PART PORTLAND CEMENT STUCCO
 - N2 NEW ALUMINUM CLAD DOUBLE HUNG WINDOWS
 - N3 REPLICATE EXISTING FRONT PORCH IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N4 REPLICATE EXISTING PORTE COCHERE IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N5 REPLICATE EXISTING GARAGE & DORMER IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N6 REPLICATE EXISTING GARAGE DOORS. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE. SEE A500 DRAWINGS.
 - N7 ENTRY SIDEWALK, STEPS & ACCESSIBLE RAMP. SEE CIVIL DRAWINGS.
 - N8 REPLACE CLAY ROOF TILES - PROFILE INTERLOCKING STYLE TO MATCH EXISTING.
 - N9 EXISTING FRONT ENTRY DOOR & SIDELIGHTS TO BE RESTORED.
 - N10 NEW 6" HALF-ROUND COPPER GUTTERS.
 - N11 NEW 3"x4" COPPER RAIN LEADERS WITH CONDUCTOR HEAD.
 - N12 5/16" FIBER CEMENT PANEL - COLOR 1
 - N13 5/16" FIBER CEMENT PANEL - COLOR 2
 - N14 DRIVEWAY TO PARKING AT REAR. SEE CIVIL.
 - N15 SITE FENCE / GUARDRAIL. SEE CIVIL.
 - N16 GALVANIZED STEEL GUARDRAIL.
 - N17 GALVANIZED STEEL GRILLE.
 - N18 SIDEWALL EXHAUST TERMINATIONS. SEE MECHANICAL.
 - N19 DRAIN SCUPPER AT ROOF DECK.
 - N20 CONCRETE WALL SHALL TO HAVE 1/2" x 4" RECESSED CHANNELS.
 - N21 DOMESTIC WATER & FIRE PROTECTION SERVICE.
 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date



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Project **HISTORIC PRESERVATION & ADDITION**
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **EXTERIOR ELEVATIONS**

Design: BW	Drawing No.:
Checked:	
Project No. Y012.00	
Scale: As indicated	
Date: 2016-12-16	

A201

A-1 NORTH ELEVATION - FRONT YARD

3/16" = 1'-0"

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- NOTES**
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- GENERAL NOTES**
- * THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
- NUMBERED NOTES**
- N1 NEW 3-PART PORTLAND CEMENT STUCCO
 - N2 NEW ALUMINUM CLAD DOUBLE HUNG WINDOWS
 - N3 REPLICATE EXISTING FRONT PORCH IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N4 REPLICATE EXISTING PORTE COCHERE IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N5 REPLICATE EXISTING GARAGE & DORMER IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N6 REPLICATE EXISTING GARAGE DOORS. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE. SEE A500 DRAWINGS.
 - N7 ENTRY SIDEWALK, STEPS & ACCESSIBLE RAMP. SEE CIVIL DRAWINGS.
 - N8 REPLACE CLAY ROOF TILES - PROFILE INTERLOCKING STYLE TO MATCH EXISTING.
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 - N13 5/16" FIBER CEMENT PANEL - COLOR 2
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 - N15 SITE FENCE / GUARDRAIL. SEE CIVIL.
 - N16 GALVANIZED STEEL GUARDRAIL.
 - N17 GALVANIZED STEEL GRILLE.
 - N18 SIDEWALL EXHAUST TERMINATIONS. SEE MECHANICAL.
 - N19 DRAIN SCUPPER AT ROOF DECK.
 - N20 CONCRETE WALL SHALL TO HAVE 1/2" x 4" RECESSED CHANNELS.
 - N21 DOMESTIC WATER & FIRE PROTECTION SERVICE.
 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date

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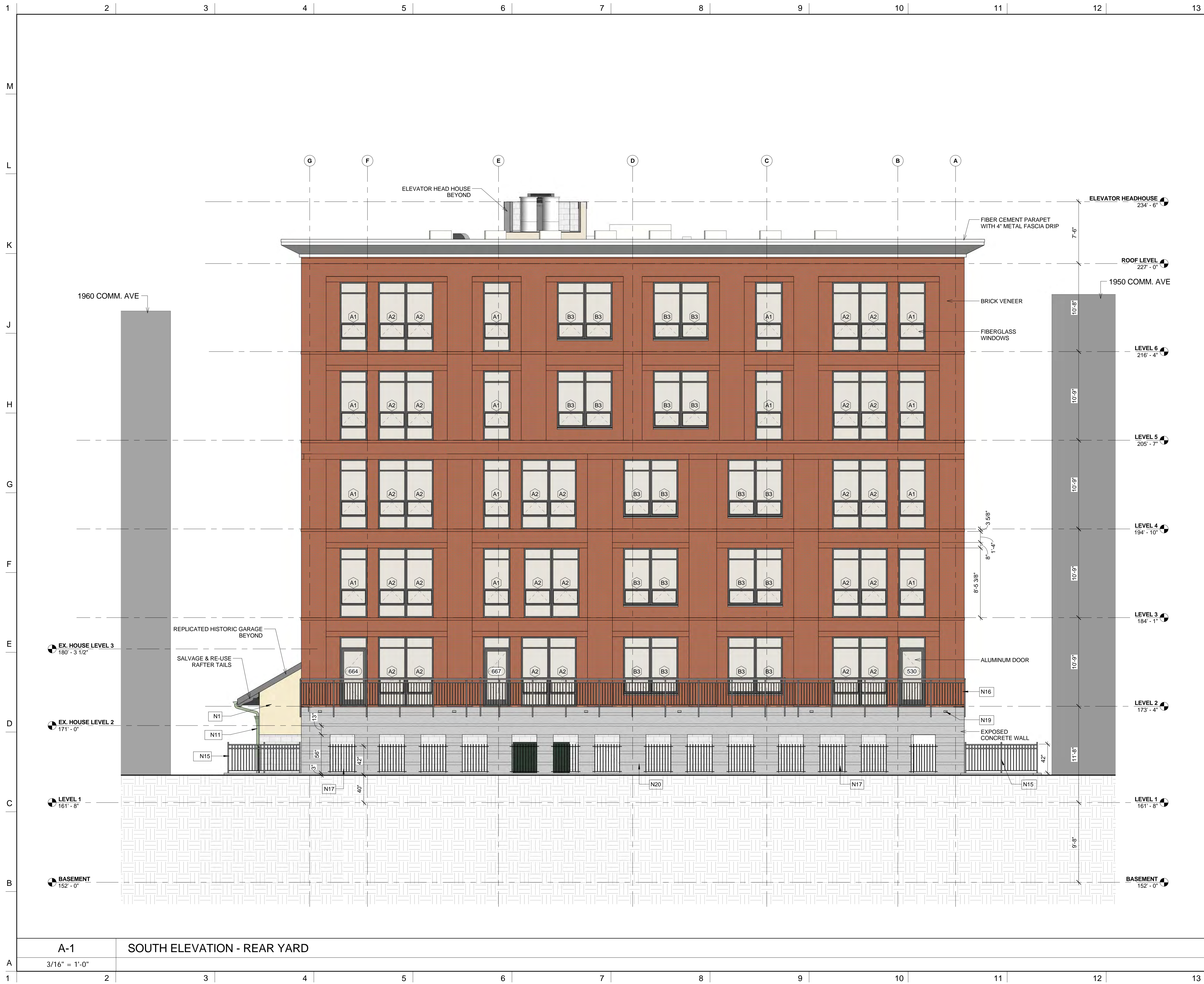
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **EXTERIOR ELEVATIONS**

Design: BW
Checked: []
Project No: Y012.00
Scale: As indicated
Date: 2016-12-16

A202


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NOTES

- DO NOT SCALE DRAWINGS.
- GENERAL NOTES**
- * THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
- NUMBERED NOTES**
- N1 NEW 3-PART PORTLAND CEMENT STUCCO
 - N2 NEW ALUMINUM CLAD DOUBLE HUNG WINDOWS
 - N3 REPLICATE EXISTING FRONT PORCH IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N4 REPLICATE EXISTING PORTE COCHERE IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
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 - N6 REPLICATE EXISTING GARAGE DOORS. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE. SEE A500 DRAWINGS.
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 - N12 5/16" FIBER CEMENT PANEL - COLOR 1
 - N13 5/16" FIBER CEMENT PANEL - COLOR 2
 - N14 DRIVEWAY TO PARKING AT REAR. SEE CIVIL.
 - N15 SITE FENCE / GUARDRAIL. SEE CIVIL.
 - N16 GALVANIZED STEEL GUARDRAIL.
 - N17 GALVANIZED STEEL GRILLE.
 - N18 SIDEWALL EXHAUST TERMINATIONS. SEE MECHANICAL.
 - N19 DRAIN SCUPPER AT ROOF DECK.
 - N20 CONCRETE WALL SHALL TO HAVE 1/2" x 4" RECESSED CHANNELS.
 - N21 DOMESTIC WATER & FIRE PROTECTION SERVICE.
 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date



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GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **EXTERIOR ELEVATIONS**

Design	BW	Draw. No.	
Checked		Project No.	1012.00
Scale	As indicated	Date	2016-12-16

A203

A-1 SOUTH ELEVATION - REAR YARD

3/16" = 1'-0"



- NOTES**
- DO NOT SCALE DRAWINGS.
- GENERAL NOTES**
- * THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
- NUMBERED NOTES**
- N1 NEW 3-PART PORTLAND CEMENT STUCCO
 - N2 NEW ALUMINUM CLAD DOUBLE HUNG WINDOWS
 - N3 REPLICATE EXISTING FRONT PORCH IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N4 REPLICATE EXISTING PORTE COCHERE IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N5 REPLICATE EXISTING GARAGE & DORMER IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N6 REPLICATE EXISTING GARAGE DOORS. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE. SEE A500 DRAWINGS.
 - N7 ENTRY SIDEWALK, STEPS & ACCESSIBLE RAMP. SEE CIVIL DRAWINGS.
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 - N10 NEW 6" HALF-ROUND COPPER GUTTERS.
 - N11 NEW 3"x4" COPPER RAIN LEADERS WITH CONDUCTOR HEAD.
 - N12 5/16" FIBER CEMENT PANEL - COLOR 1
 - N13 5/16" FIBER CEMENT PANEL - COLOR 2
 - N14 DRIVEWAY TO PARKING AT REAR. SEE CIVIL.
 - N15 SITE FENCE / GUARDRAIL. SEE CIVIL.
 - N16 GALVANIZED STEEL GUARDRAIL.
 - N17 GALVANIZED STEEL GRILLE.
 - N18 SIDEWALK EXHAUST TERMINATIONS. SEE MECHANICAL.
 - N19 DRAIN SCUPPER AT ROOF DECK.
 - N20 CONCRETE WALL SHALL TO HAVE 1/2" x 4" RECESSED CHANNELS.
 - N21 DOMESTIC WATER & FIRE PROTECTION SERVICE.
 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date

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Somerville, MA 02144
617.628.5700
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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

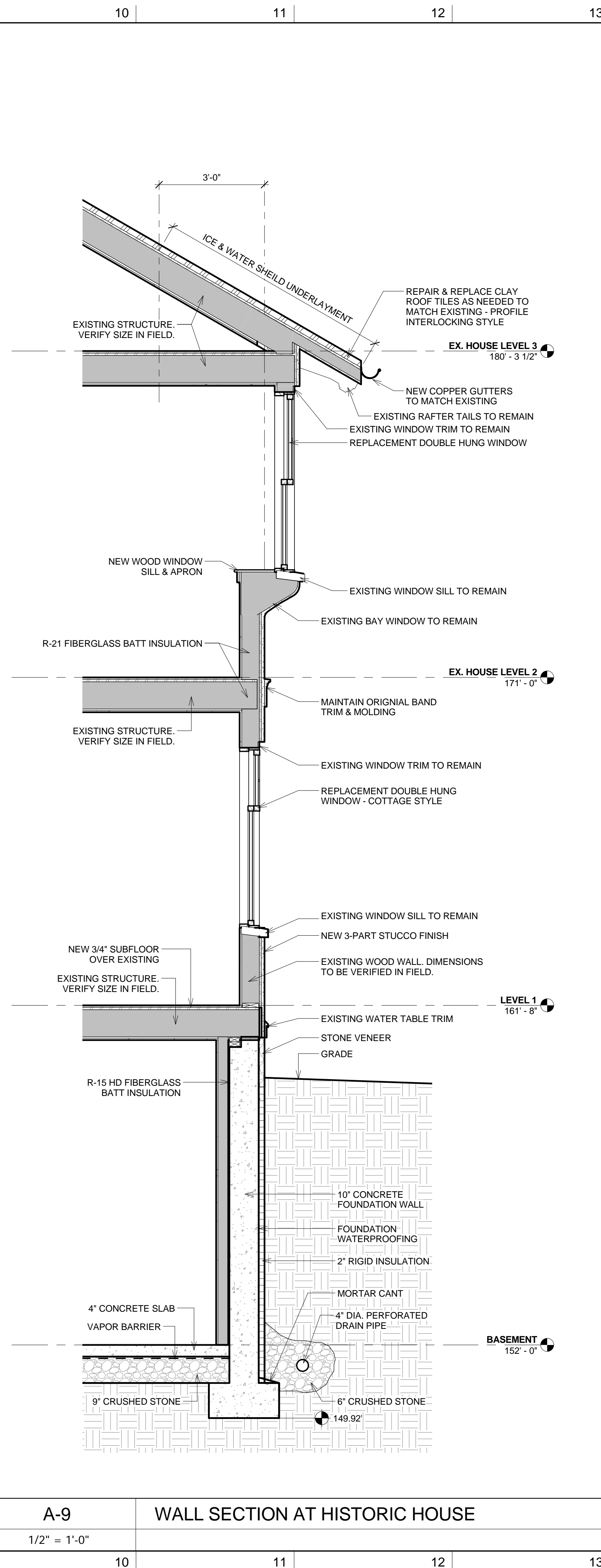
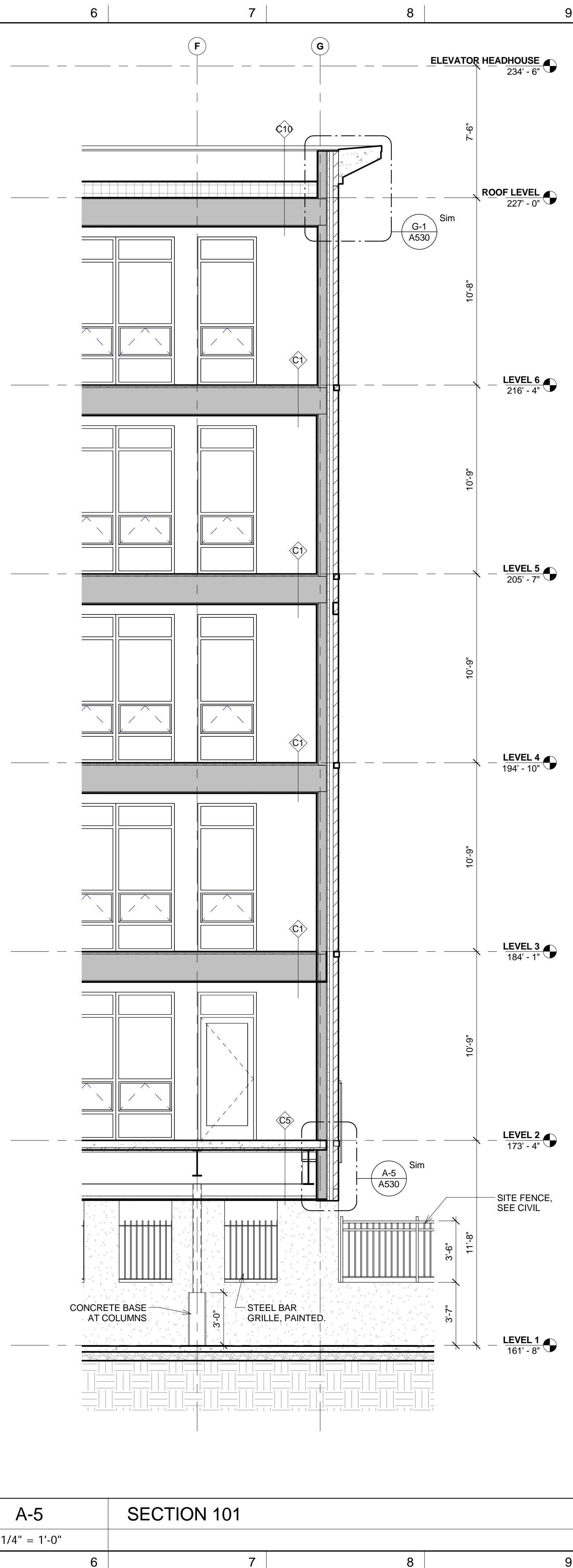
Title EXTERIOR ELEVATIONS

Design		Drawing No.	
Checked			
Project No.	1012.00		
Scale	As indicated		
Date	2016-12-16		

APPLICATION

A204

A-1 WEST ELEVATION - SIDE YARD
3/16" = 1'-0"



NOTES
DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

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Project: HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title: **BUILDING SECTIONS**


Design: BW
Checked: Y
Project No.: 1012.00
Scale: As Indicated
Date: 2016-12-16

A500

NOTES

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No. REVISIONS/SUBMISSIONS Date



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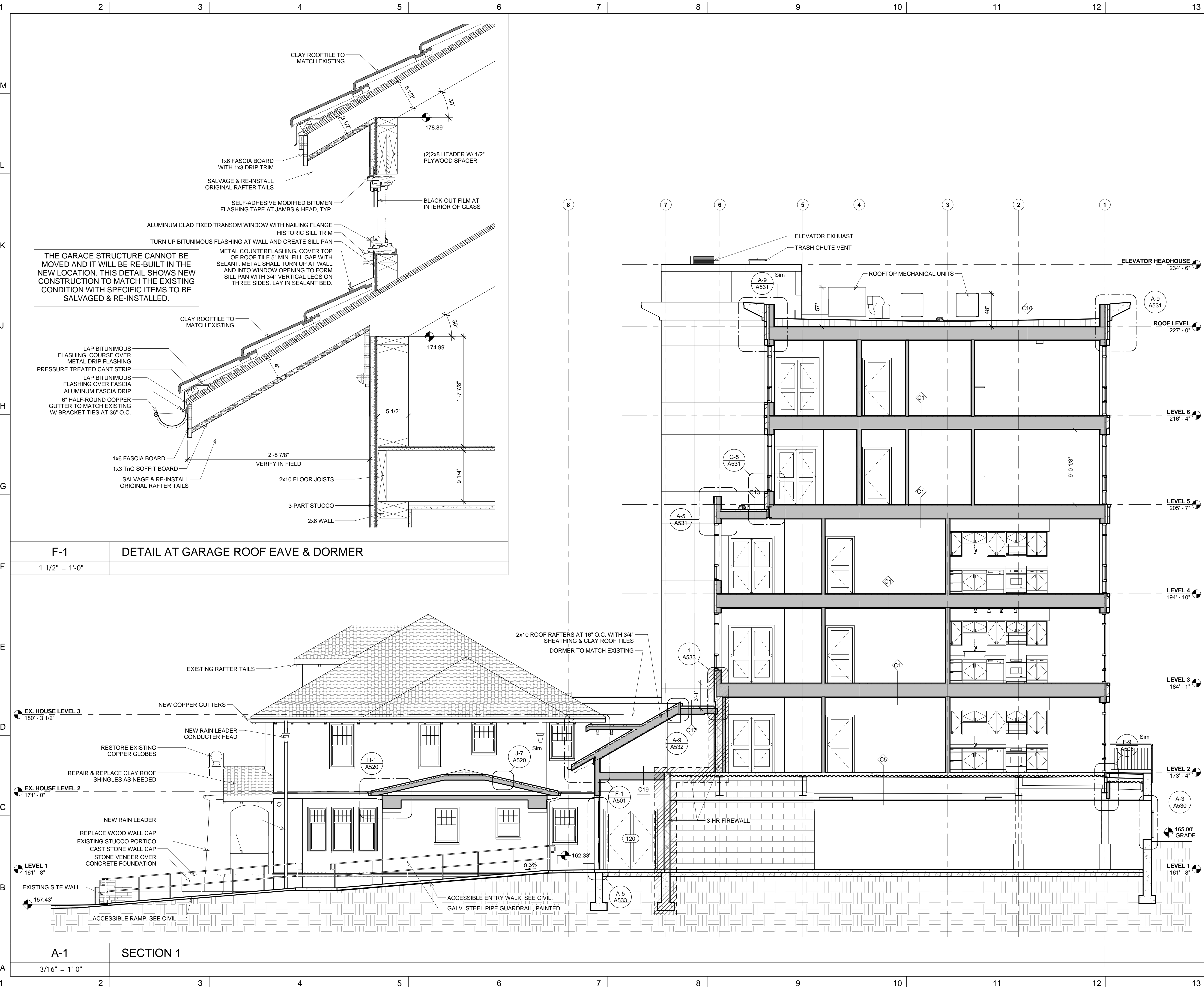
Consultant

Project **HISTORIC PRESERVATION & ADDITION**
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

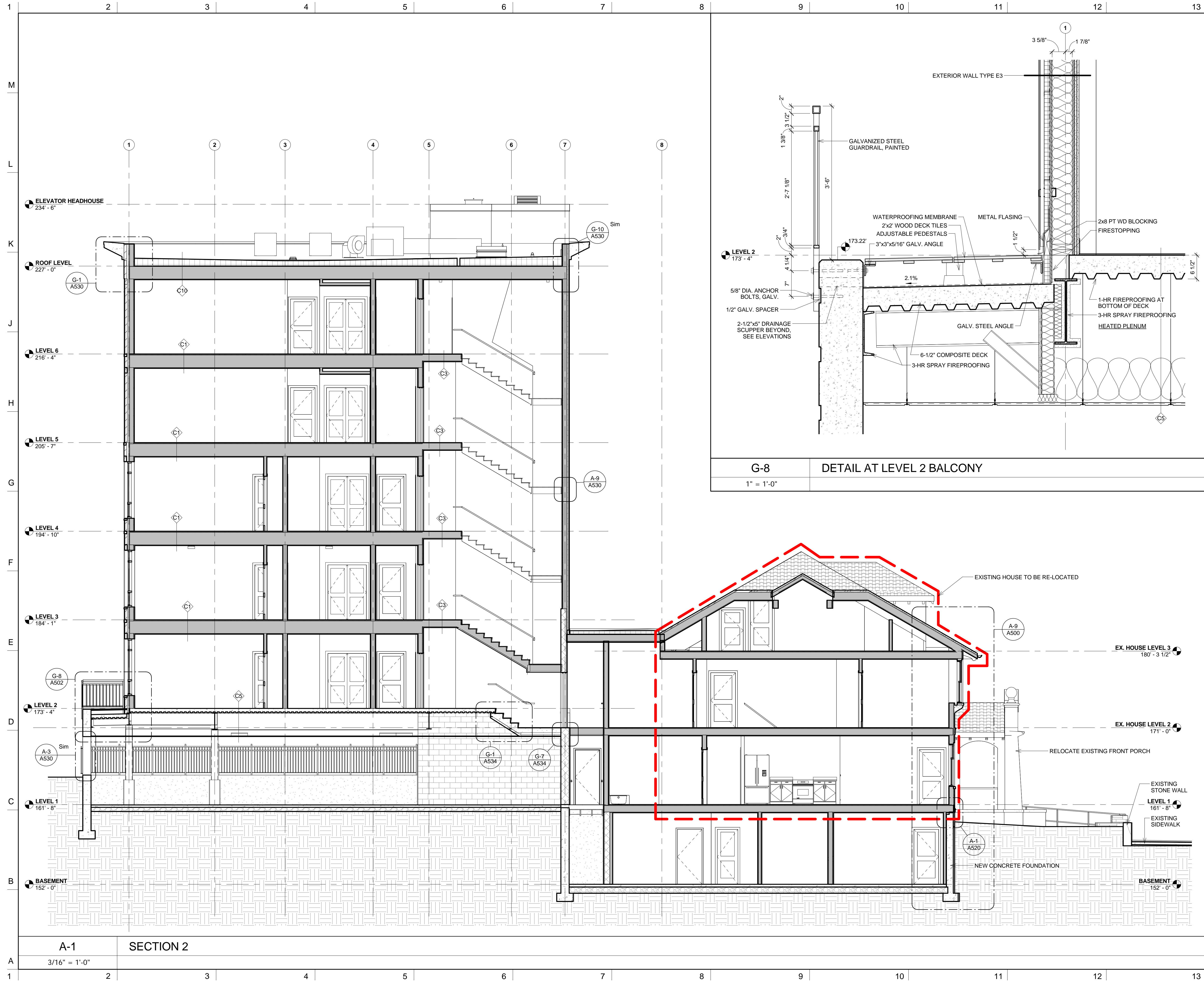
Title **BUILDING SECTIONS**

Design: BW
Checked: Y
Project No: Y012.00
Scale: As Indicated
Date: 2016-12-16

A501



THE GARAGE STRUCTURE CANNOT BE MOVED AND IT WILL BE RE-BUILT IN THE NEW LOCATION. THIS DETAIL SHOWS NEW CONSTRUCTION TO MATCH THE EXISTING CONDITION WITH SPECIFIC ITEMS TO BE SALVAGED & RE-INSTALLED.



NOTES
DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

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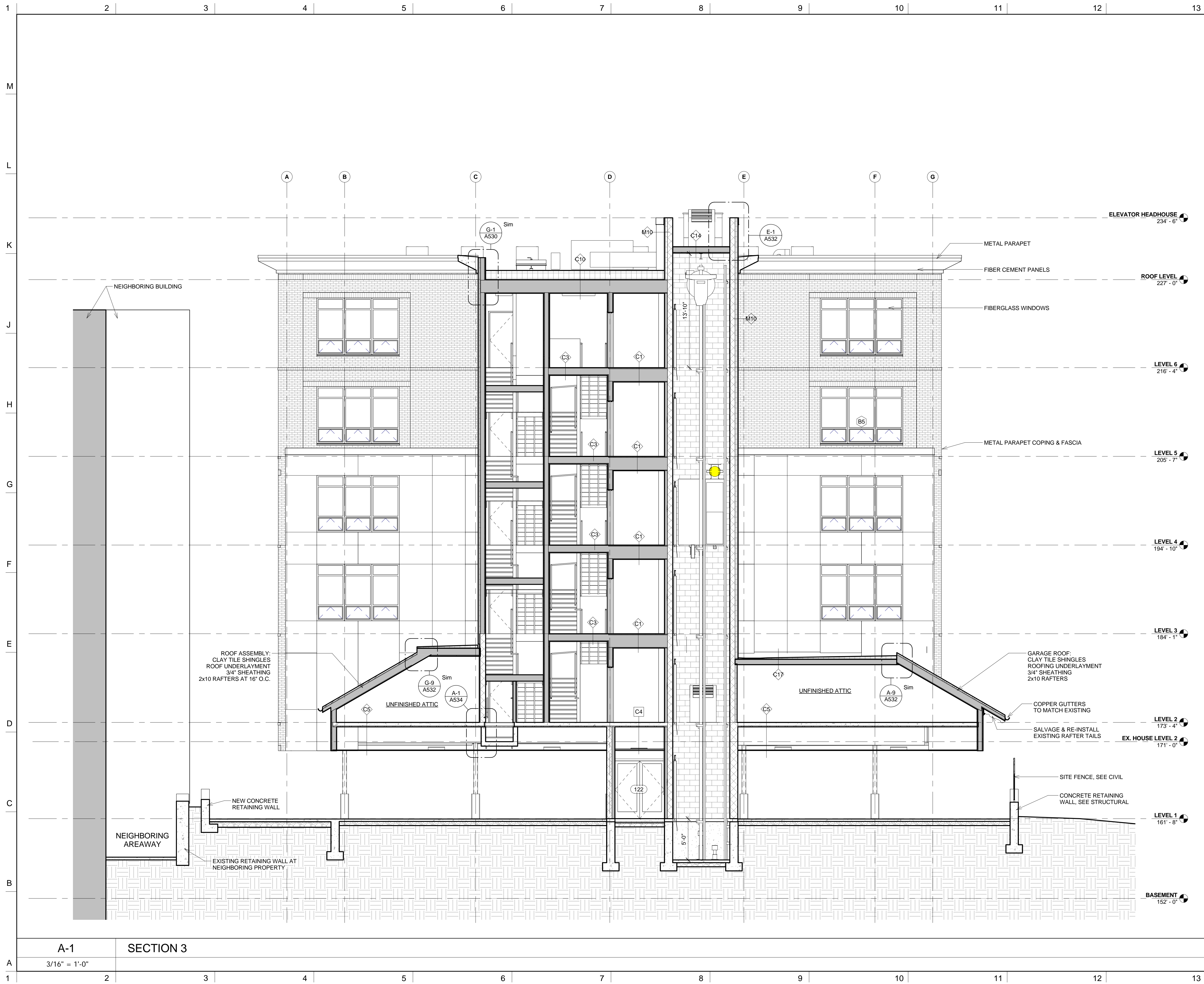
Project: HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title: **BUILDING SECTIONS**

Design: _____ Drawing No. _____
Checked: _____
Project No. 17012.00
Scale: As indicated
Date: 2016-12-16

A502

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NOTES

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Project **HISTORIC PRESERVATION & ADDITION**
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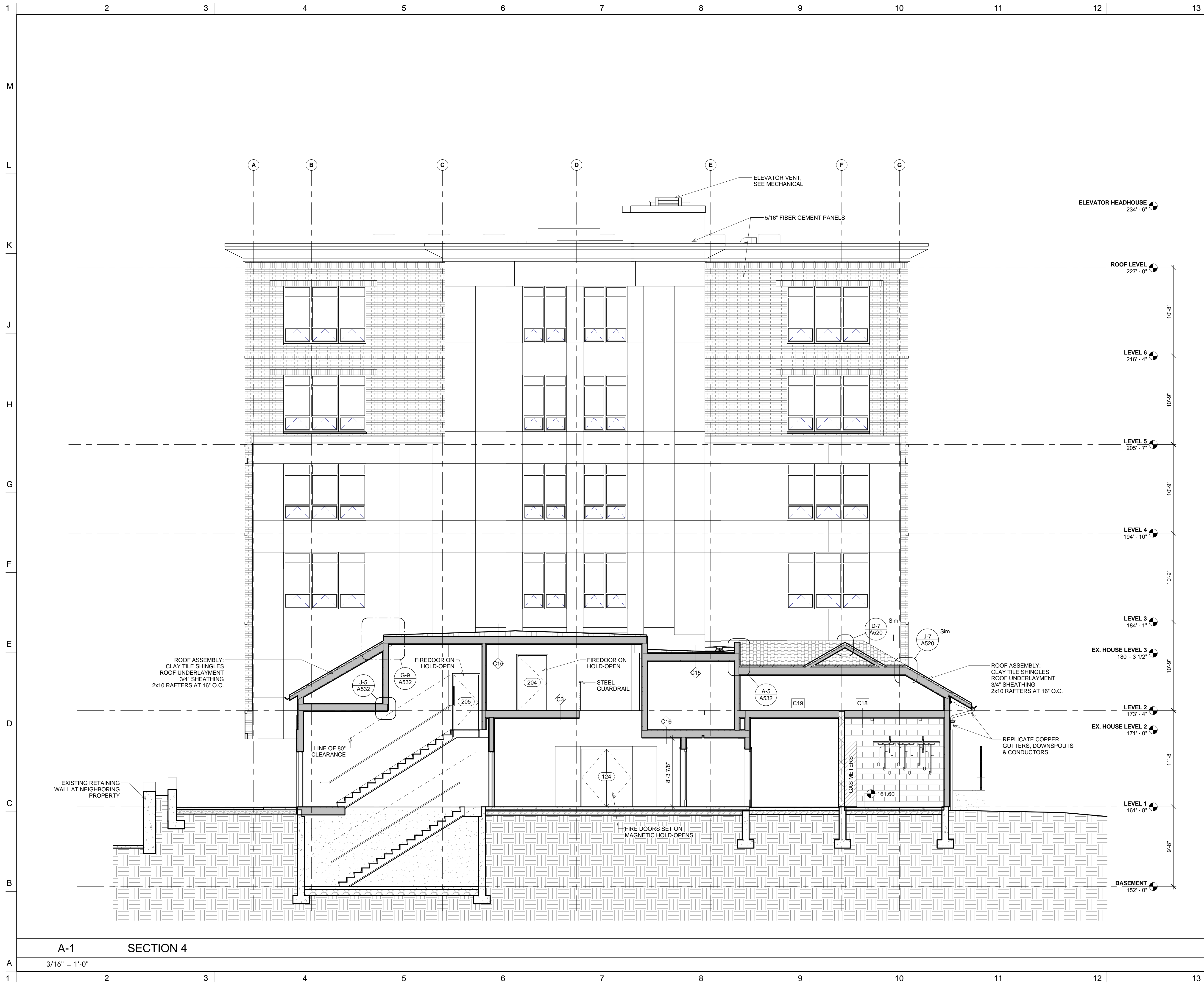
Title **BUILDING SECTIONS**

Design		Drawing No.	
Designer			
Checked			
Project No.	17012.00		
Scale	3/16" = 1'-0"		
Date	2016-12-16		

A503

A-1 SECTION 3

3/16" = 1'-0"



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



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SQUARE**
ARCHITECTS

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www.davissquarearchitects.com

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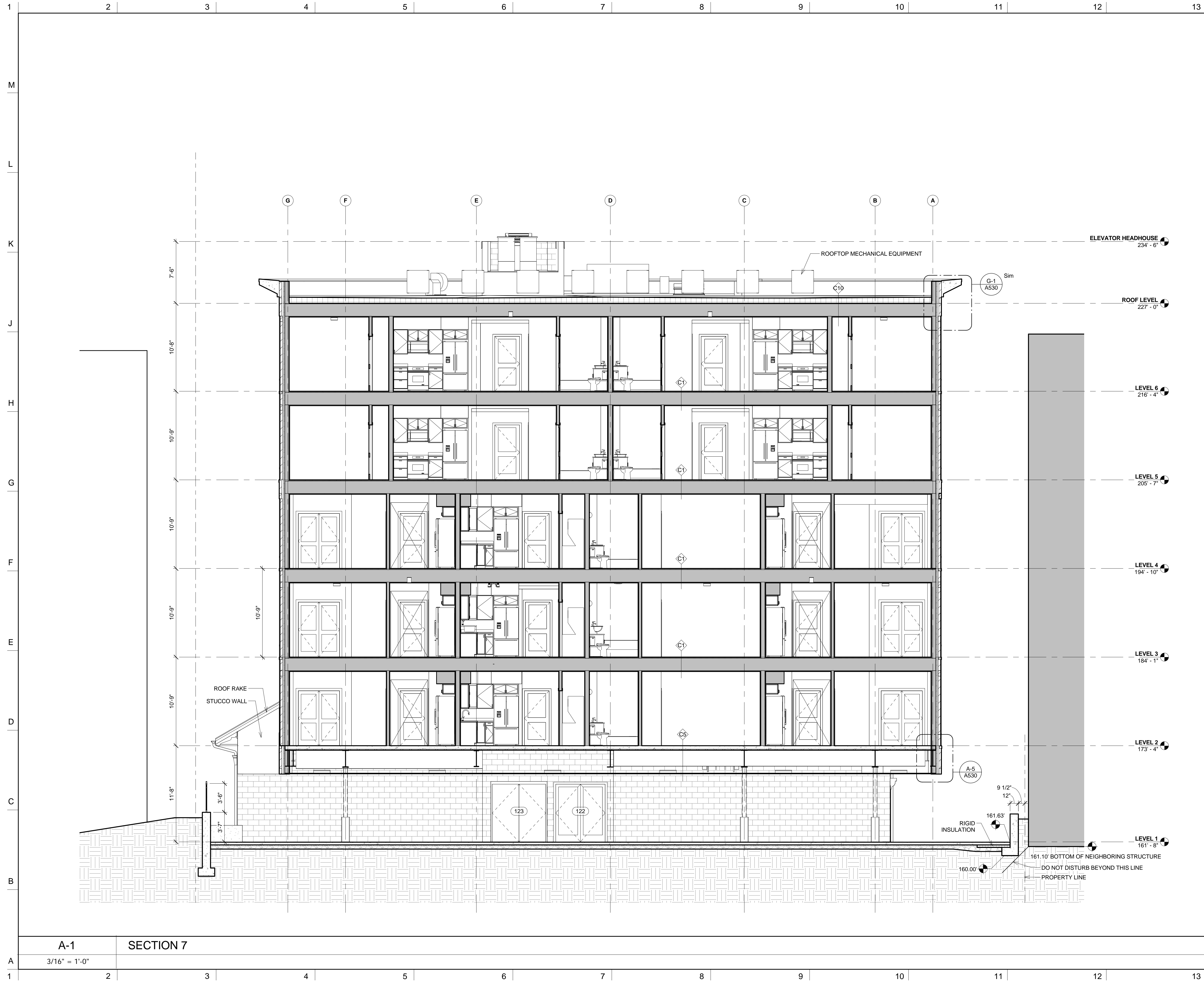
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
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Title **BUILDING SECTIONS**

Designer	Drawing No.
Checked	
Project No.	
Scale	
Date	

A504

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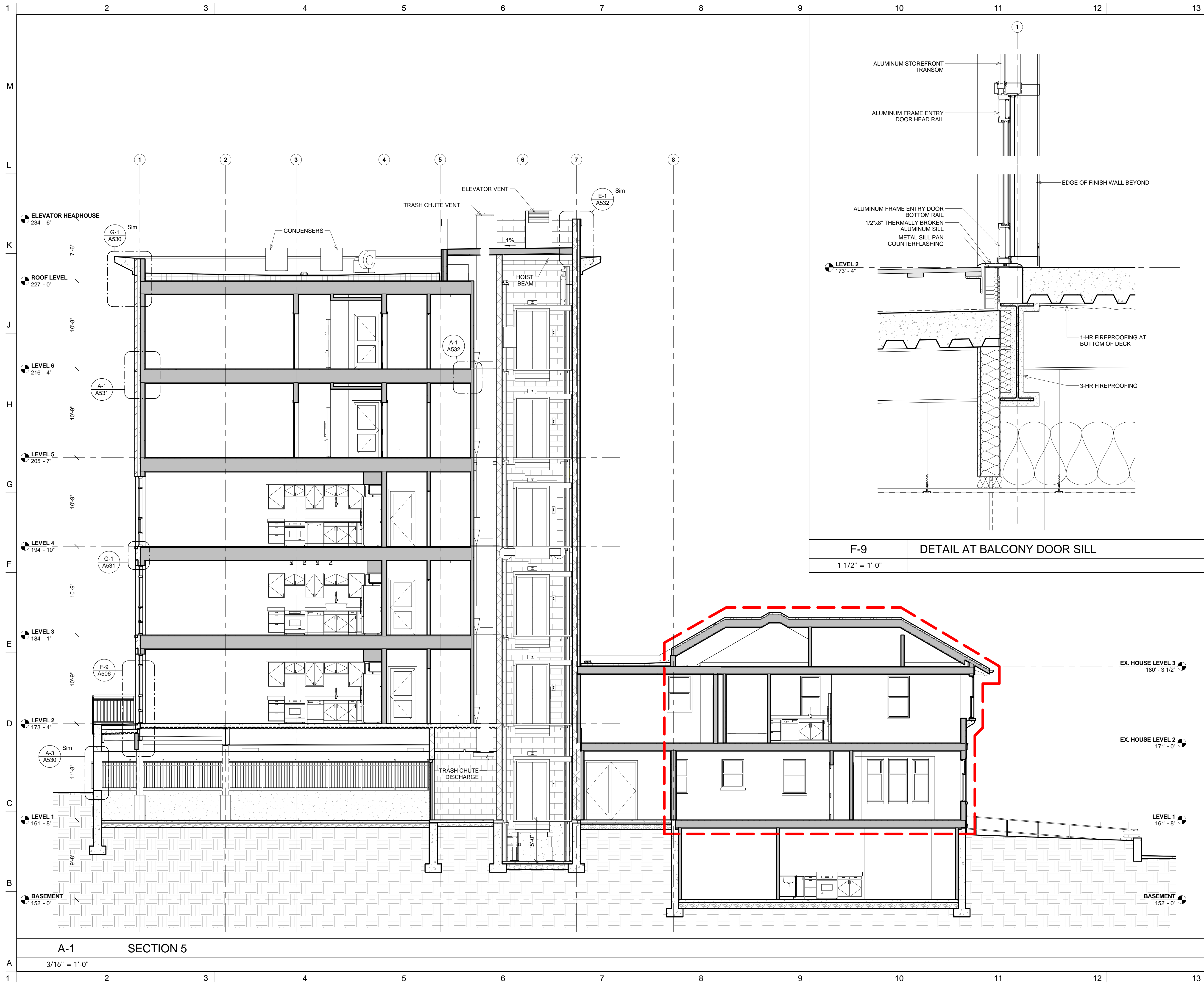
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **BUILDING SECTIONS**

Design	BW	Drawing No.	A505
Checked			
Project No.	17012.00		
Scale	3/16" = 1'-0"		
Date	2016-12-16		

A-1 SECTION 7

3/16" = 1'-0"



NOTES
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No.	REVISIONS/SUBMISSIONS	Date

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Project: HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02125

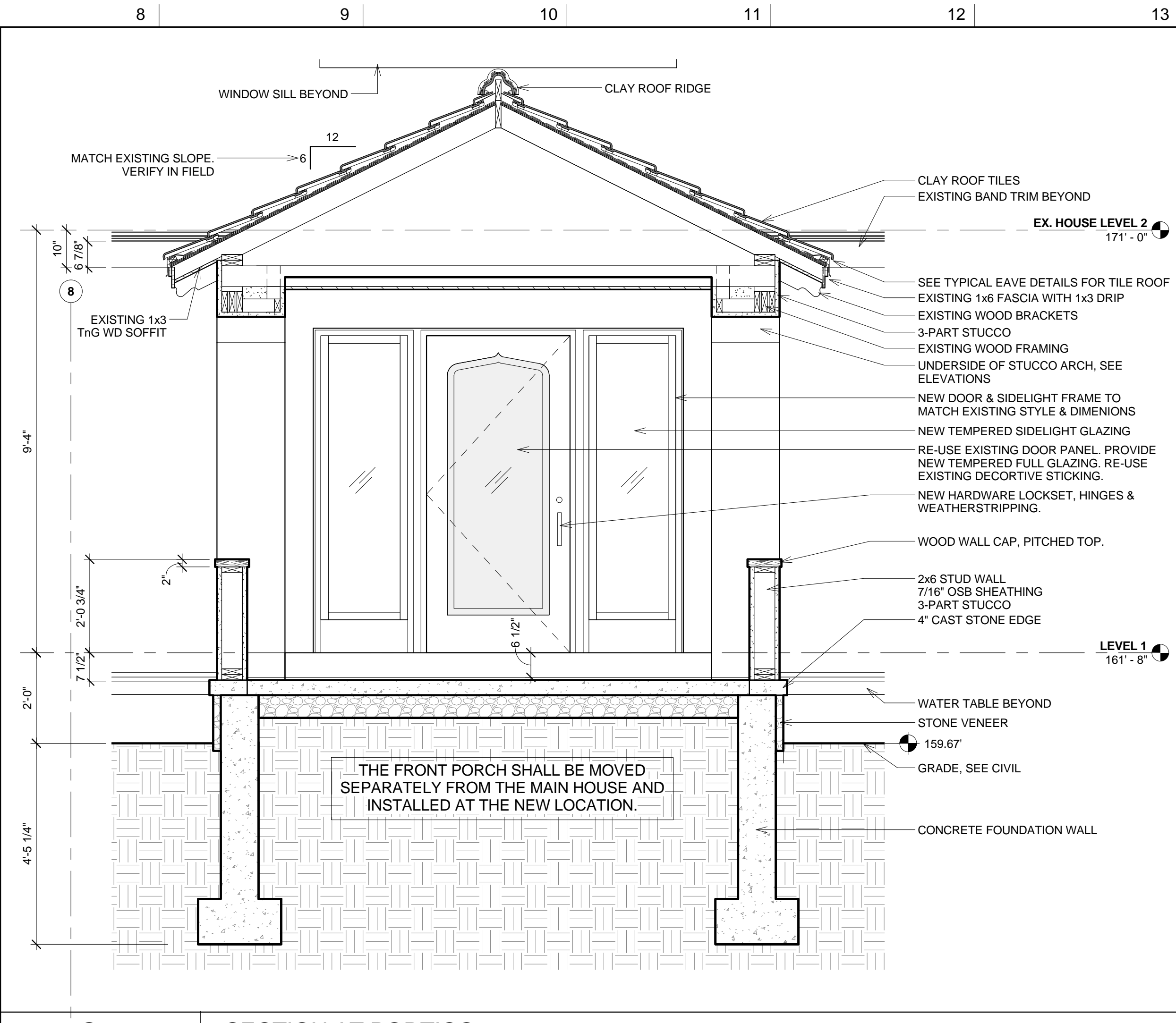
Title: **BUILDING SECTIONS**

Design: BW
 Checked: Y
 Project No: Y012.00
 Scale: As indicated
 Date: 2016-12-16

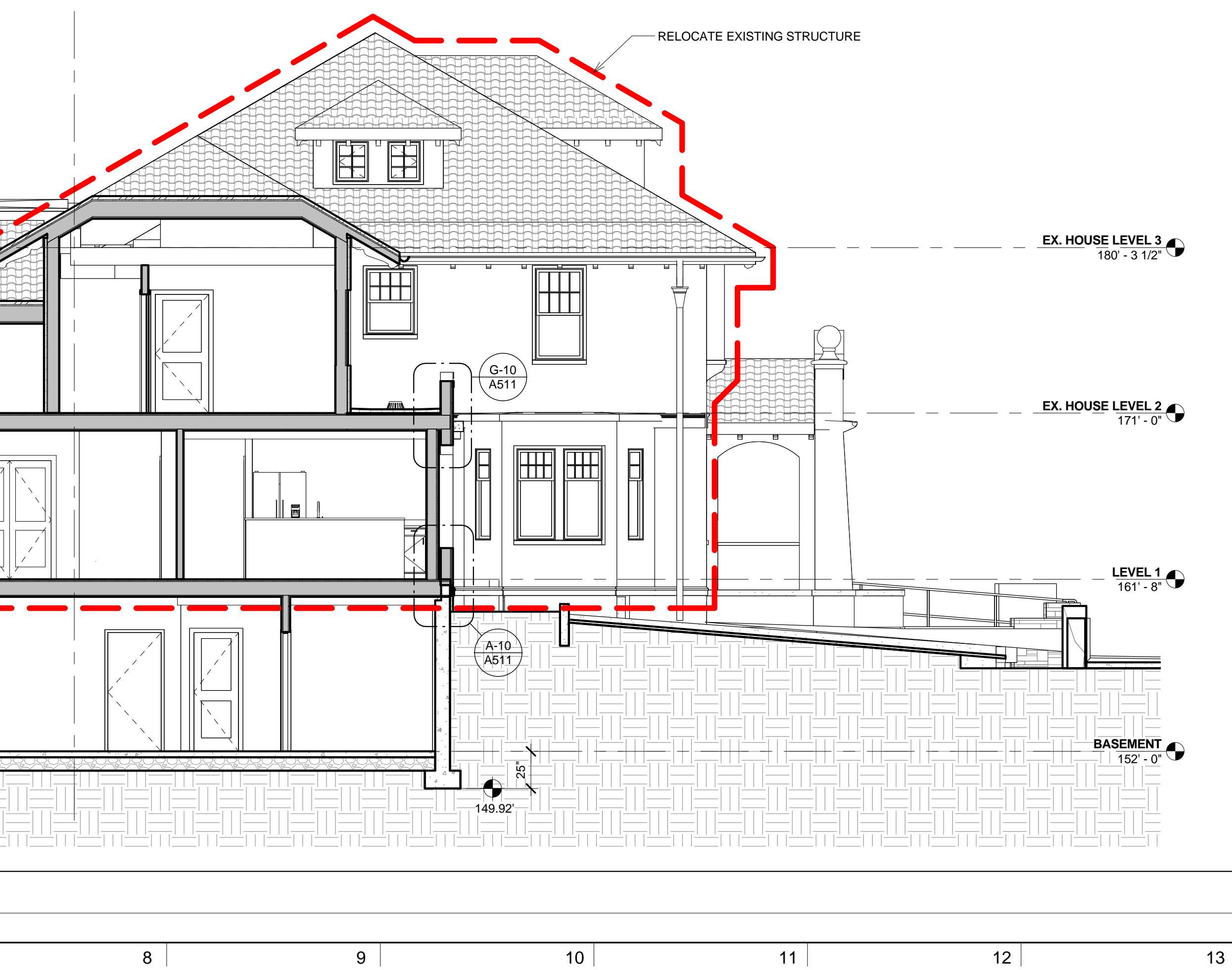
A506



A-1 SECTION 6
3/16" = 1'-0"



G-7 SECTION AT PORTICO
1/2" = 1'-0"



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GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **BUILDING SECTIONS**

Design	BW	Drawing No.	A507
Checked			
Project No.	1012.00		
Scale	As indicated		
Date	2016-12-16		

1 2 3 4 5 6 7 8 9 10 11 12 13

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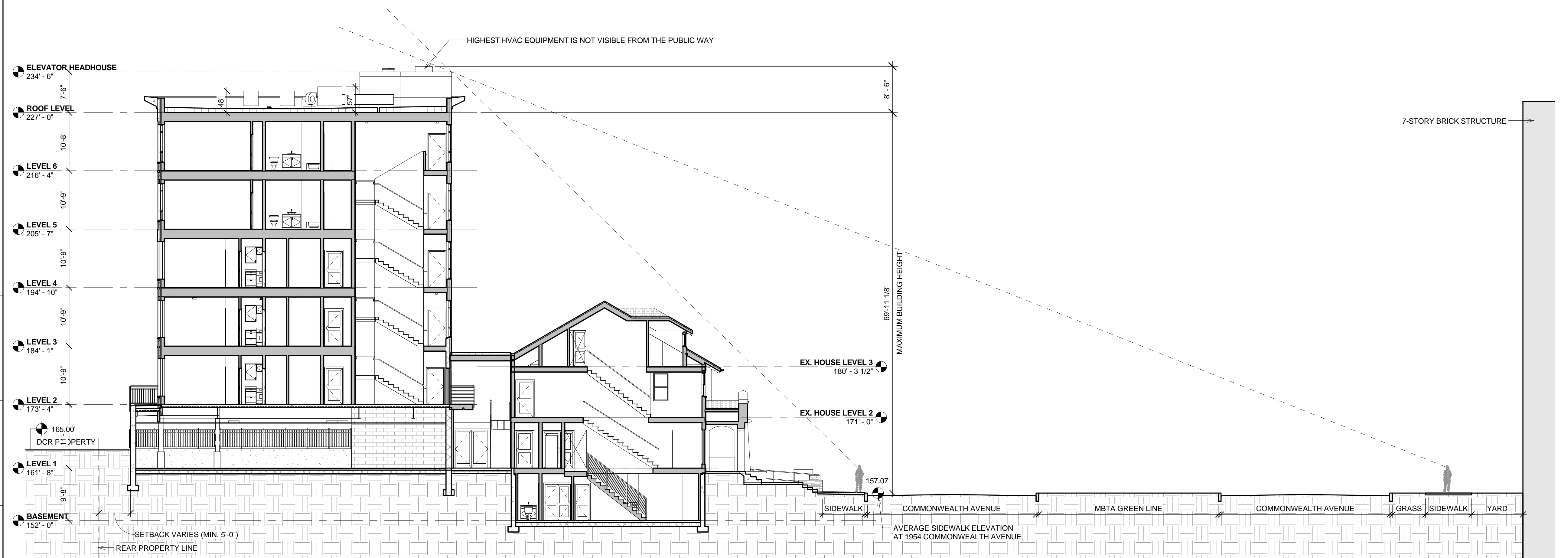
B

A

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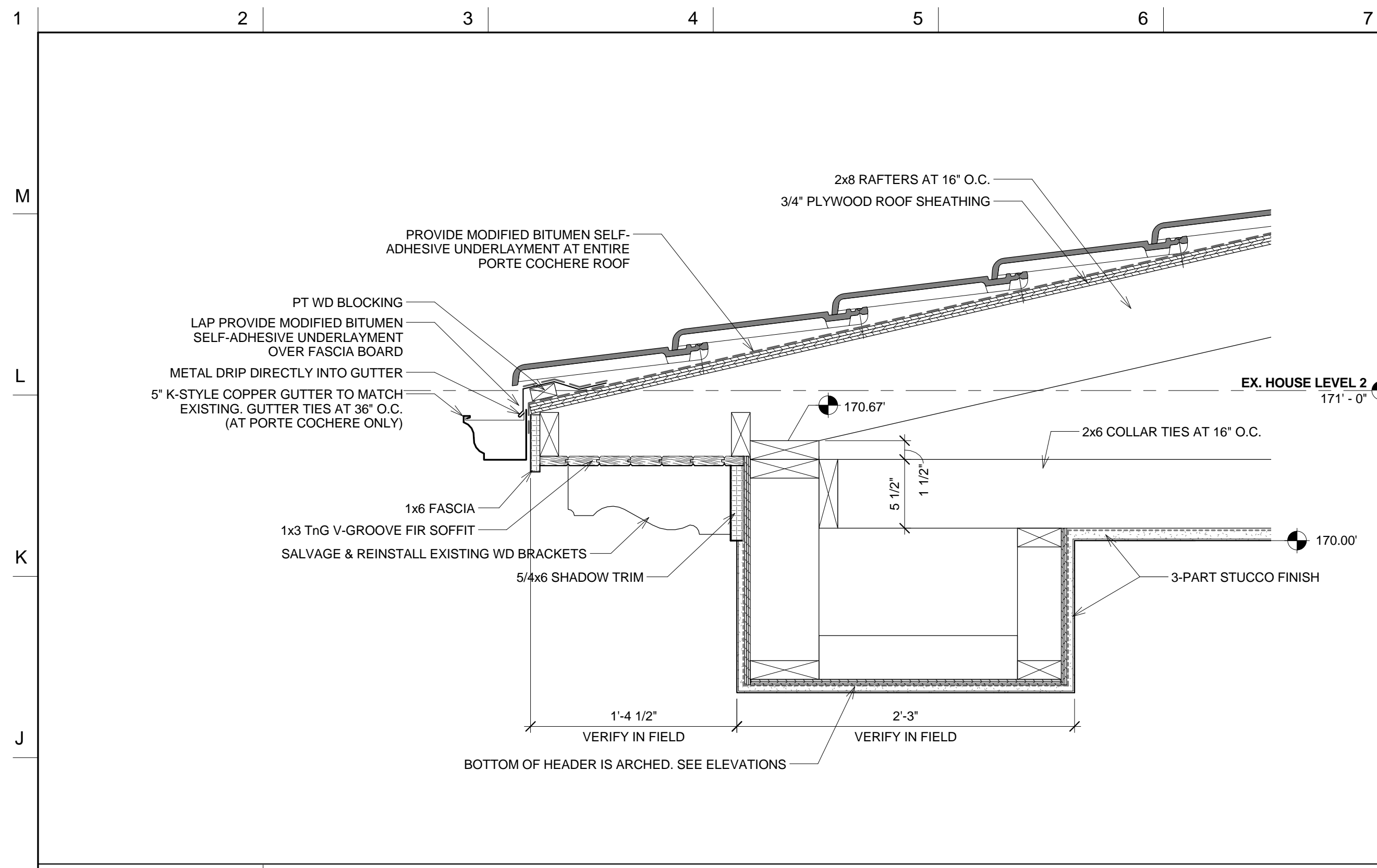
Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **BUILDING SECTIONS**

Design:	BW	Drawing No.	A508
Checked:		Project No.	1012.00
Scale:	3/32" = 1'-0"	Date:	2016-12-16

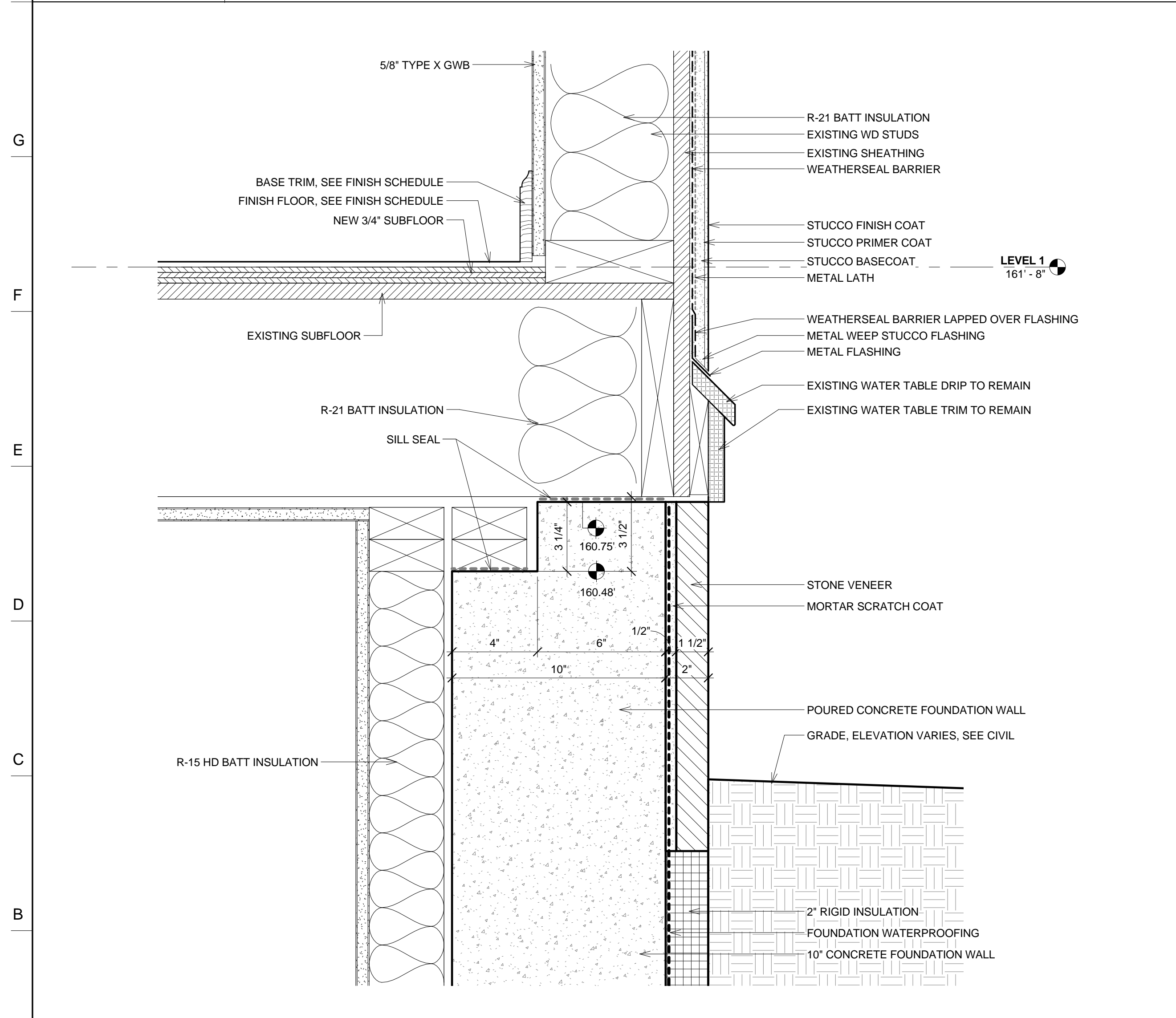
A-1 SITE SECTION
3/32" = 1'-0"

APPLICATION



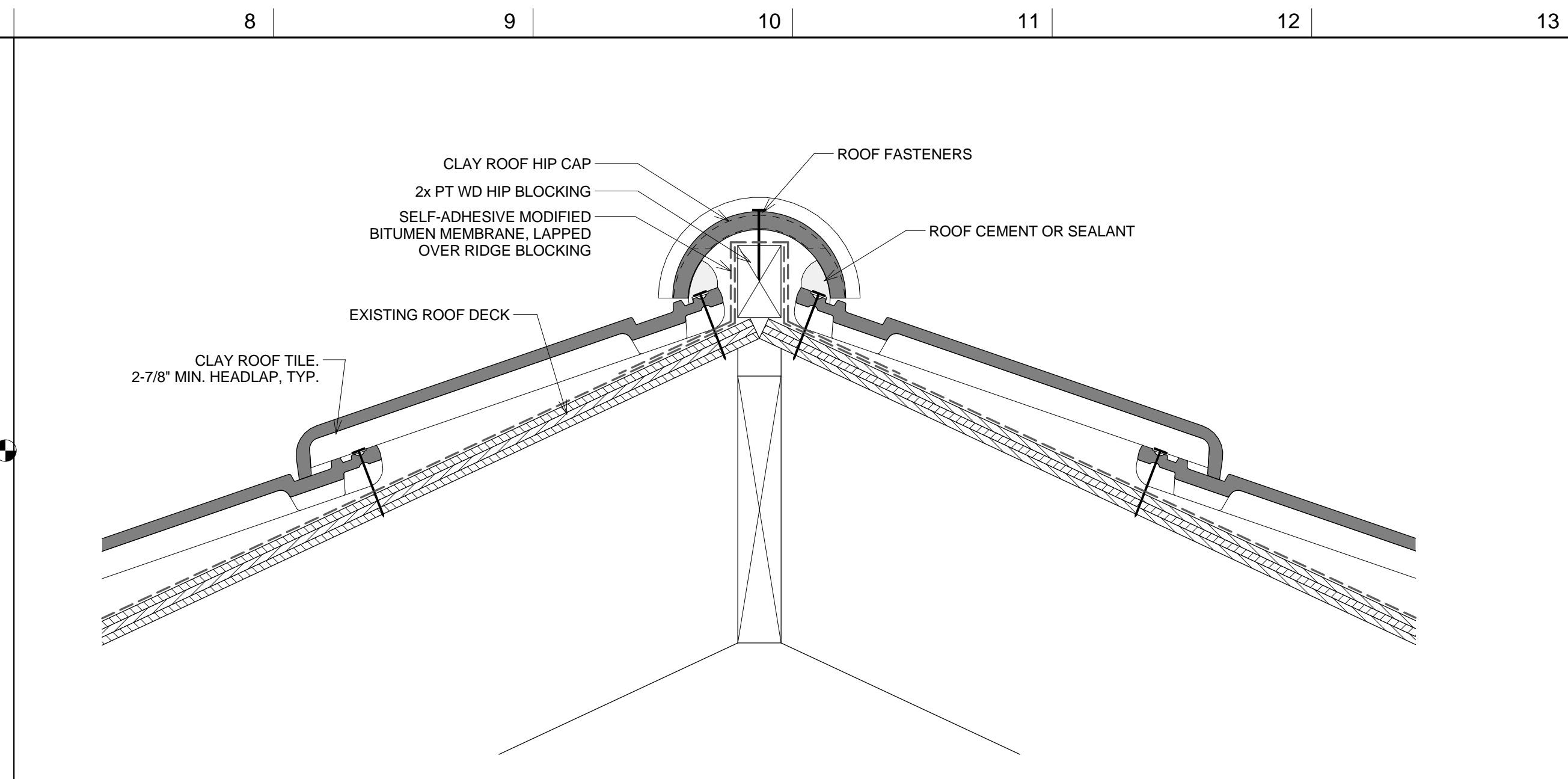
H-1 DETAIL AT PORT COCHERE

1 1/2" = 1'-0"



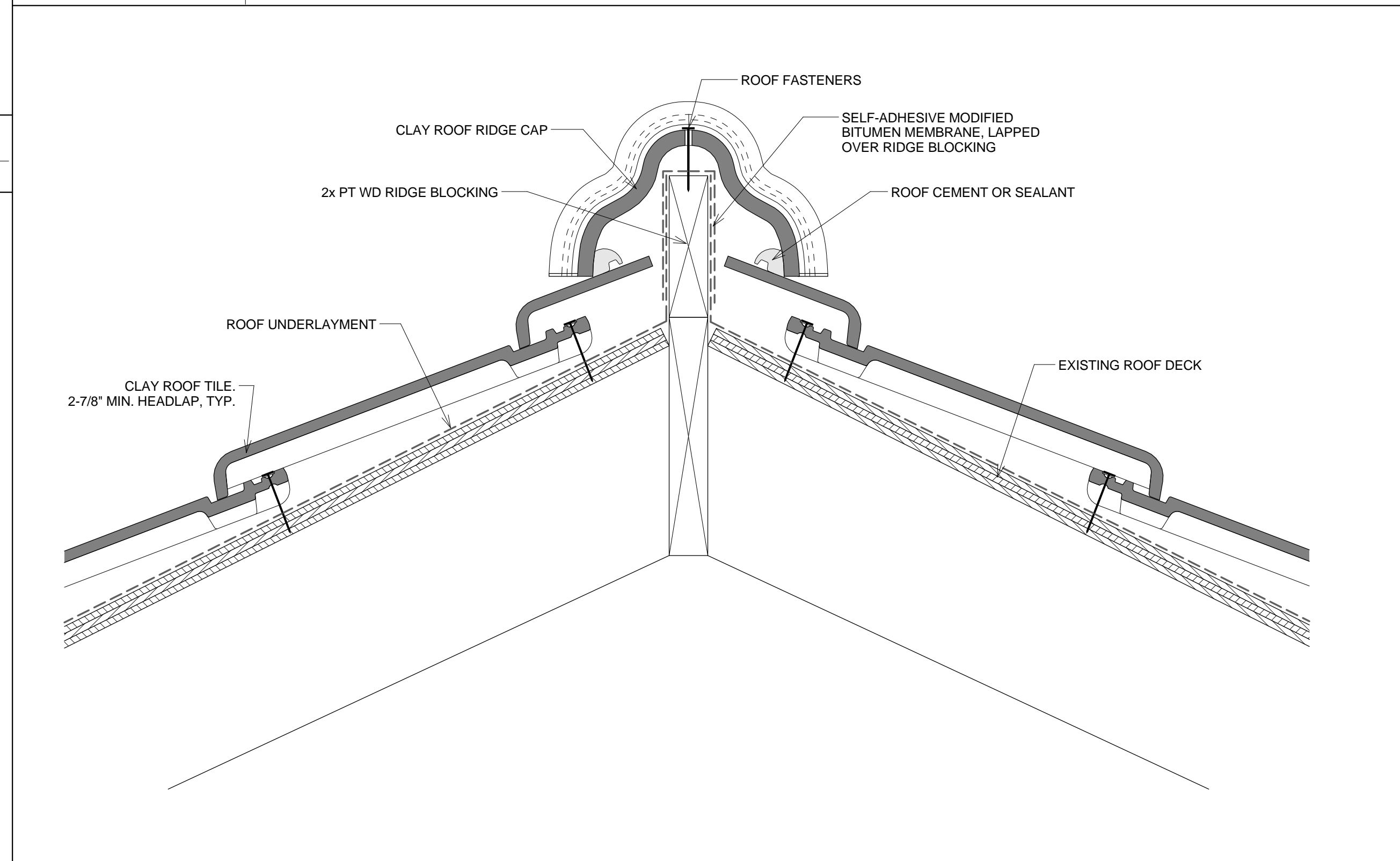
A-1 DETAIL AT WATER TABLE

3" = 1'-0"



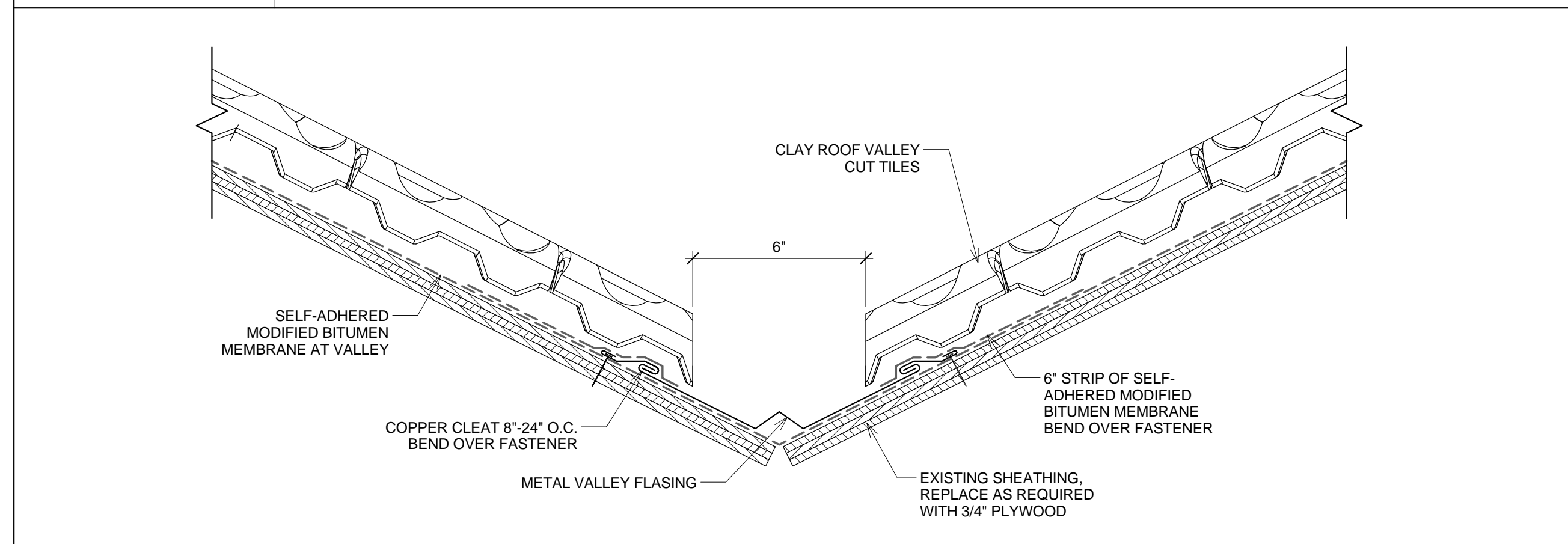
J-7 CLAY ROOF HIP DETAIL

3" = 1'-0"



D-7 CLAY ROOF RIDGE DETAIL

3" = 1'-0"



A-7 CLAY ROOF VALLEY DETAIL

3" = 1'-0"

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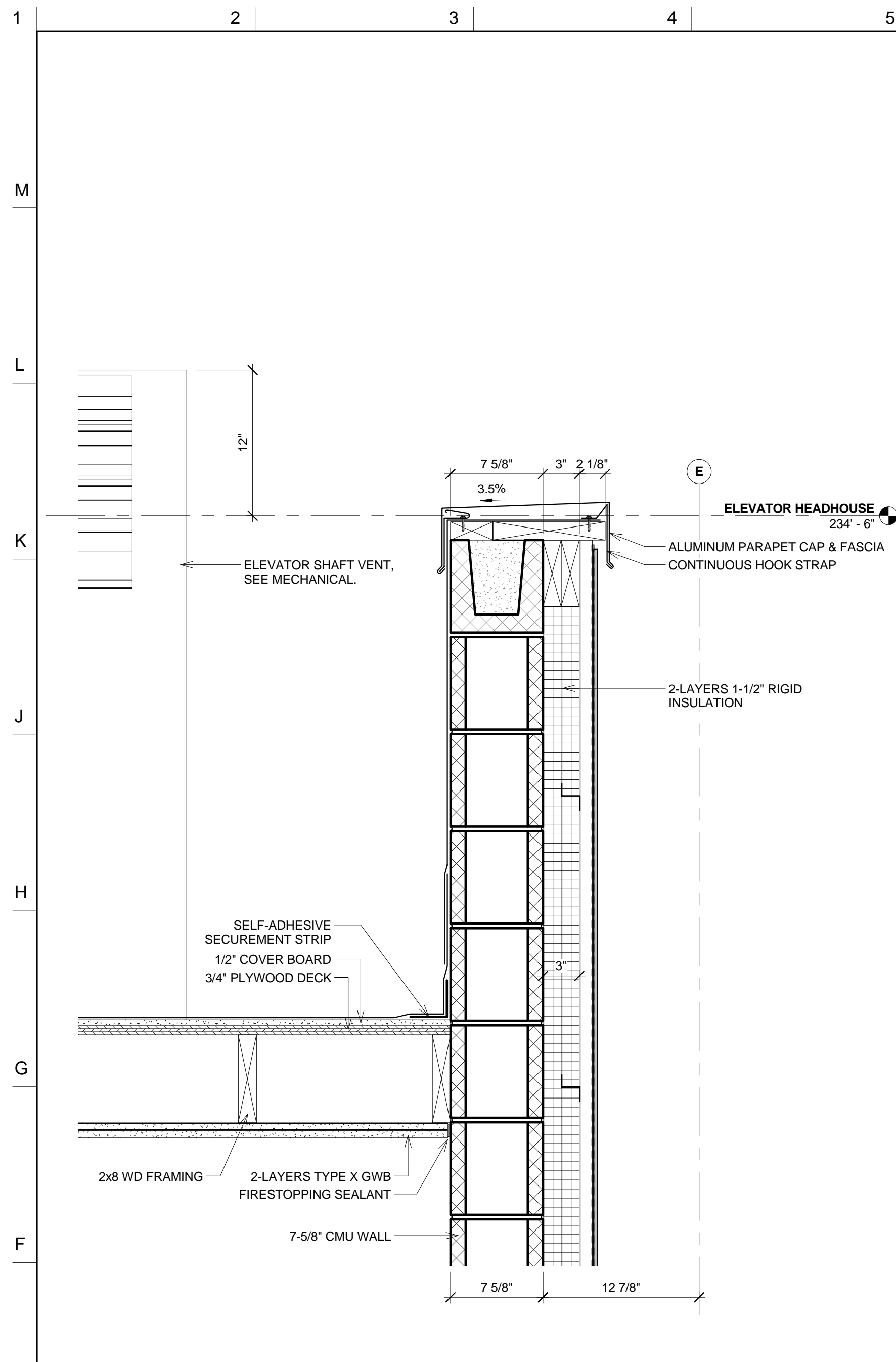
Consultant

Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125**

Title **HISTORIC BUILDING SECTION DETAILS**

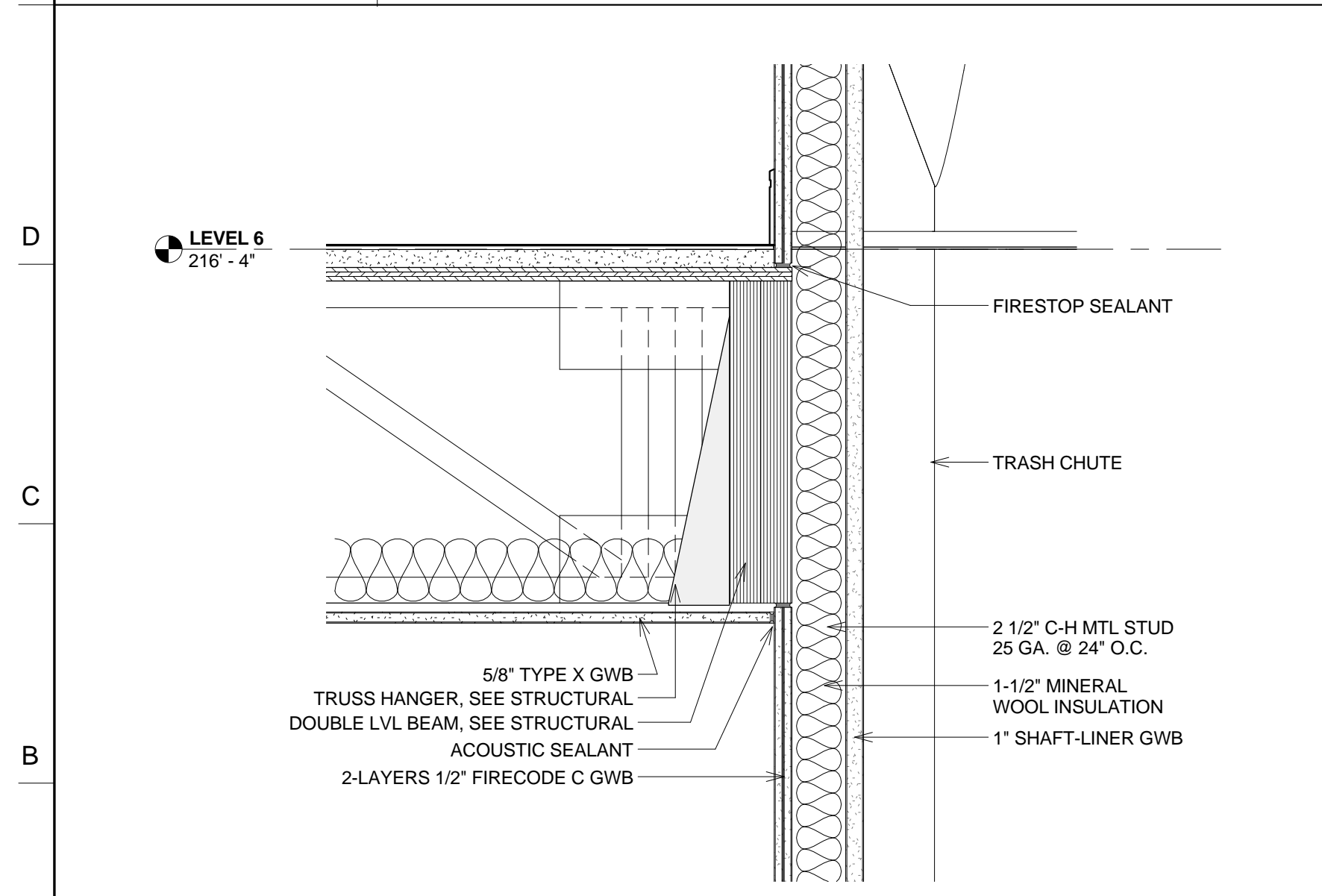
Design	BW	Draw No.	
Checked			
Project No.	1012.00		
Scale	As indicated		
Date	2016-12-16		

A520



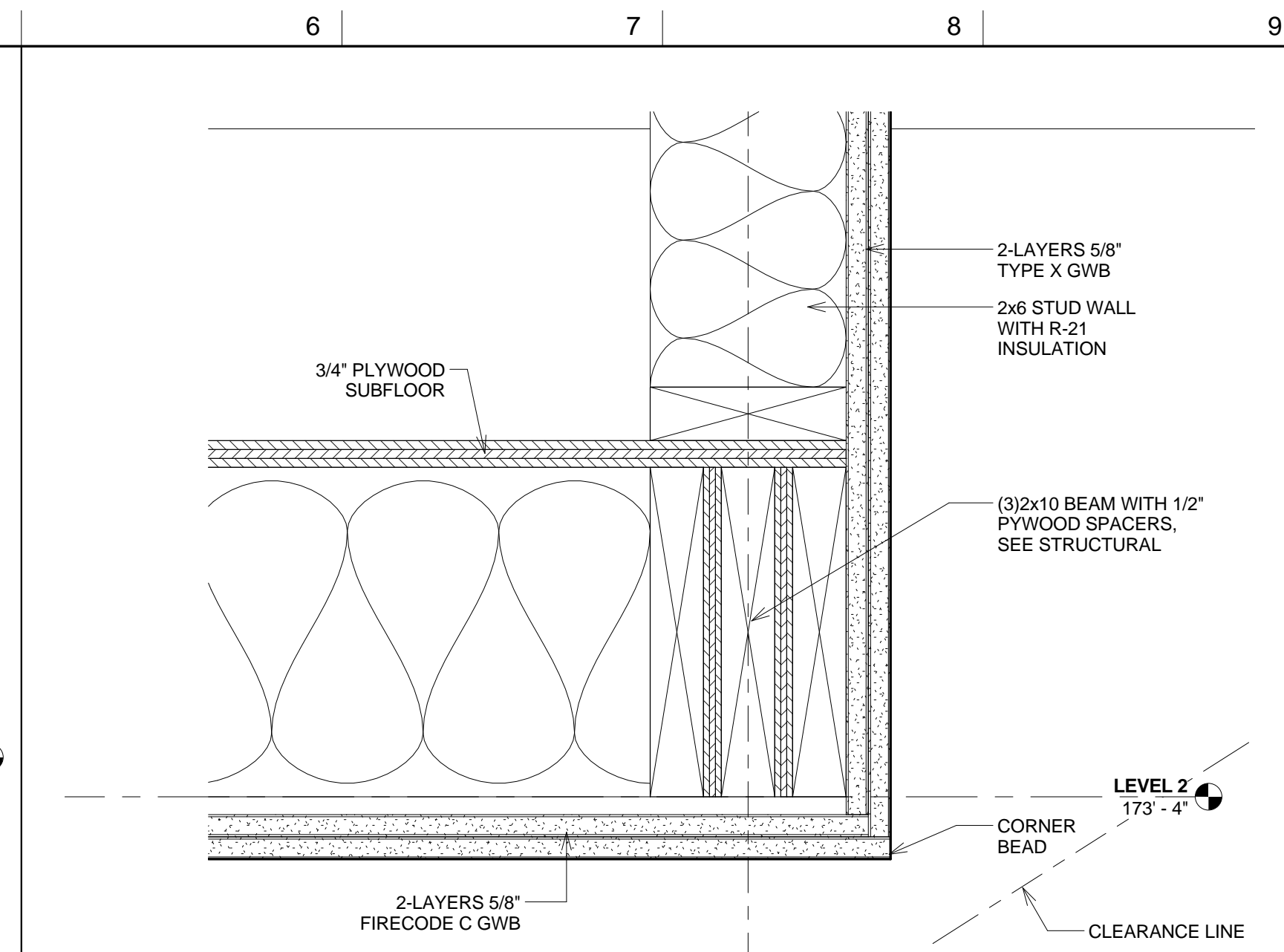
E-1 DETAIL AT ELEVATOR PARAPET

1 1/2" = 1'-0"



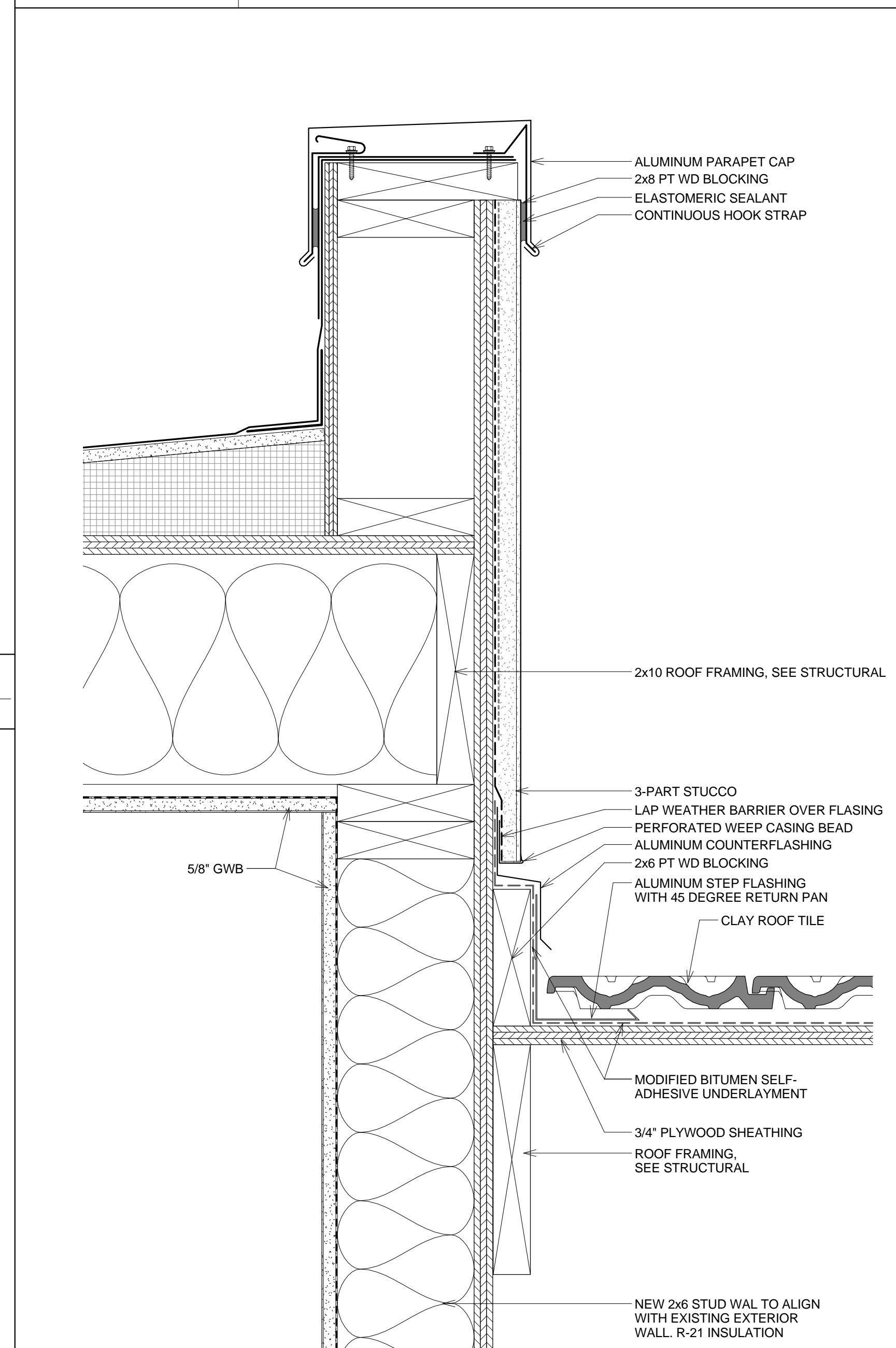
A-1 DETAIL AT SHAFTWALL FLOOR

1 1/2" = 1'-0"



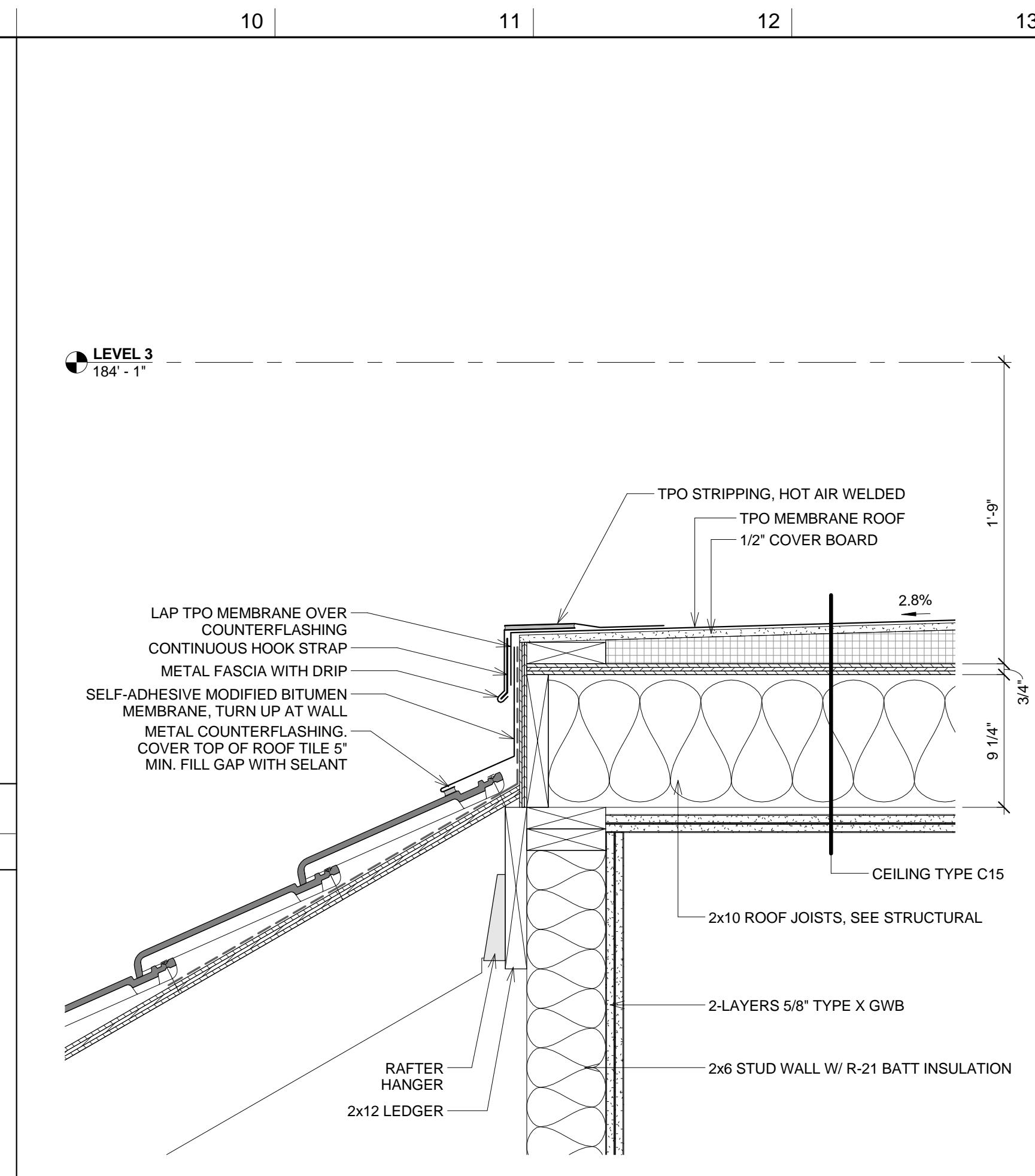
J-5 DETAIL AT STAIR 2 CEILING

3" = 1'-0"



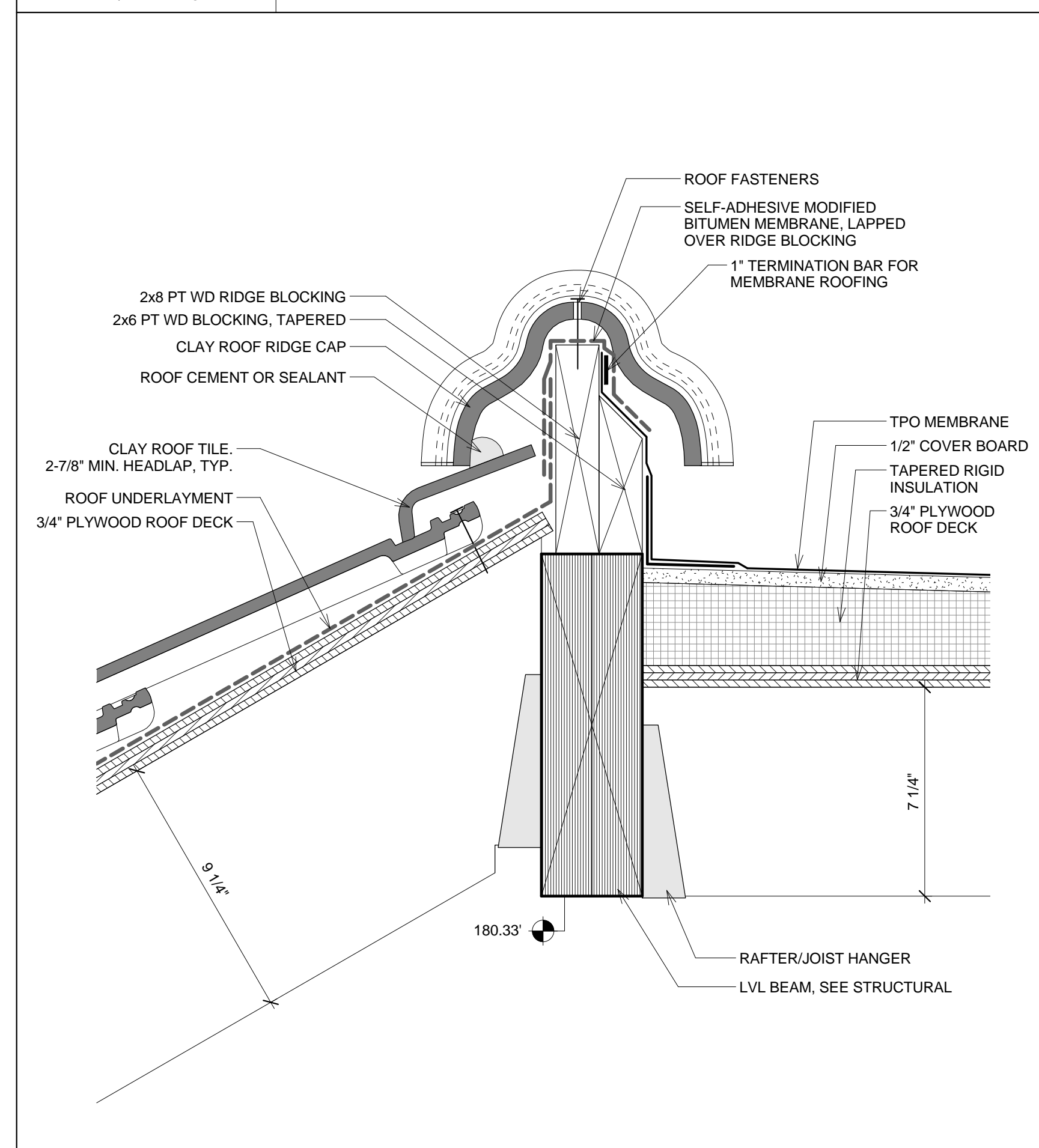
A-5 DETAIL AT STEP FLASING & STUCCO PARAPET

3" = 1'-0"



G-9 DETAIL AT SLOPED TO FLAT ROOF 1

1 1/2" = 1'-0"



A-9 DETAIL AT SLOPED TO FLAT ROOF 2

3" = 1'-0"

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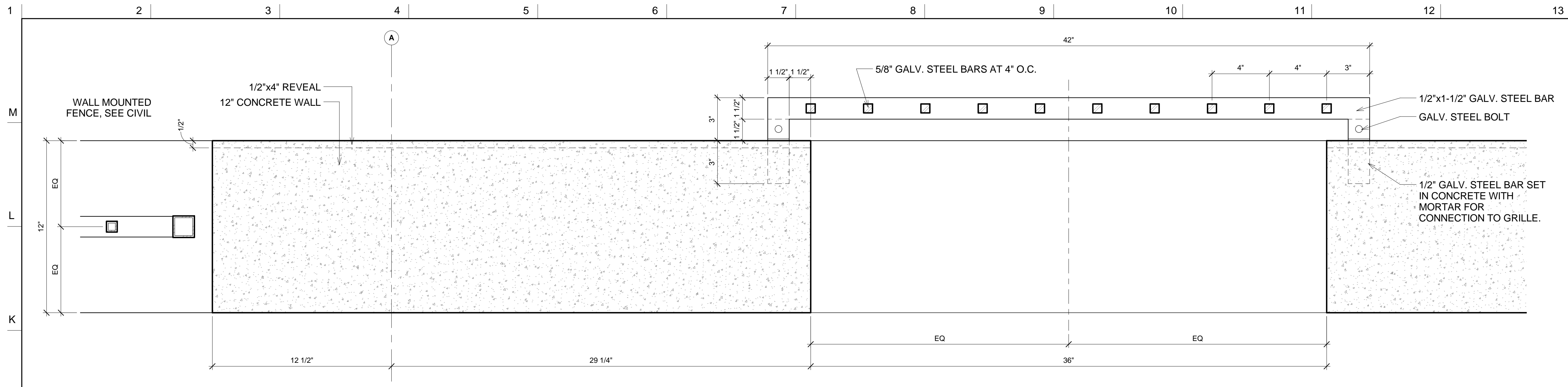
Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **SECTION DETAILS**

Design		Drawing No.	
Checked			
Project No.			
Scale	1/12" = 1'-0"		
Date	2016-12-16		

A532



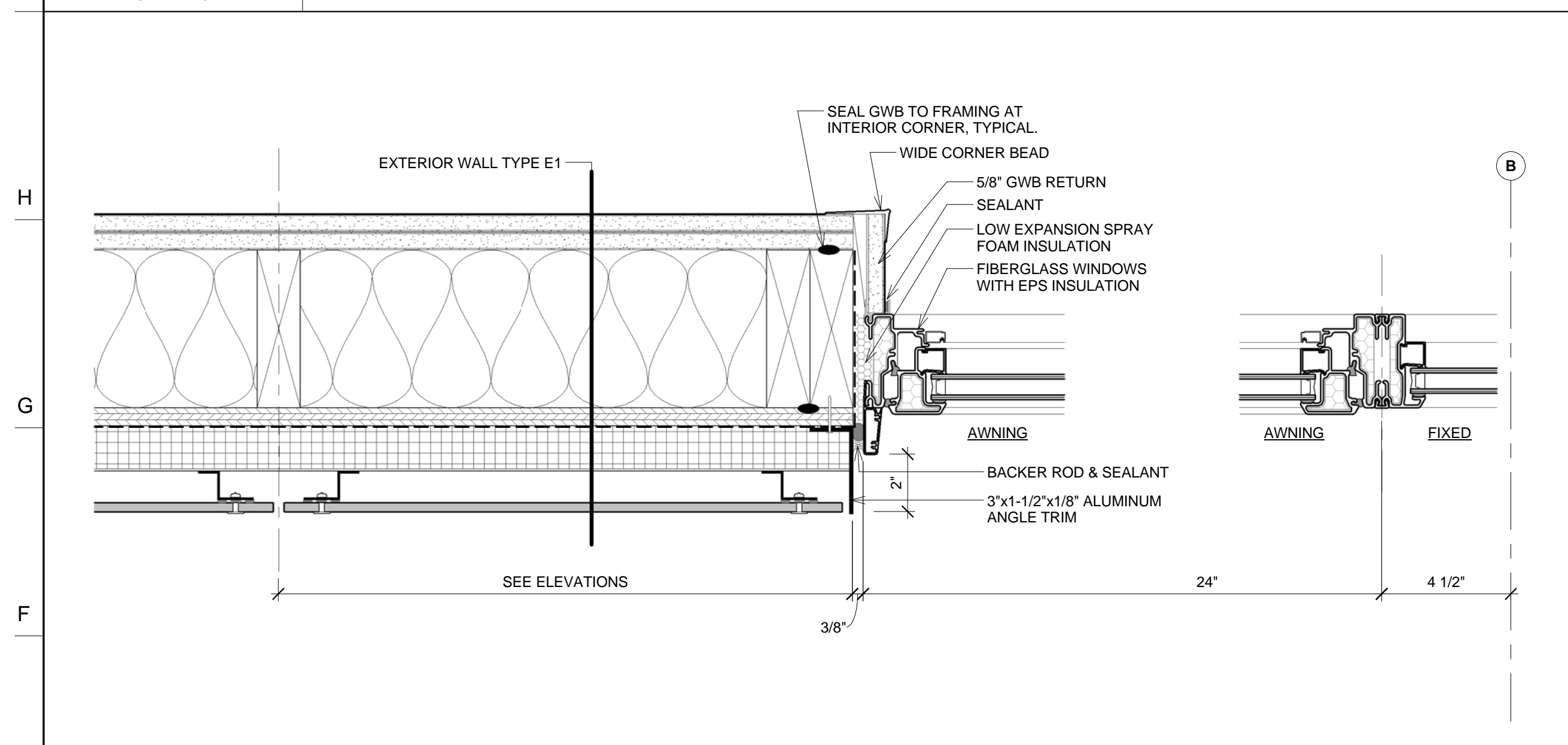
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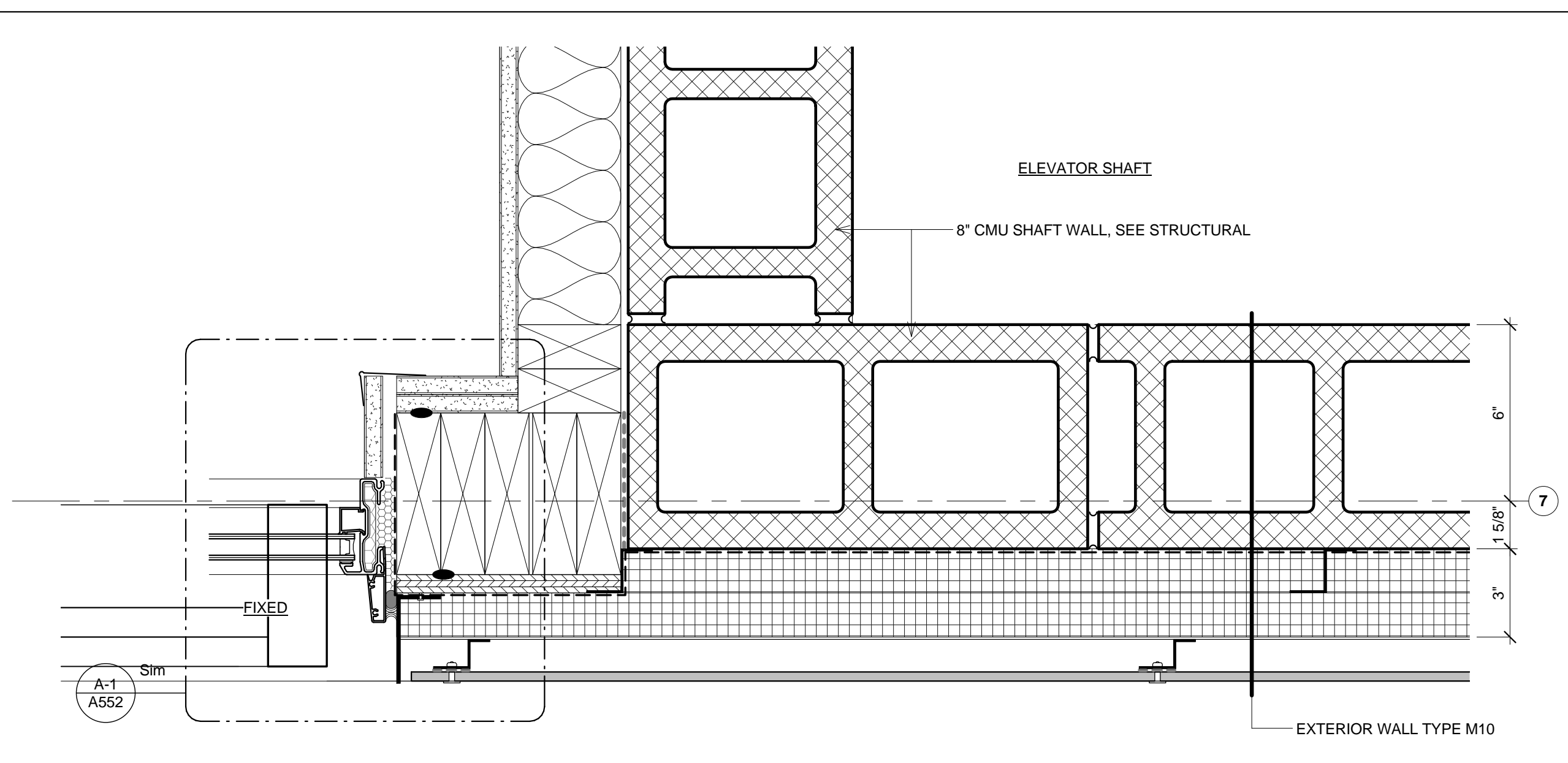
J-1 DETAIL AT GARAGE GRILLE

3" = 1'-0"



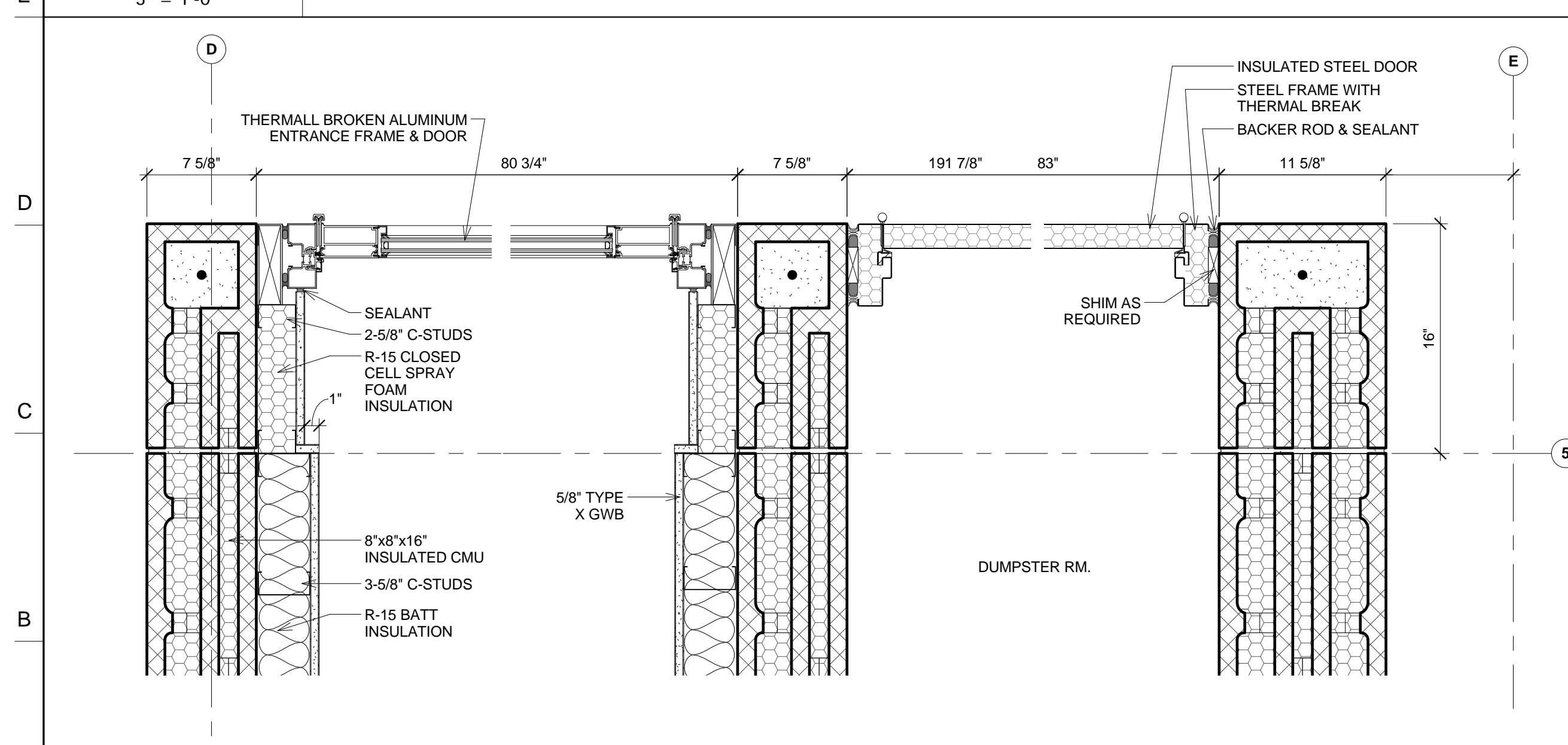
E-1 DETAIL AT WINDOW JAMB FC

3" = 1'-0"



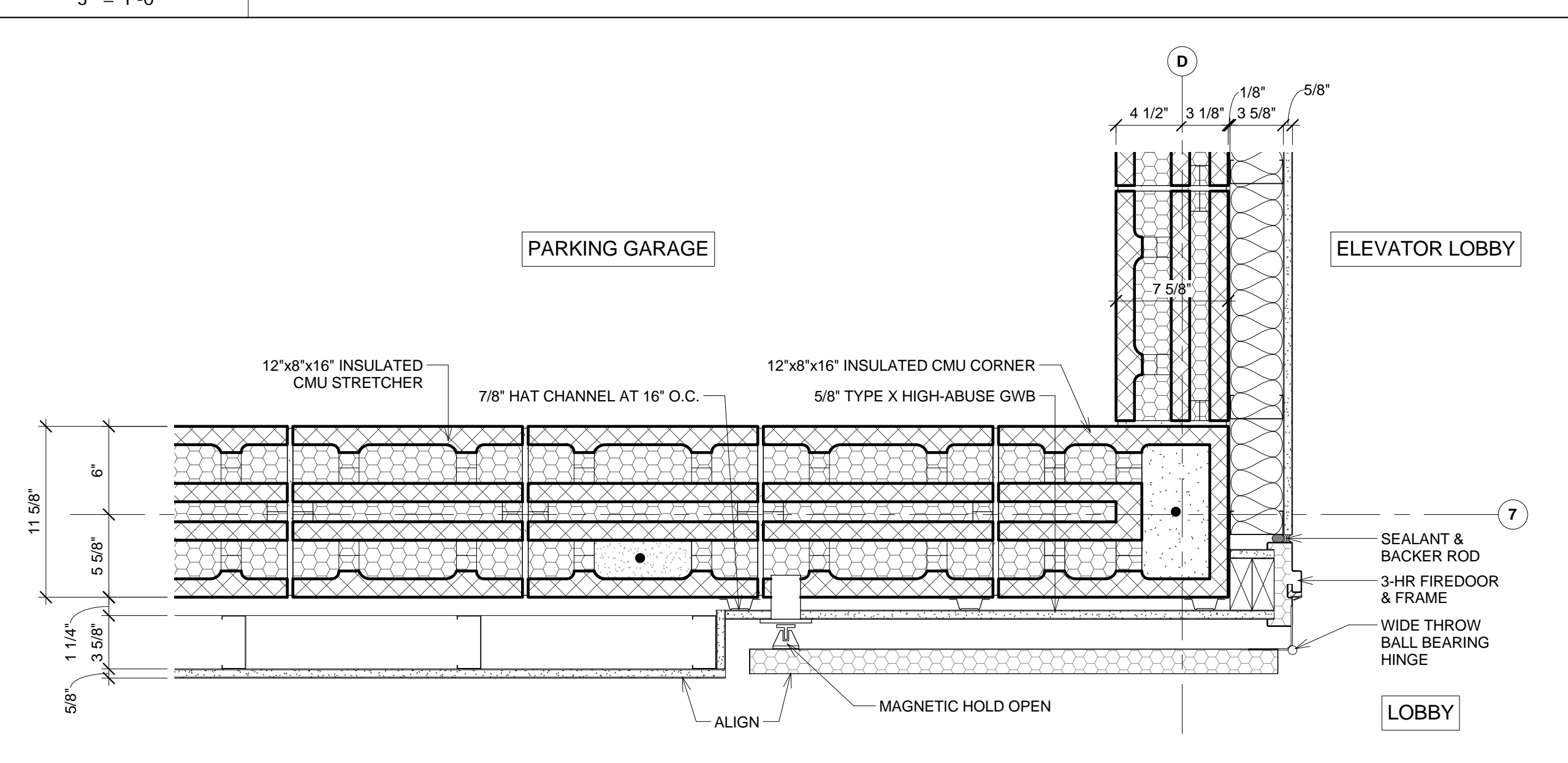
E-7 DETAIL AT ELEVATOR CORNER

3" = 1'-0"



A-1 DETAIL AT GARAGE DOORS

1 1/2" = 1'-0"



A-7 DETAIL AT INSULATED CMU CORNER

1 1/2" = 1'-0"

No.	REVISIONS/SUBMISSIONS	Date



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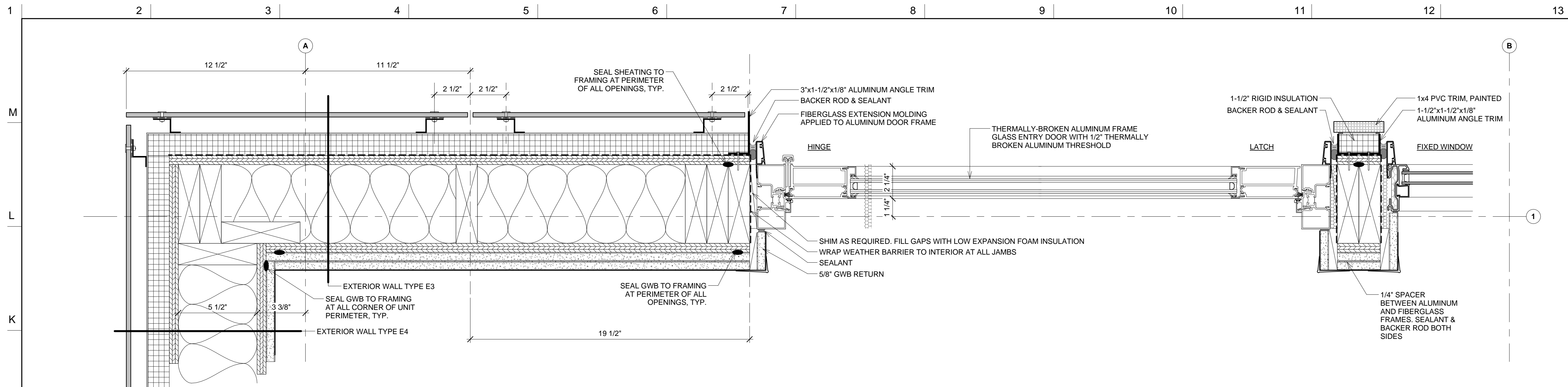
Project **HISTORIC PRESERVATION & ADDITION
 GATEWAY BRIGHTON**
 1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **PLAN DETAILS**

Design	BW	Drawing No.	A541
Checked			
Project No.	1012.00		
Scale	As indicated		
Date	2016-12-16		

A541

APPLICATION



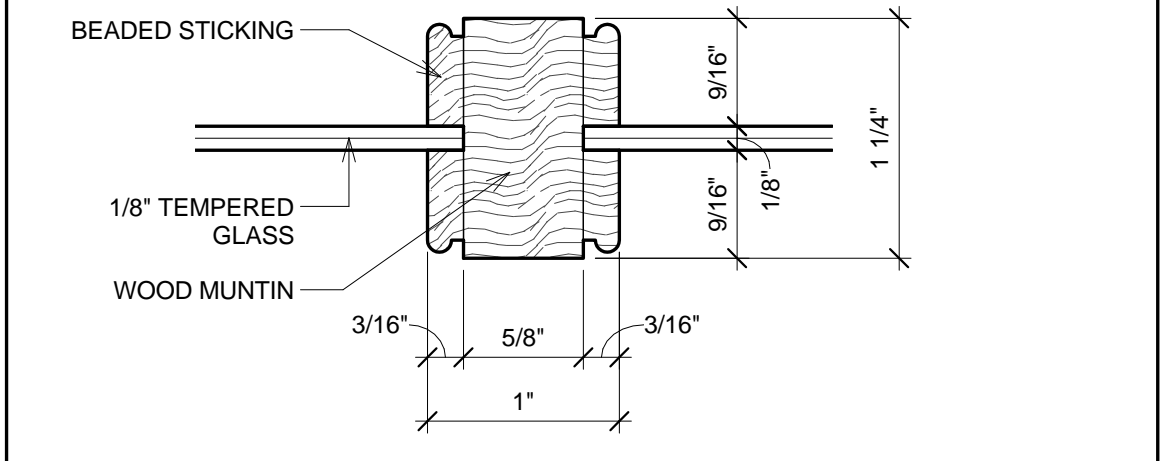
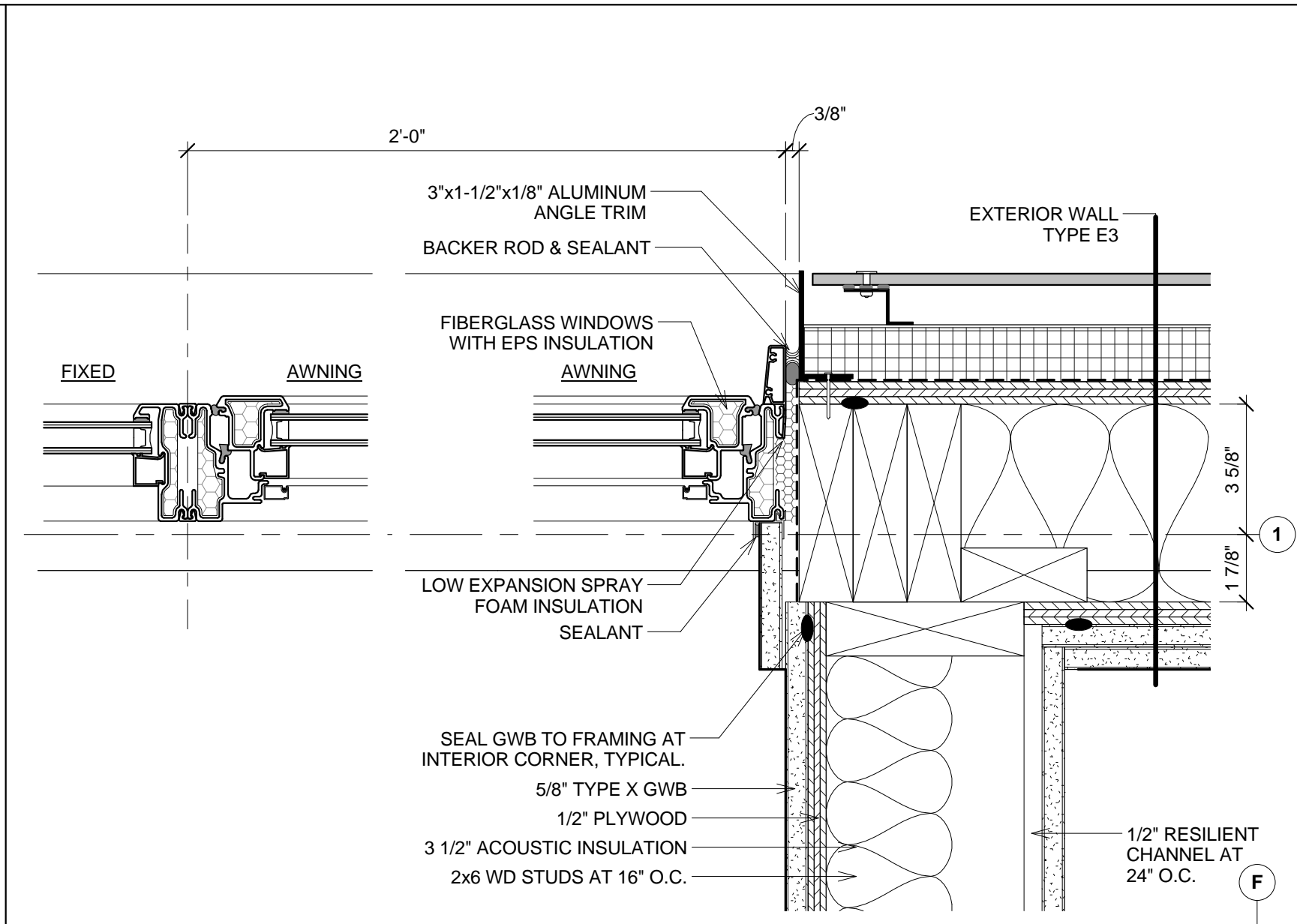
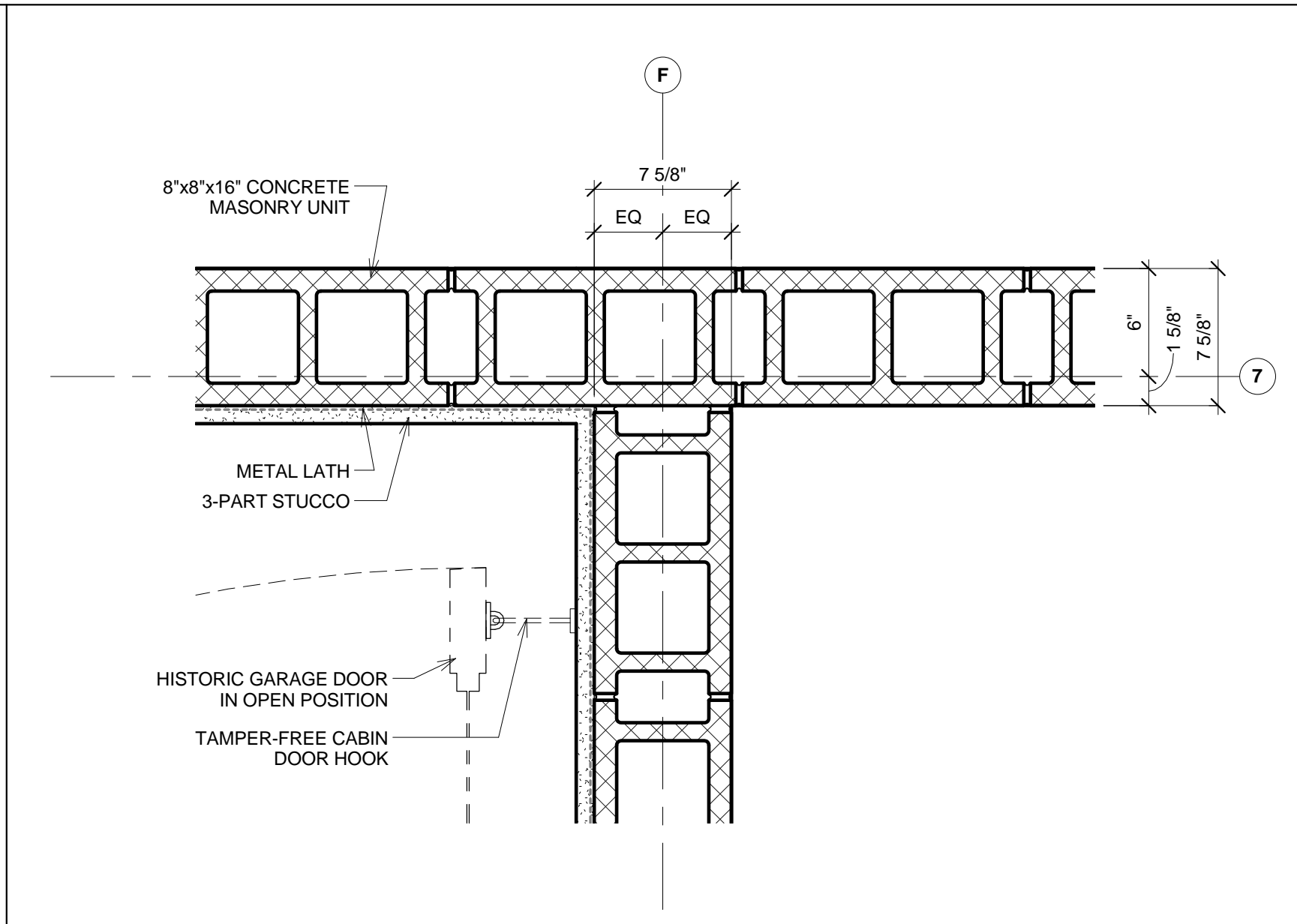
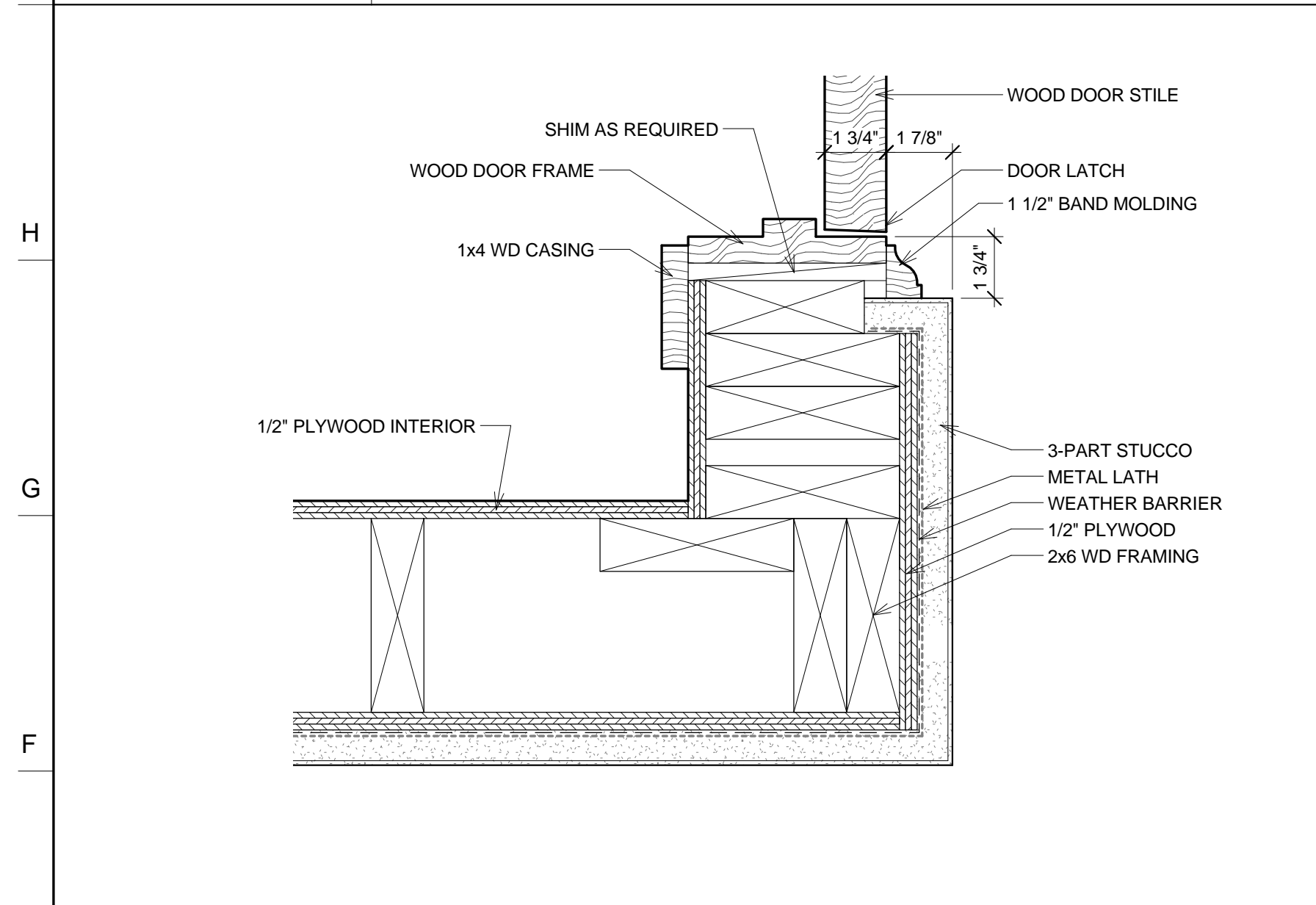
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J-1 **DETAIL AT BALCONY DOOR**

3" = 1'-0"



6 **DETAIL GARAGE MUNTIN**

12" = 1'-0"

E-1 **DETAIL AT GARAGE DOOR CORNER**

3" = 1'-0"

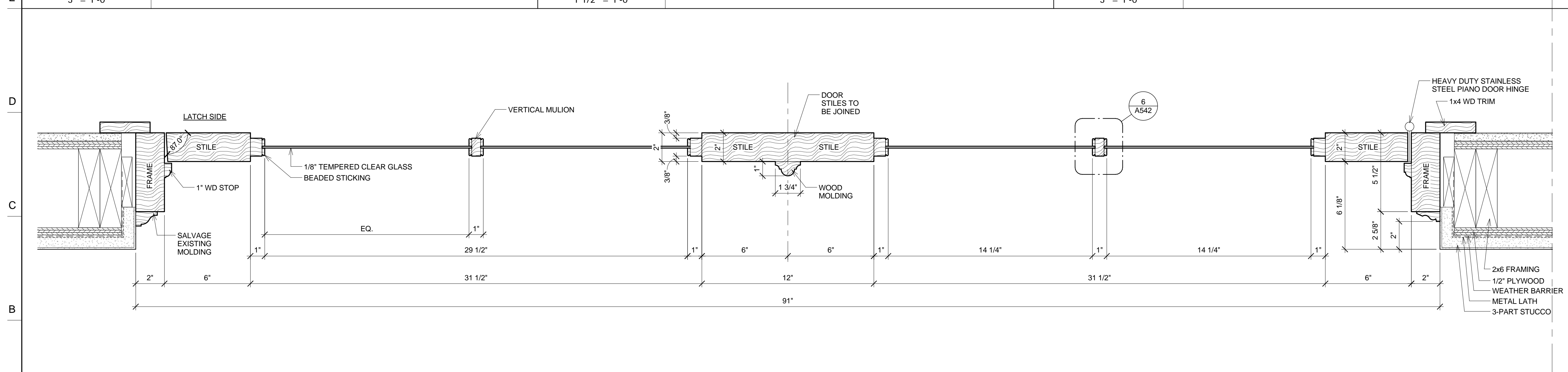
E-5 **DETAIL AT HISTORIC GARAGE DOOR - OPEN**

1 1/2" = 1'-0"

E-7 **DETAIL AT AWNING WINDOW 2**

3" = 1'-0"

No.	REVISIONS/SUBMISSIONS	Date



A-1 **DETAIL AT HISTORIC GARAGE DOOR 1**

3" = 1'-0"

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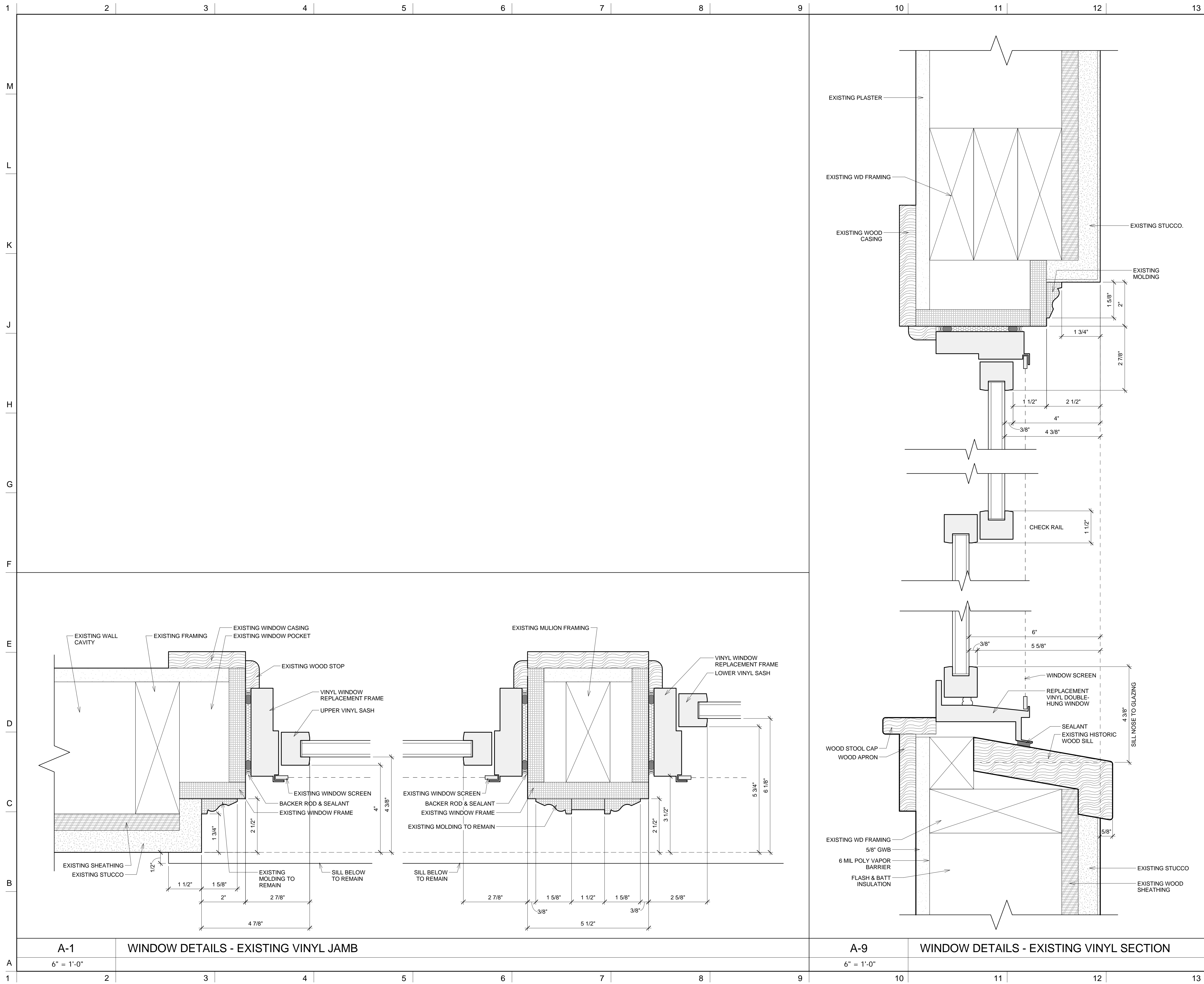
Consultant

Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02125**

Title **PLAN DETAILS**

Design	BW	Draw No.	A542
Checked			
Project No.	Y012.00		
Scale	As Indicated		
Date	2016-12-16		

A542



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No.	REVISIONS/SUBMISSIONS	Date

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Project **HISTORIC PRESERVATION & ADDITION**
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1954 COMMONWEALTH AVE, BOSTON, MA 02125

Title **EXISTING VINYL WINDOW DETAILS**

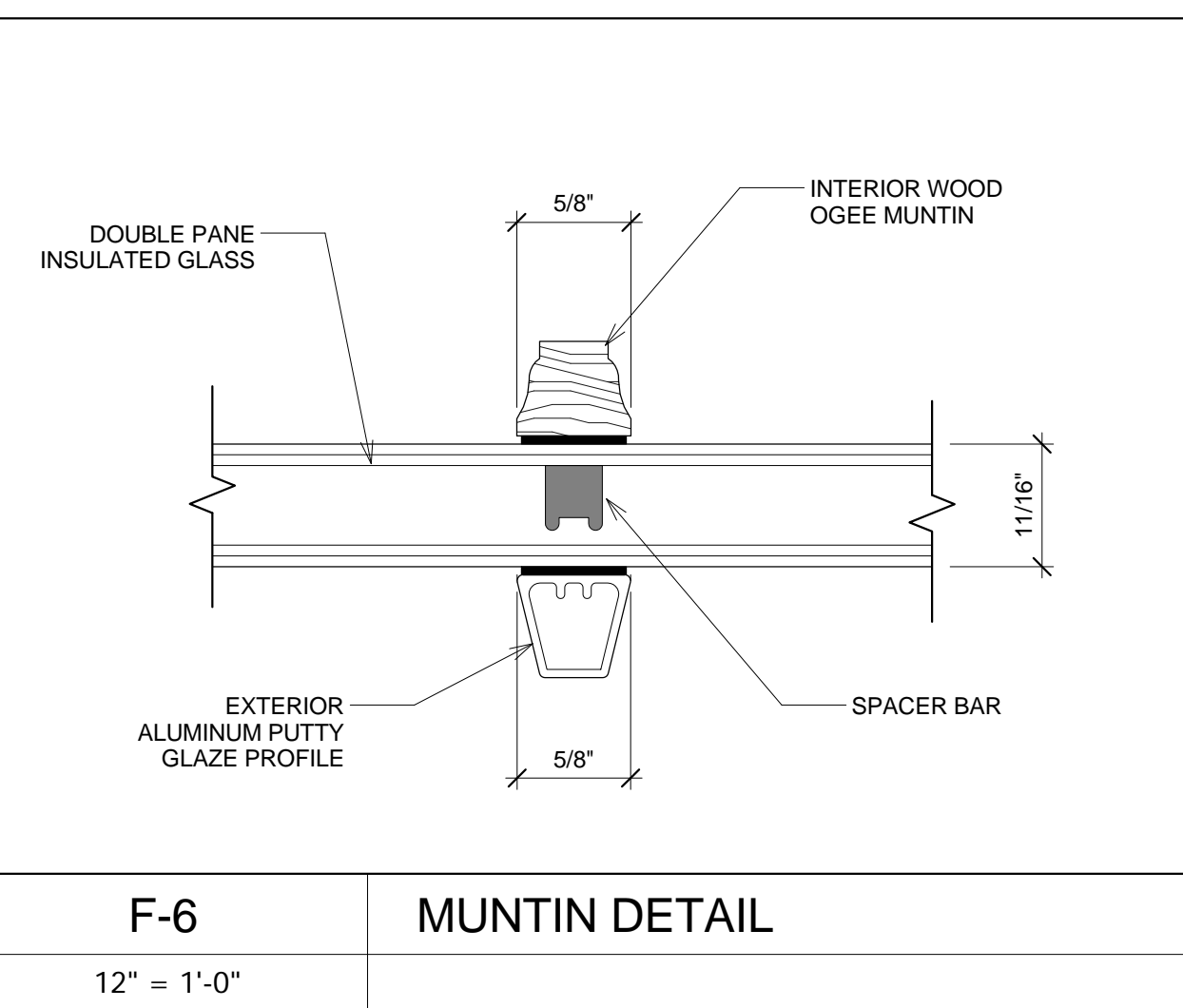
Design	BW	Drawn No.	
Checked			
Project No.	1012.00		
Scale	6" = 1'-0"		
Date	2016-12-16		

A550

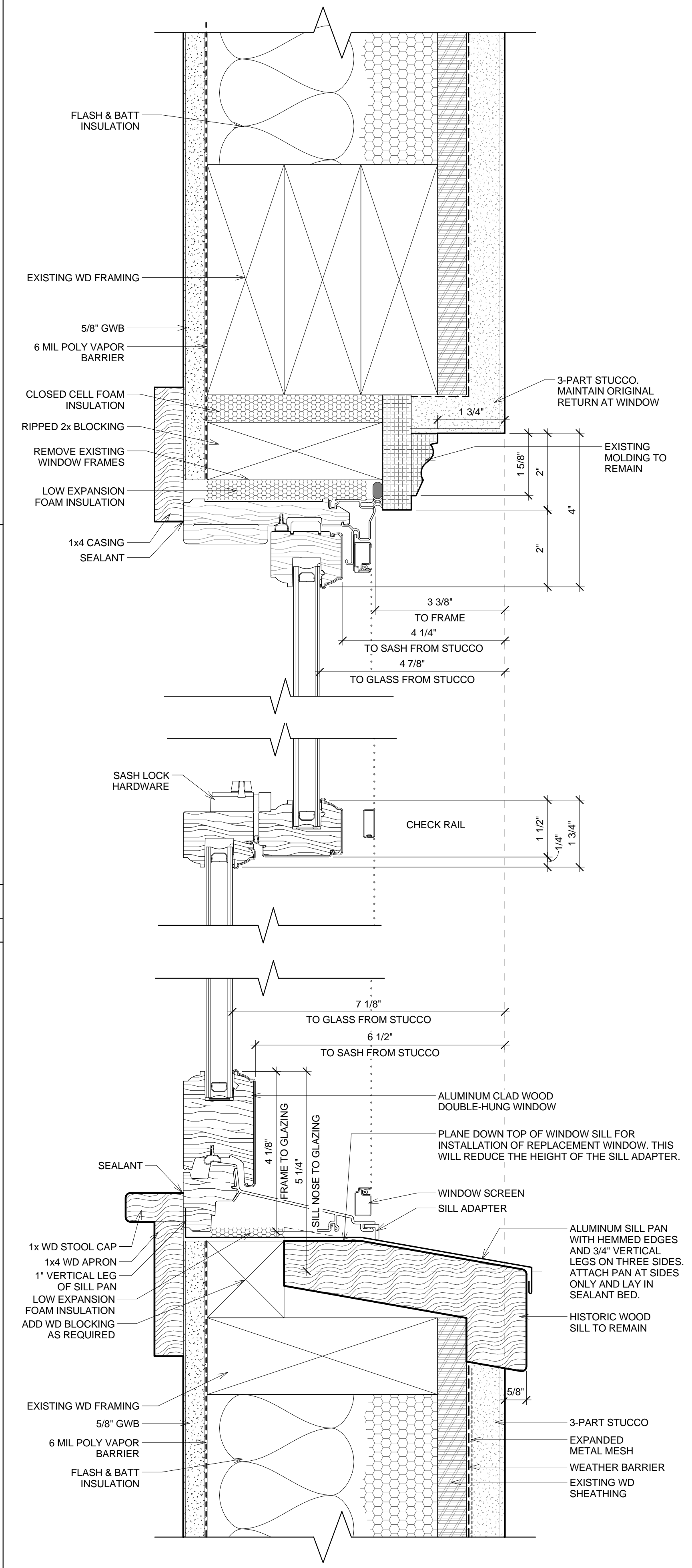
NOTES

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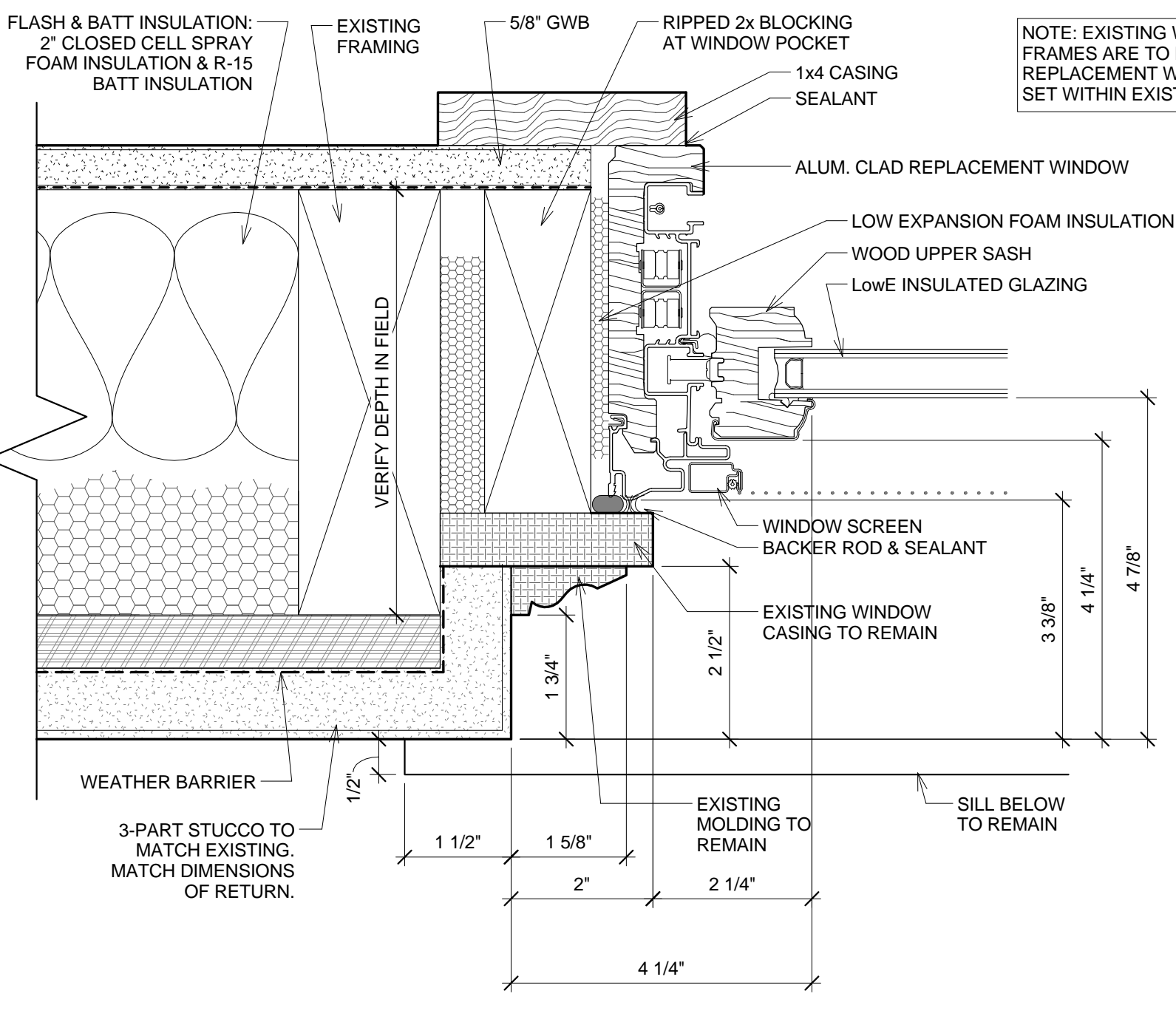
No. REVISIONS/SUBMISSIONS Date



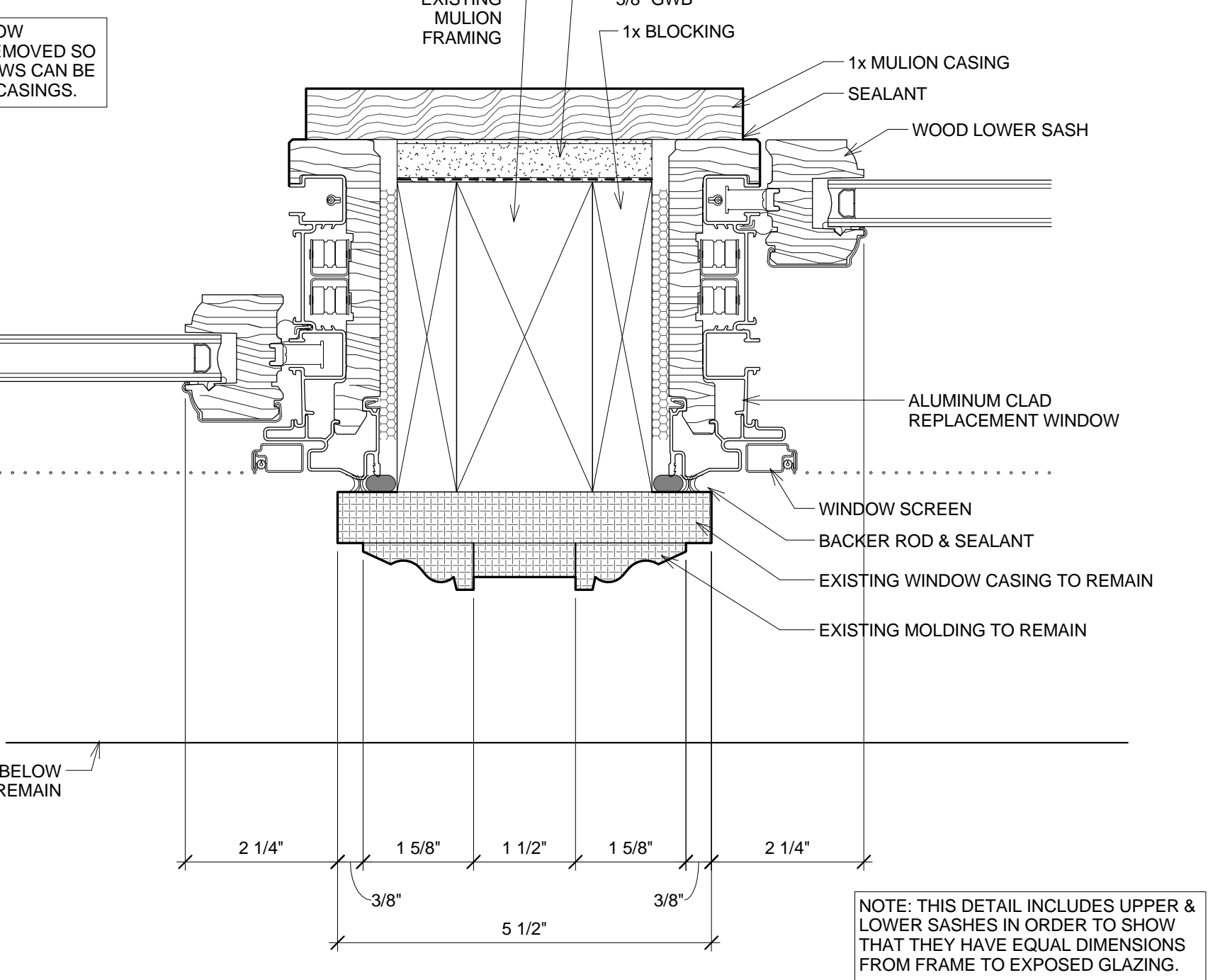
F-6 MUNTIN DETAIL
12" = 1'-0"



A-9 WINDOW DETAILS - ALUMINUM CLAD SECTION
6" = 1'-0"



A-1 WINDOW DETAILS - ALUMINUM CLAD JAMB
6" = 1'-0"



NOTE: THIS DETAIL INCLUDES UPPER & LOWER SASHES IN ORDER TO SHOW THAT THEY HAVE EQUAL DIMENSIONS FROM FRAME TO EXPOSED GLAZING.



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Project **HISTORIC PRESERVATION & ADDITION GATEWAY BRIGHTON**
1954 COMMONWEALTH AVE. BOSTON, MA 02126

Title **ALUMINUM CLAD WOOD WINDOW DETAILS**

Design: BW
Checked: [blank]
Project No: Y012.00
Scale: As indicated
Date: 2016-12-16

A551

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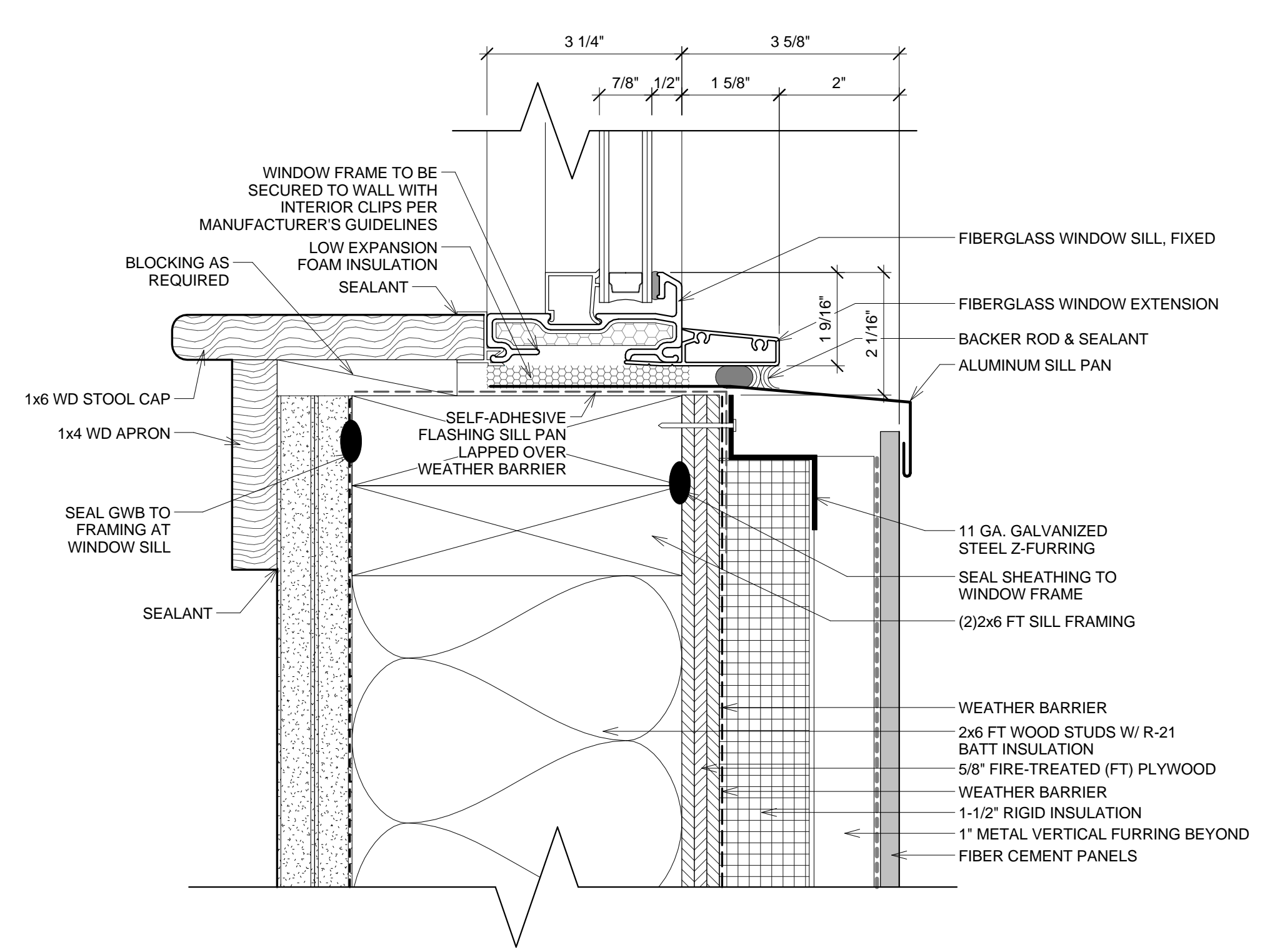
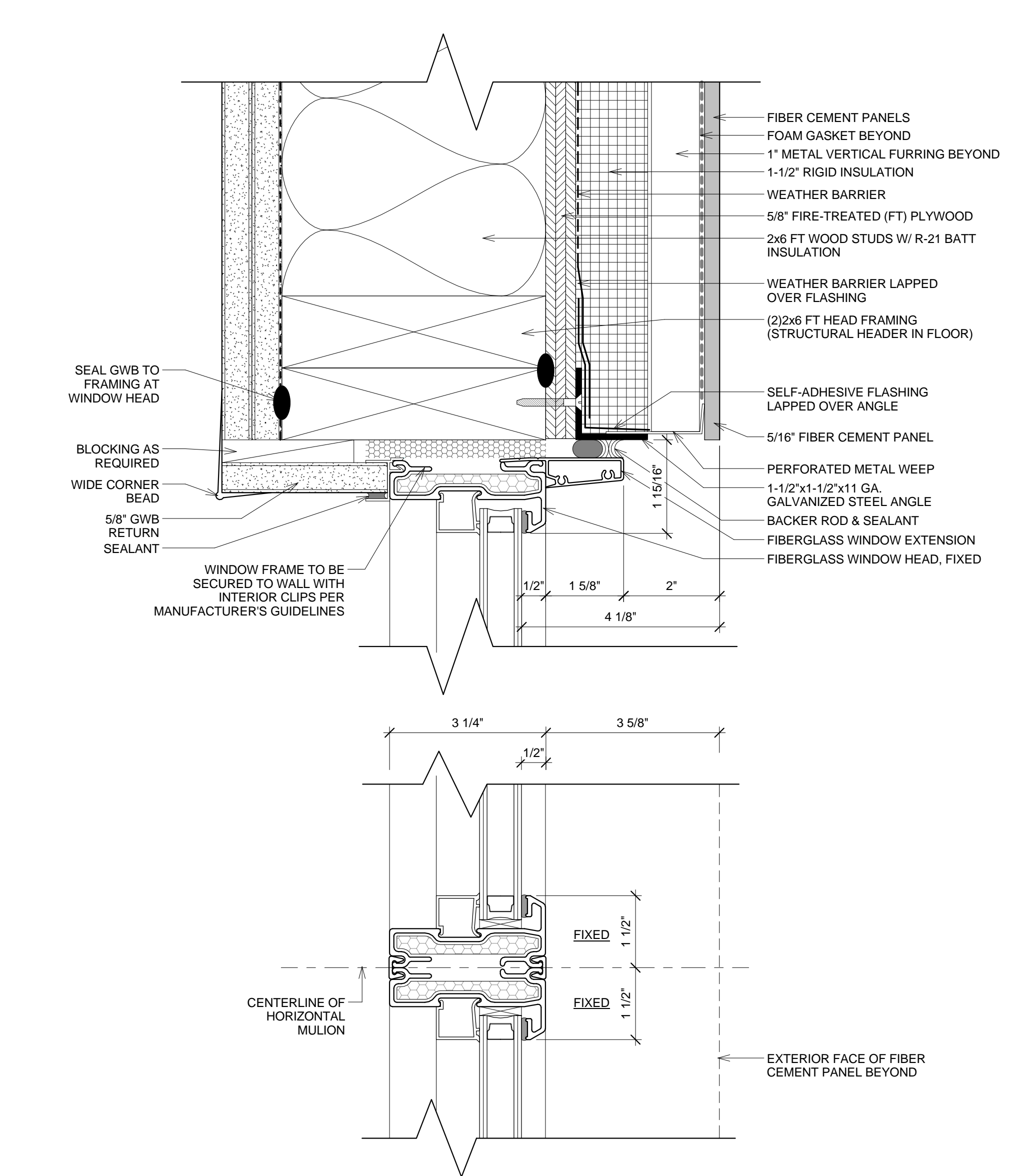
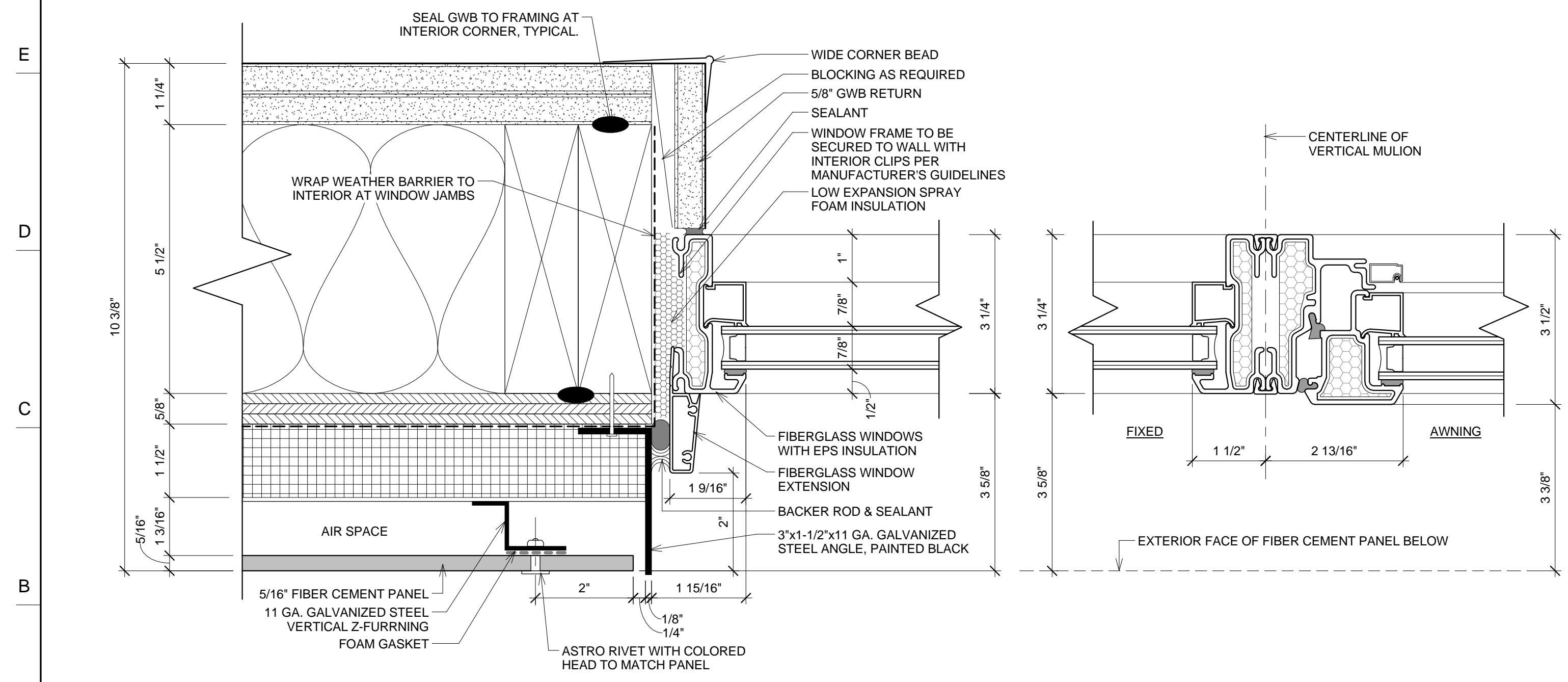
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No.	REVISIONS/SUBMISSIONS	Date



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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE. BOSTON, MA 02125

Title **FIBERGLASS WINDOW DETAILS AT FC
RAINSCREEN**

Design	BW
Checked	
Project No.	1012.00
Scale	6" = 1'-0"
Date	2016-12-16

APPLICATION

A552

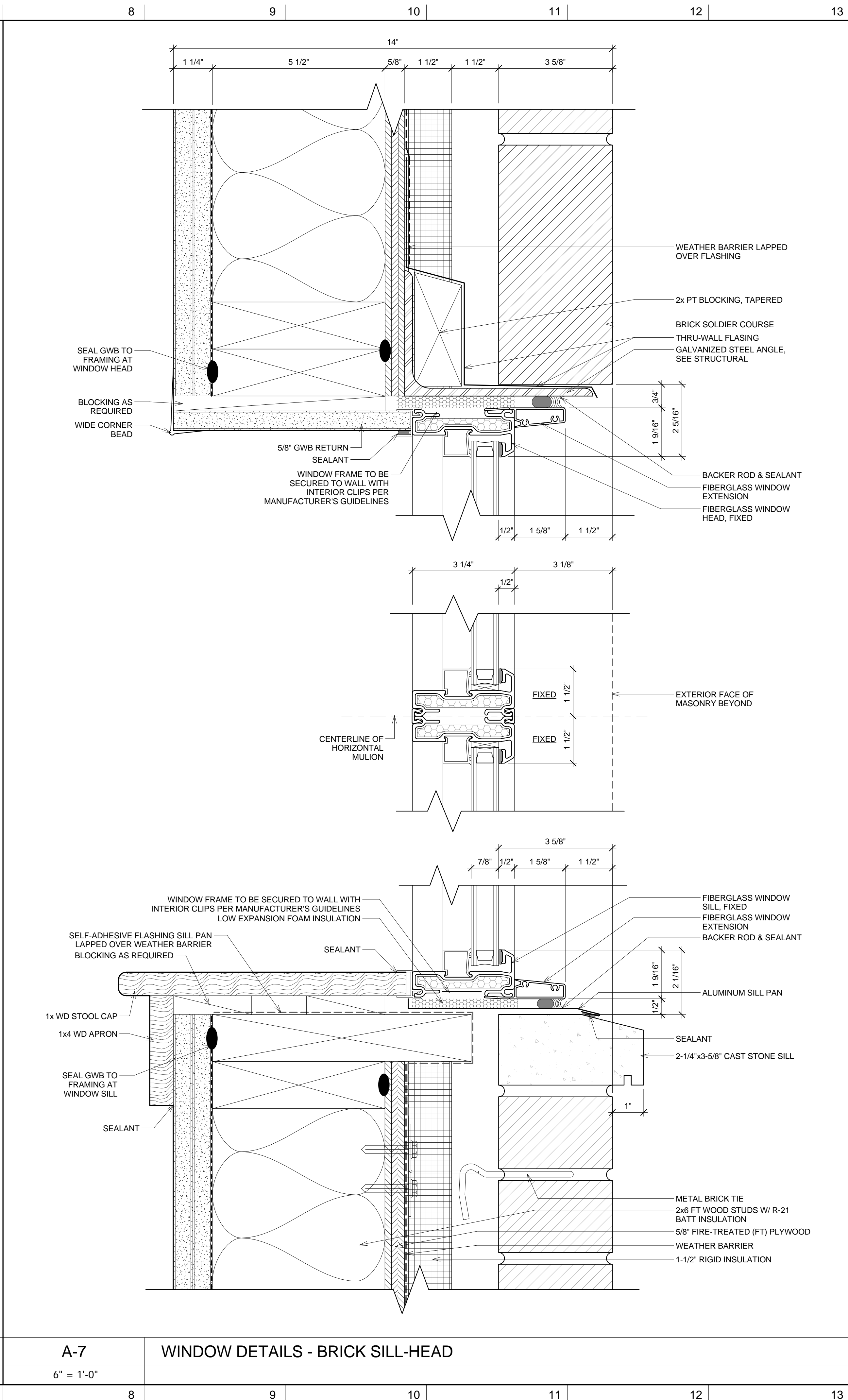
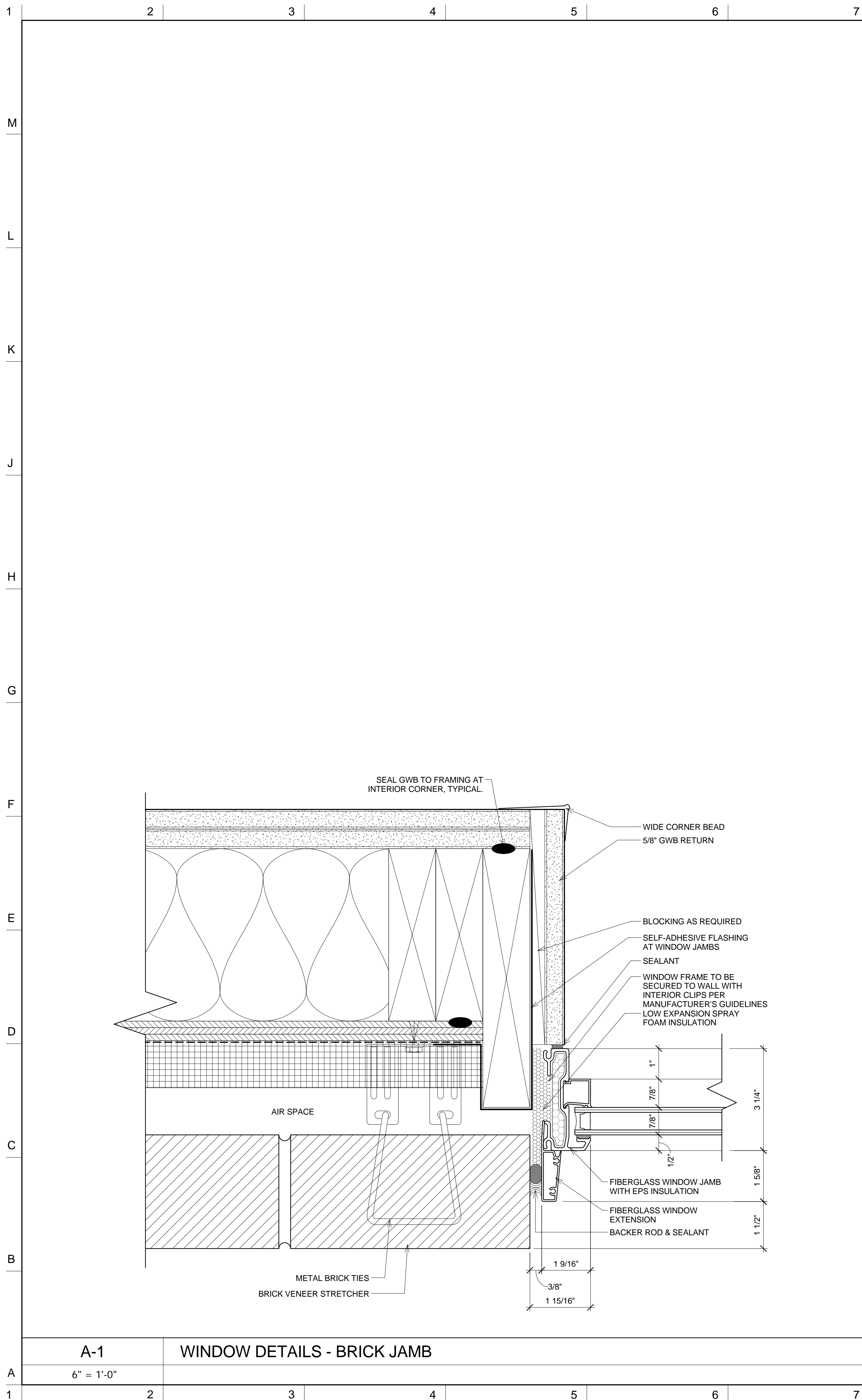
A-1
6" = 1'-0"

WINDOW DETAILS - FIBERGLASS JAMB-MULION

A-8
6" = 1'-0"

WINDOW DETAILS - FIBERGLASS SILL-HEAD

1 2 3 4 5 6 7 8 9 10 11 12 13



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Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON**
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **FIBERGLASS WINDOW DETAIL AT BRICK VENEER**

Design	BW	Draw. No.	
Checked			
Project No.	11012.00		
Scale	6" = 1'-0"		
Date	2016-12-16		

A553